

PROPOSED DEVELOPMENT CONDITIONS

SEA 00-Y-001

Revised June 17, 2002

If it is the intent of the Board of Supervisors to approve SEA 00-Y-001 located in the triangle formed by Old Centreville Road, Centreville Road and West View Drive (Tax Map Parcels 54-4 ((5)) 2A) for a previously approved fast food restaurant and commercial development to additionally permit a drive-in bank, site modifications, waivers of certain sign regulations and lot width pursuant to Sect. 4-604, 7-607, 9-610 and 9-620 of the Fairfax County Zoning Ordinance, the staff recommends that the Board condition the approval by requiring conformance with the following development conditions which supercede all previous development conditions: (*Denotes development conditions brought forward either whole or with minor modifications from the previous Special Exception approval.)

1. This Special Exception Amendment is granted for and runs with the land indicated in this application and is not transferable to other land.*
2. This Special Exception Amendment is granted only for the purpose(s), structure(s) and/or use(s) indicated on the special exception plat approved with the application, as qualified by these development conditions.*
3. This Special Exception Amendment is subject to the provisions of Article 17, Site Plans, as may be determined by the Director, Department of Public Works and Environmental Services (DPWES). Any plan submitted pursuant to this Special Exception Amendment shall be in substantial conformance with the approved Special Exception Amendment plat entitled Tower Group, LLC/Chevy Chase Bank prepared by The Plan Source and dated October 31, 2001, as revised through April 30, 2002, and these conditions. Minor modifications to the approved special exception may be permitted pursuant to Par. 4 of Sect. 9-004 of the Zoning Ordinance.*
4. All signs shall meet the provisions of Article 12, except as conditioned specifically herein. Irrespective of the notes on the Special Exception Amendment, only one ground-mounted monument sign, with a maximum height of eight (8) feet and a maximum area of forty (40) square feet shall be provided on the 2.83 acre subject site. No freestanding sign shall be located along the eastern frontage of Old Centreville Road and no pole-mounted signs shall be permitted on the subject property.
5. All parking lot and building security lights shall be full cut-off shielded, directed downward and maintained at a maximum height of 20 feet. All proposed lighting shall adhere to the Zoning Ordinance glare standards.*

parcel on the northwest portion of the site shall be subject to these conditions with the exception of conditions numbered 16 through 18. If not so subdivided, the northwest area of the site in addition to the remainder of the site shall continue to be bound by the conditions of this Special Exception Amendment; partial SEAs may be permitted if the remainder of the site is unaffected by the request.

15. Handicapped parking spaces on the subject site shall be located on the shortest accessible route of travel to an accessible building entrance.

FAST FOOD RESTAURANT USE

16. The hours of operation for the fast food restaurant and drive through window shall be limited as follows: 5:00 a.m. to 1:00 a.m, Sunday through Thursday; 5:00 a.m. to 2:00 a.m., Friday and Saturday.*
17. The fast food restaurant shall be similar in mass, color, materials, etc. with the architectural rendering included as Attachment B as determined by DPWES.*
18. Building-mounted signage along the east façade of the fast food restaurant shall not be internally illuminated. Building-mounted "tenant name" signage for the fast food restaurant to be located along the west and south sides of the building shall be white or neutral in color, as determined by DPWES. This requirement shall not include the tenant logo. Banners, rooftop balloons, rooftop lighting shall be prohibited.*

