

SITE TABULATIONS:

OWNER: MORRIS E. BROWN
CAMILLE W. BROWN

ADDRESS: 8715 EVANGEL DRIVE
SPRINGFIELD, VIRGINIA 22153
SPRINGFIELD DISTRICT, FAIRFAX COUNTY, VIRGINIA

SITE ZONING: R-3 (THREE DWELLING UNITS PER ACRE)

SITE AREA: 17,083 SQUARE FEET

GROSS FLOOR AREA: 1,757 SQUARE FEET
(EXISTING HOUSE)

GROSS FLOOR AREA RATIO: 10.3%

EXISTING HOUSE HEIGHT: 28.5 FEET

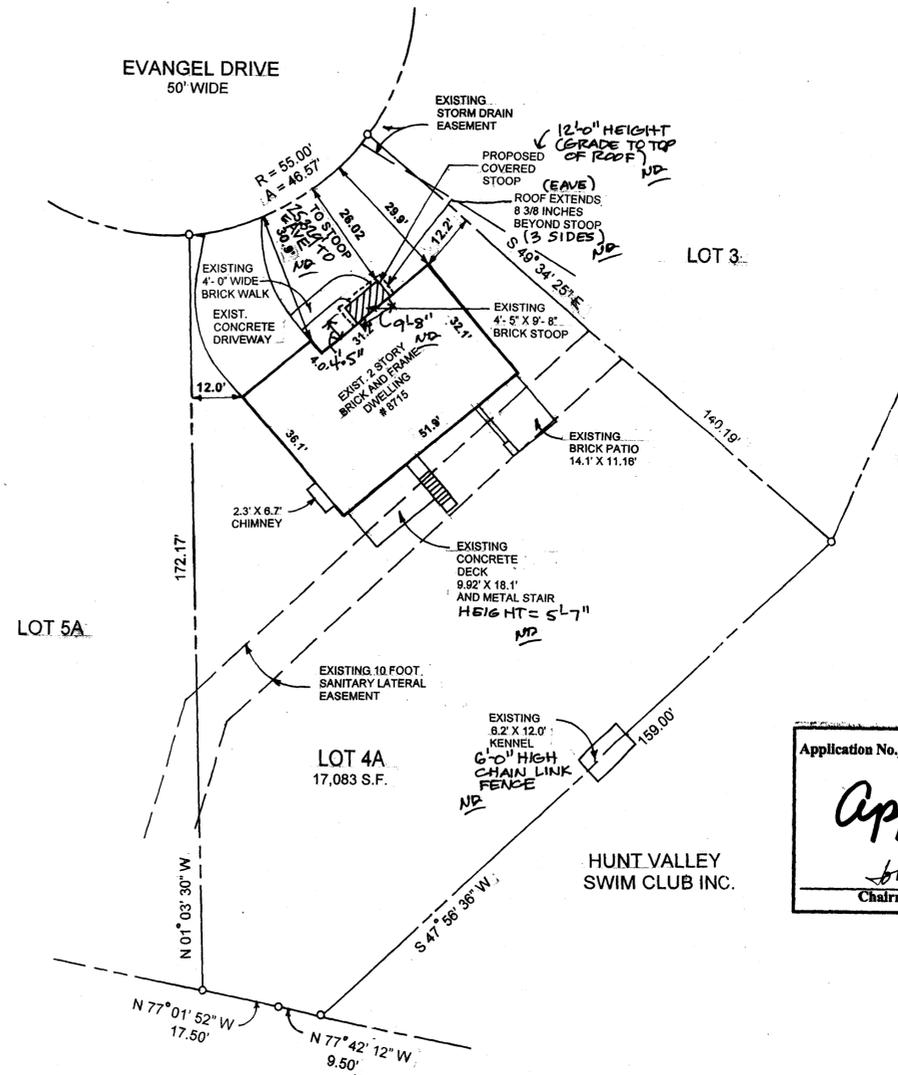
EXISTING REAR DECK HEIGHT: 5' - 7"

PROPOSED COVERED STOOP HEIGHT (GRADE TO TOP OF ROOF): 12' - 0"

