

**GENERAL NOTES:**

- THE PROPERTY DELINEATED ON THIS SPECIAL PERMIT PLAT (SPP) IS LOCATED ON FAIRFAX COUNTY TAX ASSESSMENT MAP #39-4 ((44)), LOT 14 AND IS ZONED R-3.
- THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON DEEDS AND INFORMATION OF RECORD AND SHOULD NOT BE CONSIDERED A BOUNDARY SURVEY. NO TITLE REPORT WAS FURNISHED.
- THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM INFORMATION OF RECORD AND CONFIRMED BY A SPOT LOCATION FIELD SURVEY CONDUCTED BY BC CONSULTANTS ON FEBRUARY 5, 2007.
- THE PROPERTY DELINEATED ON THIS SPP IS IN THE PROVIDENCE MAGISTERIAL DISTRICT, CAMERON I-1 SANITARY SEWER DISTRICT AND THE CAMERON RUN WATERSHED.
- TO THE BEST OF OUR KNOWLEDGE, THIS DEVELOPMENT IS IN CONFORMANCE WITH THE FAIRFAX COUNTY COMPREHENSIVE PLAN AND WILL CONFORM TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS AND CONDITIONS WITH THE EXCEPTION OF THE FOLLOWING:
  - IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 8, SECTION 8-922 OF THE FAIRFAX COUNTY ZONING ORDINANCE, THE APPLICANT REQUESTS A MODIFICATION OF ARTICLE 2, SECTION 2-412; PERMITTED EXTENSIONS INTO A MINIMUM YARD, TO ALLOW ANY ROOFED DECK WITH ANY PART OF ITS FLOOR HIGHER THAN FOUR (4) FEET ABOVE FINISHED GROUND LEVEL TO EXTEND INTO THE SIDE YARD 4 FEET BUT NOT CLOSER THAN 6 FEET TO THE SIDE LOT LINE AND EXTEND INTO THE REAR YARD 3 FEET AND NOT CLOSER THAN 12.5 FEET TO ANY REAR LOT LINE AND NOT CLOSER THAN 6 FEET TO THE SIDE LOT LINE.
- ACCORDING TO THE 2002 FAIRFAX COUNTY - COUNTYWIDE TRAILS PLAN, NO TRAILS ARE REQUIRED FOR THE SUBJECT SITE.
- THE COUNTY OF FAIRFAX IS THE SANITARY SEWER SUPPLY AGENCY FOR THE SUBJECT SITE. THE FAIRFAX COUNTY WATER AUTHORITY HAS WATER SUPPLY JURISDICTION OVER THE SUBJECT SITE.
- THE PROPERTY IS SERVED BY AN EXISTING OFF-SITE STORMWATER MANAGEMENT/BEST MANAGEMENT PRACTICES (SWM/BMP) FACILITY APPROVED WITH SUBDIVISION PLAN 009344-SD-001-2 APPROVED ON 3-18-97. NO GRADING, CLEARING OR OTHER LAND DISTURBANCES AND NO INCREASE IN THE IMPERVIOUS AREAS OF THE SITE ARE PROPOSED WITH THIS PLAN. ACCORDINGLY, NO ADDITIONAL SWM/BMP FACILITIES ARE REQUIRED OR PROPOSED.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EASEMENTS GREATER THAN 25' IN WIDTH OR ANY MAJOR UNDERGROUND EASEMENTS REGARDLESS OF WIDTH ON THE SUBJECT SITE. INDIVIDUAL UNDERGROUND UTILITY CONNECTIONS ARE NOT SHOWN ON THE PLAN.
- THERE ARE NO GRAVES, BURIAL SITES OR CEMETERIES ON THE SUBJECT SITE.
- THERE ARE NO KNOWN HAZARDOUS OR TOXIC SUBSTANCES ON THE SITE. IF ANY SUBSTANCES ARE FOUND, THE METHODS FOR THEIR DISPOSAL SHALL ADHERE TO COUNTY, STATE OR FEDERAL LAW.
- BASED ON THE SIZE OF THE DECK RELATIVE TO THE SIZE OF THE PRINCIPLE STRUCTURE (396 s.f. ± VS 4,431 s.f. ± RESPECTIVELY), THE EXISTING WOOD DECK IS INTENDED AS AN OUTDOOR, SECONDARY USE AREA SUBORDINATE IN PURPOSE, SCALE AND USE TO THE PRINCIPAL STRUCTURE, A SINGLE FAMILY DETACHED RESIDENTIAL UNIT.

