



# County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

October 25, 2006

Sheri L. Hoy, Land Use Planner  
McGuire Woods, LLP  
1750 Tysons Boulevard  
McLean, VA 22102-4215

Re: Interpretation for PCA 79-C-089 and SEA 00-Y-017, Dulles Business Park Asha Hotel, Tax Map Parcel 34-4 ((12)) C-3: Hotel A Footprint and Elevations

Dear Ms. Hoy,

This is in response to your letter of October 13, 2006 requesting an interpretation of the proffers and the Generalized Development Plan (GDP) accepted by the Board of Supervisors in conjunction with the approval of PCA 79-C-089, and of the Special Exception Amendment (SEA) Plat and development conditions approved by the Board of Supervisors with SEA 00-Y-017. As I understand it, the question is whether the proposed building footprint and elevations for Hotel A are in substantial conformance with the proffers, GDP/SEA Plat, and development conditions. This determination is based on your letter and submitted elevation exhibit entitled, "The HOTELS at DULLES BUSINESS PARK" which were prepared by Brown Craig Turner (BCT) and is dated October 11, 2006, and a second exhibit also prepared by BCT which shows the building footprint, circulation, and landscaping, which is dated October, 2006. Copies of your letter and exhibits are attached.

On September 9, 2002, the Board of Supervisors approved SEA 00-Y-017, subject to development conditions, and PCA 79-C-089, subject to proffers. The approved development plan was a combined GDP/SEA Plat. SEA 00-Y-017 permitted an eating establishment, swimming pool enclosures, and two hotels. Proffer #5 states the following:

*"Building Architecture: The design and architecture of the two (2) hotels shall be in substantial conformance with the general design described on the illustrative elevations titled 'Staybridge Suites Hotel' and 'Hawthorn Suites Hotel' and dated May 20, 2002, or of comparable quality as determined by the Department of Public Works and Environmental Services (DPWES)..."*

Development Condition #6 states the following:

*"The architecture of all four sides of Hotel A and Hotel B shall be in substantial conformance with the elevations prepared by D.R. Brasher Architects dated May 20, 2002 and shown on Sheets 4 and 5 of the Special Exception Amendment Plat, respectively."*

Sheri L. Hoy  
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The elevations for both Hotel A and Hotel B show traditional Colonial architecture with pitched roofs, gables, and primarily masonry construction. Hotel B has been built as a Staybridge Suites Hotel with architecture which conforms to the elevation for Hotel B. The October 11, 2006 elevation for Hotel A shows a pitched roof and more masonry than had been shown on previous submissions. While not traditional Colonial architecture, the latest elevation does incorporate the major features of the required elevation, such as the pitched roof and increased use of masonry. It is my determination that the proposed elevations for Hotel A, dated October 11, 2006, are in substantial conformance with the PCA proffers and SEA development conditions.

As stated in your letter, the proposed modifications to the building footprint are within the area generally shown for the hotel on the GDP/ SEA Plat. The proposed design for the hotel shows a re-orientation of the building from a rectangular configuration to an L-shape. The entrance is now oriented more toward the SWM pond. Site access has not changed. The re-orientation of the footprint has shifted an area of landscaped open space with a fountain that was previously around the hotel entrance to a location south of the hotel entrance adjacent to a trail. Landscaping is provided adjacent to all of the parking areas. According to the tabulations on the exhibit, the amount of open space provided is proposed to be increased from 35% to 45%, all of the peripheral setbacks are either maintained or increased, and the number of parking spaces provided is not changed. It is my determination that the proposed layout depicted on the October, 2006 exhibit is in substantial conformance with the proffers, GDP/SEA Plat, and development conditions.

These determinations have been made in my capacity as the duly authorized agent of the Zoning Administrator. If you have any questions regarding this interpretation, please feel free to contact Mary Ann Godfrey at (703) 324-1290.

Sincerely,



Barbara A. Byron, Director  
Zoning Evaluation Division, DPZ

*BAB/MAG/O:\imgodfr\SE Interpretations DullesBusiness Park HotelElevation #3.doc*

Attachments: A/S

cc: Michael Frey, Supervisor, Sully District  
Ronald Koch, Planning Commissioner, Sully Mill District  
Leslie Johnson, Senior Deputy Zoning Administrator, ZAD, DPZ  
Michelle Brickner, Assistant Director, Land Development Services, DPWES  
Angela Rodeheaver, Chief, Site Analysis Section, DOT  
Kevin J. Guinaw, Chief, Special Projects/Applications Management Branch, DPZ  
Audrey Clark, Director, Building Plan Review Division, DPWES  
File: SEA 00-Y-017/PCA 79-C-089, PI 0610 178, SEI 0610 063, Imaging, Reading File

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Sheri L. Hoy  
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McGUIREWOODS

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Direct Fax: 703.712.5050

October 13, 2006

RECEIVED  
Department of Planning & Zoning

OCT 17 2006

Zoning Evaluation Division

Ms. Mary Ann Godfrey  
Zoning Evaluation Division  
Department of Planning and Zoning  
12055 Government Center Parkway, Suite 801  
Fairfax, Virginia 22035

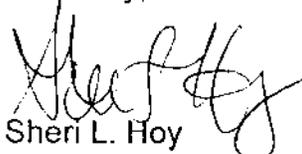
**Re: Asha Hotels (formerly Axar Management, Inc.)  
Dulles Business Park - Tax Map No. 34-4-((12)-C3  
SEA 00-Y-017 and PCA 79-C-089  
Substantial Conformance Request**

Dear Mary Ann:

As you know, this firm represents Asha Hotels (formerly Axar Management, Inc.), owner and developer of the above-referenced property. Following our meeting of September 20, we received comments and suggestions from you related to Asha's proposed hotel. Pursuant to those comments, the proposal has been revised to add additional stone, a sitting area with benches across from the porte-cochere, and an additional fountain. Further, our prior submission revealed a set back that was not in accordance with the prior approvals. The site layout has been revised to meet all setback requirements.

A copy of the revised rendering and site layout are enclosed for your review. Again, we request your determination that the revised architecture is in substantial conformance with the SEA/PCA approvals. Your time and assistance is greatly appreciated.

