

MERRIFIELD GARDEN CENTER

SPECIAL PERMIT PLAT

SP 2006-PR-038

PROVIDENCE DISTRICT - FAIRFAX COUNTY, VIRGINIA
 OWNER/APPLICANT
MERRIFIELD GARDEN CENTER CORPORATION
 8112 LEE HIGHWAY FALLS CHURCH, VIRGINIA 22042
FEBRUARY 2007

GENERAL NOTES:

- LOCATION.** THE AREA SUBJECT TO THIS SPECIAL PERMIT (SP) APPLICATION CONSISTS OF 13,414 +/- SF AND IS SHOWN ON FAIRFAX COUNTY TAX MAP (TM) 49-2(1) PARCEL 26C AND IS ZONED C-8 AND HCOD.
- OWNERSHIP.** THE SITE IS LOCATED AT 8112 LEE HIGHWAY, IS OWNED BY MERRIFIELD GARDEN CENTER CORP. (MGC). THIS INFORMATION IS CONTAINED ON THE AFFIDAVIT SUBMITTED SEPARATELY.
- REQUESTS.**
 - SP.** THE SITE GENERALLY OPERATES AS A GRANDFATHERED EXISTING PLANT NURSERY USE, AND WILL INCLUDE RETAIL SALES USES, WHOLESALE TRADE AND OUTDOOR STORAGE USES. THE APPLICANT, MGC, REQUESTS APPROVAL OF A SPECIAL PERMIT (SP) TO ALLOW A REDUCTION OF THE 40 FOOT FRONT YARD SETBACK REQUIREMENT TO 28 FEET FOR BUILDING 9-1.
- HISTORY.** NOTWITHSTANDING THE PAST SITE PLAN APPROVALS FOR MERRIFIELD GARDEN CENTER (PER 81-413-8P AND SITE PLAN WAIVER No. 5066), GENERAL NOTE II BELOW DETAILS THE APPLICANT'S WAIVER AND MODIFICATION REQUESTS TO ALLOW THE USES TO REMAIN, UNTIL LEE HIGHWAY IS WIDENED BY FUTURE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) ROAD IMPROVEMENTS.
- BOUNDARY/TOPOGRAPHY.** BOUNDARY & TOPOGRAPHIC INFORMATION WAS PREPARED BY WILLIAM H. GORDON AND ASSOCIATES (WHGA). THE FEATURES SHOWN ARE BASED ON A JANUARY 2003 FIELD SURVEY TO REFLECT EXISTING CONDITIONS. NO TITLE REPORT WAS FURNISHED FOR THE PREPARATION OF THIS PLAT.
- RIGHTS-OF-WAY.** LEE HIGHWAY - ROUTE 29 IS PRESENTLY A FOUR LANE ROAD WITH OFF-STREET PARKING ALONG THE SUBJECT PROPERTY. GALLOW'S ROAD IS PRESENTLY A FOUR LANE ROAD. THE COMPREHENSIVE PLAN CALLS FOR SIX (6) LANE ROAD WIDENING TO BOTH GALLOW'S ROAD AND LEE HIGHWAY IN THIS AREA.

VDOT HAS PREPARED FIELD INSPECTION (FI) PLANS FOR IMPROVEMENTS TO GALLOW'S ROAD AND LEE HIGHWAY UNDER PROJECT No. 0203-029-119. THE ASSOCIATED ULTIMATE RIGHT-OF-WAY LINES ARE SHOWN ON THE RZ PLAT. THE APPLICANT INTENDS TO UTILIZE THE SITE IN ITS PRESENT CONFIGURATION - AS SHOWN ON THE CUP, UNTIL SUCH TIME AS VDOT COMPLETES RIGHT-OF-WAY ACQUISITION AND BEGINS CONSTRUCTION.
- SITE ACCESS.** THERE ARE NO NEW PUBLIC STREETS PROPOSED WITH THIS APPLICATION. PRESENTLY, THE APPLICANT MAINTAINS FIVE (5) DRIVEWAY ENTRANCES: TWO (2) ENTRANCES OFF OF LEE HIGHWAY, ONE (1) ENTRANCE OFF OF GALLOW'S ROAD, AND TWO (2) ENTRANCES OFF OF PROVIDENCE FOREST DRIVE. THERE ARE NO NEW ENTRANCES PROPOSED WITH THIS APPLICATION. UNTIL FUTURE VDOT ROAD WIDENING IMPROVEMENTS COMMENCE, THE APPLICANT REQUESTS USE OF ITS EXISTING ENTRANCES AS SHOWN. UPON ANTICIPATED VDOT WIDENING, THE APPLICANT WILL RETAIN ONE ENTRANCE ON LEE HIGHWAY AND ONE ENTRANCE ON GALLOW'S ROAD AND TWO ENTRANCES ON PROVIDENCE FOREST DRIVE.
- TRAILS.** THE COUNTY TRAILS PLAN SHOWS AN ON-ROAD BICYCLE PATH WITHIN THE ROW OF GALLOW'S ROAD AND MAJOR TRAILS ALONG THE EAST SIDE OF GALLOW'S ROAD AND ALONG THE NORTH SIDE OF LEE HIGHWAY (RT. 29).
- EASEMENTS.** THERE ARE NO UTILITY EASEMENTS HAVING A WIDTH OF 25 FEET OR MORE; ALL KNOWN UNDERGROUND UTILITY EASEMENTS ARE PRESENTED.
- UTILITIES.** THE SITE IS SERVICED BY PUBLIC WATER AND PUBLIC SEWER AS SHOWN.

II. **WAIVERS/MODIFICATIONS.** THE EXISTING PLANT NURSERY USE(S) WILL REMAIN. THE PROPOSED RETAIL SALES USE FOR THE RESULTANT C-8 ZONED PARCELS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE ORDINANCES, REGULATIONS, ADOPTED STANDARDS AND PREVIOUSLY APPROVED PLANS AND CONDITIONS WITH THE EXCEPTION OF:

9P. **BUILDING SETBACK.** A MODIFICATION BY SPECIAL PERMIT (SP) TO ALLOW A PORTION OF BUILDING '9-1' TO REMAIN IN THE FRONT YARD - MINIMUM SETBACK 40' PER SECTION 8-914.

PARKING LOT LANDSCAPING AND TRANSITIONAL SCREENING. PERIPHERAL PARKING LOT LANDSCAPING AND INTERIOR PARKING LOT LANDSCAPING WILL BE PROVIDED AS GENERALLY SHOWN ON SHEET #3; A MODIFICATION OF THE TRANSITIONAL SCREEN YARD REQUIREMENT ALLOWED PURSUANT TO THE PROVISIONS OF SEC. 13-324 PARAS. 2 AND 5.

12. **SUM. STORM WATER MANAGEMENT TO SERVE THE SITE IS PROVIDED BY AN EXISTING UNDERGROUND DETENTION POND AND PROPOSED UNDERGROUND FACILITIES AS GENERALLY SHOWN TO HONOR THE NATURAL DRAINAGE DIVIDES. (SEE SHEETS 4 AND 5)**

13. **E.Q.C./FLOODPLAIN/RPA.** NO E.Q.C., FLOODPLAIN, OR RPA EXISTS ON SITE.

14. **CLEARING & GRADING.** THE LIMITS OF CLEARING AND GRADING FOR THE SP SITE COINCIDE WITH THE EXISTING PERIPHERAL PROPERTY LINES AS SHOWN. DUE TO THE DEVELOPED NATURE OF THE SITE, THE APPLICANT ANTICIPATES NO ADDITIONAL SITE CLEARING OR GRADING, EXCEPTING CONSTRUCTION TO ALLOW FUTURE ENTRANCE RECONFIGURATION AND AS MAY BE REQUIRED TO SUPPORT ANY NEW SUM/BMP FACILITIES THAT WILL BE DETERMINED AT THE TIME OF SITE PLAN SUBMISSION.

15. **GRAVES.** TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THERE ARE NO GRAVES ON THE SITE NOR DOES THE ADJACENT MERRIFIELD CEMETERY EXTEND ONTO THE SITE.