BANK USE

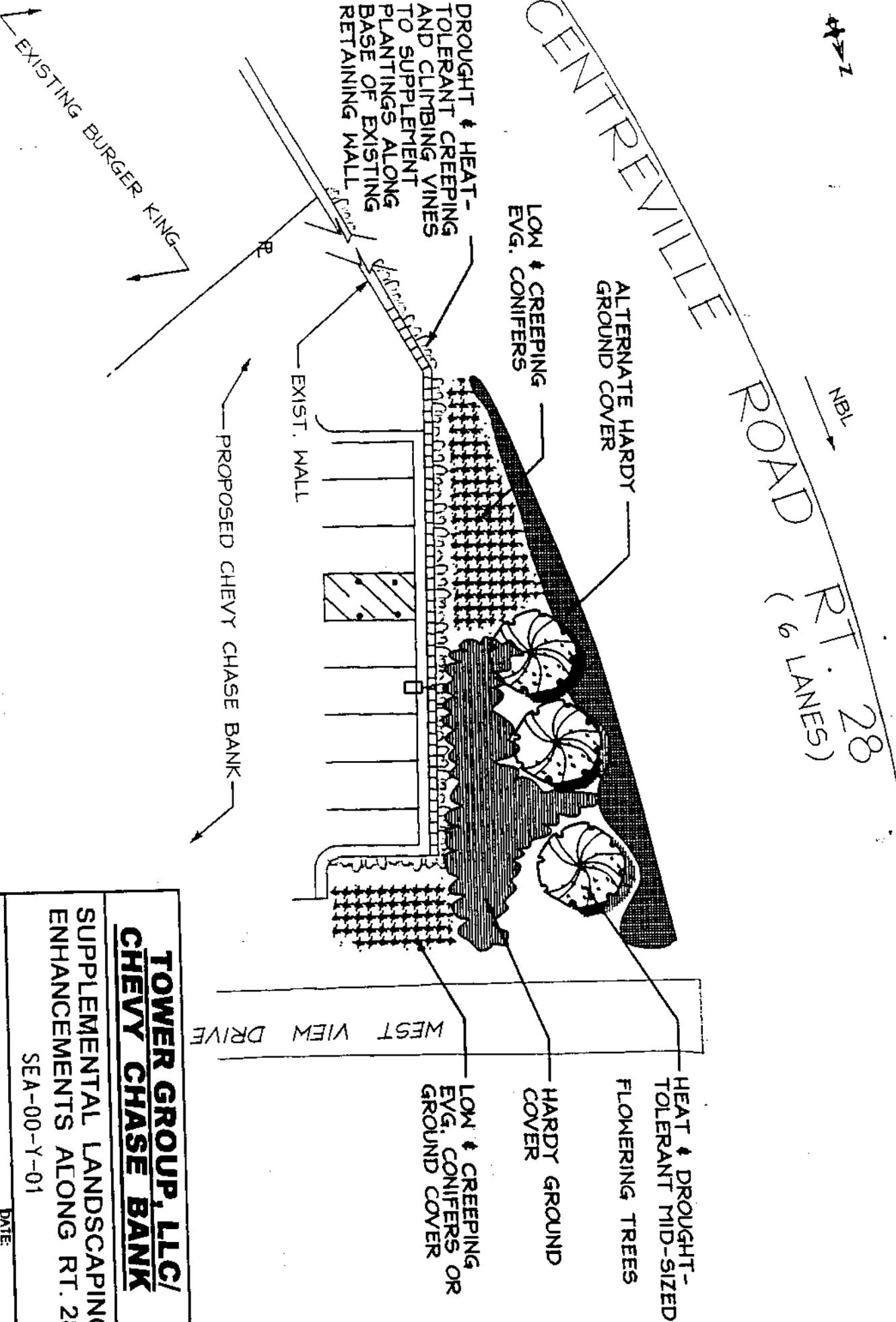
19. The hours of operation for the drive-in bank shall be limited as follows: 6 am to 10 pm for bank office, Monday through Saturday; Sunday through Saturday 24 hours a day for the unstaffed drive-in facility.
20. The drive-in bank shall be similar in mass, color, materials, etc. with the architectural rendering included as Attachment C as determined by DPWES.
21. Building-mounted signage along the east façade of the drive-in bank shall not be internally illuminated. Building-mounted "tenant name" signage for the bank shall be as depicted on Attachment C, where the building sign on the northern elevation shall be 23 feet and 4 5/8 inches in width and 18 inches in height; the building sign on the western elevation shall be 23 feet and 4 5/8 inches in width and 18 inches in height and the building sign on the eastern elevation shall be 19 feet and 5 inches in width and 15 inches in height as determined by DPWES. Banners, rooftop balloons, rooftop lighting shall be prohibited.
22. A directional sign shall be placed at the northwest corner of the bank near the entrance drive to the drive-in aisles to inform motorists that this only serves the drive-in bank facility.

