



PROJECT NAME: SPRINGVALE/VILLAGE # 1486
PROJECT TYPE: WEST COMMUNITY POOL
PROJECT LOCATION: RAW LAND
 7008 ELKTON DRIVE
 SPRINGFIELD, VA 22152

Application No. SPA 67-5-519-02

 Chairwoman, Board of Zoning Appeals

SPECIAL EXCEPTION
 AND SPECIAL
 PERMIT PLAT



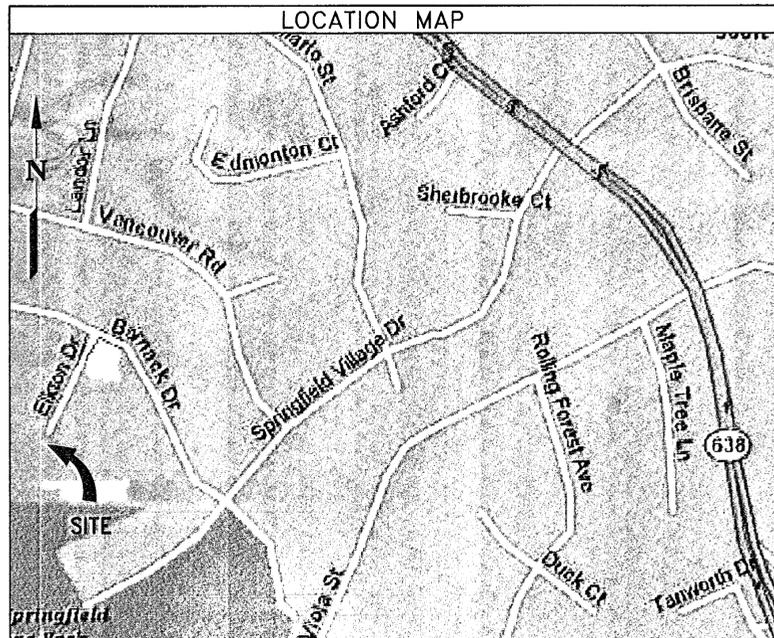
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CLARK NEXSEN

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 5510 Cherokee Avenue, Suite 110
 Alexandria, VA 22312
 703/256-3344
 Fax 703/256-6622
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NO.	SUBMITTAL		
0	1/28/05	ZONING DRAWINGS	
	BY: RTF	CHK: JYY	APP'D: GED
1	3/28/05	ZONING DRAWINGS	
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6	12/14/05	ZONING DRAWINGS	
	BY: JMB	CHK: JYY	APP'D: GED
7	03/07/06	ZONING DRAWINGS	
	BY: JMB	CHK: JYY	APP'D: GED

SITE INFORMATION
 OWNER: VILLAGE WEST INC.
 P.O. BOX 2522
 SPRINGFIELD, VA 22152
 CINGULAR I.D.#: 1486
 SITE NAME: SPRINGVALE
 APPLICANT: CINGULAR WIRELESS
 7150 STANDARD DRIVE
 HANOVER, MD 21076
 SITE ADDRESS: 7008 ELKTON DRIVE
 SPRINGFIELD, VA 22152
 COUNTY: FARIFAX
 LATITUDE: 37° 30' 3.52" N
 LONGITUDE: 77° 36' 11.813" W
 ZONING JURISDICTION: FAIRFAX COUNTY
 ZONING: R-2
 TAX ID # 0894 05 A
 TOTAL AREA OF DISTURBANCE: ± 2250 S.F.
 SPRINGFIELD MAGISTERIAL DISTRICT
 ENGINEER: CLARK NEXSEN
 5510 CHEROKEE AVE., SUITE 230
 ALEXANDRIA, VIRGINIA 22312
 CONTACT: GARY DICKINSON, P.E.
 PHONE: (703) 256-3344



CINGULAR WIRELESS CONSTRUCTION APPROVAL
 PRINT NAME: _____ DATE: _____
 SIGNATURE: _____
CINGULAR WIRELESS RF APPROVAL
 PRINT NAME: _____ DATE: _____
 SIGNATURE: _____
LANDLORD APPROVAL
 PRINT NAME: _____ DATE: _____
 SIGNATURE: _____

DRAWING INDEX

SHEET NO:	SHEET TITLE	REVISION HISTORY	
		NO:	DATE
T01	TITLE SHEET	7	03/07/06
C01	SITE PLAN	7	03/07/06
C02	ENLARGED SITE PLAN	7	03/07/06
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 SITE NAME: SPRINGVALE VILLAGE WEST COMMUNITY POOL
 SITE ADDRESS: 7008 ELKTON DRIVE
 SPRINGFIELD, VA 22152
 FAIRFAX COUNTY

DRIVING DIRECTIONS
 FROM STANDARD DR. TURN (L) ONTO PARKWAY DR. TURN (R) PARK CIRCLE DR. PARK CIRCLE DR. BECOMES COCA COLA DR. MERGE ONTO MD-100 (W). MERGE ONTO I-95 (S) VIA EXIT 5A-B TOWARDS WASHINGTON. MERGE ONTO CAPITAL BELTWAY/I-495 (W) VIA EXIT # 27 TOWARDS SILVER SPRINGS. MERGE ONTO VA-620 (W)/BRADDOCK ROAD VIA EXIT 54A. TURN (L) ON VA-638 S/ROLLING ROAD. TURN (R) ONTO BARNACK DRIVE. TURN (R) ONTO ELKTON DRIVE. ARRIVE AT 7008 ELKTON DRIVE.

PROJECT DESCRIPTION
 THIS PROJECT WILL INSTALL TELECOMMUNICATIONS EQUIPMENT ON A PROPOSED 120' TELECOM LIGHTPOLE. TWELVE ANTENNAS WILL BE PLACE ON THE POLE. ONE 11.5'x20' EQUIPMENT SHELTER WILL BE ADDED TO THE SITE. ASSOCIATED POWER AND TELEPHONE CIRCUITS WILL BE ADDED WITHIN THE SITE.

PROJECT CONTACTS

CINGULAR REPRESENTATIVE ROB FEISE CONST. MGR. 443.474.5674 r.feise@cingular.com	LANDLORD OWNER CONTACT -- EILEEN GALLAGHER 703.451.9886
CN PROJECT MANAGER GARY DICKINSON P.E. 703.256.3344 gdickinson@clarknexsen.com	ELECTRICAL COMPANY DOMINION VA POWER
CINGULAR CONSTRUCTION MANAGER BUD GILL CONST. MGR. 410.245.9977 bud.gill@cingular.com	TELEPHONE COMPANY VERIZON

DO NOT SCALE DRAWINGS
 CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEERS IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

MISS UTILITY OF VIRGINIA
SAVE BIG, CALL 72 HOURS BEFORE YOU DIG.
 1-800-552-7001

MARCH 7, 2006

DRAWN BY: RTF
 CHECKED BY: GED
 DATE DRAWN: 8/05/04
 COMM NO: 1883.2-1486

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T01

SPA 67-5-519-02
 Application No. Start JDM
 APPROVED SE (SP) PLAN
 SEE DEV CONDS DATED 4/10/06
 Date of (BOS) approval 5/23/06
 1 of 8
 Sheet

PROPOSED SHELTER SETBACKS

FRONT:	207.4'
SIDE (LEFT):	208.7'
SIDE (RIGHT):	329.5'
REAR:	20.1'
NEAREST RESIDENCE	223.2'

PROPOSED TOWER SETBACKS

FRONT:	220.9'
SIDE (LEFT):	184.9'
SIDE (RIGHT):	392.0'
REAR:	21.8'
NEAREST RESIDENCE	255.9'

LEASE AREA LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 86°35'28" W	35.40'
L2	N 37°54'56" E	25.86'
L3	S 03°24'32" E	15.58'
L4	N 86°35'28" E	67.74'
L5	S 35°21'23" W	17.06'
L6	S 54°38'37" E	34.67'
L7	S 54°38'37" E	12.40'

NOTE: NO DRAIN-FIELDS EXIST ON THE SITE. THE PROPERTY IS CONNECTED TO THE FAIRFAX COUNTY WATER AND SEWER LINES.

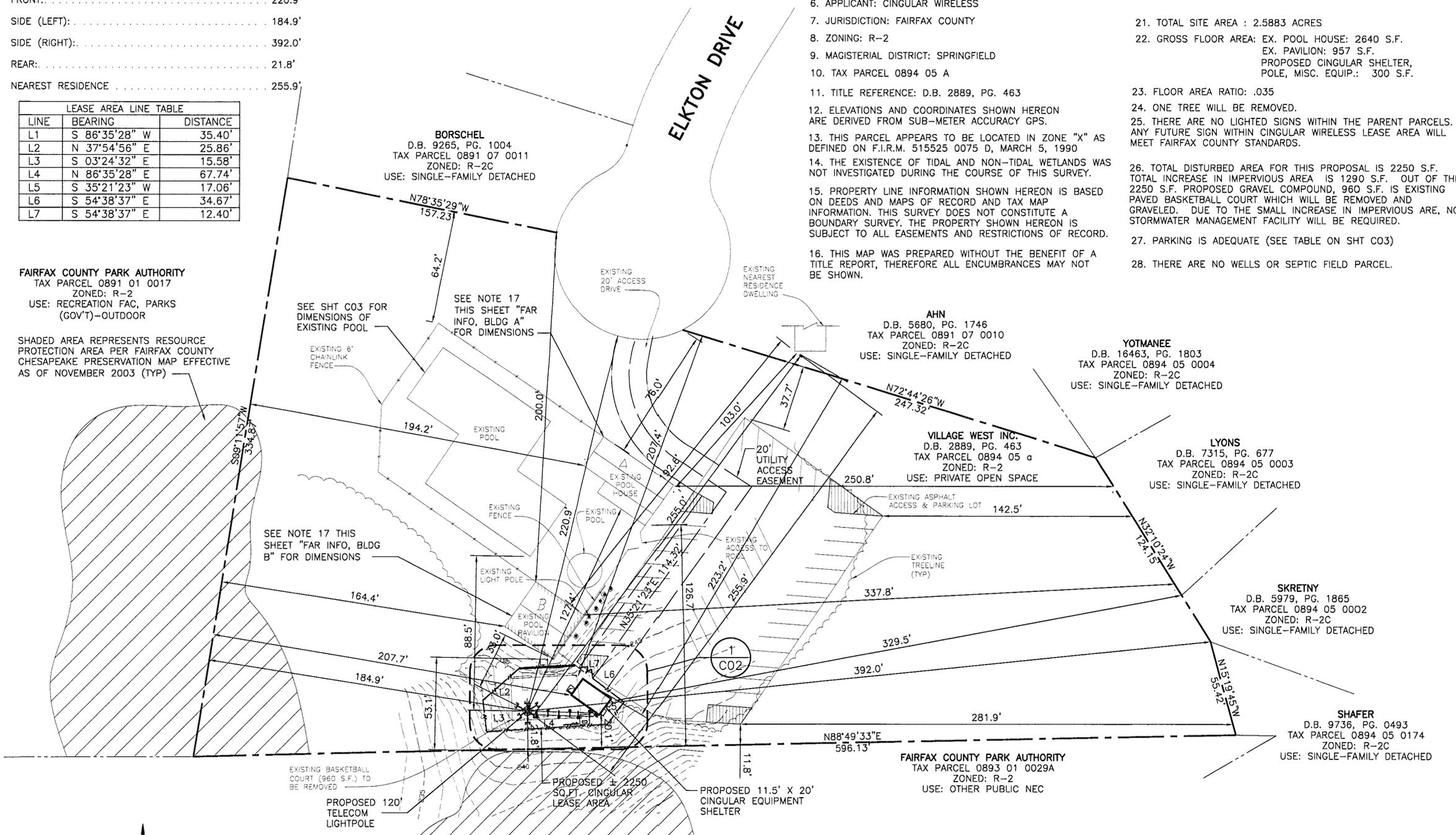
NOTE: UNSHADED AREAS WITHIN THIS PLAN REPRESENT THE RESOURCE MANAGEMENT AREA

NOTES:

- FIELD SURVEY DATE: JAN. 3, 2005
- VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1929 (NAVD 29)
- HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD 83)
- CENTER OF PROPOSED TELECOM LIGHTPOLE:
LATITUDE: N 37° 30' 03.520"
LONGITUDE: W 077° 36' 11.813"
GROUND ELEVATION: 351.5'
- OWNER: VILLAGE WEST INC.
- APPLICANT: CINGULAR WIRELESS
- JURISDICTION: FAIRFAX COUNTY
- ZONING: R-2
- MAGISTERIAL DISTRICT: SPRINGFIELD
- TAX PARCEL 0894 05 A
- TITLE REFERENCE: D.B. 2889, PG. 463
- ELEVATIONS AND COORDINATES SHOWN HEREON ARE DERIVED FROM SUB-METER ACCURACY GPS.
- THIS PARCEL APPEARS TO BE LOCATED IN ZONE "X" AS DEFINED ON F.I.R.M. 515525 0075 D, MARCH 5, 1990
- THE EXISTENCE OF TIDAL AND NON-TIDAL WETLANDS WAS NOT INVESTIGATED DURING THE COURSE OF THIS SURVEY.
- PROPERTY LINE INFORMATION SHOWN HEREON IS BASED ON DEEDS AND MAPS OF RECORD AND TAX MAP INFORMATION. THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY. THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
- THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, THEREFORE ALL ENCUMBRANCES MAY NOT BE SHOWN.
- FAR INFO:
A: POOL HOUSE BUILT 1967: 12' HEIGHT, 55' WIDE, AND 48' DEPTH.
B: PAVILION BUILT 1967: 14' HEIGHT, 29' WIDE, AND 33' DEPTH.
- THERE ARE NO GRAVE SITES OR BURIAL GROUNDS VISIBLE ON THIS PROPERTY.
- NO WATER OR SANITARY UTILITIES ARE REQUIRED FOR THE OPERATION OF THIS FACILITY.
- PROPOSED SITE AREA LIES WITHIN THE AREA DESIGNATED; "RESOURCE MANAGEMENT AREA." THIS SITE DOES NOT LIE WITHIN THE RESOURCE PROTECTION AREA OR HISTORIC OVERLAY DISTRICT.
- TOTAL SITE AREA : 2.5883 ACRES
- GROSS FLOOR AREA: EX. POOL HOUSE: 2640 S.F.
EX. PAVILION: 957 S.F.
PROPOSED CINGULAR SHELTER, POLE, MISC. EQUIP.: 300 S.F.
- FLOOR AREA RATIO: .035
- ONE TREE WILL BE REMOVED.
- THERE ARE NO LIGHTED SIGNS WITHIN THE PARENT PARCELS. ANY FUTURE SIGN WITHIN CINGULAR WIRELESS LEASE AREA WILL MEET FAIRFAX COUNTY STANDARDS.
- TOTAL DISTURBED AREA FOR THIS PROPOSAL IS 2250 S.F. TOTAL INCREASE IN IMPERVIOUS AREA IS 1290 S.F. OUT OF THE 2250 S.F. PROPOSED GRAVEL COMPOUND, 960 S.F. IS EXISTING PAVED BASKETBALL COURT WHICH WILL BE REMOVED AND GRAVELED. DUE TO THE SMALL INCREASE IN IMPERVIOUS ARE, NO STORMWATER MANAGEMENT FACILITY WILL BE REQUIRED.
- PARKING IS ADEQUATE (SEE TABLE ON SHT C03)
- THERE ARE NO WELLS OR SEPTIC FIELD PARCEL.