16. **SITE LIGHTING/LOUDSPEAKERS.** SITE LIGHTING CONSISTS OF EXISTING LIGHT POLES AND BUILDING MOUNTED LIGHTS. LOUDSPEAKERS ARE USED FOR THE SITE'S INTERCOM SYSTEM. THE APPLICANT INTENDS NO MODIFICATIONS TO THE SITE'S LIGHTS/LOUDSPEAKERS OTHER THAN MODIFICATIONS NECESSITATED BY THE AFOREMENTIONED POSSIBLE ROW IMPROVEMENTS. NEVERTHELESS, ANY NECESSITATED FUTURE LIGHTING MODIFICATIONS WILL FULLY COMPLY WITH ART. 14-900 (OUTDOOR LIGHTING STANDARDS) OF THE ZONING ORDINANCE. SIMILARLY, ANY NECESSITATED LOUDSPEAKER MODIFICATIONS WILL FULLY COMPLY WITH ART. 14-100 (NOISE STANDARDS).

17. **SIGNAGE.** EXISTING SIGNS SHALL BE RETAINED AS SHOWN. SEE SIGNAGE INSERT AT THE BOTTOM LEFT OF SHEET 3 IN THIS SUBMISSION.

18. **HAZMAT.** THE APPLICANT SHALL COMPLY WITH ALL LAWS GOVERNING THE STORAGE OF ANY EXISTING HAZARDOUS OR TOXIC SUBSTANCES, HAZARDOUS WASTES, OR PETROLEUM PRODUCTS KEPT ON THE SUBJECT PROPERTY.

19. **PLANT SHADING.** WITHIN THE PROPOSED OUTDOOR SALES DISPLAY AREAS, PLANT MATERIALS REQUIRING PROTECTION FROM THE ELEMENTS MAY BE COVERED WITH SHADE STRUCTURES NOT TO EXCEED TWENTY-TWO FEET (22') IN HEIGHT.

20. **STORAGE OF PLANTS, NURSERY STOCK AND LANDSCAPE MATERIAL** MAY BE LOCATED ANYWHERE ON THE SITE EXCEPT WHERE OTHERWISE RESTRICTED BY THE ACCOMPANYING DEVELOPMENT CONDITIONS.

21. **PARKING.** THE TOTAL PARKING SPACES FOR THE NURSERY REPRESENT RECONFIGURED SPACES DESIGNED IN ACCORDANCE WITH FM STANDARDS AND WILL BE ESTABLISHED FOR THE OVERALL PROJECT (SEE SHEET 3). THE APPLICANT RESERVES THE RIGHT TO MODIFY THE LAYOUT AND INCREASE OR REDUCE THE QUANTITIES SHOWN AT THE TIME OF SITE PLAN SUBMISSION PROVIDED THE MINIMUM SETBACKS TO THE PROPERTY LINE ARE NOT REDUCED AND THE MINIMUM NUMBER OF PARKING SPACES REQUIRED BY THIS RZ/SP REMAIN.

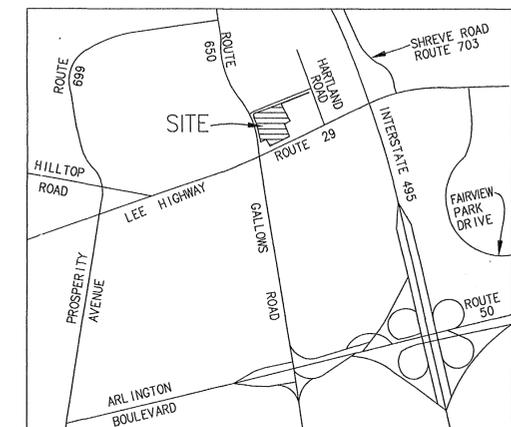
DUE TO THE SEASONAL NATURE OF THE NURSERY BUSINESS, THE APPLICANT RESERVES THE RIGHT TO UTILIZE THE AREA DEPICTED (ON SHEET 3) AS OVERFLOW PARKING FOR STORAGE AREAS OR RETAIL/WHOLESALE TRADE OF MATERIAL PERMITTED OR TO ALLOW PORTIONS OF THE WHOLESALE TRADE AND MATERIALS STORAGE AREA TO BE USED FOR OVERFLOW PARKING IN THE AREAS SO SHOWN, PROVIDED THE MINIMUM NUMBER OF SPACES REQUIRED ARE MAINTAINED ON THE SITE AT ALL TIMES.

A DETERMINATION OF PARKING QUANTITIES WILL BE DETERMINED AT TIME OF SITE PLAN TO RE-CONFIGURE PARKING LOT FOR ENTIRE SITE AS GENERALLY SHOWN ON SHEET #3

22. **PHASING - PARKING.** CONSTRUCTION OF THE PERMANENT ENTRANCE DRIVE AND THE RELOCATION OF THE PARKING LOT WILL COINCIDE WITH COMPLETION OF THE VDOT ROAD WIDENING ON LEE HIGHWAY AND GALLOW'S ROAD.

•VICINITY MAP

SCALE: 1"=2000'



•LIST OF DRAWINGS

- COVER SHEET
- SPECIAL PERMIT PLAT
- EXISTING CONDITIONS
- STORMWATER MANAGEMENT ANALYSIS
- ADEQUATE OUTFALL ANALYSIS



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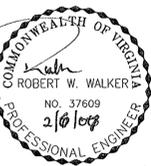
REV. FEBRUARY 2007

Application No. SP 2006-PR-038

Approved

John P. Williams

Chairman, Board of Zoning Appeals



RECEIVED
 Department of Planning & Zoning
 FEB 07 2007
 2007 Professional Engineer

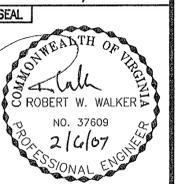
REVISIONS
REV. OCT. 2004
REV. JAN. 2005
MARCH 14, 2006
REV. JUNE 2006
REV. SEPT. 2006
REV. FEB. 2007

SURVEY	WHGA
DESIGN	
DRAWN	N. ZELENSKY
CHECKED	S. GLEASON

LANDSCAPE ARCHITECTS
LAND PLANNERS
ENGINEERS
SURVEYORS
William H. Gordon Associates, Inc.
 4501 Day Drive, Chantilly, Virginia 20151
 (703) 263-1900 METRO (703) 803-9506 FAX (703) 263-0786

DATE: MARCH 2006

SCALE: HORIZ: 1" = 50'
 VERT: N/A



SPECIAL PERMIT PLAT
MERRIFIELD GARDEN CENTER
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA
 JOB: 0413-0501
 CADD: 0413SPE.DWG
 SHEET: 2 OF 5

PARCEL 32B
 1,822 SQ. FT.
 0.02346 AC.
 Zoned: I-5

MERRIFIELD GARDEN CENTER CORPORATION
 DEED BOOK 9883, PAGE 1329
 ZONED: I-5
 USE: VACANT

SPECIAL PERMIT SITE TABULATIONS

SITE INFORMATION
 EXISTING ZONING: C-8, HCOD OVERLAY
 PARCEL 2&C AREA: 3.0182 ACRES, 131,474 SF

OPEN SPACE
 OPEN SPACE PROVIDED: 55% OR ± 166 ACRES
 OPEN SPACE REQ'D (15%): 15% OR ± 0.45 ACRES
 PLANT BEDS HAVE BEEN INCLUDED AS OPEN SPACE.

FLOOR AREA RATIO (F.A.R.) ALLOWED: 0.5
F.A.R. PROPOSED (EXISTING): 0.11

G&F ALLOWED
 PARCEL 2&C FLR. AREA ALLOWED: 131,474 SF x 0.5 F.A.R. = 65,737 G&F

GROSS FLOOR AREA PROPOSED
 S-1 (NURSERY & RETAIL SALES) 11,696 G&F±
 BLDG. S-2 (STORAGE) 110 G&F± (TO BE RELOCATED IN C-8)
 BLDG. S-3 (OFFICE) 1,031 G&F±
 BLDG. S-4 (OFFICE/STORAGE/PUBLIC RESTROOMS) 2,025 G&F±
 BLDG. S-5 (GAZEBO) 63 G&F±
 14,931 G&F±

OTHER USES PROPOSED
 OUTDOOR SALES DISPLAY 44,004 G&F ±
 WHOLESALE TRADE AND MATERIALS STORAGE AREA NONE PROVIDED ON I-5 ZONE PARCEL

PARKING TABULATION - REQUIRED
 PARKING SPACES REQUIRED TO BE DETERMINED AT THE SITE PLAN SUBMISSION

ZONING REQUIREMENTS: (C-8)

ALLOWABLE BUILDING HEIGHT:	40'
ACTUAL BUILDING HEIGHT:	26'±
MINIMUM FRONT YARD:	40' / 45' ABP
PROVIDED FRONT YARD:	28'± / EXCEEDS 45' ABP
MINIMUM SIDE YARD:	NO REQUIREMENT
PROVIDED SIDE YARD:	NA
MINIMUM REAR YARD:	20'±
PROVIDED REAR YARD:	110'± BLDG S-1 6'± BLDG S-4