**ZONING ORDINANCE - ARTICLE 8-011 COMMENTS:**  
SUBMISSION REQUIREMENTS (FOR A SPECIAL PERMIT)

- APPLICATION TO BE SUBMITTED WITH THIS PLAN.
- A. THE BOUNDARY INFORMATION IS SHOWN ON THE PLAN. THE PROPERTY DELINEATED ON THIS SPECIAL PERMIT PLAT IS ZONED R-3. REFER TO GENERAL NOTE 2 FOR ADDITIONAL BOUNDARY INFORMATION.
  - REFER TO THE SITE TABULATIONS FOR PROPERTY AREA.
  - NORTH ARROW AND SCALE ARE SHOWN ON THE PLAN.
  - THE LOCATION AND REQUIRED DIMENSIONS OF ALL EXISTING STRUCTURES ARE SHOWN ON THE PLAN. NO NEW STRUCTURES ARE PROPOSED WITH THIS PLAN. THERE ARE NO EXISTING OR PROPOSED SIGNS. THE HOUSE WAS BUILT IN 1998 AND WILL BE RETAINED. NO ADDITIONS, RENOVATIONS OR OTHER ALTERATIONS TO THE HOUSE OR DECK ARE PROPOSED WITH THIS PLAN. THE HEIGHT OF THE EXISTING HOUSE IS 25'. THE FAIRFAX COUNTY BUILDING HEIGHT CALCULATION SHEET IS SHOWN BELOW. THE DECK FLOOR RANGES FROM 4.5' (MINIMUM) TO 7' (MAXIMUM) ABOVE FINISHED GROUND LEVEL.
  - REFER TO THE SITE TABULATIONS FOR THE REQUIRED YARDS. ANGLE OF BULK PLANE AND TRANSITIONAL YARDS ARE NOT APPLICABLE. THE REQUIRED DIMENSIONS ARE SHOWN ON THE PLAN.
  - PUBLIC RIGHT-OF-WAY INFORMATION AND ALL REQUIRED DIMENSIONS ARE SHOWN ON THE PLAN. NO IMPROVEMENTS TO THE PUBLIC RIGHT-OF-WAY ARE REQUIRED OR PROPOSED WITH THIS PLAN.
  - EXISTING MEANS OF INGRESS AND EGRESS TO THE PROPERTY ARE SHOWN ON THE PLAN.
  - REFER TO THE SITE TABULATIONS FOR PARKING INFORMATION. THE REQUIRED DIMENSION IS SHOWN ON THE PLAN.
  - THE PROPERTY IS SERVED BY PUBLIC WATER AND SEWER. REFER TO GENERAL NOTE 7 FOR ADDITIONAL INFORMATION.
  - REFER TO GENERAL NOTE 8 FOR THE REQUIRED STORMWATER MANAGEMENT/BEST MANAGEMENT PRACTICES FACILITY INFORMATION.
  - THE EXISTING FLOOR AREA RATIO IS 0.35. THE PROPOSED FLOOR AREA RATIO IS 0.39. REFER TO THE SITE TABULATIONS FOR ADDITIONAL INFORMATION.
  - REFER TO GENERAL NOTE 3 FOR TOPOGRAPHIC INFORMATION.
  - NO GRADING OR OTHER LAND DISTURBANCES ARE PROPOSED WITH THIS PLAN. ACCORDINGLY, AN EXISTING VEGETATION MAP IS NOT REQUIRED. NO TRANSITIONAL SCREENING OR BARRIERS ARE REQUIRED OR PROPOSED WITH THIS PLAN.
  - THERE ARE NO FLOODPLAINS (AS DESIGNATED BY THE FEDERAL INSURANCE ADMINISTRATION, U.S. GEOLOGICAL SURVEY OR FAIRFAX COUNTY), RESOURCE PROTECTION AREAS OR ENVIRONMENTAL QUALITY CORRIDORS ON THE PROPERTY. HOWEVER, THE ENTIRE PROPERTY IS DESIGNATED AS A RESOURCE MANAGEMENT AREA.
  - THERE ARE TWO EXISTING WALL MOUNTED RESIDENTIAL LIGHTS; ONE AT THE FRONT DOOR AND ONE AT THE REAR FRENCH DOOR. AN EXISTING POLE MOUNTED RESIDENTIAL LIGHT IS SHOWN ON THE PLAN. ALL ARE IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 14 OF THE FAIRFAX COUNTY ZONING ORDINANCE. NO NEW LIGHTS ARE PROPOSED WITH THIS PLAN. ALL OTHER LISTED FEATURES ARE NOT REQUIRED, DO NOT EXIST ON THE PROPERTY AND ARE NOT PROPOSED WITH THIS PLAN.
  - REFER TO GENERAL NOTE 9 FOR EXISTING UTILITY EASEMENT INFORMATION.
  - REFER TO GENERAL NOTE 6 FOR COMPREHENSIVE PLAN TRAILS INFORMATION.
  - REFER TO GENERAL NOTE 10 FOR GRAVES, BURIAL SITES OR CEMETERIES INFORMATION.
  - SIGNATURE AND SEAL SHOWN ON THE PLAN.
- RED-LINED COPY OF THE FAIRFAX COUNTY ZONING MAP TO BE SUBMITTED WITH THIS PLAN.
- REQUIRED PHOTOGRAPHS OF THE PROPERTY TO BE SUBMITTED WITH THIS PLAN.
- AFFIDAVIT AND THE APPLICANT'S AGENT AUTHORIZATION STATEMENT TO BE SUBMITTED WITH THIS PLAN.
- WRITTEN STATEMENT GIVING THE REQUIRED INFORMATION TO BE SUBMITTED WITH THE PLAN.
- THE APPLICANTS, WILLIAM J. FENNELL AND KATHERINE I. FENNELL ARE THE TITLE OWNERS OF THE PROPERTY DELINEATED ON THIS SPECIAL PERMIT PLAT.
- THE PROPERTY DELINEATED ON THIS SPECIAL PERMIT PLAT IS NOT WITHIN ANY OVERLAY DISTRICTS AS IDENTIFIED IN ARTICLE 7 OF THE FAIRFAX COUNTY ZONING ORDINANCE.
- APPLICATION FEE TO BE SUBMITTED WITH THIS PLAN.