FAIRFAX COUNTY PARK AUTHORITY
TAX PARCEL 0891 01 0017
ZONED: R-2
USE: RECREATION FAC, PARKS (GOV'T)-OUTDOOR

SHADED AREA REPRESENTS RESOURCE PROTECTION AREA PER FAIRFAX COUNTY CHESAPEAKE PRESERVATION MAP EFFECTIVE AS OF NOVEMBER 2003 (TYP)



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NO.	SUBMITTAL
0	1/28/05 ZONING DRAWINGS BY: RTF CHK: JYY APP'D: GED
1	3/28/05 ZONING DRAWINGS BY: RTF CHK: JYY APP'D: GED
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7	03/07/06 ZONING DRAWINGS BY: JMB CHK: JYY APP'D: GED



SITE NUMBER:
1486
SITE NAME:
SPRINGVALE VILLAGE WEST COMMUNITY POOL

SITE ADDRESS:
7008 ELKTON DRIVE
SPRINGFIELD, VA 22152
FAIRFAX COUNTY

DRAWN BY:	RTF
CHECKED BY:	GED
DATE DRAWN:	8/05/04
COMM NO:	1883.2-1486

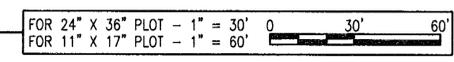
SHEET TITLE:
SITE PLAN

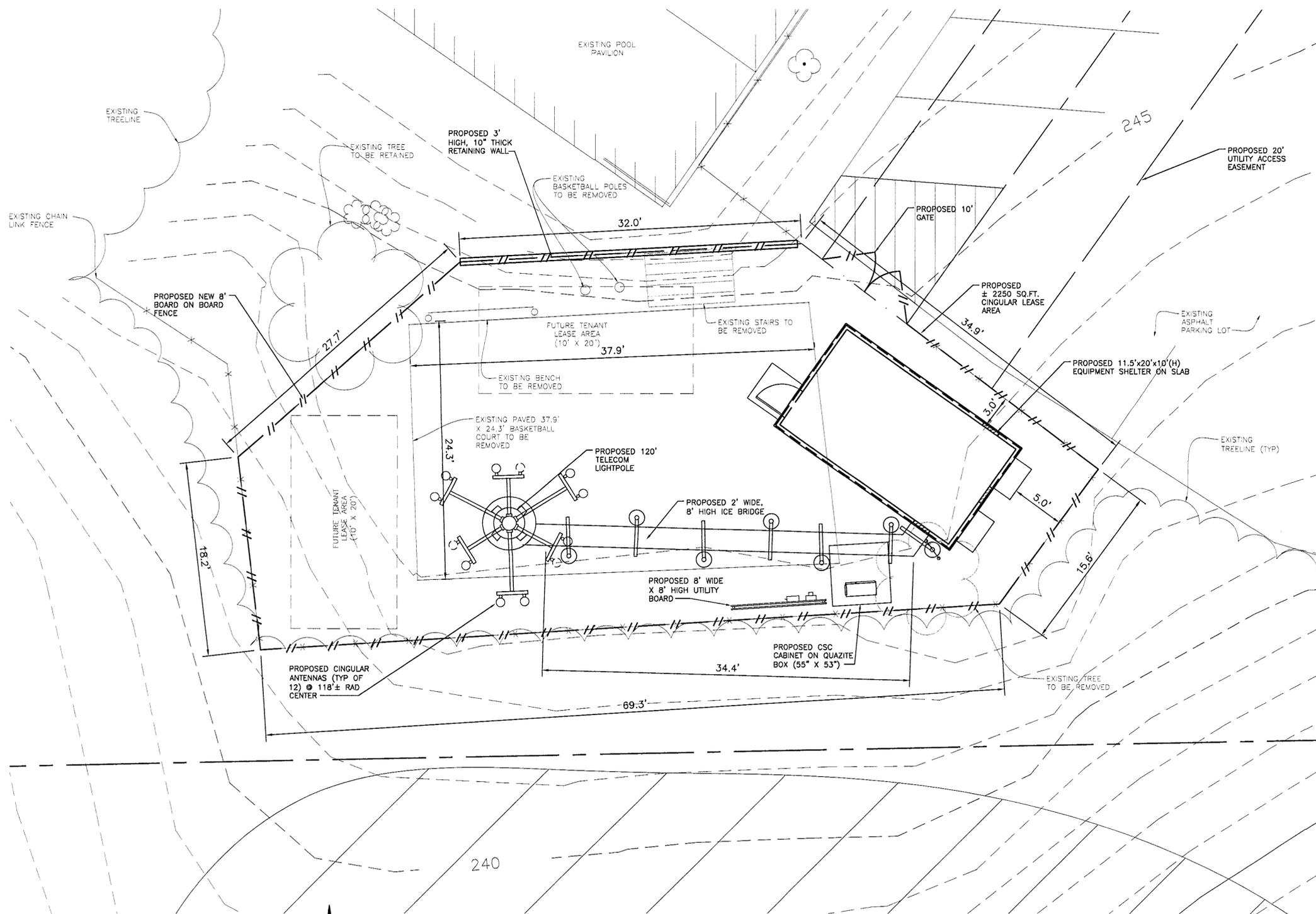
SHEET NUMBER:
C01

Application No. SPA 05-519-2
StarkJDM
APPROVED SE (S) PLAN
Date of (BOS) 4/19/06
Date of (BOS) approval 5-23-06
Sheet 2 of 8



SITE PLAN
SCALE: 1" = 30'





1
C02

ENLARGED SITE PLAN

SCALE: 1" = 5'

FOR 24" X 36" PLOT - 1" = 5'
FOR 11" X 17" PLOT - 1" = 10'

cingular™
WIRELESS
7150 STANDARD DRIVE, HANOVER MD, 21076

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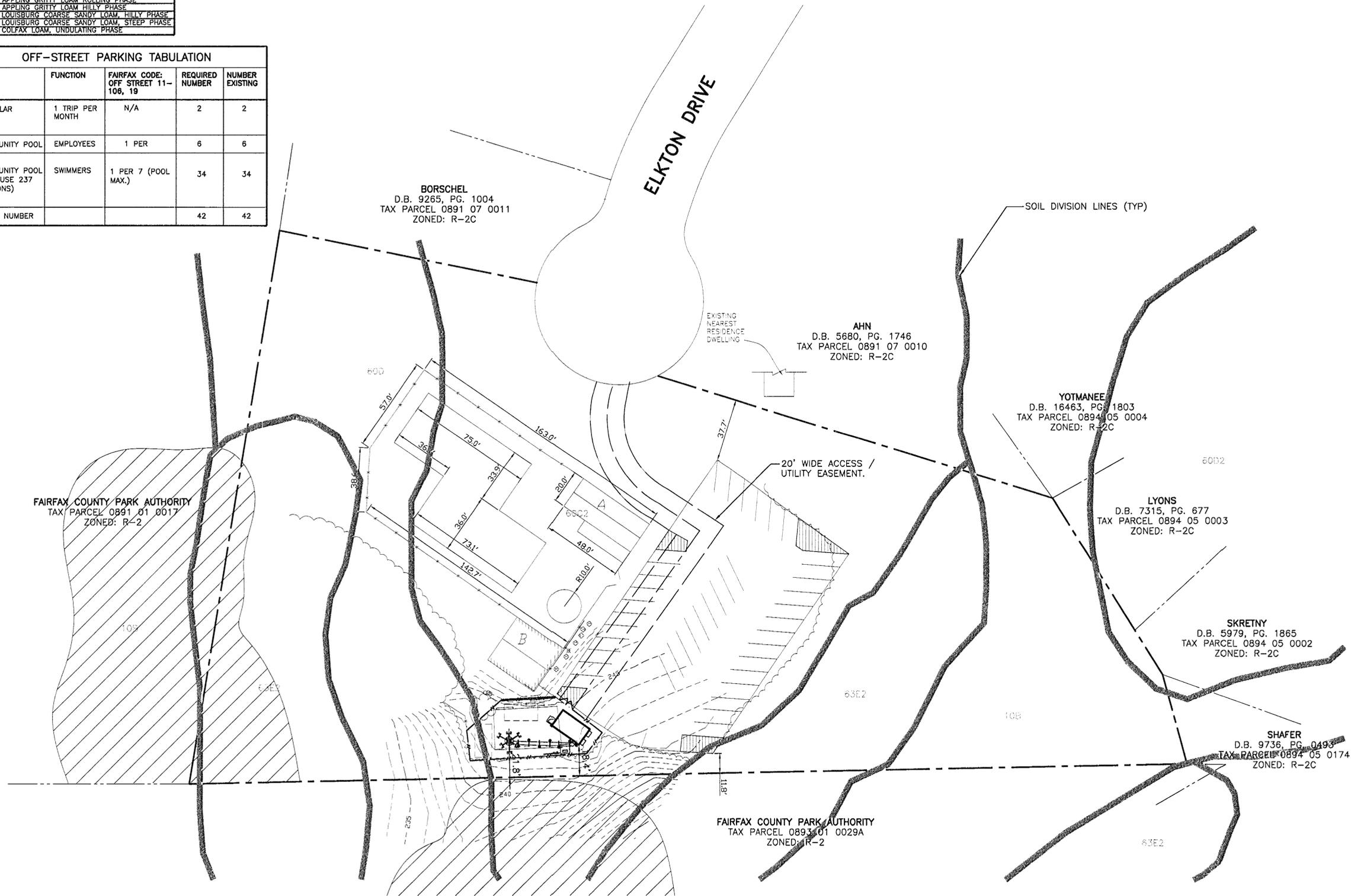
SHEET TITLE:
**ENLARGED SITE
PLAN**

SHEET NUMBER:
C02

Application No. SPA 671-S-519.2
Shall JDM
APPROVED SE (GP) PLAN
SEE DEV CONDS DATED 4/19/06
Date of (BOS) (GZ) approval 5/23/06
Sheet 3 of 8

SOILS LEGEND	
1A+	MIXED ALLUVIAL LAND
20B+	MEADOWVILLE SILT LOAM
21D2	MANOR SILT LOAM, HILLY PHASE
60B2	APPLING GRITTY LOAM UNDULATING PHASE
60C2	APPLING GRITTY LOAM ROLLING PHASE
60D2	APPLING GRITTY LOAM HILLY PHASE
63D2	LOUISBURG COARSE SANDY LOAM, HILLY PHASE
63E2	LOUISBURG COARSE SANDY LOAM, STEEP PHASE
65B1	COLFAX LOAM, UNDULATING PHASE

OFF-STREET PARKING TABULATION				
USER	FUNCTION	FAIRFAX CODE: OFF STREET 11-106, 19	REQUIRED NUMBER	NUMBER EXISTING
CINGULAR	1 TRIP PER MONTH	N/A	2	2
COMMUNITY POOL	EMPLOYEES	1 PER	6	6
COMMUNITY POOL (MAX USE 237 PERSONS)	SWIMMERS	1 PER 7 (POOL MAX.)	34	34
TOTAL NUMBER			42	42



FOR 24" X 36" PLOT - 1" = 30'
 FOR 11" X 17" PLOT - 1" = 60'

1
C03
SOILS MAP
SCALE: 1" = 30'

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WIRELESS
7150 STANDARD DRIVE, HANOVER MD, 21076

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SITE ADDRESS:
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SPRINGFIELD, VA 22152
FAIRFAX COUNTY

DRAWN BY:	RTF
CHECKED BY:	GED
DATE DRAWN:	
COMM NO.:	1883.2-1486

SHEET TITLE:
SOILS MAP

SHEET NUMBER:
C03

Application No. 519-2
 Staff: JDM
 APPROVED SE: [Signature]
 SEE DEV CONDS DATED 4/19/06
 Date of (BOS) (BZA) approval: 5/23/06
 Sheet 4 of 8

(12) PROPOSED CINGULAR ANTENNAS RAD CENTER EL. 118'± AGL

TOP OF PROPOSED TELECOM LIGHTPOLE EL=120'± AGL

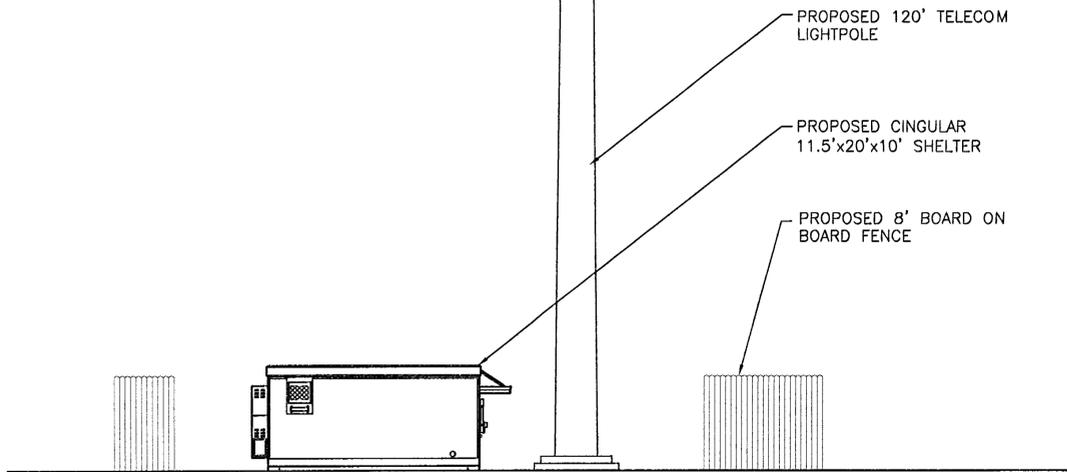
PROPOSED CINGULAR ANTENNAS RAD CENTER EL=118'± AGL

FUTURE ANTENNAS RAD CENTER EL=108'± AGL

FUTURE ANTENNAS RAD CENTER EL=98'± AGL

EXISTING TREE LINE (APPROXIMATELY 90' AGL)