EXISTING STRUCTURES TO REMAIN (S1 - S5)
 SEE SHEET 3 OF 5

Application No. SP2006-PR-038
APPROVED SE/SP PLAT
 SEE DEVELOPMENT CONDITIONS
 Date of (BOS)/(EZA) approval: 2/27/07
 Staff Coordinator: JR
 Sheet 2 of 5

PROPOSED LEGEND

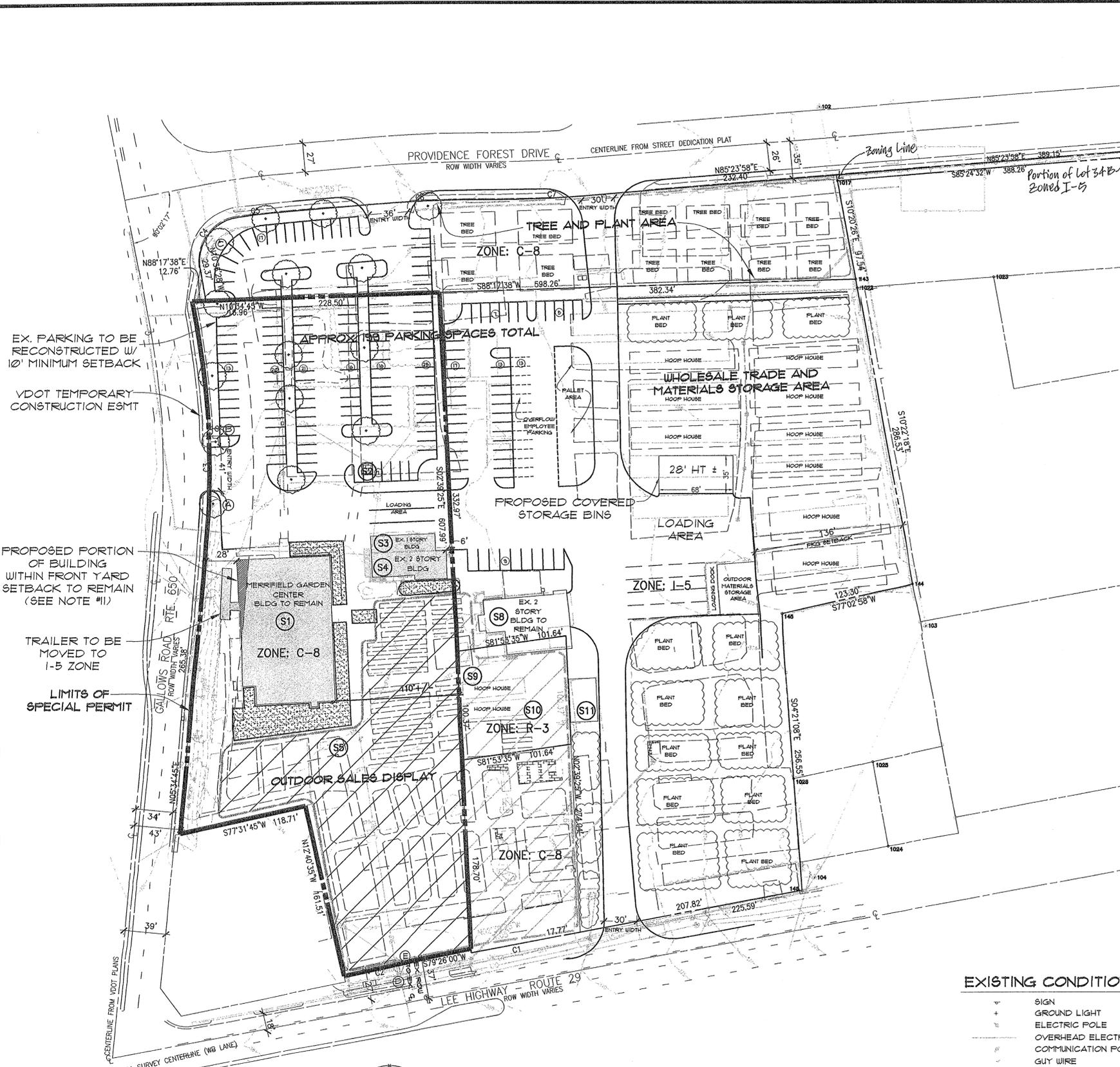
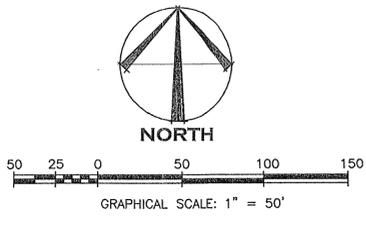
- EXISTING BUILDING-RETAIL AND OFFICE
- OUTDOOR SALES DISPLAY
- ACCESSORY RETAIL AREA
- LIMITS OF CLEARING AND GRADING (SAME AS PROPERTY LINE)
- LIGHT POLES
- YARD SETBACK
- PROPOSED TREES (INTERIOR AND/OR PERIPHERAL PARKING LOT LANDSCAPE)

EXISTING CONDITIONS LEGEND

- SIGN
- GROUND LIGHT
- ELECTRIC POLE
- OVERHEAD ELECTRIC
- COMMUNICATION POLE
- GUY WIRE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- WATER MANHOLE
- SANITARY MANHOLE
- STORM MANHOLE
- STORM GRATE
- BRICK
- BUILDING OVERHANG
- SLATE PAD
- OVERHEAD TRELLIS

SIGNAGE

SIGN ID. LTR.	SIZE (L x W)	LIGHTED?	SEASONAL?
A	1-SIDED 2' x 4' x 6'	NO	YES
B	2-SIDED 3'-2" x 6'-6"	NO	NO
C	1-SIDED 4' x 8'	YES	NO
D	1-SIDED 2' x 4' x 6'	YES	YES
E	2-SIDED 3'-2" x 6'-6"	YES	NO



EX. PARKING TO BE RECONSTRUCTED W/ 10' MINIMUM SETBACK

VDOT TEMPORARY CONSTRUCTION ESMT

PROPOSED PORTION OF BUILDING WITHIN FRONT YARD SETBACK TO REMAIN (SEE NOTE #11)