	REQUIRED	PROVIDED
FRONT SETBACK:	30 FEET	29.9 AND 30.9 FEET (EXISTING HOUSE) 26.82 FEET (PROPOSED COVERED STOOP)
SIDE SETBACK:	12 FEET	12 AND 12.2 FEET
REAR SETBACK:	25 FEET	25 + FEET

NOTES:

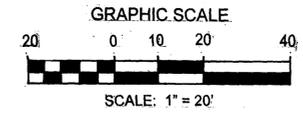
- A SPECIAL PERMIT IS SOUGHT TO ALLOW THE COVERING OF AN EXISTING STOOP TO BE LOCATED IN THE FRONT YARD OF THE PROPERTY.
- THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON FAIRFAX COUNTY, VIRGINIA PARCEL ID # 0893-22-0004A.
- THE PROPERTY SHOWN HEREIN IS CURRENTLY IN THE OWNERSHIP OF MORRIS E. BROWN AND CAMILLE W. BROWN IN DEED BOOK 05922 AT PAGE 0487 AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.
- BOUNDARY INFORMATION TAKEN FROM EXISTING RECORDS.
- PROPERTY BOUNDARY DIMENSIONS, EXISTING HOUSE LOCATION, PROPERTY EASEMENT LOCATIONS OBTAINED FROM PROPERTY PLAT PREPARED AND CERTIFIED BY CALVIN R. ALLEN, LAND SURVEYOR, OF RINKER-DETWILER AND ASSOCIATES, P.C. DATED AUGUST 28, 1986.
- TO THE BEST OF OUR KNOWLEDGE THIS SITE DOES NOT CONTAIN A 100 YEAR FLOOD PLAIN, ENVIRONMENTAL QUALITY CONTROL CORRIDOR (EQC), OR RESOURCE PROTECTION AREA (RPA).
- THIS PROPERTY IS SERVED BY EXISTING PUBLIC WATER AND SEWER.
- TO THE BEST OF OUR KNOWLEDGE THERE ARE NO KNOWN GRAVES OBJECTS, OR STRUCTURES MARKING A PLACE OF BURIAL.
- TO THE BEST OF OUR KNOWLEDGE THERE ARE NO HAZARDOUS OR TOXIC SUBSTANCES, HAZARDOUS WASTE, AND/OR PETROLEUM PRODUCTS TO BE GENERATED, UTILIZED, STORED, TREATED, AND/OR DISPOSED OF ON SITE.
- THE PROPOSED DEVELOPMENT WILL CONFORM TO ALL APPLICABLE ORDINANCES, REGULATIONS, AND ADOPTED STANDARDS EXCEPT AS NOTED.
- THERE ARE NO PUBLIC IMPROVEMENTS PROPOSED WITH THIS PLAN.
- THERE IS LESS THAN 2,500 SQUARE FEET OF LAND DISTURBANCE.
- TO THE BEST OF OUR KNOWLEDGE THERE ARE NO MAJOR UNDERGROUND UTILITY EASEMENTS OR PUBLIC EASEMENTS HAVING A WIDTH OF 25 FEET OR GREATER LOCATED ON THE PROPERTY.
- ALL IMPROVEMENTS SHOWN ON THIS PLAT ARE EXISTING UNLESS NOTED OTHERWISE.



Application No. SP 2006-SP-072

Approved

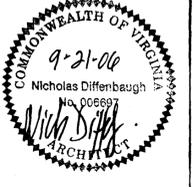
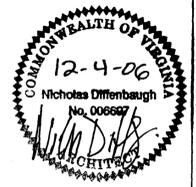
John P. W. Spiller
Chairman, Board of Zoning Appeals



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Department of Planning & Zoning
DEC 4 2006
Zoning Evaluation Division

NICHOLAS DIFFENBAUGH
ARCHITECT P.C.
11300 SILVERLEAF DRIVE
FAIRFAX STATION, VIRGINIA 22039
703.250.0229
ndiffenbaugh@cox.net www.ndarchitect.com

SPECIAL PERMIT PLAT - LOT 4A
BROWN RESIDENCE
8715 EVANGEL DRIVE, SPRINGFIELD, VIRGINIA 22153



SEPT. 21, 2006
REVISIONS
DEC. 4, 2006