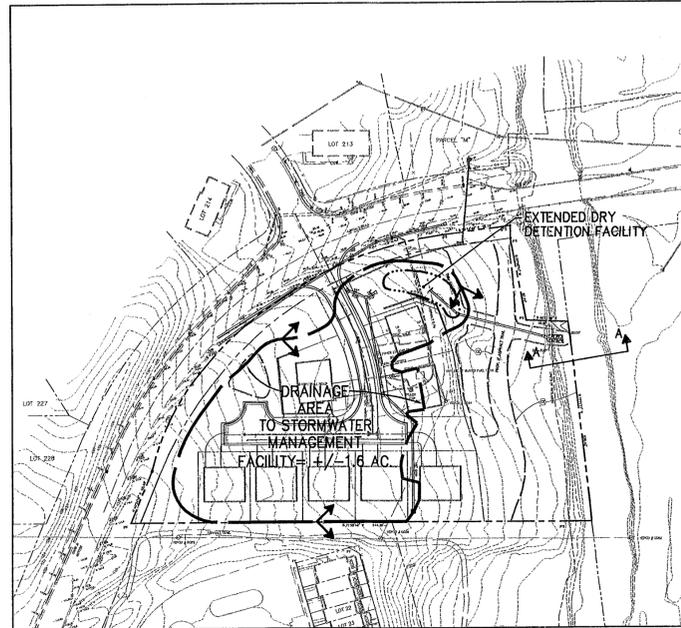
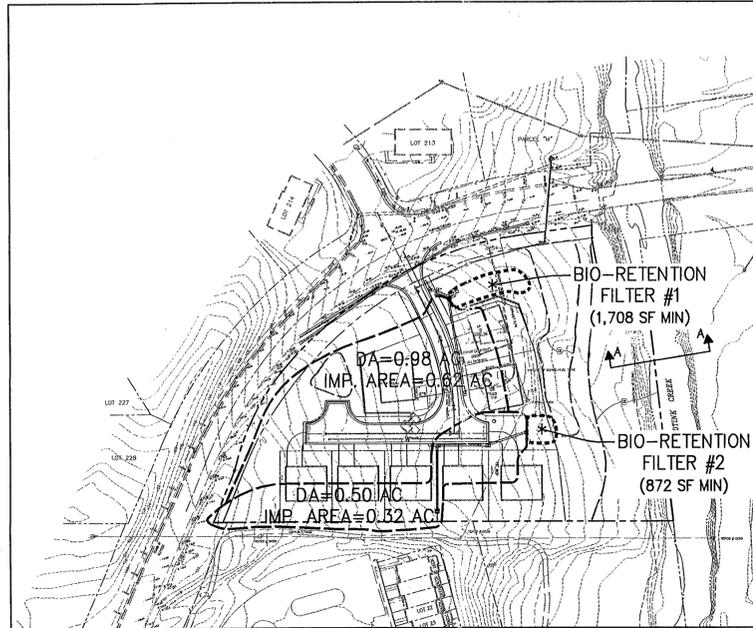


ALTERNATIVE #1

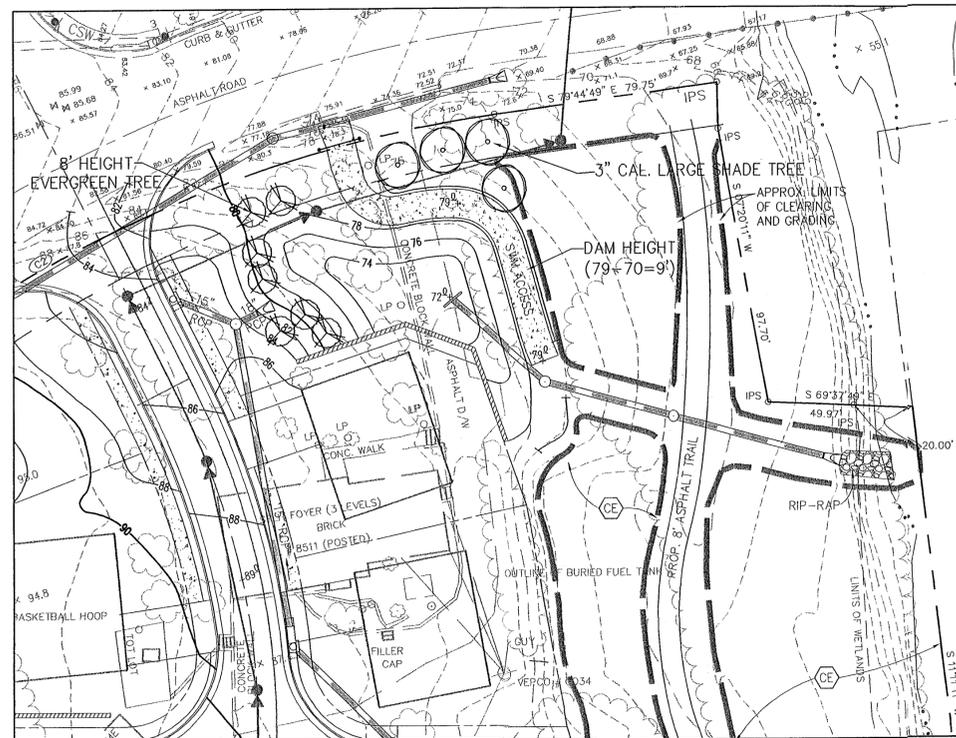


DRAINAGE AREA MAP (DRY POND)
SCALE: 1" = 100'

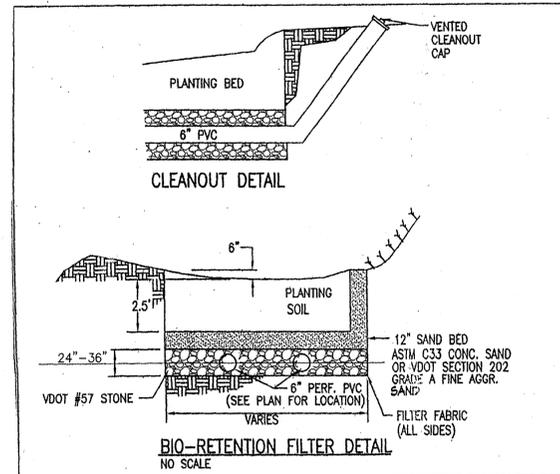
ALTERNATIVE #2



DRAINAGE AREA MAP (BIO RETENTION)
SCALE: 1" = 100'



CONCEPTUAL STORMWATER MANAGEMENT FACILITY (DRY POND)
SCALE: 1" = 30'



STORMWATER MANAGEMENT NARRATIVE:

TWO ALTERNATIVES ARE PROPOSED FOR SATISFYING THE DETENTION AND WATER QUALITY REQUIREMENTS FOR THIS PROJECT. ALTERNATIVE #1 PROPOSES A CONVENTIONAL DRY POND ALONG WITH THE CREATION OF CONSERVATION EASEMENTS AND CREDIT FOR QUALIFYING OPEN SPACE. ALTERNATIVE #2 WHICH IS DEPENDENT ON APPROVAL OF A STORMWATER DETENTION WAIVER PROPOSES TWO BIO-FILTERS ALONG WITH CREATION OF CONSERVATION EASEMENTS AND CREDIT FOR QUALIFYING OPEN SPACE.