TRAILER TO BE MOVED TO I-5 ZONE

LIMITS OF SPECIAL PERMIT

PROVIDENCE FOREST DRIVE
 CENTERLINE FROM STREET DEDICATION PLAT
 ROW WIDTH VARIES

LEE HIGHWAY - ROUTE 29
 ROW WIDTH VARIES

HARTLAND ROAD

PROVIDENCE FOREST DRIVE

LEE HIGHWAY - ROUTE 29

HARTLAND ROAD

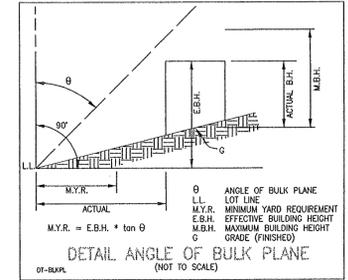
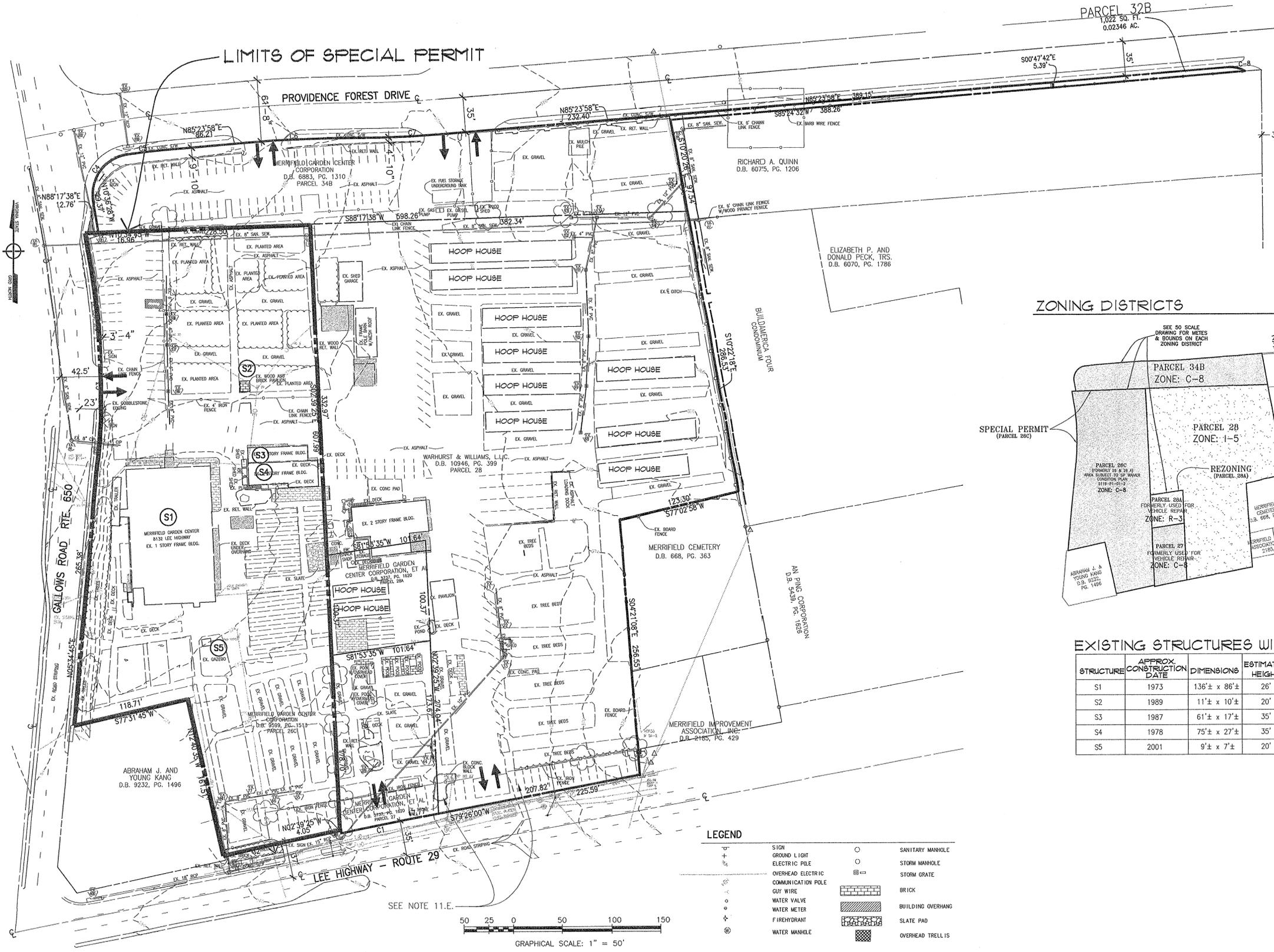
PROVIDENCE FOREST DRIVE

LEE HIGHWAY - ROUTE 29

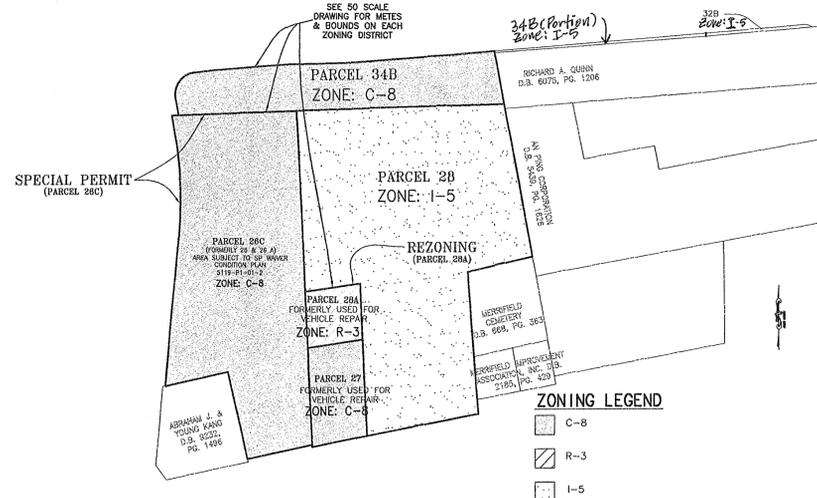
HARTLAND ROAD

CURVE TABLE:

CURVE	ARC LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
C1	84.47'	5764.58'	0°50'22"	42.24'	84.47'	S79°00'49"W
C2	121.45'	5768.58'	1°12'23"	60.73'	121.45'	S77°59'48"W
C3	213.97'	758.70'	16°09'30"	107.70'	213.26'	N02°30'00"W
C4	66.17'	41.00'	92°27'48"	42.80'	59.22'	N35°37'26"E
C5	34.80'	562.65'	3°32'38"	17.41'	34.80'	N83°37'39"E
C6	109.60'	1262.65'	4°58'24"	54.83'	109.56'	N87°53'10"E
C7	89.84'	1035.00'	4°58'24"	44.95'	89.81'	N87°53'10"E



ZONING DISTRICTS



ZONING LEGEND



EXISTING STRUCTURES WITHIN SP AREA, (ALL STRUCTURES TO BE RETAINED)

STRUCTURE	APPROX CONSTRUCTION DATE	DIMENSIONS	ESTIMATED HEIGHT	DISTANCE TO FL	ZONING ACTIONS
S1	1973	136'± x 86'±	26'	315'±/N, 101'±/S, 116'±/E, 28'±/W	BUILDINGS SUBJECT TO SPECIAL PERMIT
S2	1989	11'± x 10'±	20'	155'±/N, 452'±/S, 71'±/E, 141'±/W	
S3	1987	61'± x 17'±	35'	223'±/N, 378'±/S, 15'±/E, 152'±/W	
S4	1978	75'± x 27'±	35'	240'±/N, 341'±/S, 6'±/E, 155'±/W	
S5	2001	9'± x 7'±	20'	413'±/N, 209'±/S, 122'±/E, 121'±/W	

Application No. SP 2006-PR-038

APPROVED SE(SP) PLAT

SEE DEVELOPMENT CONDITIONS

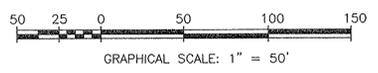
Date of (BOS) (BZA) approval: 2/27/07

Staff Coordinator: SP

Sheet 3 of 5

LEGEND

SIGN	○	SANITARY MANHOLE
GROUND LIGHT	○	STORM MANHOLE
ELECTRIC POLE	○	STORM GRATE
OVERHEAD ELECTRIC COMMUNICATION POLE	⊞	BRICK
GUY WIRE	—	BUILDING OVERHANG
WATER VALVE	⊞	SLATE PAD
WATER METER	⊞	OVERHEAD TRELLIS
FIREHYDRANT	⊞	
WATER MANHOLE	⊞	



REVISIONS

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REV. JAN. 2005
REV. MARCH 14, 2006
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REV. SEPT. 2006
REV. FEB. 2007

SURVEY WHGA

DESIGN

DRAWN N. ZELESKY

CHECKED S. GLEASON

ENGINEERS - SURVEYORS - LAND PLANNERS - LANDSCAPE ARCHITECTS

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DATE MARCH 2006

SCALE HORZ: 1"=50'
VERT: N/A

SEAL

COMMONWEALTH OF VIRGINIA
 ROBERT W. WALKER
 NO. 37609
 2/16/07
 PROFESSIONAL ENGINEER

EXISTING CONDITIONS - SPECIAL PERMIT

PROJECT MERRIFIELD GARDEN CENTER
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