The above proposed conditions are staff recommendations and do not reflect the position of the Board of Supervisors unless and until adopted by that Board.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations,

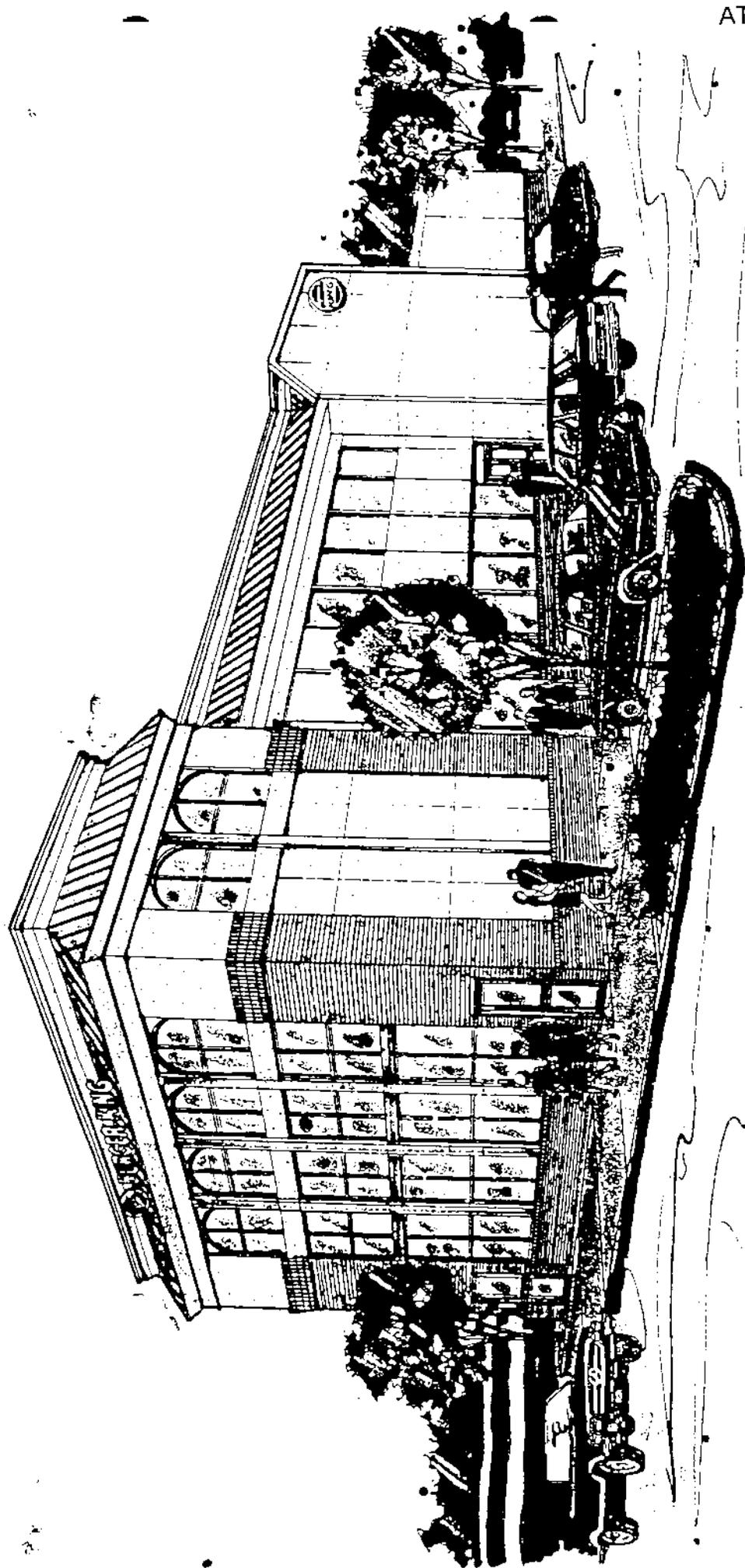
or adopted standards. The applicant shall be himself responsible for obtaining the required Non-Residential Use Permit through established procedures, and this Special Exception shall not be valid until this has been accomplished.

Pursuant to Section 9-015 of the Zoning Ordinance, this special exception shall automatically expire, without notice, thirty (30) months after the date of approval unless the use has been established or construction has commenced and been diligently prosecuted. The Board of Supervisors may grant additional time to establish the use or to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special exception. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.



This plan is schematic and may be revised to avoid conflict with existing or proposed utility easements.