PROPOSED GPS ABOVE TREE LINE

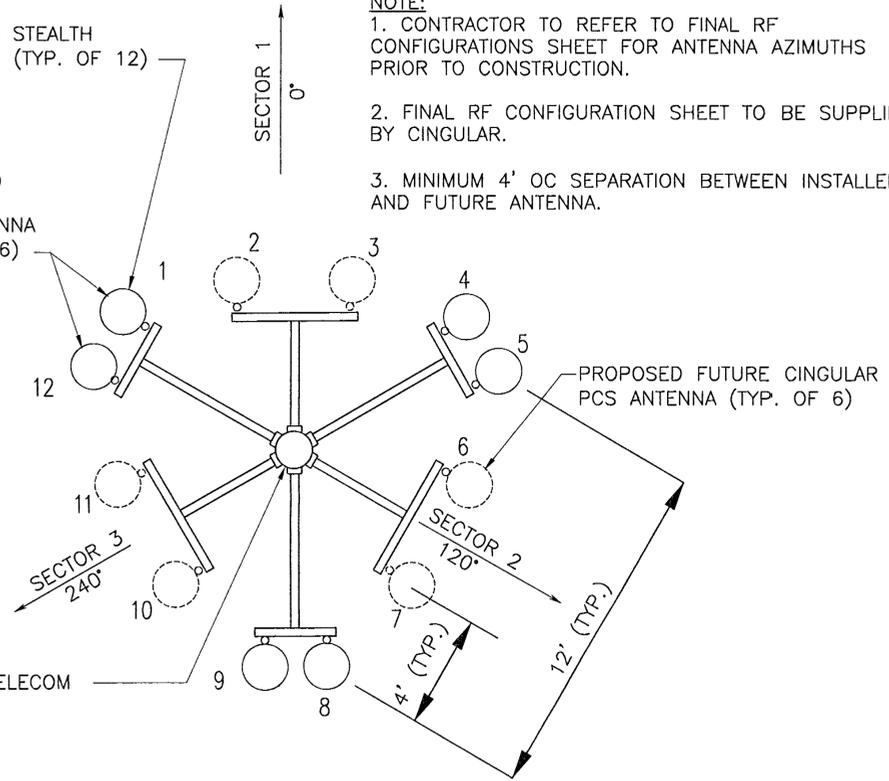


1 TELECOM LIGHTPOLE ELEVATION
C04 NO SCALE

PROPOSED STEALTH CYLINDERS (TYP. OF 12)

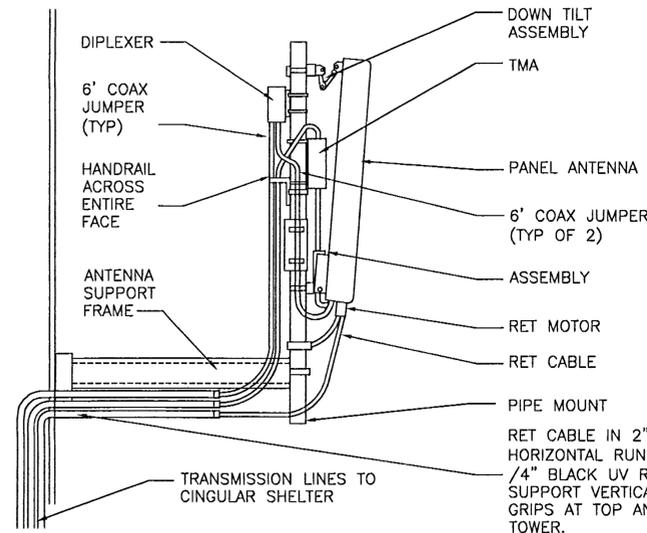
PROPOSED CINGULAR PCS ANTENNA (TYP. OF 6)

PROPOSED TELECOM LIGHTPOLE



NOTE:
1. CONTRACTOR TO REFER TO FINAL RF CONFIGURATIONS SHEET FOR ANTENNA AZIMUTHS PRIOR TO CONSTRUCTION.
2. FINAL RF CONFIGURATION SHEET TO BE SUPPLIED BY CINGULAR.
3. MINIMUM 4' OC SEPARATION BETWEEN INSTALLED AND FUTURE ANTENNA.

2 ANTENNA MOUNT DETAIL
C04 NO SCALE



NOTE:
STEALTH CYLINDERS NOT SHOWN FOR CLARITY

NOTE:
1. VERIFY AZIMUTH AND DOWNTILT WITH CINGULAR REPRESENTATIVE/BLUE SHEET. MOUNT ANTENNA IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PROCEDURE

NOTE:
ANTENNA DIMENSIONS WILL NOT EXCEED 60"H X 6"W X 3"D.