JOB 0413-0501

CADD 0413-EC-DWG

SHEET 3 OF 5

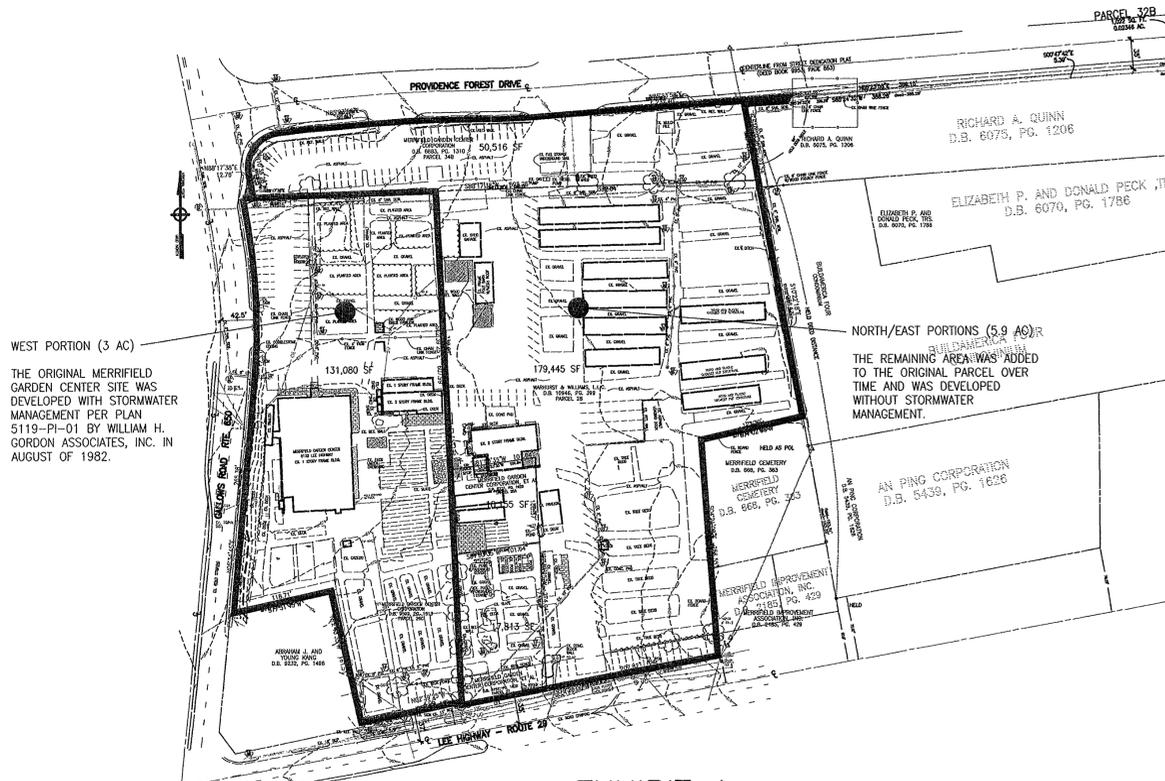


EXHIBIT A
 MAP SHOWING EXISTING SITE (FOR WHICH SWM IS PROVIDED) AND ADDITIONAL PARCELS (FOR WHICH SWM HAS NOT YET BEEN PROVIDED)

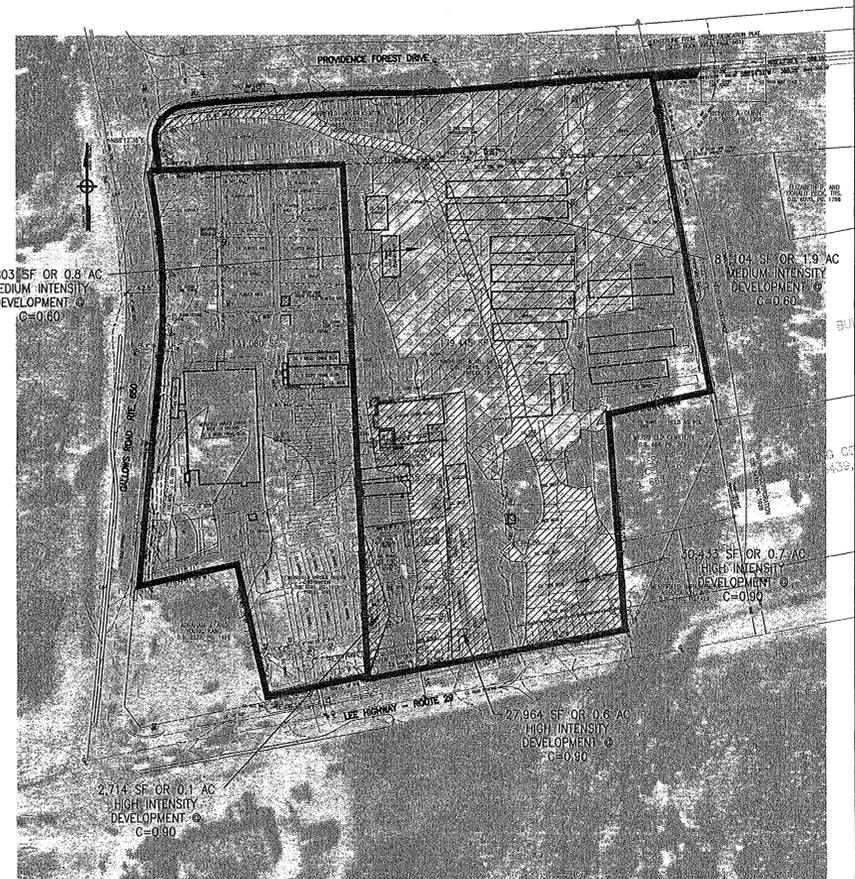


EXHIBIT B
 MAP AND PHOTOGRAPH SHOWING SITE CONDITIONS IN 1970 (FOR ANALYSIS OF NORTH/EAST PARCEL)

AERIAL PHOTOGRAPH OF MERRIFIELD GARDEN CENTER 1970

1970 DRAINAGE ANALYSIS FOR NORTH/EAST PARCEL

FROM THE PHOTOGRAPH, THE FOLLOWING ASSUMPTIONS WERE MADE: THE BRIGHT AREAS (OBVIOUS ROADWAYS, ETC) ARE ASSUMED TO BE HIGH INTENSITY DEVELOPMENT WITH A C VALUE OF 0.9. THE MEDIUM AREAS (OBVIOUS DEVELOPMENT, BUT NOT ROADWAYS, ETC), ARE ASSUMED TO BE MEDIUM INTENSITY DEVELOPMENT WITH A C VALUE OF 0.60. THE DARK AREAS (OBVIOUS TREE COVER) ARE ASSUMED TO BE VEGETATED AREAS WITH A C VALUE OF 0.30

HIGH INTENSITY DEVELOPMENT	61,111 SF OR 1.4 AC.
MEDIUM INTENSITY DEVELOPMENT	113,907 SF OR 2.6 AC.
TREE COVER	83,302 SF OR 1.9 AC.

TOTAL SITE AREA WITHOUT DETENTION = 258,320 SF OR 5.9 AC,

TOTAL WEIGHTED C VALUE FOR THE SITE
 $1.4 AC * 0.90 = 1.26$
 $2.6 AC * 0.60 = 1.56$
 $1.9 AC * 0.30 = 0.57$
 $3.39/5.9 = 0.57$

2004 DRAINAGE ANALYSIS FOR NORTH/EAST PARCEL

PAVEMENT/ROOFS	152,992 SF OR 3.5 AC.
GRAVEL TREE/PLANT BEDS	55,900 SF OR 1.3 AC.
TREE COVER	49,428 SF OR 1.1 AC.

TOTAL SITE AREA WITHOUT DETENTION = 258,320 SF OR 5.9 AC,

TOTAL WEIGHTED C VALUE FOR THE SITE
 $3.5 AC * 0.90 = 3.15$
 $1.3 AC * 0.60 = 0.78$
 $1.1 AC * 0.30 = 0.33$
 $4.26/5.9 = 0.72$

Q2(2004) = $C^*I^*A = 0.72 * 5.92 * 5.9 = 25.2$ CFS (POST-DEVELOPED)
 Q2(1970) = $C^*I^*A = 0.57 * 5.92 * 5.9 = 19.9$ CFS (PRE-DEVELOPED)

Q10(2004) = $C^*I^*A = 0.72 * 7.27 * 5.9 = 30.9$ CFS (POST-DEVELOPED)
 Q10(1970) = $C^*I^*A = 0.57 * 7.27 * 5.9 = 24.5$ CFS (PRE-DEVELOPED)