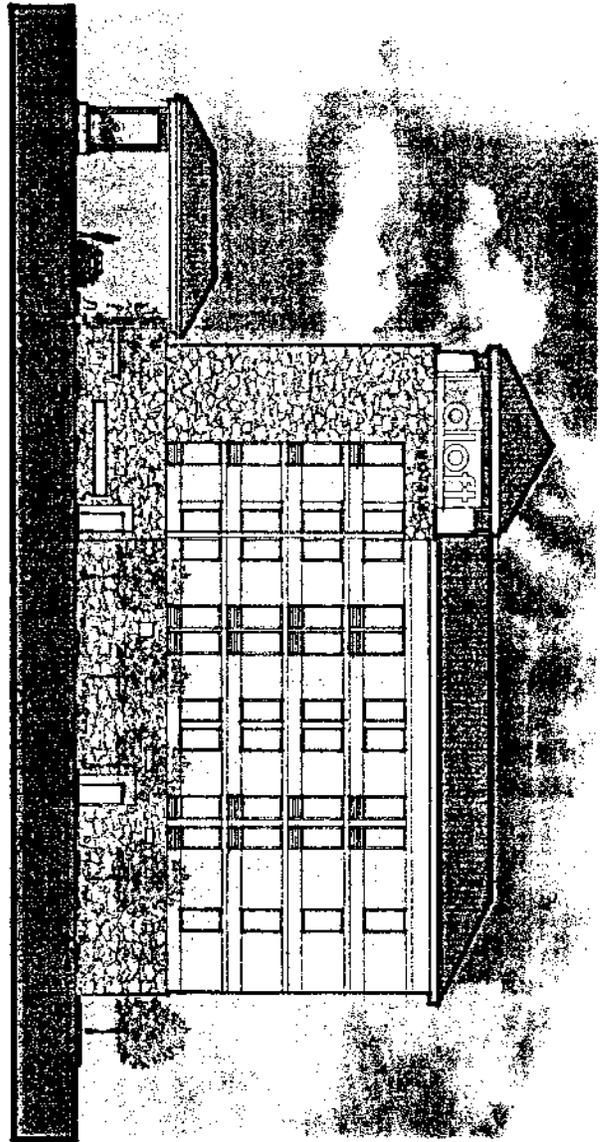
Sincerely,

  
Sheri L. Hoy  
Land Use Planner

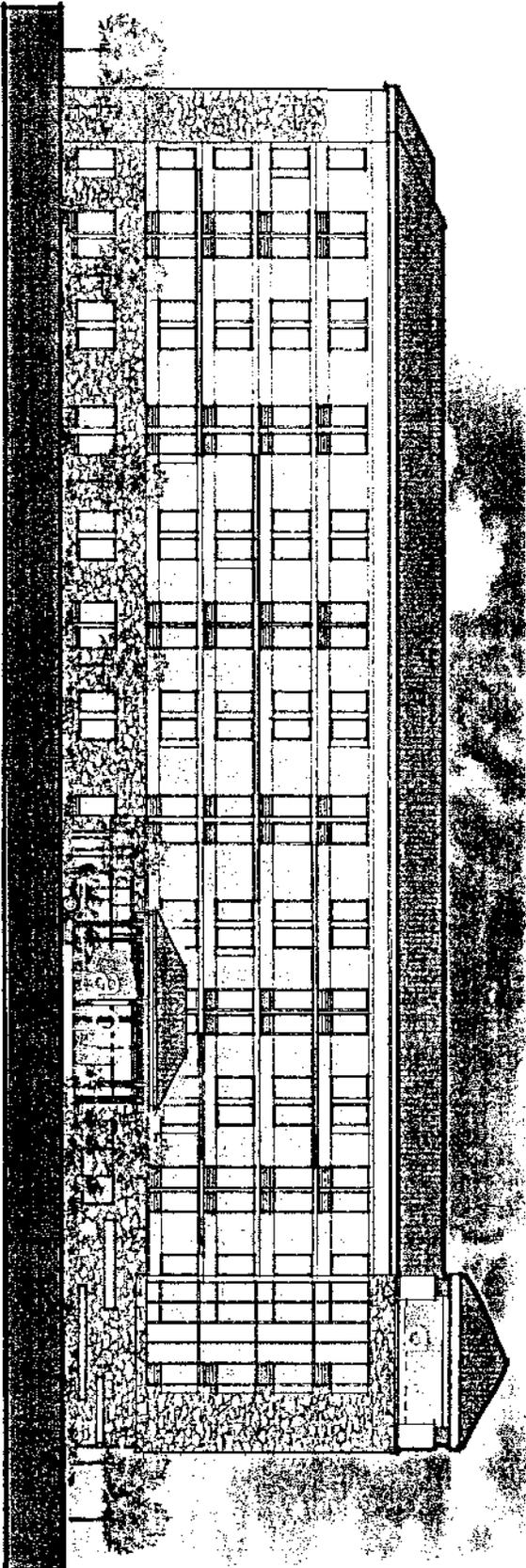
encs.

cc: Gregory A. Riegler, Esquire, McGuireWoods LLP  
Ms. Meaghan Kiefer, Office of District Supervisor Michael Frey

V4216746.1



East Elevation scale: 1"=20'



South Elevation scale: 1"=20'



BROWN CRAIG TURNER  
ide point | cascade building  
1030 hull street, suite 301  
ballinore, virginia 21230  
1-410-837-2727  
1-410-837-7447

10.11.2006  
Revised Elevations

# The HOTELS at DULLES BUSINESS PARK

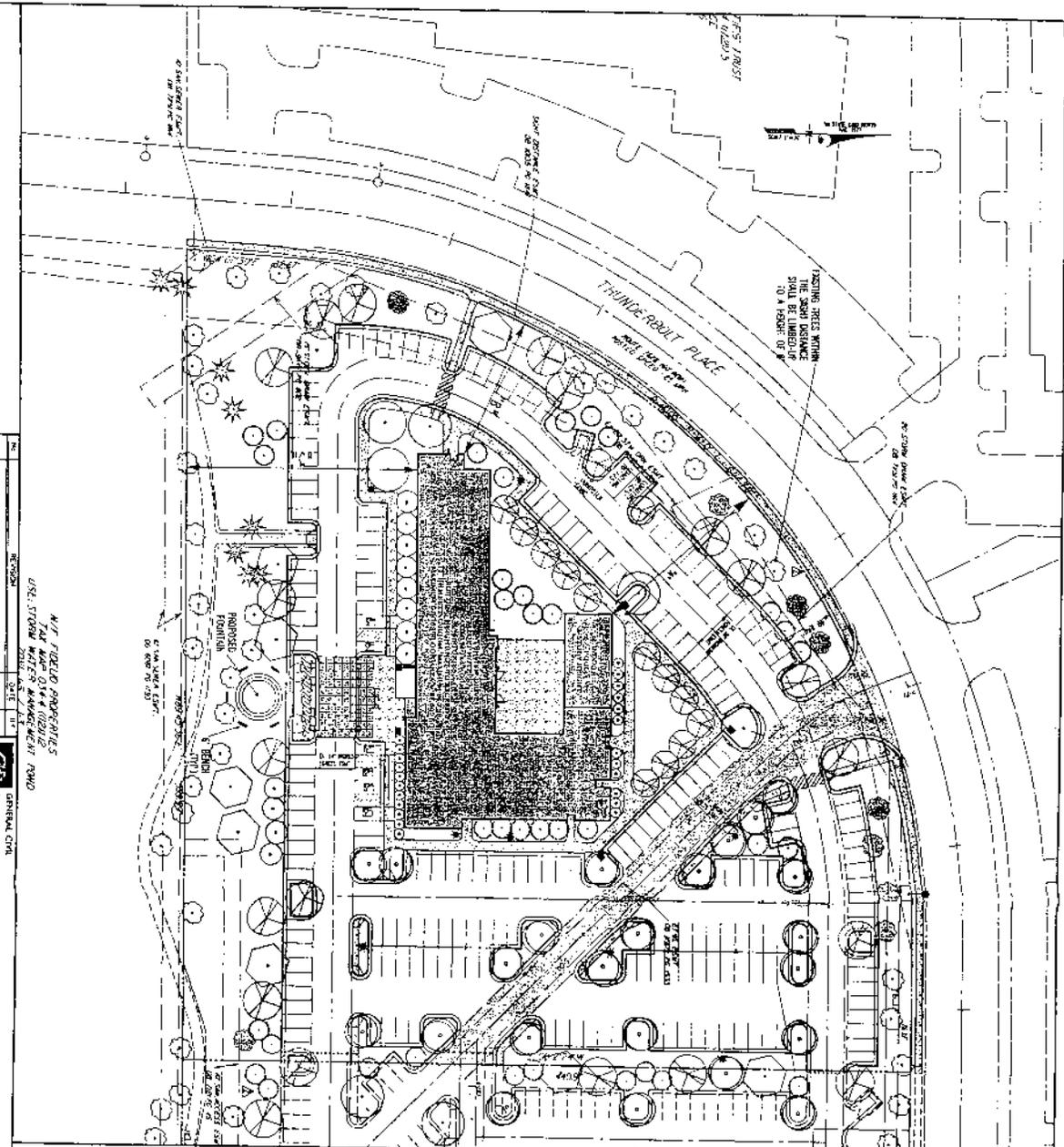
Dulles  
Business Park  
Fairfax Co., VA.

DEVELOPER



ASHA CORPORATION  
11776 SUFFOLK HOUSE PLACE  
SUITE 102  
RASTON, VA 20190  
L 703.638.7267

architects | designers  
www.bctarchitects.com



**TREE COVER CALCULATIONS**  
FROM WEST SIDE ONLY

EXISTING	1.5
NEW	179,022 SF
NET SITE AREA	18,028 SF
TREE COVER REQUIRED (10%)	1,803 SF
EXISTING TREE COVER	1,222 SF
MULTIPLIER: 1.00 * 1,222 =	1,222 SF
NET TREE COVER PROVIDED	1,222 SF
NET TREE COVER PROVIDED	19,250 SF
NET TREE COVER PROVIDED	20,472 SF

**LIGHTING LEGEND**

- POLE MOUNTED LIGHT - 10'
- POLE MOUNTED LIGHT - 8'
- PARKING LOT LIGHT 20'

**LIGHTING NOTE:**  
ALL LIGHTS TO BE LOW INTENSITY, ENCLOSED DOWNWARD AND SHIELDED TO MINIMIZE GLARE.

**SITE TABULATIONS**

DESCRIPTION	AMOUNT	PERCENT
EXISTING TREES	1.5	1.5%
NEW TREES	179,022 SF	179,022%
NET SITE AREA	18,028 SF	18,028%
TREE COVER REQUIRED (10%)	1,803 SF	1,803%
EXISTING TREE COVER	1,222 SF	1,222%
MULTIPLIER: 1.00 * 1,222 =	1,222 SF	1,222%
NET TREE COVER PROVIDED	1,222 SF	1,222%
NET TREE COVER PROVIDED	19,250 SF	19,250%
NET TREE COVER PROVIDED	20,472 SF	20,472%

**PARKING TABULATIONS**

DESCRIPTION	AMOUNT	PERCENT
EXISTING SPACES	122	122%
NEW SPACES	317	317%
NET SPACES	317	317%

**LEGEND**

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN

**GENERAL CONTRACTOR:** GIERHOFER & OLIPHANT, INC.

**ARCHITECT:** GIERHOFER & OLIPHANT, INC.

**DATE:** 10/15/11

**PROJECT:** THE HOTELS AT DULLES BUSINESS PARK

**PHASE:** EXHIBIT - HOTEL COMPARISON

**SCALE:** 1" = 20'

**GENERAL CONTRACTOR:** GIERHOFER & OLIPHANT, INC.

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