3 ANTENNA DETAIL
C04 NO SCALE



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SHEET TITLE:
TELECOM LIGHTPOLE ELEVATION & DETAILS

SHEET NUMBER:
C04

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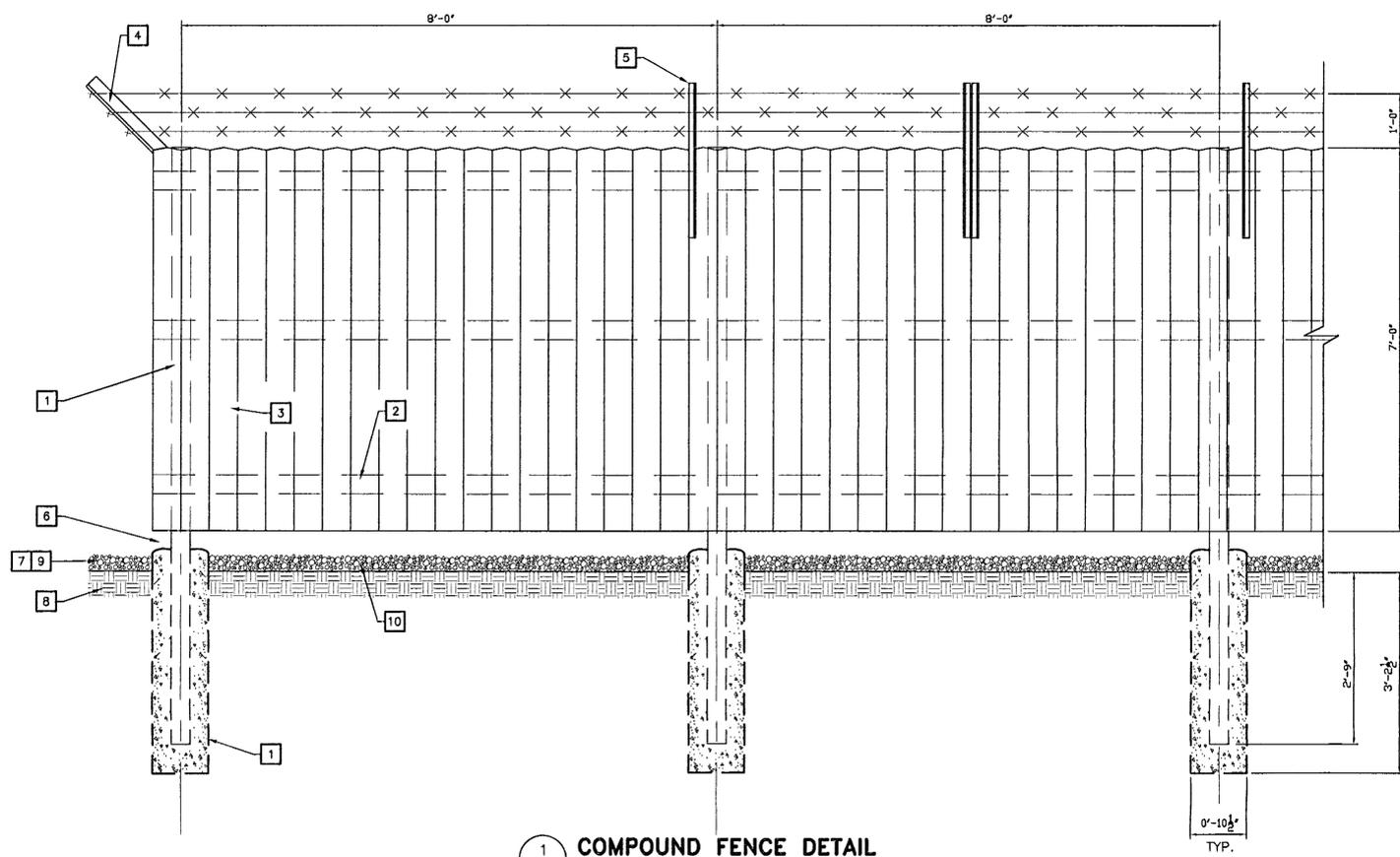
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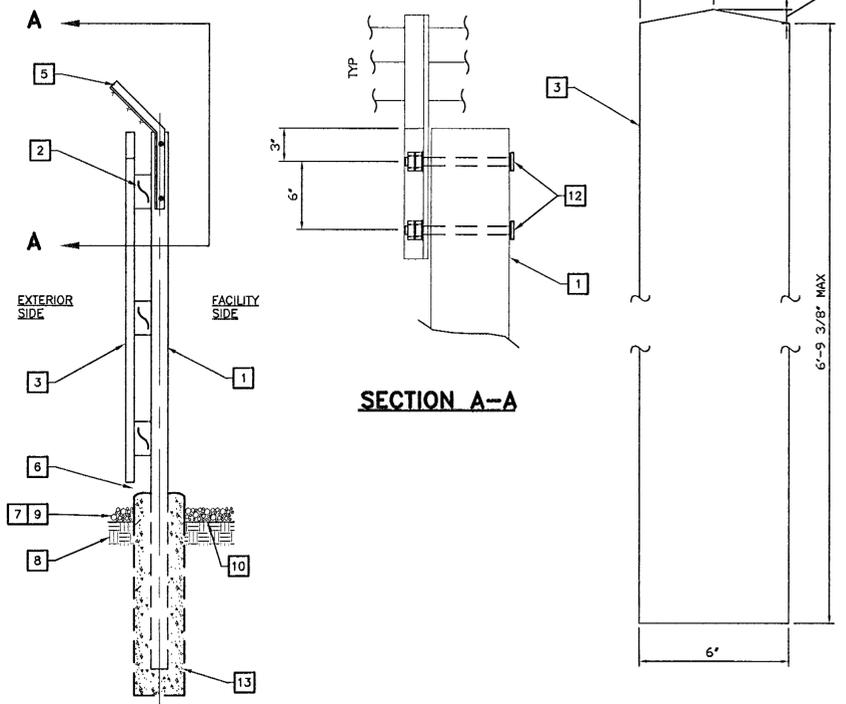
SHEET TITLE:
FENCE DETAILS

SHEET NUMBER:
C05

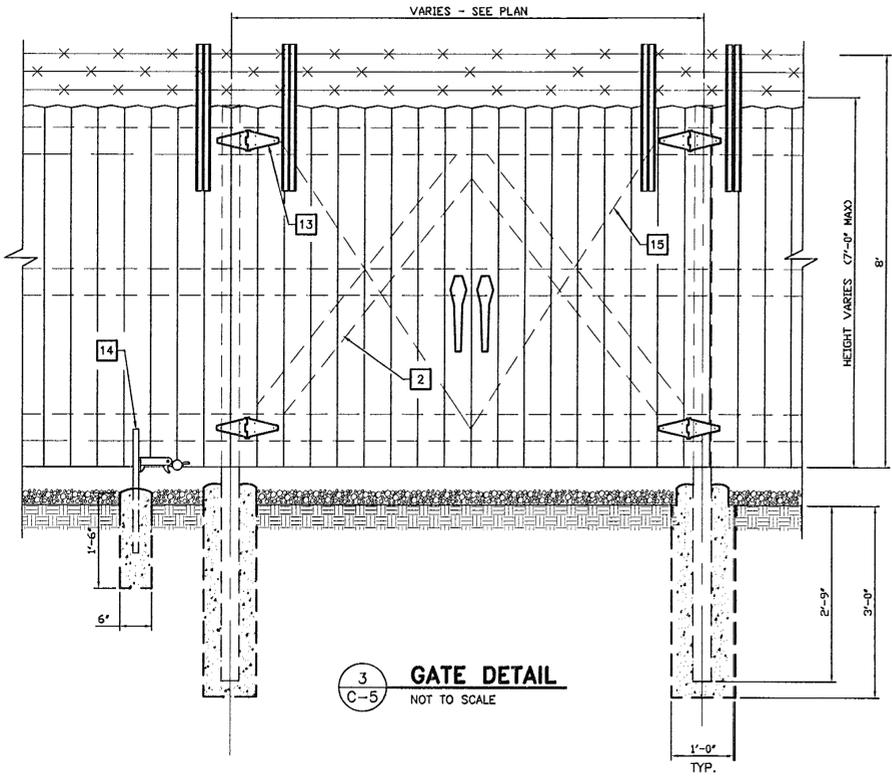
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 Approved SE (PLAN)
 SEE DEV CONDS DATED 4/19/06
 Date of (BOS) approval 5.23.06
 Sheet 6 of 8



1 COMPOUND FENCE DETAIL
C-5 NOT TO SCALE



2 FENCE BOARD DETAIL
C-5 NOT TO SCALE



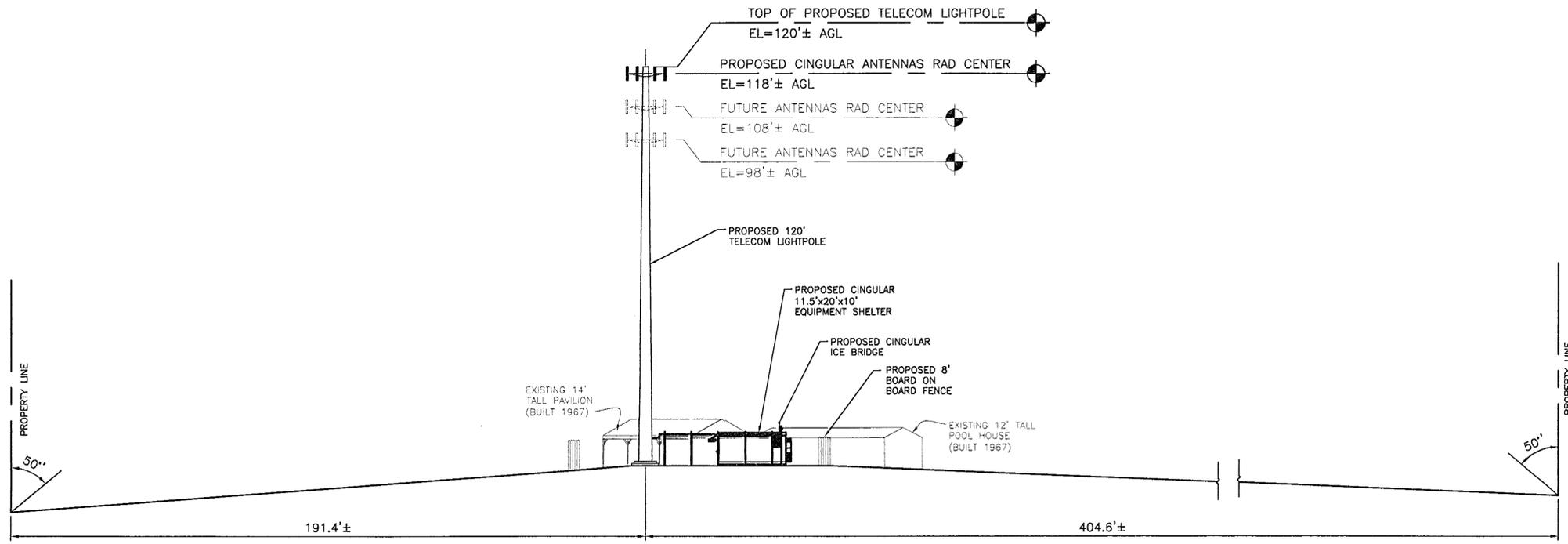
3 GATE DETAIL
C-5 NOT TO SCALE

REFERENCE NOTES:

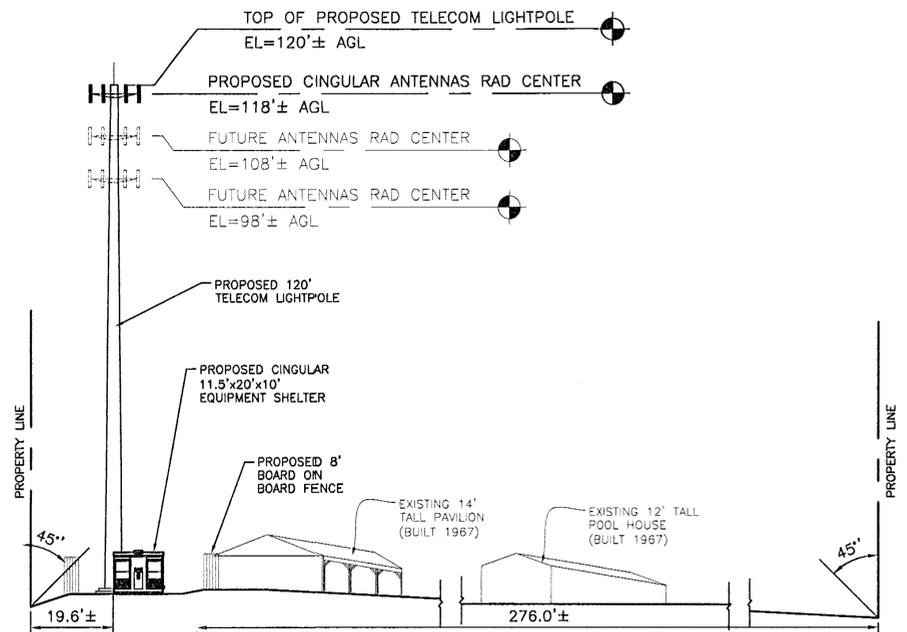
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| <p>1 CORNER, END OR LINE POST: 4" X 4" TREATED LUMBER SPACING FOR LINE POSTS IS 8'-0" ~C TO ~C MAX.</p> <p>2 TOP, BOTTOM, AND MIDDLE RAIL & BRACE RAIL: 2" X 4" TREATED LUMBER. (3 REQUIRED)</p> <p>3 1" (NOMINAL) X 6" X 8'-9 3/8" (MAX.) POINTED FENCE BOARDS. CEDAR PREFERRED. #1 TREATED ACCEPTABLE. SEE DETAIL 2, SHEET C-5.</p> <p>4 BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.</p> <p>5 BARBED WIRE OUTRIGGER EXTENSION ARM. SEE SECTION A-A, THIS SHEET</p> <p>6 1 1/2" MAXIMUM CLEARANCE FROM GRADE.</p> <p>7 2" FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.</p> <p>8 4" COMPACTED 95% BASE MATERIAL OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.</p> <p>9 FINISH GRADE SHALL BE UNIFORM AND LEVEL.</p> | <p>10 GEOTEXTILE FABRIC</p> <p>11 POST: CONCRETE FOUNDATION (2000 PSI)</p> <p>12 5/8" DIA BOLT W/ 2 NUTS AND WASHER</p> <p>13 GATE HARDWARE. MANUFACTURER NOT SPECIFIED AT THIS TIME.</p> <p>14 HEAVY DUTY INDUSTRIAL GRADE DUCK BILL OPEN GATE HOLDER. VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION. TYPICAL BOTH</p> <p>15 HEAVY DUTY TENSION CABLES ON GATE.</p> |
|---|---|

GENERAL NOTES:

- INSTALL FENCING PER ASTM F-567
- PRE-MANUFACTURED FENCE PANELS ARE UNACCEPTABLE.
- USE GALVANIZED (OR BETTER) NUTS, BOLTS AND WASHERS TO MOUNT ALL SIGNS (SECURED THROUGH FENCE BOARDS).
- ANY SIGNAGE SHALL BE INSTALLED INSIDE THE FENCE. SIGNAGE OUTSIDE THE FENCE IS PROHIBITED.
- WHEN INSTALLING FENCING AROUND PROPOSED SERVICE STAND MAINTAIN A MINIMUM CLEARANCE OF 3' FROM THE FACE OF ANY EQUIPMENT INSTALLED ON THE SERVICE STAND ON ALL SIDES.
- WHEN INSTALLING FENCING AROUND PROPOSED CABINETS, MAINTAIN A MINIMUM CLEARANCE OF 3' FROM THE FACE OF ANY ELECTRICAL EQUIPMENT INSTALLED ON THE EXTERIOR OF THE PAD.