ALTERNATIVE #1 - THIS ALTERNATIVE PROPOSES AN EXTENDED DRY DETENTION FACILITY ALONG WITH CREATION OF CONSERVATION EASEMENTS AND CREDIT WITHIN THE FLOODPLAIN AREA FOR QUALIFYING OPEN SPACE. THE EXTENDED DRY DETENTION FACILITY WILL UTILIZE A COMBINED SPILLWAY OUTFLOW TO REDUCE THE DISTURBANCE IN THE FLOODPLAIN. THIS STORMWATER MANAGEMENT STRATEGY WILL ALLOW DETENTION OF THE PEAK 2 AND 10 YEAR STORMS TO PREDEVELOPMENT LEVELS AND PROVIDE 40 PERCENT PHOSPHOROUS REMOVAL FOR THE SITE. THE ESTIMATED WATER QUALITY VOLUME REQUIRED FOR THE DRAINAGE AREA TO THE FACILITY IS 2,100 CF AND THE ESTIMATED VOLUME TO ATTENUATE THE 10-YEAR RUNOFF IS 2,150 CF FOR A TOTAL VOLUME OF 4,250 CF. THIS VOLUME IS PROVIDED AT APPROXIMATELY ELEVATION 77.0 WHICH ALLOWS 2' OF FREEBOARD TO ACCOMMODATE THE FREEBOARD AND SPILLWAY DESIGN HYDROGRAPHS. THE EXACT VOLUMES AND ELEVATIONS ARE SUBJECT TO ADJUSTMENT WITH FINAL ENGINEERING AND PLAN REVIEW.

ALTERNATIVE #2 - THIS ALTERNATIVE PROPOSES A WAIVER OF STORMWATER DETENTION AND CONSTRUCTION OF TWO BIO-FILTERS ALONG WITH CREATION OF CONSERVATION EASEMENTS AND CREDIT WITHIN THE FLOODPLAIN AREA OF QUALIFYING OPEN SPACE. THE BIO-FILTERS WILL BE DESIGNED PER THE NORTHERN VIRGINIA BMP HANDBOOK AND THE VIRGINIA STORMWATER MANAGEMENT HANDBOOK STANDARD 3.11. EFFORTS WILL BE MADE TO OUTLET THE FLOW FROM THE FILTERS IN A NON-CONCENTRATED MANNER AND AVOID CLEARING FOR AN OUTLET DOWN TO THE CREEK. DESIGN TO TREAT 10" OF RUNOFF FROM PROPOSED IMPERVIOUS AREAS. FOLLOWING IS A CONCEPTUAL DESIGN OF THE FILTERS:

Filter #1
Impervious Area to facility = 0.98 acres = 42,688 sf
Floor Area = 4% of impervious area = 1,708 sf = 0.04 acres
Plantings Required = 1,000 stems/acre = 40 trees and shrubs
Plantings Proposed = 15 trees and 27 shrubs
Filter will provide a minimum detention volume = 1,708 X 0.4 X 2 = 1,366 CF

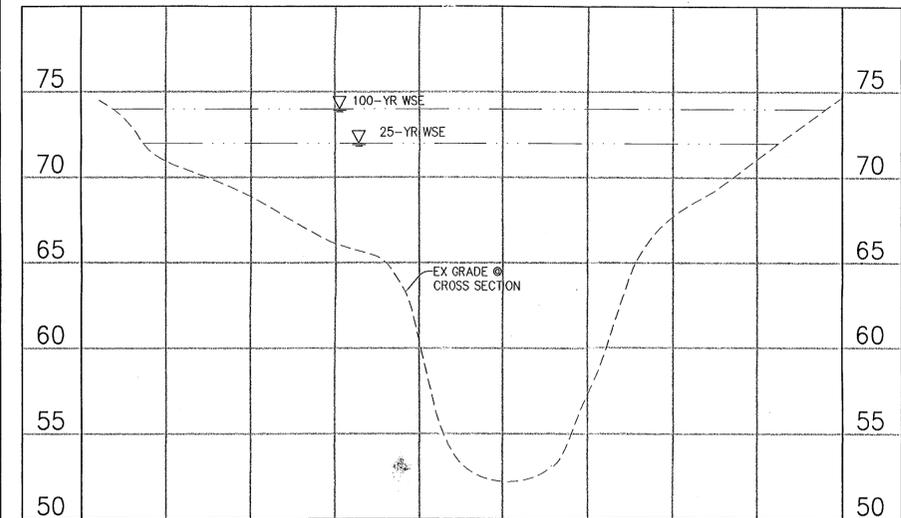
Filter #2
Impervious Area to facility = 0.50 acres = 21,780 sf
Floor Area = 4% of impervious area = 872 sf = 0.02 acres
Plantings Required = 1,000 stems/acre = 20 trees and shrubs
Plantings Proposed = 6 trees and 14 shrubs
Filter will provide a minimum detention volume = 872 X 0.4 X 2 = 698 CF

OUTFALL NARRATIVE:

DRAINAGE FROM THE PROPERTY WILL DISCHARGE BY SHEET FLOW FROM THE YARD AREAS AND FROM THE BIO-RETENTION FILTERS TO THE EAST WITH ALTERNATIVE #2 OR BY PIPED CONCENTRATED FLOW FROM THE STORMWATER DRY POND WITH ALTERNATIVE #1. DISCHARGE WILL BE DIRECTLY INTO THE FLOODPLAIN AREA OF ACCOTINK CREEK. THIS FLOODPLAIN HAS A DRAINAGE AREA GREATER THAN 100 TIMES THE AREA OF THE DEVELOPMENT PROPERTY. THIS OUTFALL SATISFIES PFC CRITERIA FOR AN ADEQUATE OUTFALL. SEE DETAILED CROSS-SECTION BELOW.

LANDSCAPING NOTE:

LANDSCAPING TO BE PROVIDED IN ACCORDANCE WITH THE ZONING ORDINANCE AND PUBLIC FACILITIES MANUAL.



CROSS SECTION A-A
PER BOS ADOPTED ACCOTINK CREEK STUDY:
Q₂₅ = 12,300 cfs Q₅₀ = 15,300 cfs Q₁₀₀ = 18,100 cfs
ELEV = 72.0 ELEV = 73.0 ELEV = 74.0
10-YR RUNOFF INCREASE WITHOUT DETENTION = 2.60 cfs

INFORMATION ON THIS SHEET PREPARED BY BOWMAN CONSULTING. INFORMATION SHOWN IS CONCEPTUAL AND SUBJECT TO CHANGE WITH FINAL ENGINEERING. INFORMATION ON THIS SHEET IS FOR CONCEPTUAL STORMWATER MANAGEMENT ONLY.

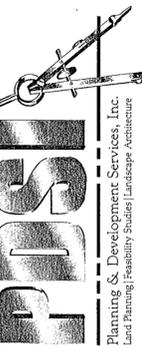
Bowman Consulting Group, Ltd.
14020 Thunderbolt Place
Suite 300
Chantilly, Virginia 20151
Phone: (703) 464-1000
Fax: (703) 461-9720
www.bowmanconsulting.com
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REVISION BLOCK		
#	DESCRIPTION	DATE
1	REVISIONS PER COUNTY STAFF & CITIZEN INPUT	12-8-04
2	REVISIONS PER COUNTY STAFF & CITIZEN INPUT	1-5-05
3	REVISIONS PER COUNTY STAFF	1-10-05
4	REVISIONS PER COUNTY STAFF	1-31-05

Application No. 2005-001-00-031 Staff LS
APPROVED DEVELOPMENT PLAN
(DP) (GDP) (CDP) (EDP)
SEE PROFFERS DATED 3-18-05
Date of (BOS) (PC) approval 3-21-05
Sheet 5 of 5

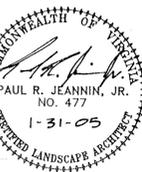
RECEIVED
Department of Planning & Zoning
MAR 28 2005
Zoning Evaluation Division



Planning & Development Services, Inc.
10012 Island Fox Ct.
Bristow, VA 20136
703-393-9521
www.pdsinc.com

CONCEPTUAL / FINAL DEVELOPMENT PLAN

ALBAN COVE
(THE MAZZELLO PROPERTY)
MOUNT VERNON DISTRICT
FAIRFAX COUNTY, VIRGINIA



JUNE 23, 2004
PDS PROJECT # 231
SCALE: 1" = 30'
SHEET 5 OF 5



FRONT ELEVATION #1 (NOT AVAILABLE W/ OPT. ATTIC)
NOT TO SCALE



FRONT ELEVATION #2 (NOT AVAILABLE W/ OPT. ATTIC)
NOT TO SCALE



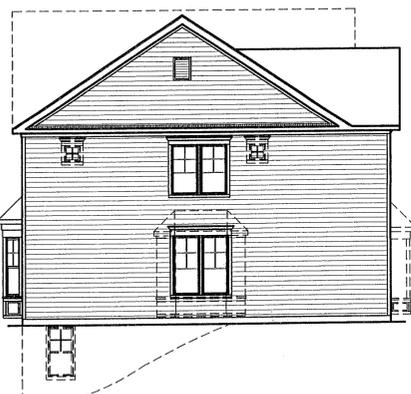
FRONT ELEVATION #3
NOT TO SCALE



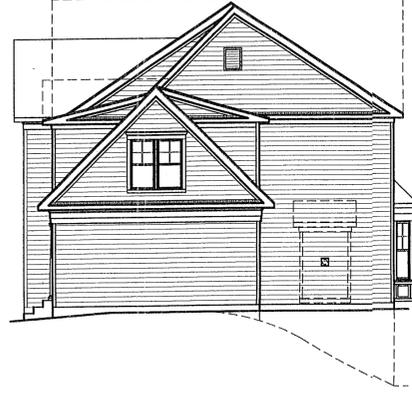
FRONT ELEVATION #4
NOT TO SCALE



FRONT ELEVATION #5
NOT TO SCALE



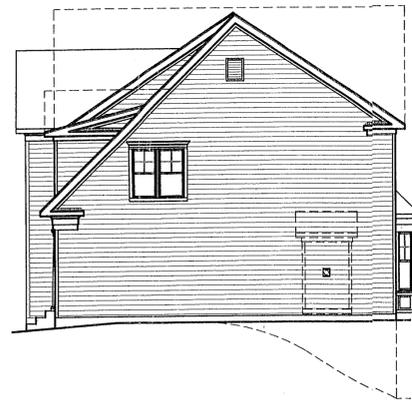
LEFT SIDE ELEVATION
NOT TO SCALE



RIGHT SIDE ELEVATION
NOT TO SCALE



REAR ELEVATION
NOT TO SCALE

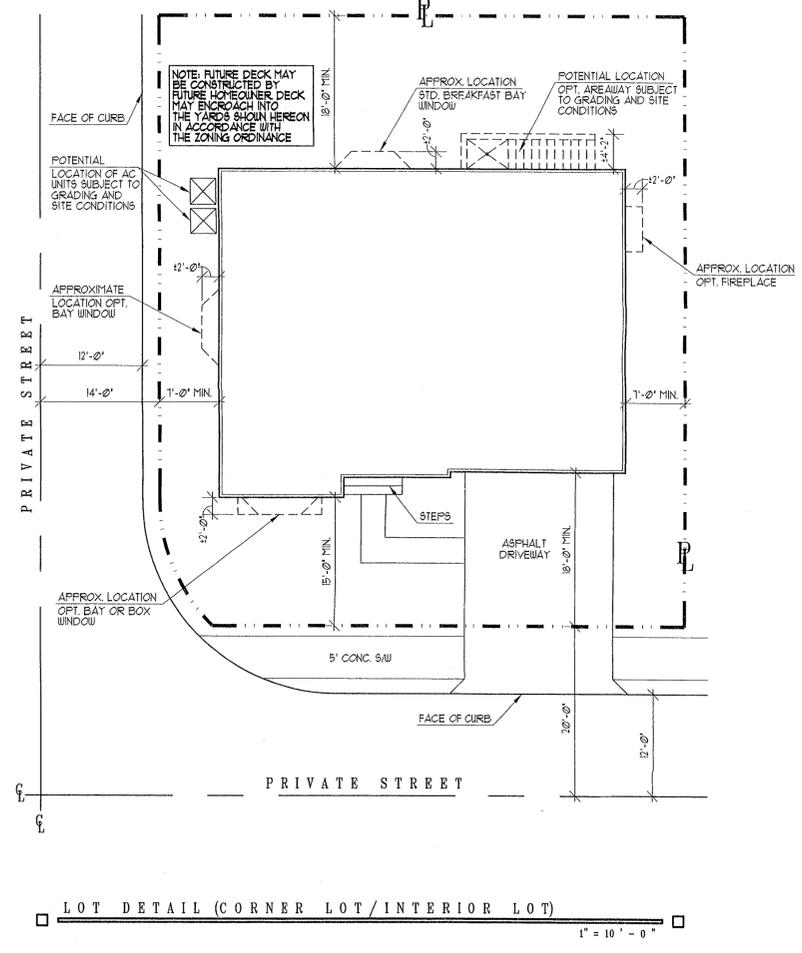


RIGHT SIDE ELEVATION
W/ OPT. FAMILY ROOM EXT. N.T.S.



REAR ELEVATION
W/ OPT. FAMILY ROOM EXT. N.T.S.

- STANDARD FEATURES UPGRADES:**
- COLONIAL BEADED WIDE SIDING
 - HEAD FEATURES OVER WINDOWS ON REAR ELEVATIONS
 - ARCHITECTURAL GRADE ROOF SHINGLES
 - BAY WINDOW ON REAR ELEVATION
 - EXTRA WIDE TRIM SURROUND ON REAR WINDOWS



LOT DETAIL (CORNER LOT / INTERIOR LOT)

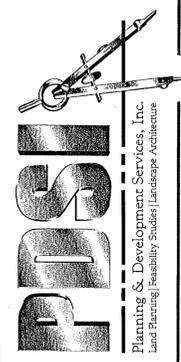
Application No. RR 2004-110-3/Staff CS
 APPROVED DEVELOPMENT PLAN
 (DP) (GDP) (CDP) (FDP) 3-18-05
 SEE PROCEEDERS DATED 3-21-05
 Date of (BOS) / (PA) approval 3-21-05
 SHEET 4 OF 5

THIS SHEET PREPARED BY:

SUTTON YANTIS ASSOCIATES ARCHITECTS

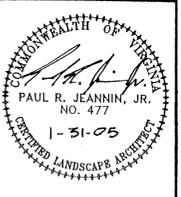
www.syaa.com 8300 Boone Blvd. Tel. 703.734.9733
 Vienna, VA 22182 Fax. 703.847.9171

REVISION BLOCK		
#	DESCRIPTION	DATE
1	REVISIONS PER COUNTY STAFF & CITIZEN INPUT	12-8-04
2	REVISIONS PER COUNTY STAFF & CITIZEN INPUT	1-5-05
3	REVISIONS PER COUNTY STAFF	1-10-05
4	REVISIONS PER COUNTY STAFF	1-31-05



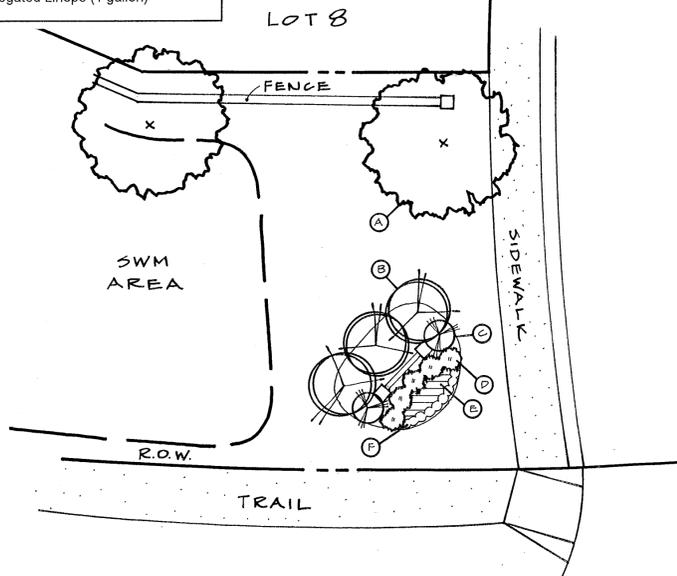
Planning & Development Services, Inc.
 10012 Island Pk Ct
 Bristow, VA 20136
 703-393-9521
 www.mprdsi.com

CONCEPTUAL / FINAL DEVELOPMENT PLAN
ALBAN COVE
 (THE MAZZELLO PROPERTY)
 MOUNT VERNON DISTRICT
 FAIRFAX COUNTY, VIRGINIA



JUNE 23, 2004
 PDSI PROJECT # 231
 SCALE: 1" = 30'
 SHEET 4 OF 5

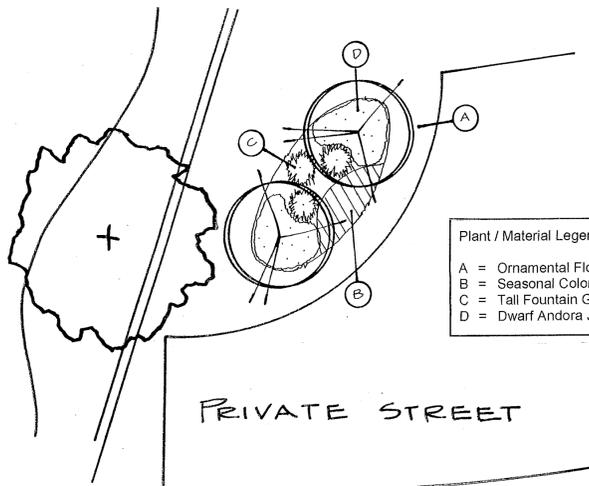
Plant Legend:
 A = Deciduous Shade Tree (3" caliper)
 B = Crepe Myrtle (6-7' height)
 C = Tall Evergreen Shrub / Holly (4' height)
 D = Low Evergreen Shrub (1 gallon)
 E = Seasonal Color
 F = Variegated Liriope (1 gallon)



Entry Sign Planting Detail

(Not To Scale)

Note: For Illustrative Purposes Only.

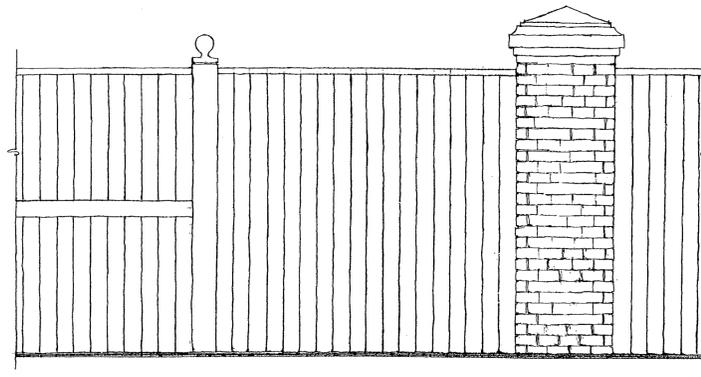


Landscaped Island Planting Detail

(Not To Scale)

Note: For Illustrative Purposes Only.

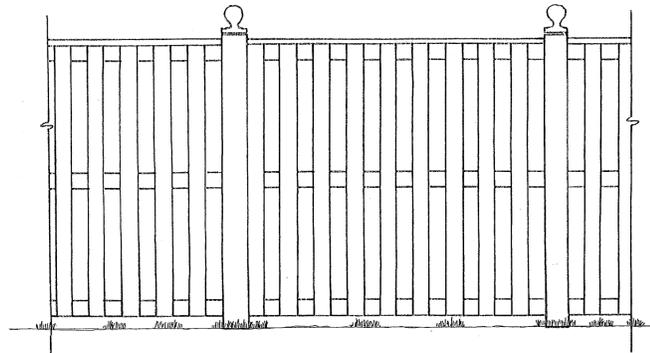
REVISION BLOCK		
#	DESCRIPTION	DATE
1	REVISIONS PER COUNTY STAFF & CITIZEN INPUT	12-8-04
2	REVISIONS PER COUNTY STAFF & CITIZEN INPUT	1-5-05
3	REVISIONS PER COUNTY STAFF	1-10-05
4	REVISIONS PER COUNTY STAFF	1-31-05



Sound Attenuation Fence Sketch

(Not To Scale)

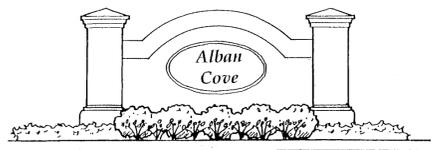
Note: For Illustrative Purposes Only. Subject to final design and zoning requirements. Piers shall be made of brick with a concrete pre-cast cap. The solid wood fence shall have alternating panels.



Alternating Board on Board Screening Fence

(Not To Scale)

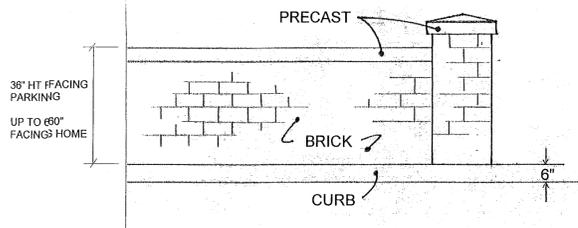
Note: For Illustrative Purposes Only.



Entry Sign Detail

(Not To Scale)

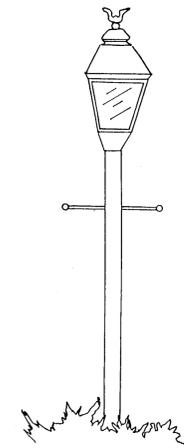
Note: For Illustrative Purposes Only. Subject to final design and zoning regulations. Sign shall be made of brick with a precast sign panel and precast caps. Height not to exceed 8 feet.



Brick Wall Detail

(Not To Scale)

Note: For Illustrative Purposes Only.

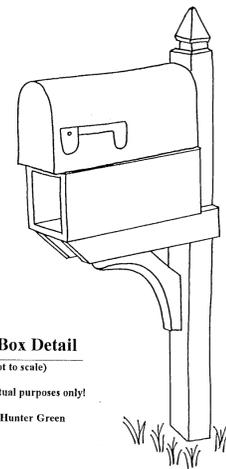


Lamp Post Detail

(Not to scale)

For conceptual purposes only!

Color: Black



Mail Box Detail

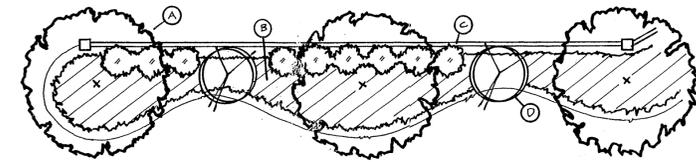
(Not to scale)

For conceptual purposes only!

Color: Hunter Green

Plant / Material Legend:

- A = Large Deciduous Shade Tree (3" caliper)
(All limbs to be removed up to 6' in height or greater as required by VDOT)
 - B = Groundcover Juniper - low growing (2' Gallon)
 - C = Hicks Yew (30" ht) (Or Similar Narrow Growing Evergreen)
 - D = Crepe Myrtle (6' to 7' ht.) or a continuation of Hicks Yew where constrained by sight distance easement.
- Landscape pattern may vary as necessary to accommodate sight distance.

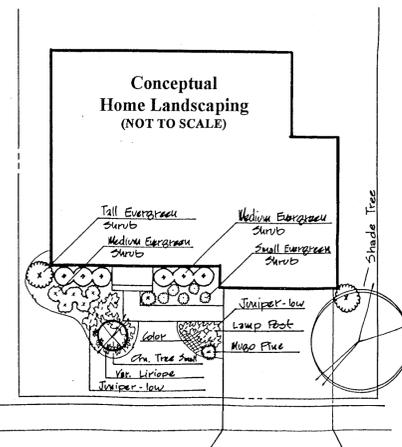


Sound Fence Planting Detail

(Not To Scale)

Note: For Illustrative Purposes Only.

RD 2004-MV-03
 Application No. FDP204-TV-03/ Staff CS
 APPROVED DEVELOPMENT PLAN
 (DP) (GDP) (CDP) (FDP) 3-18-05
 SEE PROFESSIONALS DATED 3-18-05
 Date of (BOS) (PC) approval 3-21-05
 Sheet 3 of 5



Illustrative Home Landscape Plan

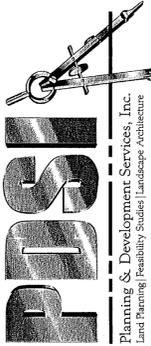
(Not To Scale)

Note: Plant types and sizes are shown on the adjacent list

Plant types and sizes:

Quantities are illustrated on sketch unless noted herein. Concept to be adjusted per actual architecture and adjustments shall be permitted to match footprint.)

- Evergreen Tree - 6 ft to 8 ft ht.
(Leyland Cypress, Austrian Pine or Wt. Pine)
- Ornamental Tree - 1" caliper
(Yoshino Cherry, Purpleleaf Plum or Wt. Dogwood)
- Tall Evergreen Shrub - 5 ft ht.
(Nellie Stevan's Holly or Foster's Holly)
- Small Evergreen Shrub - 2 Gallon
(Gumpo Azalea - white)
- Medium Evergreen Shrub (foundation) - 24" height
(Japanese Holly or Upright Yew)
- Medium Evergreen Shrub (second tier) - 15 to 18" height
(Azalea sp. - color to match house trim and brick colors)
- Mugo Pine - 31 gallon
(Dwarf)
- Variegated Liriope - 1 gallon
- Juniper - low - 2 gallon
(Japanese Garden Juniper or Dwarf Andorra Juniper)
- Ornamental Tree - small - 5 ft to 6 ft ht.
(Japanese Maple, Crepe Myrtle or Magnolia)
- Color - Qty 18: (4" pots)
(Red and white Begonias (summer), Pansy (spring / fall) - as season permits)
- Shade Tree - 2" caliper
(Red Maple (preferred) or Willow Oak)



Planning & Development Services, Inc.
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CONCEPTUAL / FINAL DEVELOPMENT PLAN

ALBAN COVE

(THE MAZZELLO PROPERTY)
 MOUNT VERNON DISTRICT
 FAIRFAX COUNTY, VIRGINIA



JUNE 23, 2004

PDSI PROJECT # 231

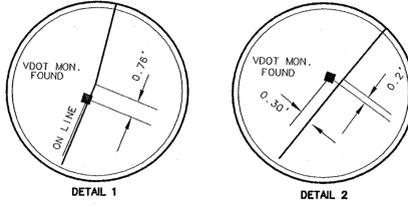
SCALE: 1" = 30'

SHEET 3 OF 5

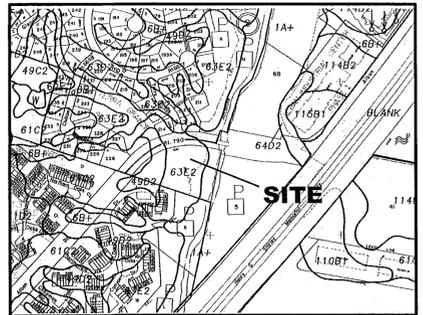
CURVE TABLE

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
C1	25°26'00"	290.10'	128.77'	65.47'	127.72'	N 44°14'11" E
C2	43°18'02"	447.47'	338.17'	177.62'	330.18'	N 78°36'11" E

DEMOLITION NOTE
 THE EXISTING HOME SHOWN HEREON, BUILT IN 1963, SHALL BE REMOVED. IN ADDITION, THE EXISTING DRIVEWAY WITH BLOCK WALL AND CULVERT, FRONT ENTRY CONC. WALK, TOT LOT, BASKETBALL HOOP, FRAME SHED / RAMP AND SERVICE LINES / POLES FOR THE EXISTING DWELLING, LIGHT POLES (LP), FUEL TANK, PATIO AND REAR YARD BLOCK WALL SHALL BE REMOVED.



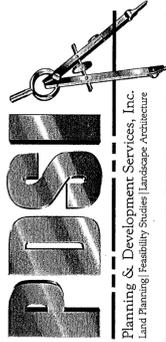
DETAILS
NOT TO SCALE



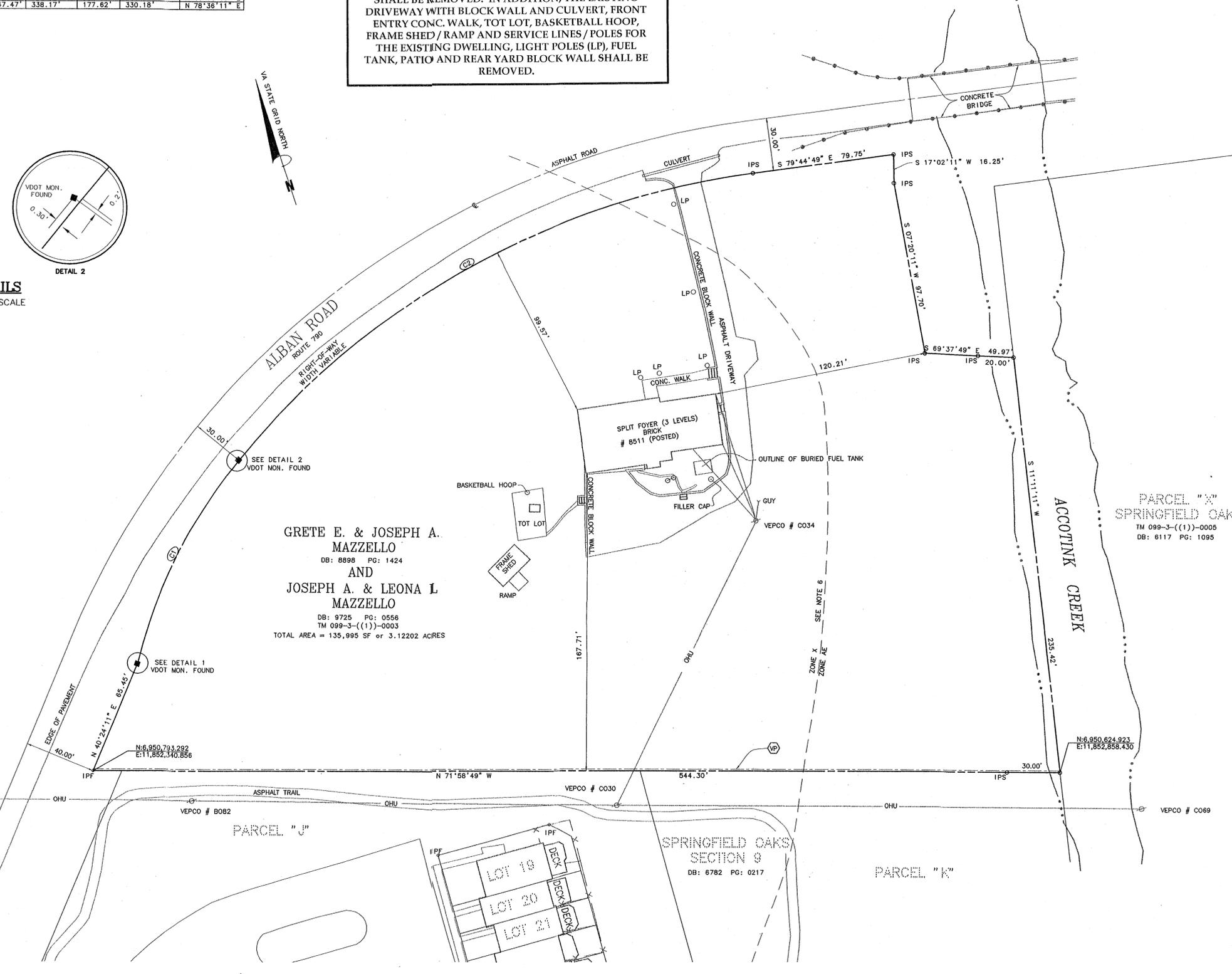
ONSITE SOILS:
 1 - MIXED ALLUVIAL, CLASS A, HYDRIC
 49 - LUNT (FSL), CLASS A, UNSTABLE
 61 - LOAMY / GRAVELLY SEDIMENTS, CLASS A, UNSTABLE
 63 - LOUISBURG, CLASS C

SOILS MAP

1" = 500'



Planning & Development Services, Inc.
 10012 Island Fog Ct.
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GRETE E. & JOSEPH A. MAZZELLO
 DB: 8898 PG: 1424
AND
JOSEPH A. & LEONA L. MAZZELLO
 DB: 9725 PG: 0556
 TM 099-3-((1))-0003
 TOTAL AREA = 135,995 SF or 3.12202 ACRES

PARCEL "X" SPRINGFIELD OAK
 TM 099-3-((1))-0005
 DB: 6117 PG: 1095

SPRINGFIELD OAKS SECTION 9
 DB: 6782 PG: 0217

Application No. R2/FDP 2004-HV-031
 APPROVED DEVELOPMENT PLAN
 (DP) (GDP) (GDP) (GDP)
 SEE PROPPERS MAPS
 Date of (BOS) (PC) Approval 3-21-05
 Sheet 2 of 5

CONCEPTUAL / FINAL DEVELOPMENT PLAN

ALBAN COVE
 (THE MAZZELLO PROPERTY)
 MOUNT VERNON DISTRICT
 FAIRFAX COUNTY, VIRGINIA



Bowman CONSULTING
 Bowman Consulting Group, Ltd.
 14020 Thunderbolt Place Suite 300
 Chantilly, Virginia 20151
 Phone: (703) 464-1000
 Fax: (703) 461-9720
 www.bowmanconsulting.com

THIS SHEET HAS BEEN PROVIDED TO PLANNING AND DEVELOPMENT SERVICES BY BOWMAN CONSULTING GROUP, LTD. FOR USE AS PART OF THIS GENERAL DEVELOPMENT PLAN. ALL SURVEYING REPRESENTED HEREON HAS BEEN PROVIDED BY BOWMAN CONSULTING GROUP, INC.

APPROXIMATE LOCATION & EXISTING VEPCO ELEMENT DEED BOOK 658 PAGE 64



REVISION BLOCK		
#	DESCRIPTION	DATE
1	REVISIONS PER COUNTY STAFF & CITIZEN INPUT	12-8-04
2	REVISIONS PER COUNTY STAFF & CITIZEN INPUT	1-5-05
3	REVISIONS PER COUNTY STAFF	1-10-05
4	REVISIONS PER COUNTY STAFF	1-31-05

JUNE 23, 2004
 PDSI PROJECT # 231
 SCALE: 1" = 30'
 SHEET 2 OF 5

TABULATIONS

SITE AREA	= 135,995SF (3.12202 AC)
EXISTING ZONING	= R-1
PROPOSED ZONING	= PDH-3 (SINGLE FAMILY DETACHED)
AVERAGE LOT AREA	= NONE
REQUIRED PROVIDED	= GREATER THAN 5200 S.F.
MINIMUM LOT AREA	= NONE
REQUIRED PROVIDED	= 4,900 S.F. OR GREATER
MINIMUM LOT WIDTH	= NONE REQUIRED / PROVIDED 62 FT OR MORE
INTERIOR CORNER	= NONE REQUIRED / PROVIDED 62 FT OR MORE
MAXIMUM BUILDING HEIGHT	= 40 FEET
MINIMUM YARD REQUIREMENTS (AS PROFFERED - SEE LOT DETAIL ON SHEET 4)	
OPEN SPACE	
REQUIRED PROVIDED	= 20.0 % (27,199 SF) = 50.0 % (GREATER THAN 68,000 SF)
PARCEL A = 48,000 SF APPROX (34,000 SF OPEN SPACE + 14,000 SF NON-OPEN SPACE)	
(NON-OPEN SPACE = TRAVELWAYS / DRIVEWAYS)	
PARCEL B = 34,000 SF APPROX. (ALL WITHIN OPEN SPACE)	
PARKING	
REQUIRED PROVIDED	= 18 SPACES (2 SP/UNIT) = 37 SPACES (4 SP/UNIT + 5 VISITOR SPACES)
DENSITY	
PERMITTED (9 UNITS)	= 3.00 DU/AC
PROVIDED (8 SFD UNITS)	= 2.57 DU/AC

LEGEND:

- A = 6' MAXIMUM (MAX) HEIGHT SOUND ATTENUATION FENCE ON TOP OF 0' - 4' MAX. HT. BERM. (THE TOTAL HEIGHT OF BERM & FENCE SHALL NOT EXCEED 8' HT.)
- B = 0 - 2' MAXIMUM HEIGHT RETAINING WALL.
- C = 4' MAXIMUM HEIGHT SOUND ATTENUATION FENCE.
- D = 8' MAXIMUM HEIGHT SOUND ATTENUATION FENCE.
- E = SOUND ATTENUATION FENCE - 8' MAX. HEIGHT.
- F = SOUND ATTENUATION FENCE - 6' MAX. HEIGHT
- G = 6' MAX. HEIGHT ALTERNATING BOARD ON BOARD FENCE ON TOP OF 0' TO 2' MAX. HEIGHT BERM.
- X = 3" CALIPER LARGE DECIDUOUS SHADE TREE (TYP.)
- Y = 7' TO 8' HT. EVERGREEN TREE (TYP.)
- Z = 6' TO 7' HT. CREPE MYRTLE.
- AA = 36" HT TALL EVERGREEN SHRUB (TYP.)
- BB = CROSS-HATCHED AREA = SEE LANDSCAPE DETAILS ON SHEET THREE.

WAIVER REQUESTED:

THE APPLICANT REQUESTS A MODIFICATION OF THE COMPREHENSIVE PLAN RECOMMENDATION TO PROVIDE 56 FEET FROM CENTERLINE RIGHT-OF-WAY DEDICATION. THE APPLICANT SHALL PROVIDE 45 FEET FROM CENTERLINE RIGHT-OF-WAY DEDICATION, BUT ALSO PROVIDE A 10 FEET WIDE ANCILLARY EASEMENT FOR FUTURE CONSTRUCTION.

NOTES:

- 1) THE PROPERTY DELINEATED ON THIS SHEET IS LOCATED ON FAIRFAX COUNTY TAX MAP # 99-3 (11) PARCEL 3.
- 2) THE CURRENT OWNERSHIP IS LISTED AS FOLLOWS AS RECORDED AMONG THE LAND RECORDS OF FAIRFAX COUNTY.

PARCEL	OWNER	DEED BOOK / PAGE
3	JOSEPH A. JR. & LEONAL MAZZELLO	9725 / 0556
- 3) THE APPLICANT / CONTRACT PURCHASER IS: IVY DEVELOPMENT, L.C. 2432 SUNNY MEADOW LANE VIENNA, VA 22181-3023
- 4) THE BOUNDARY SHOWN HEREON IS THE RESULT OF A FIELD RUN SURVEY BY BOWMAN CONSULTING GROUP LTD. PERFORMED IN MAY 2004.
- 5) TOPOGRAPHIC INFORMATION IS BASED UPON AN AERIAL SURVEY COORDINATED BY BOWMAN CONSULTING GROUP LTD. PERFORMED IN MAY 2004. TOPOGRAPHY IS SHOWN AT A TWO FOOT CONTOUR INTERVAL.
- 6) A COMPLETE TITLE REPORT HAS NOT BEEN FURNISHED FOR THE PURPOSE OF THIS PLAN.
- 7) ALL CONSTRUCTION SHALL CONFORM TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS, AND ADOPTED STANDARDS OF FAIRFAX COUNTY AND VDOT EXCEPT AS REQUESTED HEREIN. THE APPLICANT RESERVES THE RIGHT TO APPLY FOR ANY FUTURE WAIVER OR MODIFICATION AT THE TIME OF SUBDIVISION PLAN PREPARATION / SUBMISSION. PLEASE ALSO SEE NOTE 18.
- 8) PLANNING AND DEVELOPMENT SERVICES, INC. (PDSI) IS NOT AWARE OF ANY UTILITY EASEMENTS, WHICH EXIST ON THE SUBJECT PROPERTY AND HAVE A WIDTH OF TWENTY-FIVE FEET OR MORE.
- 9) ALL UTILITIES INSTALLED (PROPOSED) AS PART OF THIS PROJECT SHALL BE PLACED UNDERGROUND AND INSTALLED IN A LEAST DISRUPTIVE MANNER. ANY UTILITY LOCATIONS SHOWN HEREON ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE WITH FINAL ENGINEERING.
- 10) THE SITE WILL BE SERVED BY PUBLIC WATER AND SANITARY SEWER. FINAL LOCATIONS SHALL BE DETERMINED WITH FINAL ENGINEERING AND DESIGNED IN THE LEAST DISRUPTIVE MANNER REASONABLE AND MAY RESULT IN CHANGES TO THE LIMITS OF CLEARING AND GRADINGS (SEE NOTE 19). ANY EXISTING WELL AND OR SEPTIC FIELD SHALL BE CAPPED AND / OR REMOVED IN ACCORDANCE WITH THE COUNTY'S HEALTH DEPARTMENT.
- 11) THIS PLAN IS IN CONFORMANCE WITH THE ADOPTED COMPREHENSIVE PLAN OF FAIRFAX COUNTY WHICH RECOMMENDS 2 TO 3 DWELLING UNITS PER ACRE.
- 12) A RESOURCE PROTECTION AREA (RPA), AN ENVIRONMENTAL QUALITY CORRIDOR (EQC) AND A 100 YR. FLOODPLAIN, AS DEFINED BY THE ZONING ORDINANCE AND THE COMPREHENSIVE PLAN, EXIST ON THE SUBJECT PROPERTY. THESE FEATURES HAVE BEEN SHOWN ON THE CDP/FDP PER THE 'ALBAN ROAD - RESOURCE PROTECTION AREA PLAN' (FAIRFAX COUNTY PLAN #6384-RPA-01-1) - PREPARED BY WETLAND STUDIES & SOLUTIONS, INC. DATED 11/9/04 AND APPROVED 12/15/04.
- 13) IN ACCORDANCE WITH THE COUNTY WIDE TRAILS PLAN, A STREAM VALLEY TRAIL IS REQUIRED ALONG ACCOTINK CREEK AND IS PROVIDED ON THE PLAN. THE LOCATION OF THE STREAM VALLEY TRAIL HAS BEEN FIELD LOCATED AND SURVEYED TO ENSURE LIMITED DISTURBANCE TO EXISTING TREES AND TOPOGRAPHY.
- 14) PDSI IS NOT AWARE OF ANY BURIAL SITES LOCATED ON THE SUBJECT PROPERTY.
- 15) A GEOTECHNICAL REPORT WILL BE SUBMITTED FOR REVIEW BY FAIRFAX COUNTY CONCURRENTLY WITH THE FINAL SUBDIVISION PLAN, IF REQUIRED.
- 16) NO HAZARDOUS OR TOXIC SUBSTANCES HAVE BEEN GENERATED, UTILIZED, STORED, TREATED, AND/OR DEPOSED OF OR HAVE BEEN OBSERVED ON THE SUBJECT PROPERTY.
- 17) DEVELOPMENT OF THIS PROJECT SHALL COMMENCE AT SUCH TIME AS APPROPRIATE COUNTY APPROVALS HAVE BEEN OBTAINED AND SUBJECT TO THE DISCRETION OF THE OWNER / DEVELOPER.
- 18) TWO LOCATIONS AND OPTIONS FOR ONSITE STORMWATER MANAGEMENT (SWM) AND / OR BEST MANAGEMENT PRACTICES (BMP) HAVE BEEN SHOWN ON THE CDP / FDP (SEE SHEET 5). ANY AREA NOT USED FOR STORMWATER MANAGEMENT SHALL REMAIN IN OPEN SPACE.

THE APPLICANT HAS REQUESTED A WAIVER OF STORMWATER DETENTION DUE TO THE CLOSE PROXIMITY OF ACCOTINK CREEK. THE JUSTIFICATION FOR THE WAIVER IS TO ENSURE THAT PEAK FLOW FROM THE SITE DOES NOT COINCIDE WITH THE CREEK AND THAT LIMITED RUNOFF IS BEING GENERATED.

IT IS ANTICIPATED THAT A SIGNIFICANT PORTION OF THE BMP REQUIREMENT SHALL BE MET VIA PRESERVATION OF UNDISTURBED OPEN SPACE. ANY REMAINING BMP REQUIREMENTS SHALL BE MET WITH BIO-RETENTION FILTER(S) IF THE DETENTION WAIVER IS APPROVED. NOTE: THE APPLICANT HAS ALSO PROVIDED AN OPTION FOR AN ONSITE (SWMBMP) DRY-POND IF THE WAIVER IS DISAPPROVED.
- 19) ALL DIMENSIONS AND AREAS SHOWN HEREON ARE APPROXIMATE AND ARE SUBJECT TO CHANGE WITH FINAL ENGINEERING OF THE SUBDIVISION PLAN AS PERMITTED BY THE ZONING ORDINANCE. ANY UTILITIES SHOWN HEREON ARE DEPICTED FOR ILLUSTRATIVE PURPOSES ONLY. THE ACTUAL UTILITY LAYOUT WILL BE DETERMINED WITH THE FINAL SUBDIVISION PLAN AND MAY RESULT IN A REVISED CLEARING LIMITS TO ACCOMMODATE SAID UTILITY LAYOUT.
- 20) OPEN SPACE PARCEL A SHOWN HEREON SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION EXCEPT THAT A STORM WATER MANAGEMENT FACILITY PROVIDED WITHIN (IF REQUIRED) MAY BE MAINTAINED BY THE COUNTY IN ACCORDANCE WITH COUNTY REGULATIONS. OPEN SPACE PARCEL B SHALL BE CONVEYED TO THE FAIRFAX COUNTY PARK AUTHORITY IF REQUESTED OR DESIRED. OTHERWISE, IT SHALL BE CONVEYED TO THE HOA. THE RPA LINE SHALL SERVE AS THE APPROXIMATE BOUNDARY BETWEEN PARCELS A AND B.
- 21) THE PRIVATE STREET SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THIS STREET SHALL BE ENCUMBERED BY AN INGRESS-EGRESS EASEMENT IN ACCORDANCE WITH THE COUNTY'S PUBLIC FACILITIES MANUAL.
- 22) THE RESOURCE PROTECTION AREA AND ACCOTINK CREEK ARE SPECIAL SCENIC AND NATURAL FEATURES WORTHY OF PRESERVATION ONSITE. THEY SHALL BE PRESERVED WITHIN PARCEL B.
- 23) PER THE ZONING ORDINANCE, NO TRANSITIONAL SCREENING IS REQUIRED OR PROPOSED HOWEVER, THE APPLICANT HAS PROVIDED EVERGREEN SCREENING, SHADE TREES, ATTRACTIVE LANDSCAPING AND FENCING TO PROTECT ADJACENT COMMUNITIES FROM ADVERSE EFFECTS PROMPTED BY THIS DEVELOPMENT.
- 24) THE LOCATIONS OF THE SOUND ATTENUATION FENCES AND RETAINING WALLS ARE APPROXIMATE AND ARE SUBJECT TO FINAL LOCATION & POSITIONING WITH THE FINAL SUBDIVISION PLAN. THE HEIGHTS SPECIFIED ON THIS SHEET SHALL NOT EXCEED THE HEIGHTS SPECIFIED ON THIS CDP/FDP NOR SHALL THE FENCES OR WALLS INTERFERE WITH ADEQUATE SIGHT DISTANCE.

REFERENCE:

- 1) SEE SHEET TWO FOR ADDITIONAL INFORMATION ON EXISTING FEATURES AND METES AND BOUNDS.
- 2) SEE SHEET THREE FOR PLAN AND LANDSCAPE DETAILS.
- 3) SEE SHEET FOUR FOR HOME ELEVATIONS AND A TYPICAL LOT DETAIL WITH SETBACKS.
- 4) SEE SHEETS FIVE FOR STORMWATER MANAGEMENT OPTIONS AND DETAILS.

SPRINGFIELD OAKS SECTION NINE ZONE: PDH-5 USE: S.F.A.

FAIRFAX COUNTY PARK AUTHORITY ZONE: PDH-5 USE: PARKLAND

Application No. 204-40-037 Staff CS
 APPROVED DEVELOPMENT PLAN
 (DP) (GDP) (QDP) (FDP)
 SEE PROFFERS DATED 3-17-05
 Date of (BOS) (PC) approval 3-22-05
 Sheet 1 of 5

REVISION BLOCK		
#	DESCRIPTION	DATE
1	REVISIONS PER COUNTY STAFF & CITIZEN INPUT	12-8-04
2	REVISIONS PER COUNTY STAFF & CITIZEN INPUT	1-5-05
3	REVISIONS PER COUNTY STAFF	1-10-05
4	REVISIONS PER COUNTY STAFF	1-31-05

CONCEPTUAL / FINAL DEVELOPMENT PLAN

ALBAN COVE
 (THE MAZZELLO PROPERTY)
 MOUNT VERNON DISTRICT
 FAIRFAX COUNTY, VIRGINIA