**SITE TABULATIONS:**

GROSS SITE AREA: 12,503 s.f. or 0.287 Ac.  
 EXISTING ZONE: R-3  
 MAXIMUM BUILDING HEIGHT ALLOWED: 35'  
 EXISTING BUILDING HEIGHT: 25' \*  
 MINIMUM YARD REQUIREMENTS:  
 FRONT YARD: 30'  
 SIDE YARD: 12'  
 REAR YARD: 25'  
 GROSS FLOOR AREA:  
 HOUSE: 4,431 s.f. ± (INCLUDING THE BASEMENT, EXCLUDING THE GARAGE)  
 DECK: 396 s.f. ± \*\*  
 TOTAL: 4,827 s.f. ±

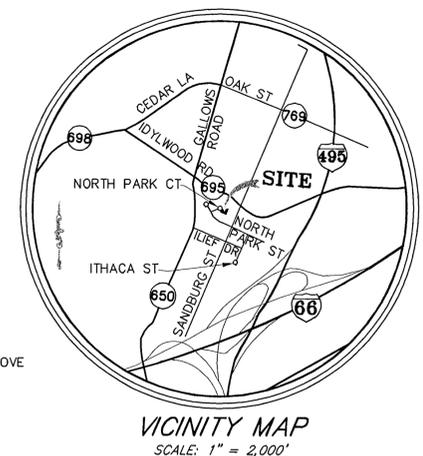
EXISTING FLOOR AREA RATIO (EXCLUDES DECK AREA): 0.35  
 PROPOSED FLOOR AREA RATIO (INCLUDED DECK AREA): 0.39  
 PERMITTED EXTENSIONS INTO MINIMUM REQUIRED YARDS:

FOR ANY ROOFED DECK WITH NO PART OF ITS FLOOR HIGHER THAN FOUR (4) FEET ABOVE FINISHED GROUND LEVEL MAY EXTEND INTO MINIMUM REQUIRED YARDS AS FOLLOWS:  
 FRONT YARD: NO EXTENSION  
 SIDE YARD: NO EXTENSION  
 REAR YARD: 12 FEET BUT NOT CLOSER THAN 5 FEET TO ANY REAR LOT LINE AND NOT CLOSER THAN A DISTANCE EQUAL TO THE MINIMUM REQUIRED SIDE YARD TO THE SIDE LOT LINE

PROPOSED EXTENSIONS INTO MINIMUM REQUIRED YARDS:  
 FOR ANY ROOFED DECK WITH ANY PART OF ITS FLOOR HIGHER THAN FOUR (4) FEET ABOVE FINISHED GROUND LEVEL MAY EXTEND INTO MINIMUM REQUIRED YARDS AS FOLLOWS:  
 FRONT YARD: NO EXTENSION  
 SIDE YARD: 4' BUT NO CLOSER THAN 6' TO THE SIDE LOT LINE.  
 REAR YARD: 3 FEET BUT NOT CLOSER THAN 12.5 FEET TO ANY REAR LOT LINE AND NOT CLOSER THAN 6' TO THE SIDE LOT LINE.