1 FRONT ANGLE OF BULK PLANE
C06 SCALE: 1" = 20'



2 SIDE ANGLE OF BULK PLANE
C06 SCALE: 1" = 20'



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NO.	SUBMITTAL		
0	1/28/05	ZONING DRAWINGS	
	BY: RTF	CHK: JYY	APP'D: GED
1	3/28/05	ZONING DRAWINGS	
	BY: RTF	CHK: JYY	APP'D: GED
2	4/12/05	ZONING DRAWINGS	
	BY: RTF	CHK: JYY	APP'D: GED
3	9/26/05	ZONING DRAWINGS	
	BY: MA-A	CHK: JYY	APP'D: GED
4	9/29/05	ZONING DRAWINGS	
	BY: MA-A	CHK: JYY	APP'D: GED
5	10/05/05	ZONING DRAWINGS	
	BY: MA-A	CHK: JYY	APP'D: GED
6	12/14/05	ZONING DRAWINGS	
	BY: JMB	CHK: JYY	APP'D: GED
7	03/07/06	ZONING DRAWINGS	
	BY: JMB	CHK: JYY	APP'D: GED



SITE NUMBER:
1486

SITE NAME:
SPRINGVALE VILLAGE WEST COMMUNITY POOL

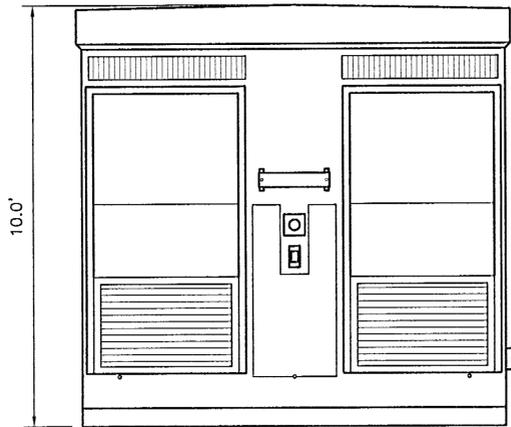
SITE ADDRESS:
7008 ELKTON DRIVE
SPRINGFIELD, VA 22152
FAIRFAX COUNTY

DRAWN BY:	RTF
CHECKED BY:	GED
DATE DRAWN:	
COMM NO.:	1883.2-1486

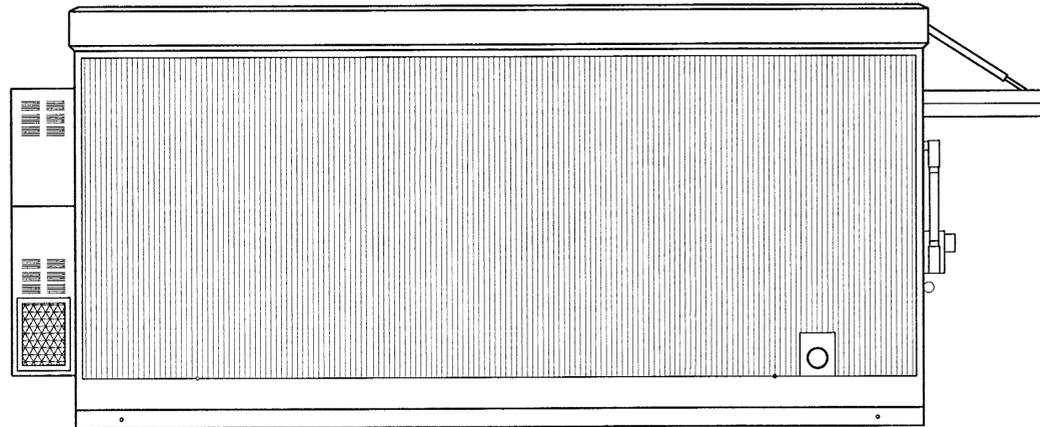
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BULK PLANE ELEVATIONS

SHEET NUMBER:
C06

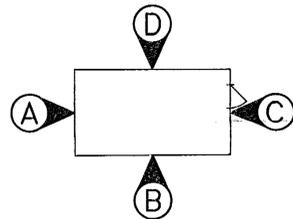
Application No. SPA 06T-S-519.2
StrainJDM
APPROVED SE (SP) PLAN
SEE DEV CONDS DATED 4/16/06
Date of (BOS) (BZA) approval 5/23/06
Sheet 7 of 8



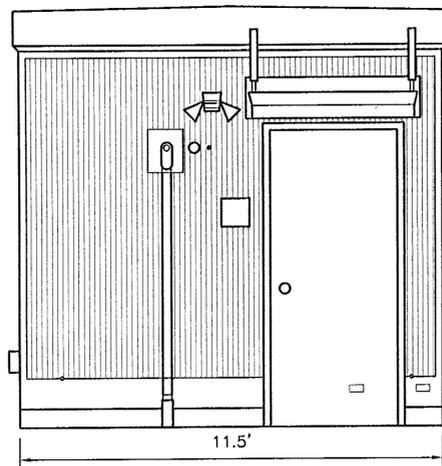
ELEVATION "A"



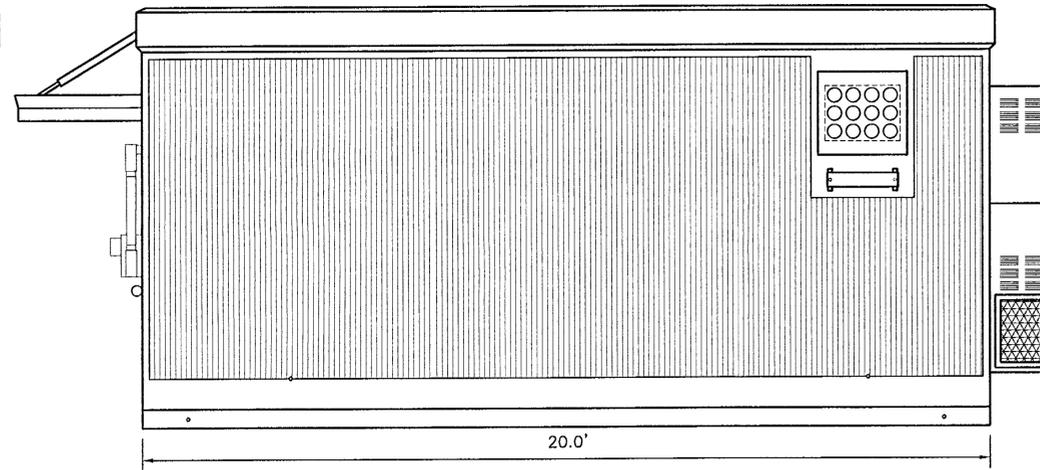
ELEVATION "B"



ELEVATION KEY



ELEVATION "C"



ELEVATION "D"

1
A01 **SHELTER ELEVATIONS**
SCALE: 1/2" = 1'-0"

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FAIRFAX COUNTY

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DATE DRAWN:	
COMM NO.:	1883.2-1486

SHEET TITLE:
SHELTER ELEVATIONS

SHEET NUMBER:
A01

Application No. 183-519.2 Staff JDM
APPROVED SE PLAN
SEE DEV CONDS DATED 4-14-06
Date of (BOS) Approval 5-23-06
Sheet 8 of 8