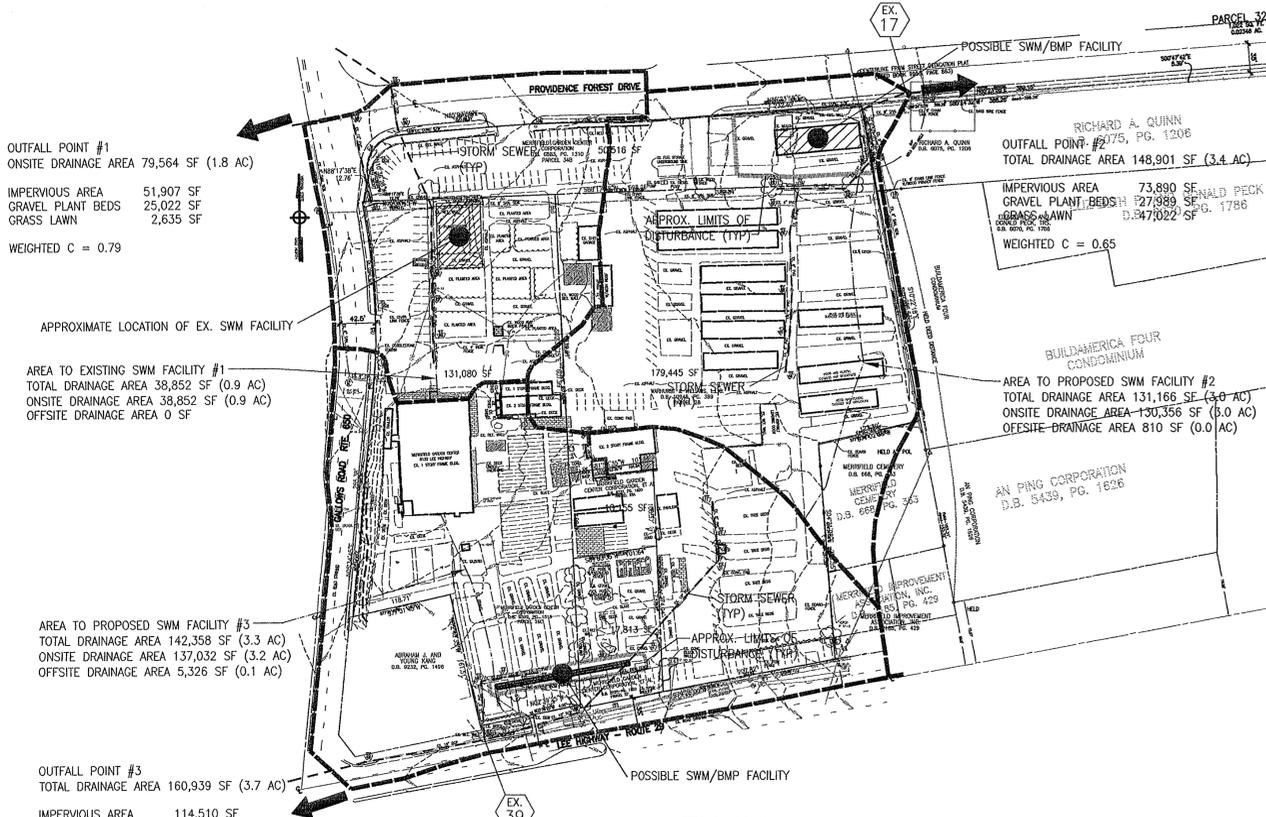


EXHIBIT C
 MAP SHOWING SITE CONDITIONS IN 2004

STORMWATER MANAGEMENT NARRATIVE

THE ORIGINAL MERRIFIELD GARDEN CENTER SITE CONSISTED OF 3 (THREE) ACRES. STORMWATER MANAGEMENT FOR THE ORIGINAL SITE WAS PROVIDED ACCORDING TO PLAN 5119-PI-01 BY WILLIAM H. GORDON ASSOCIATES, INC. ENTITLED 'MERRIFIELD GARDEN CENTER' AND DATED AUGUST 1982. THE ORIGINAL PARCEL IS SHOWN ON EXHIBIT 'A' AND REFERRED TO AS THE 'WEST PORTION'. THE EXISTING STORMWATER MANAGEMENT FACILITY CONSISTS OF AN UNDERGROUND POND FILLED WITH GRAVEL. THE 40% VOID SPACE IN THE GRAVEL PROVIDES THE REQUIRED STORAGE VOLUME.

PARCELS WERE ADDED TO THE SITE OVER TIME, BUT NO ADDITIONAL STORMWATER MANAGEMENT WAS PROVIDED. THE ADDITIONAL PARCELS, SHOWN ON EXHIBIT 'A' CONTAIN 5.9 ACRES, AND ARE REFERRED TO AS THE NORTH/EAST PORTION. STORMWATER MANAGEMENT FOR THE NORTH/EAST PORTION WILL BE PROVIDED UNLESS OTHERWISE WAIVED.

TO DETERMINE THE REQUIRED VOLUME FOR PROVISION OF STORMWATER MANAGEMENT, THE SITE CONDITIONS WERE EVALUATED AS THE SITE EXISTED IN 1970. IN EXHIBIT 'B', A MAP OF THE SITE OVERLAYS A PHOTOGRAPH FROM 1970 AND AN EVALUATION OF THE INTENSITY OF LAND USE WAS PERFORMED. BASED ON THAT ANALYSIS, A 'C' VALUE OF 0.57 FOR THE NORTH/EAST PARCELS WAS ESTABLISHED. AN ANALYSIS OF THE CURRENT CONDITIONS ESTABLISHES THE CURRENT 'C' VALUE FOR THE NORTH/EAST PORTION AT 0.72. BASED ON THE PREVIOUS ANALYSES, A STORAGE VOLUME OF APPROXIMATELY 11,500 CF IS REQUIRED TO PROVIDE STORMWATER MANAGEMENT FOR THE NORTH/EAST PORTION, ASSUMING AN UNDERGROUND SYSTEM OF SOME TYPE WOULD BE PROVIDED.

THE CURRENT CONDITIONS MAP, EXHIBIT 'C', SHOWS THAT THE DRAINAGE FROM THE SITE DEPARTS IN THREE DIRECTIONS, AND DRAINAGE FROM THE NORTH/EAST PORTION DEPARTS IN TWO DIRECTIONS, NORTH TO AN EXISTING STORM DRAINAGE SYSTEM IN PROVIDENCE FOREST DRIVE AND SOUTH TO AN EXISTING STORM DRAINAGE SYSTEM IN LEE HIGHWAY. IF STORMWATER MANAGEMENT IS REQUIRED, BECAUSE THE DRAINAGE IS FAIRLY SPLIT, TWO SEPARATE STORMWATER MANAGEMENT SYSTEMS SHOULD BE DEVELOPED. AT THE NORTH/EAST CORNER OF THE SITE, DEPTH IS AN ISSUE AS THE EXISTING GRADE IS APPROXIMATELY 364 AND THE INVERT OF THE OUTFALL STRUCTURE (STRUCTURE #17 ON PROVIDENCE FOREST DRIVE) IS 358.74. AS SUCH, ANY UNDERGROUND STRUCTURE COULD NOT BE MORE THAN 3-4 FEET DEEP. ASSUMING 60% OF THE REQUIRED DETENTION PROVIDED IN THE NORTH/EAST CORNER (APPROXIMATELY 7000 CF), A SYSTEM FOR UNDERGROUND STORAGE MIGHT CONSIST OF 10 SECTIONS OF 3' DIAMETER PIPE, CONNECTED BY A MANIFOLD, WITH EACH PIPE MEASURING APPROXIMATELY 100' IN LENGTH.

AT THE SOUTHWEST CORNER OF THE SITE, MORE VERTICAL ROOM EXISTS. THE EXISTING GRADE IS APPROXIMATELY 368 AND THE INVERT OF THE OUTFALL STRUCTURE (STRUCTURE #39 ON LEE HIGHWAY) IS APPROXIMATELY 361. ASSUMING 40% OF THE REQUIRED DETENTION WOULD BE PROVIDED IN THE SOUTHWEST CORNER (APPROXIMATELY 4,500 CF), A SYSTEM FOR UNDERGROUND STORAGE MIGHT CONSIST OF TWO 4' DIAMETER PIPES, EACH 180' IN LENGTH.

NOTABLY, THE POSSIBLE SOLUTIONS PRESENTED HERE ARE NOT THE ONLY OPTIONS FOR PROVISION OF THE REQUIRED STORAGE VOLUME. OTHER OPTIONS MIGHT INCLUDE GRAVEL-FILLED EXCAVATIONS, PRE-MANUFACTURED STORAGE SYSTEMS, OR SURFACE SYSTEMS (I.E. PONDS). A PPM WAIVER MAY BE REQUIRED FROM DPWS TO PERMIT SHALLOW UNDERGROUND STORAGE SYSTEMS.

BEST MANAGEMENT PRACTICES (BMP) NARRATIVE

THE WEST PORTION OF THE SITE (THE ORIGINAL THREE ACRES) WAS DEVELOPED PRIOR TO THE ADOPTION OF THE CHESAPEAKE BAY PRESERVATION ORDINANCE. THEREFORE, WATER QUALITY MEASURES ARE NOT REQUIRED FOR THE WEST PORTION.

BMP'S WILL BE PROVIDED FOR THE REMAINDER OF THE PROPERTY UNLESS OTHERWISE WAIVED.

IF REQUIRED, BMP'S MAY BE LOCATED GENERALLY IN THE SAME LOCATIONS AS THE PROPOSED, POSSIBLE SWM LOCATIONS AND MAY CONSIST OF BIO-RETENTION, INFILTRATION AREAS, PRE-MANUFACTURED BMP PRODUCTS, INNOVATIVE USE OF THE PLANT BED AREAS, OR A COMBINATION OF MEASURES.