PARKING REQUIRED (2 SPACES PER SINGLE FAMILY DETACHED UNIT): 2 SPACES  
 EXISTING PARKING: 2 SPACES \*\*\*

\* FAIRFAX COUNTY BUILDING HEIGHT CALCULATION SHEET SHOWN ELSEWHERE ON THIS SHEET.  
 \*\* THE AREA OF THE DECK REPRESENTS A 8.9% INCREASE IN THE GROSS FLOOR AREA OF THE HOUSE. SEE GENERAL NOTE 12 FOR ADDITIONAL INFORMATION.  
 \*\*\* TWO PARKING SPACES ARE PROVIDED IN THE GARAGE. ADDITIONAL PARKING SPACES ARE AVAILABLE IN THE DRIVEWAY.



Application No. **SP 2007-PR-058**  
 Approved  
 [Signature]  
 Chairman, Board of Zoning Appeals

**Fairfax County Building Height Calculation**  
 (For calculating building height in accordance with the Zoning Ordinance)

High Ridge	453.0	High Ridge	0.0
Eave	444.5	Eave 1	0.0
Avg. Grade	423.8	Eave 2	0.0
		Avg. Grade	423.8

Average Grade Calculation		Summary	
Elevation 1	423.8	High Ridge	453.0
Elevation 2	423.8	Midpoint	448.8
Elevation 3	423.8	Eave	444.5
Elevation 4	423.8	Avg. Grade	423.8
Elevation 5	423.8	Eave 1	0.0
Elevation 6	423.8	Eave 2	0.0
Elevation 7	423.8	Avg. Grade	423.8
Elevation 8	423.8	Height	25.0
Elevation 9	423.8	Height	N/A
Elevation 10	423.8		
Elevation 11	423.8		
Elevation 12	423.8		
Elevation 13	423.8		
Elevation 14	423.8		
Elevation 15	423.8		

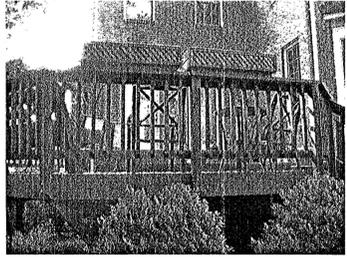
  

**Notes**

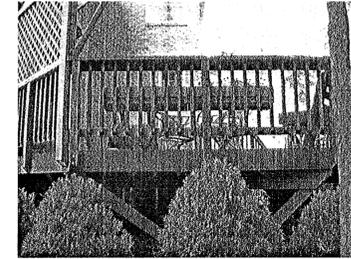
- For single family detached units, average grade shall be calculated by taking elevation points around the perimeter of the structure at intervals of approx. 20 feet and averaging them.
- For townhouse units, the average grade shall be calculated for each individual unit, rather than around the perimeter of the entire building (group/row) as follows:  
 Interior Units: A minimum of two elevation points at front and rear exterior of the unit and averaged  
 End Units: A minimum of two elevation points at the front, side and rear exterior of the unit and averaged
- Lower elevations of window wells, no more than 10 feet wide along the wall of the building, and extending from the structure no more than 4 feet, and areaways or walkouts with widths along the wall of the building that do not exceed a maximum of 15 feet, are not included in the average grade calculation.
- Finished grades that are established with a retaining wall must extend 10 feet from the structure, in order to include the higher grade elevation toward the average grade calculation. Grades established by a retaining wall that extends less than 10 feet from the structure, are measured at the base of the retaining wall.



(A) SIDE VIEW



(B) REAR VIEW



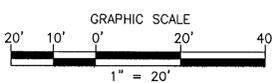
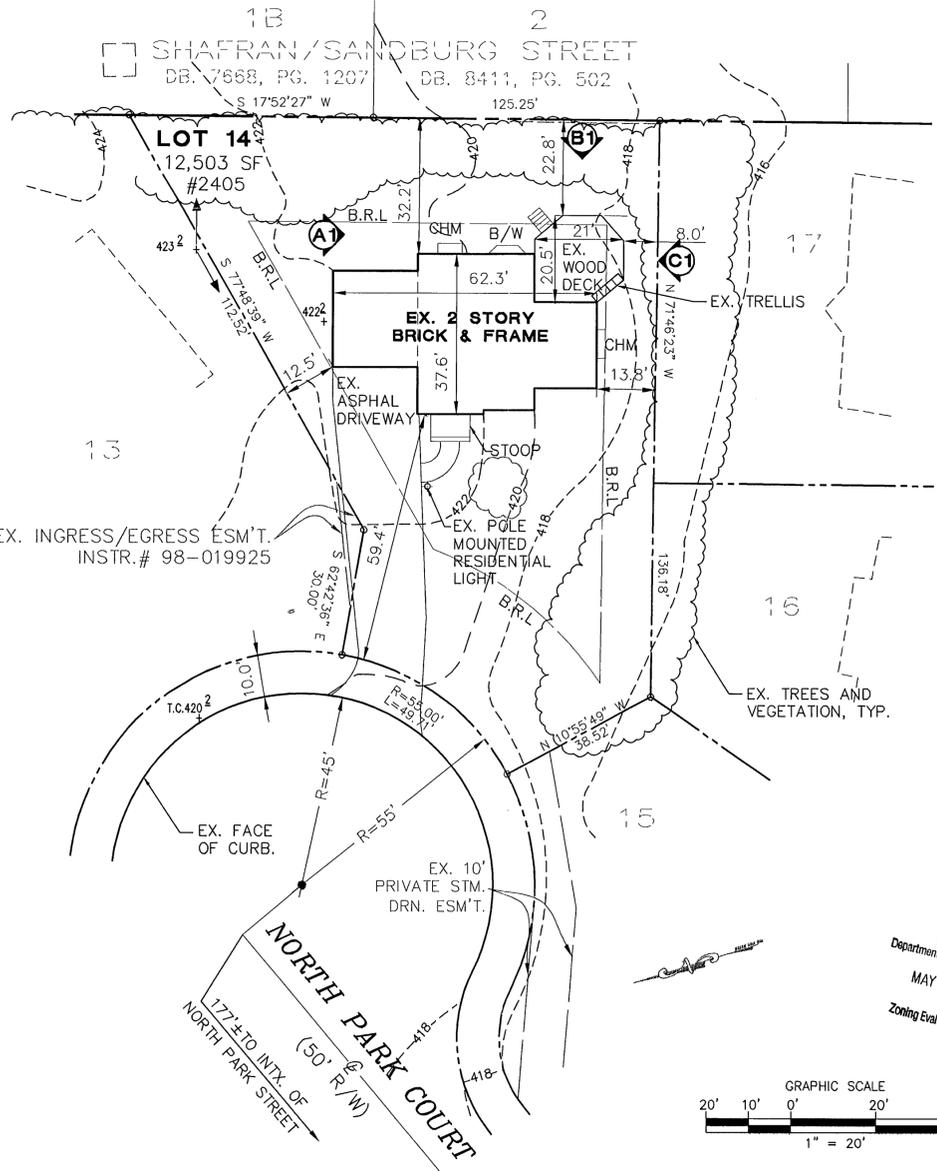
(C) SIDE VIEW



(A) PHOTO REFERENCE POINT

**DECK MATERIALS LIST**

- PRESSURE TREATED WOOD POST, BEAMS, JOISTS, AND LATTICE.
- CONCRETE POST FOOTINGS.
- REDWOOD DECKING AND RAILINGS.
- GALVANIZED MOUNTING RAILS.
- STAINLESS STEEL SCREWS.



**BC Consultants**  
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**SPECIAL PERMIT PLAT**  
**2405 NORTH PARK COURT**  
**(LOT 14, NORTH PARK)**  
 PROVIDENCE DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

DESIGNED BY: DDD  
 DRAFTED BY: CAD  
 CHECKED BY: DDD  
 DATE: MAY, 2007  
 SCALE: HOR. 1" = 20' VERT.  
 SHEET 1 OF 1  
 CO. NO. SP 2007-0128  
 CAD NAME: S7012SPP.DWG  
 LAYOUT: SPECIAL PERMIT  
 FILE NO. 07012.01-00

RECEIVED  
 Department of Planning & Zoning  
 MAY 30 2007  
 Zoning Evaluation Division

BC REVISIONS

OWNERS:  
 WILLIAM J. FENNELL &  
 KATHERINE I. FENNELL  
 4405 NORTH PARK COURT  
 DUNN LORING, VA 22027

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