<p>TOWER GROUP, LLC/ CHEVY CHASE BANK</p> <p>SUPPLEMENTAL LANDSCAPING ENHANCEMENTS ALONG RT. 28</p> <p>SEA-00-Y-01</p>	
<p>DATE: 5-17-02</p>	<p>SCALE: 1" = 25'</p>
<p>BY: GP/JAF</p>	<p>8000-C Buddy Road Manassas, VA 20110-3611 Tel: (703) 330-0854 Fax: (703) 335-0002 www.plm.com/usa/123711</p>
<p>Engineers Planners Permit Consultants</p>	<p>BY: GP/JAF</p>



BURGER KING CENTREVILLE
2/25/00

15' LETTER
18" X 18" SIGN
24" X 30"



SIDE ELEVATION

15' LETTER
18" X 18" SIGN
24" X 30"



FRONT ENTRANCE

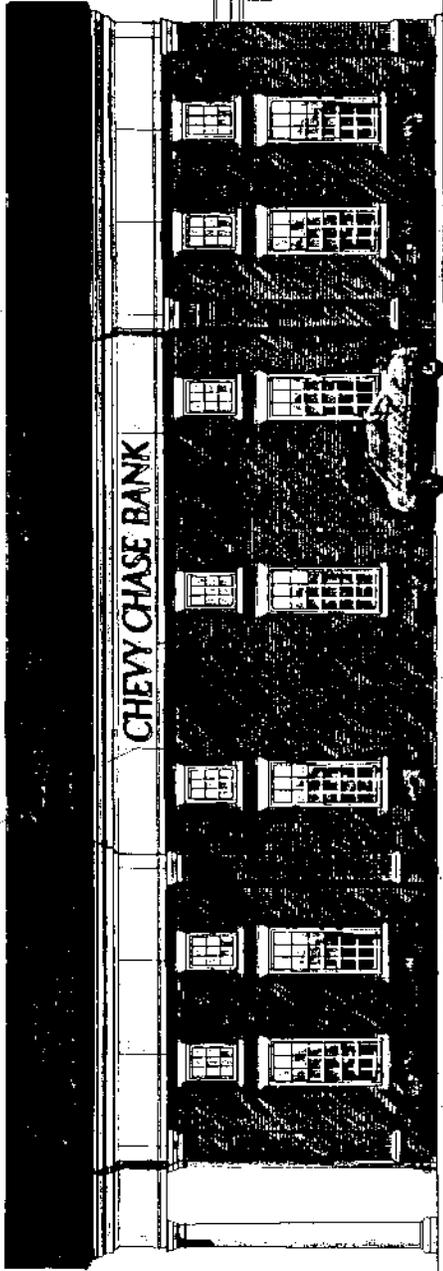
CHEVY CHASE BANK
CENTREVILLE BRANCH

EXTERIOR FINISH SCHEDULE

BRICK:	GLUSMA CANVET #1M MODULAR FACE BRICK - MORTAR COLOR TO MATCH GLEYS. GLEYS: PORTLAND CEMENT / UME BLEND
METAL ROOF:	STANDING SEAM METAL ROOF - GUTTERS, DOWNSPOUTS AND EXPOSED FLASHING TO MATCH PAC-CLAD "MURKET GREY"
ENTRANCE AND "EDUMENTS":	E.F.F.S. TO MATCH DRYVOT "INDIANA LIMESTONE" #D510622. PREFINISHED METAL COPING AT E.F.F.S. TO MATCH COLOR OF E.F.F.S.
MORTAR COLUMNS:	TUSCAN STYLE, ROUND WOOD COLUMNS, UNFLUTED 12" DIA. AT BASE PAINTED TO MATCH E.F.F.S.
WINDOWS:	ALUMINUM CLAD, WHITE, SINGLE HUNG (JW670)
PRECAST CONCRETE:	WINDOW SILLS AND HEADS, DOOR HEADS (NOT AT ENTRANCE), AND ACCENT AT BASES OF BRICK PILLARS TO BE PRECAST TO MATCH COLOR OF E.F.F.S.
EXTERIOR WOODWORK:	WASTER AND TRIMMENT SUBROUNDS AT ENTRY AND GRESS DOORS PAINTED SEMI-GLOSS WHITE TO MATCH CLAD WINDOWS
ENTRY DOORS:	ENTRY DOORS AND TRANSOM NATURAL CHERRY WITH CLEAR FINISH
SIGNAGE:	"15" X 18" INDIVIDUALLY MOUNTED, INTERNALLY ILLUMINATED CHANNEL LETTERS. PLACIALS FACE. RFD WITH 4381 TRUCK CAP LETTER BODY. - ALUMINUM, PAINTED BLACK

Leo A Daly

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PLANNING
ARCHITECTURE
ENGINEERING
INTERIORS



SIDE ELEVATION



REAR DRIVE-THRU ELEVATION

**CHEVY CHASE BANK
CENTREVILLE BRANCH**

Leo A. Daly