Application No. SP 2006 PR-038

APPROVED SE/SP PLAT

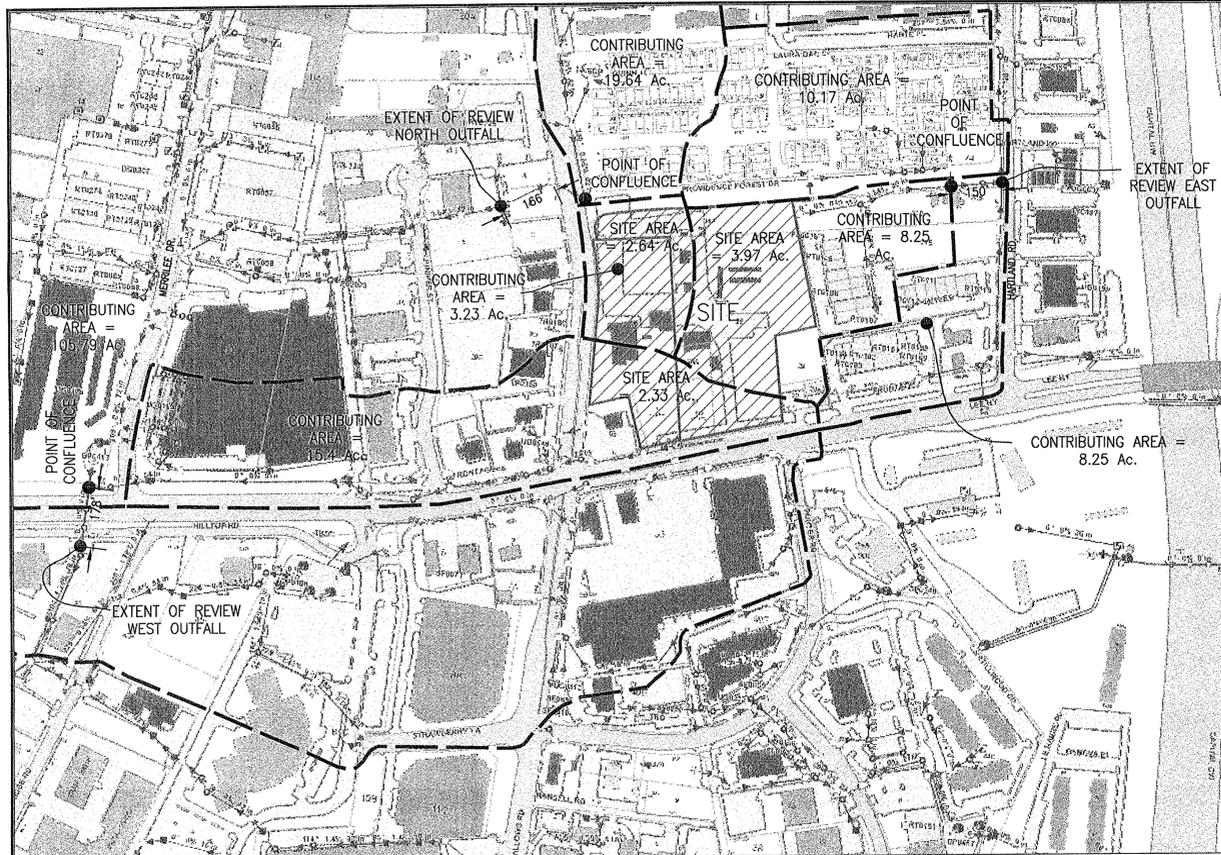
SEE DEVELOPMENT CONDITIONS

Date of (BOS)/(BZA) approval 2/27/07

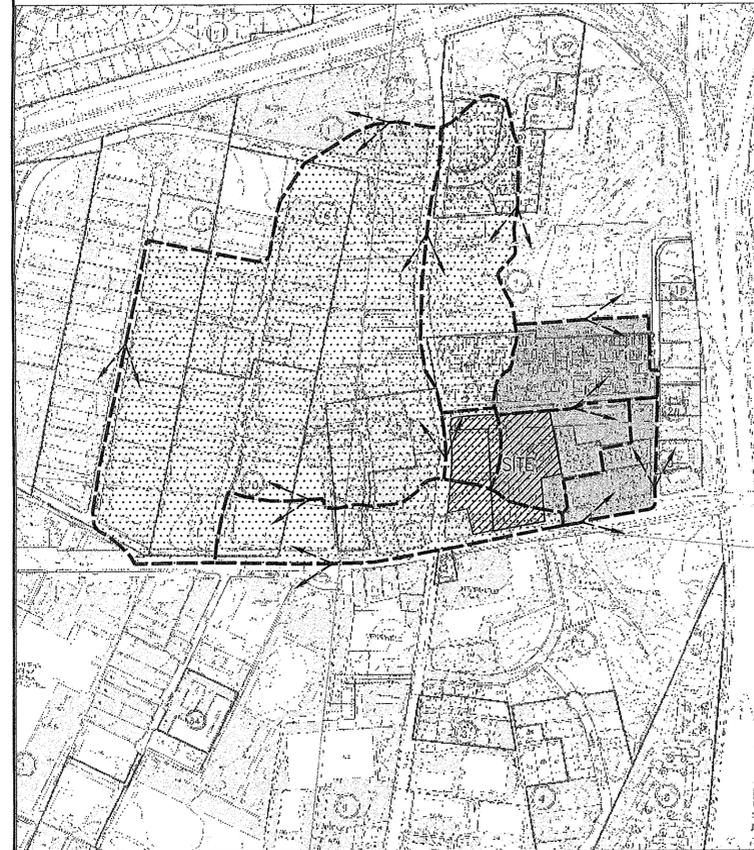
Staff Coordinator SP

Sheet 4 of 5

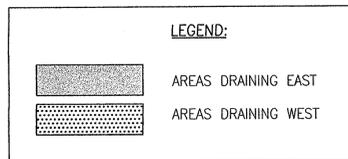
REVISIONS	
REV. OCT. 2004	STAFF COMMENTS
REV. JAN. 2005	
REV. MARCH 14, 2006	
REV. JUNE 2006	
SURVEY	WHGA
DESIGN	L. MILLER
DRAWN	N. ZELENKY
CHECKED	L. MILLER
DATE	MAY 2004
SCALE	HORZ: 1" = 50' VERT: N/A
SEAL	
PROJECT	STORMWATER MANAGEMENT ANALYSIS
JOB	MERRIFIELD GARDEN CENTER
CADD	PROVIDENCE DISTRICT FAIRFAX COUNTY, VIRGINIA
SHEET	0413-0401 0413SWM.DWG 4 OF 5



(A) ADEQUATE OUTFALL MAP
SCALE: 1"=250'



(B) OVERALL DRAINAGE DIVIDES MAP
SCALE: 1"=500'



(C) ADEQUATE OUTFALL NARRATIVE
SCALE: N.T.S.

LIMIT OF DOWNSTREAM REVIEW

ACCORDING TO PFM SECTION 6-0203.2A, THE LIMIT OF DOWNSTREAM REVIEW IS TO A POINT THAT IS AT LEAST 150 FT (46 METERS) DOWNSTREAM OF A POINT WHERE THE RECEIVING PIPE OR CHANNEL IS JOINED BY ANOTHER THAT HAS A DRAINAGE AREA THAT IS AT LEAST 90% OF THE SIZE OF THE FIRST DRAINAGE AREA AT THE POINT OF CONFLUENCE. IN THIS CASE, THE RUNOFF FROM THE SITE DISCHARGES AT THREE DIFFERENT LOCATIONS IN THE NORTH, EAST, AND WEST DIRECTIONS. FOR THE PURPOSE OF THIS ANALYSIS THE POINTS OF OUTFALL THAT DELINEATE THE EXTENT OF REVIEW ARE IDENTIFIED AS: NORTH OUTFALL, EAST OUTFALL, AND WEST OUTFALL. THE AREAS OF THE SITE DRAINING TO THESE POINTS ARE 2.64 ACRES, 3.97 ACRES AND 2.33 ACRES RESPECTIVELY (SEE ADEQUATE OUTFALL MAP ON THIS SHEET). EACH OF THESE SITE AREAS ARE PART OF A CONTRIBUTING AREA DISCHARGING TO THEIR RESPECTIVE POINT OF CONFLUENCE. THE CONTRIBUTING AREAS TO SAID POINTS OF INFLUENCE ARE 3.23 ACRES, 8.25 ACRES, AND 15.40 ACRES TO THE NORTH, EAST AND WEST OUTFALLS RESPECTIVELY.

THE POINT OF CONFLUENCE FOR THE NORTH OUTFALL IS LOCATED ON THE EAST SIDE OF GALLOW'S ROAD (ROUTE 650). THE ADDITIONAL AREA TO THIS POINT IS 19.64 ACRES, WHICH IS MORE THAN 90% (19.64 Ac. > 3.23 Ac.) OF THE CONTRIBUTING AREA CONTAINING THE SITE'S. FOLLOWING THE POINT OF CONFLUENCE, THE EXTENT OF REVIEW FOR THIS OUTFALL IS REQUIRED TO BE MINIMUM OF 150 FT. DOWNSTREAM. AS SUCH, THE EXTENT OF REVIEW IS DEFINED AT A POINT APPROXIMATELY 166 FT. FROM A STORM SEWER STRUCTURE ON THE WEST SIDE OF GALLOW'S ROAD. THE OUTFALL CONSISTS OF A 42" STORM SEWER PIPE THAT EXTENDS IN THE WEST DIRECTION.

THE POINT OF CONFLUENCE FOR THE EAST OUTFALL IS LOCATED 150' WEST FROM THE INTERSECTION OF PROVIDENCE FOREST DRIVE AND HARTLAND ROAD. THE ADDITIONAL AREA TO THIS POINT IS 10.17 ACRES, WHICH IS MORE THAN 90% (10.17 Ac. > 8.25 Ac.) OF THE CONTRIBUTING AREA FROM THE SITE. FOLLOWING THE POINT OF CONFLUENCE, THE EXTENT OF REVIEW IS DEFINED AT A POINT APPROXIMATELY 150 FT. FROM A STORM SEWER STRUCTURE ON THE SOUTH SIDE OF PROVIDENCE FOREST DRIVE. THE OUTFALL CONSISTS OF STORM SEWER PIPE 36" IN DIAMETER THAT EXTENDS IN THE EAST DIRECTION, THEN NORTH ALONG HARTLAND ROAD.

THE POINT OF CONFLUENCE FOR THE WEST OUTFALL IS LOCATED NORTHWEST OF THE INTERSECTION OF LEE HIGHWAY (ROUTE 29) AND MERRILEE DRIVE. THE ADDITIONAL AREA TO THIS POINT IS 105.79 ACRES, WHICH IS SIGNIFICANTLY MORE THAN 90% (105.79 Ac. > 15.40 Ac.) OF THE CONTRIBUTING AREA CONTAINING THE SITE'S. FOLLOWING THIS POINT OF CONFLUENCE, THE EXTENT OF REVIEW IS LOCATED APPROXIMATELY 178 FT. SOUTH ACROSS LEE HIGHWAY. THE OUTFALL CONSISTS OF A BOX SINGLE BOX CULVERT THAT RECEIVES OUTFALL FROM A STORM WATER FACILITY AND FROM A 54 INCH STORM SEWER PIPE TO FURTHER DISCHARGES INTO A 78 INCH STORM SEWER PIPE. THE SIZE OF THE OUTFALL PIPE WAS NOT IMMEDIATELY AVAILABLE AND WILL BE OBTAINED DURING FINAL ENGINEERING.

OUTFALL ANALYSIS

THE SITE AND ITS SURROUNDING CONTRIBUTING AREAS ARE LOCATED IN DENSE AND HIGHLY DEVELOPED AREAS SOUTHWEST OF THE INTERSECTION OF INTERSTATE I-66 AND 495 (SEE OVERALL DRAINAGE DIVIDES MAP ON THIS SHEET). NO STREAMS OR REGIONAL FACILITIES ARE WITHIN THE AREA BETWEEN THE SITE AND THE LIMIT OF DOWNSTREAM REVIEW IN ANY DIRECTION. THE MAJORITY OF THE RUNOFF IS HANDLED BY ENCLOSED STORM SEWER PIPES. IT IS THE ASSUMPTION THAT SAID SYSTEM WAS DESIGNED TO AT LEAST CONVEY THE 2 YEAR AND 10 YEAR EVENTS FOR THE CONTRIBUTING AREAS DRAINING TO IT. THEREFORE, IF THE STORM SEWER SYSTEM SERVING THE SITE AND ITS SURROUNDING CONTRIBUTING AREAS IS ADEQUATE TO CONVEY THE 2 AND THE 10 YEAR EVENTS AND THERE IS NO INCREASE IN THE PEAK FLOWS RELEASED FROM THE SITE FOR THE SAME EVENTS, OUTFALL REQUIREMENTS FOR THE PROPOSED DEVELOPMENT ARE MET.

MAP NOTE

THE MAP SHOWING THE OFFSITE DRAINAGE SYSTEM WAS OBTAINED FROM THE STORMWATER MAINTENANCE DIVISION OF FAIRFAX COUNTY. OFFSITE PIPE SIZES AND SLOPES ARE TAKEN FROM THE MAP. THIS INFORMATION IS SUBJECT TO FIELD AND/OR PUBLIC RECORDS VERIFICATION.

DISCHARGE RATE FOR PROPOSED STORMWATER MANAGEMENT FACILITY

THE PROPOSED DEVELOPMENT WILL INCLUDE A NEW STORMWATER MANAGEMENT FACILITY(ES), THE DESIGN OF WHICH IS SUBJECT TO FINAL ENGINEERING. THE PEAK DISCHARGE FROM THE FACILITY(ES) IS EXPECTED TO BE AT OR AROUND THE PEAK DISCHARGE RATE FOR THE EXISTING FACILITY. HOWEVER, THE ENGINEER RESERVES THE RIGHT TO INCREASE THE DISCHARGE RATES AS LONG AS THE CAPACITY OF THE DOWNSTREAM SYSTEM TO HANDLE THE FLOW IS NOT EXCEEDED AND THE ADEQUATE OUTFALL REQUIREMENTS ARE MET.

MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Zoning Ordinance paragraphs:
 Special Permits (8-011 2J & 2L) Special Exceptions (9-011 2J & 2L)
 Cluster Subdivision (9-615 1G & 1N) Commercial Revitalization Districts (9-622 2A (12) & (14))
 Development Plans PRC District (16-302 3 & 4L) PRC Plan (16-303 1E & 1O)
 FDP P Districts (except PRC) (16-502 1F & 1Q) Amendments (16-202 10F & 10I)

- 1. Plat is at a minimum scale of 1"=50' (unless it is depicted on one sheet with a minimum scale of 1"=100').
- 2. A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet 6.
- 3. Provide:

Facility Name/ Type & No.	On-site area served (acres)	Off-site area served (acres)	Drainage area (acres)	Footprint area (sf)	Storage Volume (cf)	If pond, dam height (ft)
U/G DETENTION (GRAVEL STORAGE)	3.0 AC	0 AC	3.0 AC	5,000 SF±	17,000 CF±	N/A
Totals						

- 4. Onsite drainage channels, outfalls and pipe systems are shown on Sheet 2 & 6. Pond inlet and outlet pipe systems are shown on Sheet N/A.
- 5. Maintenance access (road) to stormwater management facility(ies) are shown on Sheet N/A. Type of maintenance access road surface noted on the plat is N/A (asphalt, geotextile gravel, etc.).
- 6. Landscaping and tree preservation shown in and near the stormwater management facility is shown on Sheet N/A.
- 7. A 'stormwater management narrative' which contains a description of how detention and best management practices requirements will be met is provided on Sheet 6.
- 8. A description of the existing conditions of each numbered site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet 7.
- 9. A description of how the outfall requirements, including known changes to contributing drainage areas (i.e. drainage diversions), of the Public Facilities Manual will be satisfied is provided on Sheet 6 & 7.
- 10. Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheets 1.
- 11. A submission waiver is requested for AS REQUIRED TO MEET CURRENT PFM STANDARDS.
- 12. Stormwater management is not required because N/A.

Application No. SP2006-PR-638

APPROVED SE/SP PLAT

SEE DEVELOPMENT CONDITIONS

Date of (BOB) (BZA) approval 2/27/07

Staff Coordinator [Signature]

Sheet 6 of 5

REVISIONS

DATE	MAY 2004
SCALE	HORIZ: 1" = 50'
	VERT: N/A
SEAL	
PROJECT	ADEQUATE OUTFALL ANALYSIS
JOB	0413-0401
CADD	0413SWM.DWG
SHEET	5 OF 5

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MERRIFIELD GARDEN CENTER
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA