



APPLICATION ACCEPTED: January 31, 2008

PLANNING COMMISSION: June 12, 2008

BOARD OF SUPERVISORS: June 30, 2008

County of Fairfax, Virginia

May 28, 2008

STAFF REPORT

SPECIAL EXCEPTION APPLICATION SE 2008-DR-003

DRANESVILLE DISTRICT

APPLICANT: Chevy Chase Bank, F.S.B.

ZONING: C-2, CRD, SC and HC

PARCEL(S): 30-2 ((5)) 6, 9, 10

ACREAGE: 30,363 square feet (SF)

FAR: 0.11

OPEN SPACE: 30.85%

PLAN MAP: Office

SE CATEGORY: Category 5, Drive-In Financial Institution
Category 6, Waiver of Certain Sign Regulations

PROPOSAL: The applicant seeks a special exception for a drive-in financial institution, waivers and modifications in a CRD, and a waiver of certain sign regulations to permit increased sign area.

STAFF RECOMMENDATIONS:

Staff recommends approval of SE 2008-DR-003 subject to the proposed development conditions in Appendix 1.

Suzanne Lin

Staff recommends approval of a modification to the transitional screening and a waiver of the barrier requirement to the north, along the Dolley Madison Boulevard, in favor of that shown on the SE Plat.

Staff recommends that the loading space requirement be waived.

Staff recommends that the front yard requirements in a Commercial Revitalization District be modified in favor of what is shown on the SE Plat..

Staff recommends approval of a waiver of the service drive requirement along Dolley Madison Boulevard.

Staff recommends approval of a modification to the required peripheral parking lot landscaping in favor of that shown on the SE Plat.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this special exception does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.

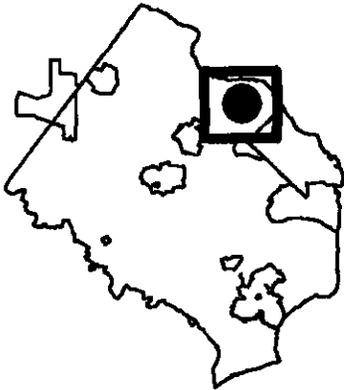
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Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 7 days advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

Special Exception

SE 2008-DR-003



Applicant: CHEVY CHASE BANK, F.S.B.
Accepted: 01/31/2008
Proposed: DRIVE-IN BANK IN A HIGHWAY CORRIDOR OVERLAY DISTRICT AND MODIFICATIONS AND WAIVERS IN A COMMERCIAL REVITALIZATION DISTRICT

Area: 30,363 SF OF LAND; DISTRICT - DRANESVILLE

Zoning Dist Sect: 07-060709-0622

Art 9 Group and Use: 6-07 6-19

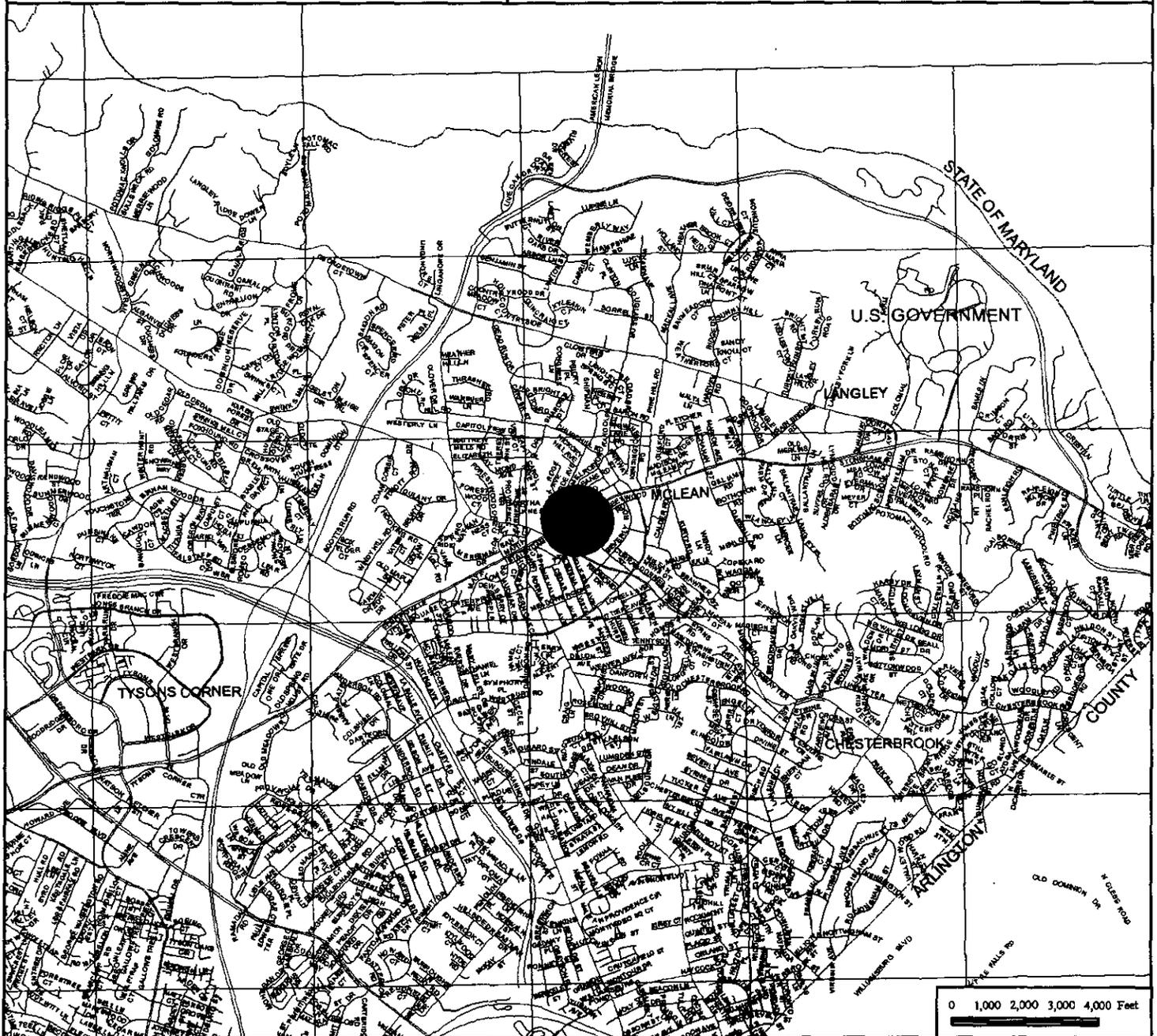
Located: 1427, 1433, AND 1441 DOLLEY MADISON BOULEVARD

Zoning: C- 2

Plan Area: 2,

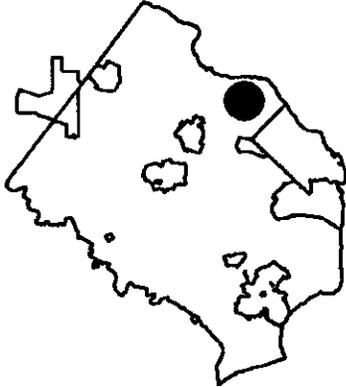
Overlay Dist: SC CRD HC

Map Ref Num: 030-2- /05/ /0006 /05/ /0009 /05/ /0010



Special Exception

SE 2008-DR-003

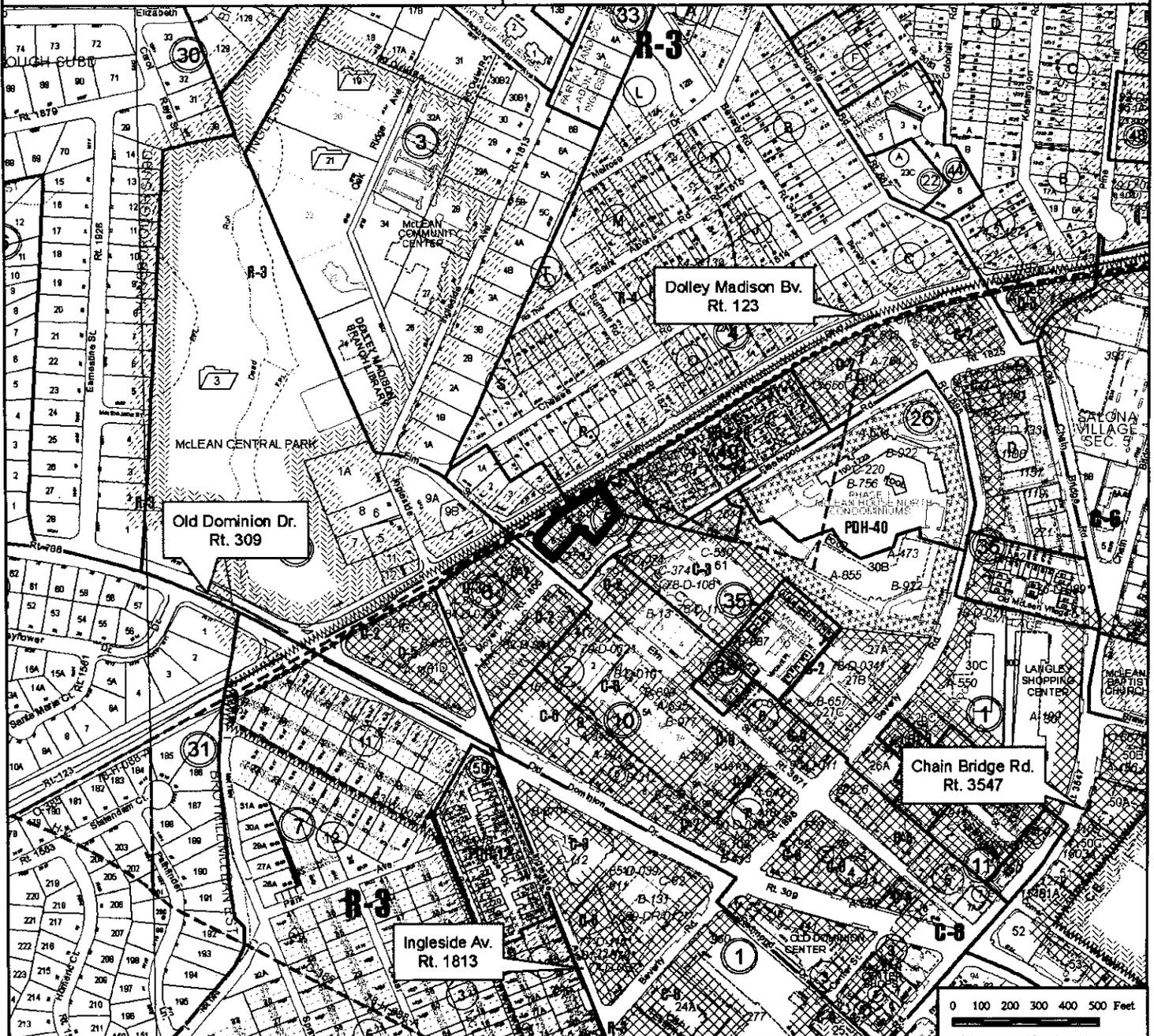


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**A GLOSSARY OF TERMS FREQUENTLY
USED IN STAFF REPORTS WILL BE
FOUND AT THE BACK OF THIS REPORT**

DESCRIPTION OF THE APPLICATION

- Proposal:** The applicant is seeking approval of a Category 5 Special Exception for a freestanding drive-in financial institution with three freestanding drive-in lanes in a Commercial Revitalization District (CRD) and Highway Corridor Overlay District.
- The applicant is also seeking approval of waivers and modifications in a CRD. Specifically, the applicant is requesting a modification to the minimum required front yard to permit the proposed building to be five (5) feet from Dolley Madison Boulevard instead of 20 feet.
- Finally, the applicant seeks approval of a Category 6 Special Exception for a waiver of certain sign regulations to permit increased square footage of building mounted sign area from 60 square feet (SF) to 124.19 SF.
- Hours:** Lobby Hours: 9:00 am to 7:00 pm, Monday to Friday, 9:00 am to 3:00 pm, Saturday
Automated Teller Machines (ATM): 24 hours a day, 7 days a week
- Employees:** 8 employees
- Waivers and Modifications:**
- Modification of the transitional screening requirement to the north (along Dolley Madison Blvd. frontage) and modification of barrier requirement in favor of proposed streetscape (landscaping, sidewalk and knee wall) as depicted on the SE Plat.
 - Modification of peripheral parking landscaping in favor of proposed landscaping.
 - Waiver of loading space requirement
 - Waiver of service drive; and
 - Waiver of construction of on-road bike lane required per Comprehensive Plan in favor of an escrow of funds for future construction

LOCATION AND CHARACTER

The subject property comprises 30,363 square feet and is located in Subarea #27 of the McLean Community Business Center. The parcels are in the southeast quadrant of the intersection of Dolley Madison Boulevard and Elm Street and has frontage along both streets. The property is zoned C-2, Limited Office District. The property is also located within the Highway Corridor (HC) and Sign Control (SC) Overlay Districts, and in the McLean Commercial Revitalization District (CRD).

The property is a consolidation of three lots and is currently developed with three converted residential buildings. The existing buildings will be removed to accommodate the proposed development. The existing vegetation on the site includes several mature landscape trees which vary in condition from poor to good and a row of mature deciduous trees in the central portion of the site. There are also several mature deciduous trees, such as oak, ash and maple, along the eastern and southern property boundaries that appear to be off-site or jointly owned. These trees are in fair to good condition. The existing vegetation onsite will be removed to accommodate the proposed development.

** SURROUNDING AREA DESCRIPTION **			
Direction	Use	Zoning	Plan
North	Single Family Detached (Beverly Manor)	R-4	Residential; 4-5 du/acre
South	Low Rise Office (Goodwins Beverly Manor)	C-2	Residential; 20+ du/acre
East	Low Rise Office (Beverly Manor)	C-2	Office
West	Low Rise Office	C-2	Office

BACKGROUND

Site History:

The subject site is comprised of three parcels which are consolidated for this application. There are three existing buildings on these parcels, each of which were at one time residential buildings, but converted into commercial use. According to Fairfax County tax records, two of the buildings were built in 1941 and one was constructed in 1942. The building at 1427 Dolley Madison Blvd is accessed from Elm Street by a paved driveway and surface parking lot. The other two existing buildings are accessed by two driveway entrances from Dolley Madison Blvd. The parking is provided for these two latter buildings at the rear of the lots.

The only land use application associated with these parcels was RZ 1998-MD-037 which established the boundaries of the McLean Commercial Revitalization District (CRD) and was approved on October 12, 1998. There have been no other land use applications filed on these particular sites.

COMPREHENSIVE PLAN PROVISIONS

Plan Area: Area II, Mclean Planning District
Planning Sector: McLean Community Business Center, Subarea #27
Plan Map: 4-5 du/ac
Plan Text:

According to the Fairfax County Comprehensive Plan, as revised through August 6, 2007, the area bounded by Dolley Madison Boulevard, Beverly Road, Fleetwood Road and Elm Street (Subareas 27 and 28) should develop as low-rise commercial. Future development should be carefully sited to face toward Dolley Madison Boulevard with access from Fleetwood Road. This area is intended as a transition from the higher density commercial core along Elm Street to the residential neighborhood beyond the CBC boundary.

The area is also covered by the McLean Open Space Design Standards, as amended through May 5, 2008. This document provides urban design guidance for transforming the McLean Central Business Center (CBC) into a more pedestrian-oriented environment. It includes general design principles; specific design standards for sidewalks, streetscape and parking lot landscaping; and building envelope guidance for subareas of the CBC. The purpose is to provide clear design parameters to those submitting projects for review, whether it is new construction, building expansion, exterior renovation and/or other improvements to existing conditions

ANALYSIS

Special Exception Plat (Copy at front of staff report)

Title of SE Plat: Chevy Chase Bank Dolley Madison Blvd.
Prepared By: BC Consultants
Original and Revision Dates: November 2007 as revised through May 2, 2008

Chevy Chase Bank Dolley Madison Boulevard	
Sheet 1	Site Layout, Vicinity Map, Site Tabulations
Sheet 2	Tree Cover Calculations, Interior Parking Lot Calculations, Peripheral Parking Lot Calculations, Road Section of Dolley Madison Blvd. & Landscaping Plan
Sheet 3	General Notes and Zoning Ordinance Comments
Sheet 4	Existing Conditions and Existing Vegetation Map
Sheet 5	Elevations, Sidewalk, Lighting and Street Furniture Details
Sheet 6	Stormwater Management Plan, Stormwater Management Divides
Sheet 7	Stormwater Calculations, Stormwater Management Checklist and Narratives

The following features are depicted on the SE Plat:

- **Building:** The SE Plat shows a one-story, 29-foot tall brick building with a maximum of 3,197 SF of gross floor area (GFA). The building is approximately 96 feet by 40 feet in dimension, with the long side facing Dolley Madison Boulevard. The building is sited in the corner of the parcel, along both Dolley Madison Boulevard and Elm Street. The building will have two entrances, one facing Elm Street and one facing the proposed surface parking lot.
- **Intensity:** The SE Plat indicates an FAR of 0.11.
- **Right-of-Way Dedication:** The SE Plat also depicts right-of-way dedication along both Dolley Madison Boulevard and along Elm Street. The SE Plat depicts dedication of an additional five feet of right-of-way along Dolley Madison Boulevard, creating a right-of-way width of 45 feet from centerline along that roadway frontage. The SE Plat also depicts a four-foot wide strip of dedication strip along Elm Street, which would result in a width of 34 feet from centerline along that roadway frontage.
- **Automated Teller Machines (ATMs):** The SE Plat depicts the three proposed ATMS to be remote from the main building, occupying a site in the eastern portion of the parcel. The ATMs will be covered by a canopy shown extending over the lanes. The canopy will stand at 13.8 feet high and the support columns will have brick facing, with typical ATM machinery. The applicant is requesting signage on the remote ATMs as well.
- **Architecture:** Sheet 5 of the SE Plat shows a building with similar architecture on all four sides. A standing seam metal roof is proposed, with a columned pediment at either entrance (on the west or east ends of the building). The applicant had indicated that the building materials will be red brick with white painted trim. The pillars are at the pedestrian entrances to the building.

- **Building Mounted Signage:** Sheet 5 shows building mounted signage on three sides of the building (south, west and north), no signage is requested on the eastern face of the main building. The same sign is proposed along three sides of the building, and consists of individual letter of internally illuminated red plastic. Each sign would measure approximately 35 SF, for a total of approximately 105 SF of wall mounted signage. The applicant is further proposing a sign on the Dolley Madison Boulevard side of the ATM structure, proposed to be 18.19 SF. There are no freestanding signs proposed. Per the Zoning Ordinance, the applicant would be entitled to 60 SF of signage due to the location of the entrances on the shorter sides of the buildings. The applicant requests a total of approximately 124 SF of signage with this application.
- **Access:** Access will be provided from an entrance on Elm Street. Vehicles will be able to access the site by either right or left turns from Elm Street and, similarly, vehicles will be able to turn right or left out of the property. The applicant has also provided a 25-foot wide interparcel access easement to the parcel, Tax Map 30-2 ((5)) 7, providing possible future access to Fleetwood Road.
- **Parking:** The SE plat shows a surface parking lot consisting of 23 spaces located in the northern part of the site, near the Dolley Madison Boulevard frontage.
- **Landscaping and Streetscape:** The SE Plat depicts landscaping along much of the periphery of the site. All of the existing on-site vegetation is proposed to be removed. Near the ATMs, the applicant is showing peripheral parking landscaping to the south and landscaping just to the north of the ATMs, consisting of approximately two deciduous trees and evergreen and deciduous shrubs. The applicant is also showing landscaping along the length of the Dolley Madison Boulevard frontage. Between the road and the parking lot, the SE Plat shows 8 large deciduous trees interspersed with evergreen and deciduous shrubs. There is also a proposed knee wall, 3 feet in height along Dolley Madison Boulevard (with a maximum height of 5 feet elsewhere), separating this landscaping from the surface parking lot. In the area at the corner of Elm Street and Dolley Madison Boulevard, near the proposed bank building, four large deciduous trees are proposed adjacent to the building. In addition, a proposed "pocket park" consisting of benches, landscaping and a sidewalk/plaza with brick and concrete pavers is shown. The "pocket park" is proposed within the right of way, subject to the approval of a license agreement with the County. It would be landscaped with deciduous trees, shrubs, and perennials, with ornamental grasses and/or groundcover. The applicant is also proposing landscaping in the form of ornamental trees and smaller shrubs along Elm Street adjacent to the proposed building.
- **Pedestrian Amenities:** The SE Plat depicts 5-foot wide brick paver sidewalks along the Elm and Dolley Madison frontages.

- *Stormwater Management:* The site is located in the Dead Run Watershed and Chesapeake Bay Preservation Area. There are no Resource Protection Areas or floodplains on the site. The on-site impervious surfaces onsite with this redevelopment, from the existing 63% to the proposed 71%. Stormwater management and water quality controls are proposed to be handled by underground storage and an unnamed structural BMP device. The SWM and outfall narratives note that the applicant reserves the right to use conventional SWM techniques if the conventional SWM techniques are adequate to address outfall concerns during final engineering. The applicant's calculations show that the BMP device will have a minimum of 20.14% phosphorus removal.

Land Use Analysis (Appendix 4)

As stated previously, the Comprehensive Plan guidance for this sub-area indicates that it should develop as low-rise commercial and that this area is intended as a transition from the higher density commercial core along Elm Street to the residential neighborhood beyond the CBC boundary. It also recommends that future development should be carefully sited to face toward Dolley Madison Boulevard with access from Fleetwood Road. The ultimate design objective is to create a physically well-defined commercial area which is also compatible with adjacent residential development. Specifically, the Comprehensive Plan notes in the McLean Open Space Design Standards that buildings are to be located with 25 feet of the street, with parking located at the rear or middle of site. In addition, the Plan calls for building and landscape features at the most visible corners. Staff believes that the site planning, design, use and intensity of this proposal are in harmony with the Comprehensive Plan. The architectural design, a brick one-story structure with two portico entrances and neoclassical design is also compatible with the surrounding area.

The applicant has proposed streetscaping that meets the intent of the Comprehensive Plan. A five-foot wide sidewalk is proposed along both Dolley Madison Boulevard and Elm Street. Both sidewalks are located within the right-of-way. A ten-foot wide planting strip consisting of medium to large deciduous trees, shrubs, a knee wall and ground cover is proposed in between the sidewalk and proposed surface parking lot along Dolley Madison Boulevard. The proposed single row of medium to large shade trees will be located within this 10-foot wide landscaped strip, but planted outside of the dedicated area. Staff recommends that the applicant establish a maintenance agreement with the County to ensure that the trees will be planted and remain viable. A three-foot high brick knee wall is proposed along the edge of the parking lot to provide screening of the lot from the roadway. The wall will be a maximum of five feet high along the northeastern and rear boundaries of the site.

While the development is in harmony with the Comprehensive Plan in many ways, staff has concerns about the following land use issues.

Issue: Access from Fleetwood Road:

As discussed above, the Comprehensive Plan specifically notes that development in this particular part of this sub-area should be accessed from Fleetwood Road. Staff notes that the subject site does not have frontage along Fleetwood Road; it is separated from Fleetwood Drive by Tax Map Parcel 30-2 ((5)) 7, which contains an existing office building with accompanying surface parking. The applicant is proposing a single access point to the subject site from Elm Street; no access is proposed from Dolley Madison Boulevard. Even though the subject site does not have frontage along Fleetwood Road, staff believes that the applicant should provide for future interparcel access to the south as the Comprehensive Plan's guidance is clear in attempting to keep local traffic to Fleetwood Road. Therefore, staff recommended that the applicant provide for interparcel access to the south so that if Parcel 7 redevelops in the future, the subject site will have access to Fleetwood Road.

Resolution:

The SE Plat now depicts a 25-foot wide access easement to the south that would allow interparcel access to Fleetwood Road should the parcel to the south redevelop. Staff also proposes a development condition requiring the applicant to provide an interparcel access easement along this southern property line in the general area of the driveway. With the revision to the SE Plat and implementation of this proposed development condition, staff believes that this issue is resolved.

Issue: Signage

The applicant is proposing to locate signage along three faces of the building and on the remote ATM structure. Staff is concerned that the signage facing the single-family residential development to the northwest of the subject site is excessive and has recommended that signs be limited to the portico entrance sides only, which do not face the single-family residences. Staff is specifically concerned that the lit signs will adversely impact the single family homes directly across Dolley Madison Blvd.

Resolution:

The applicant has agreed that all signage facing the single family residential development shall be unlit at night. Therefore, staff has proposed a development condition requiring that the signage on that side be unlit from 9 pm to 7 am, seven days a week. With implementation of this proposed development condition, staff believes that this issue is resolved.

Environmental Analysis (Appendices 4 & 5)**Issue: Trees and Utility Lines along Dolley Madison Boulevard**

There are existing overhead utility lines along the Dolley Madison Boulevard frontage of this site. Staff notes that large or medium deciduous trees are proposed along this frontage and that the applicant should consider exclusive use of the medium deciduous trees along this frontage, no larger than Category 2 trees which are defined as trees that can be maintained at a height of 20 feet or less and have a spread approximately equal to their height, to avoid conflict with the existing utility lines. However, it should be noted that if smaller trees are proposed, the applicant will need to ensure that all tree cover requirements are met.

Resolution:

While staff had originally suggested undergrounding the utility lines in this area, the applicant has sought to mitigate the possible conflict between the overhead utility lines and the trees along Dolley Madison Boulevard by increasing the planting strip to an 8 foot width, from the previously proposed 6-foot wide planting strip. In addition, staff has proposed a development condition requiring the applicant to submit a landscape plan for review and approval of the Urban Forester concurrent with site plan review that shall provide for the number and size of trees and plantings consistent with that shown on the SE Plat. The condition notes that if the size of the trees proposed within this planting strip are reduced, the applicant may need to provide trees in another location onsite to meet tree cover requirements. With implementation of the proposed development condition, staff believes that this issue is resolved.

Issue: Green Building

The Policy Plan recommends that developments, located in an area such as the McLean CBC, attain basic Leadership in Energy and Environmental Design (LEED) certification through the U.S. Green Building Council or other comparable program with third party certification at a minimum.

Resolution:

The applicant has agreed to obtain LEED certification. Staff has proposed a development condition detailing the requirements for obtaining this certification, including: retaining a LEED Accredited Professional as part of the project's design and construction team; execution of a "green building escrow"; providing a specific listing of credits applicable to this project through the current rating system; and obtaining certification at the time of site plan and building plan review to confirm that

the credits will meet at least the minimum number of points required to attain LEED certification. As such, staff believes that this issue is resolved.

Issue: Preservation of Existing Vegetation

The applicant is proposing to remove all existing trees on the site, some of which are mature and in good condition. Staff has encouraged the applicant to consider preserving some of the trees along the periphery of the site which are in good condition.

Resolution:

The applicant continues to propose complete removal of the existing vegetation but will be replacing the vegetation in the form of new landscape plantings to exceed the required tree cover by 0.2%. Staff has also proposed a series of development conditions designed to protect offsite, but adjacent, trees from harm during and after the construction process. Specifically, these conditions would require the applicant to adhere strictly to the proposed limits of clearing and grading and to take care when planting near the existing vegetation. As such, staff believes that this issue is resolved.

Transportation Analysis (Appendix 6)

Issue: Taper and/or Right Turn Lane

In order to assure safe deceleration as the site is accessed from Elm Street, VDOT has requested that the applicant provide a vehicle per day (VPD) count at the site entrance and an average daily traffic count on Elm Street to determine whether a right turn deceleration lane or taper may be required.

Resolution:

The applicant has not provided a VPD count at the entrance, although they have noted that they do expect approximately 135 patrons per day. Staff notes that any right turn deceleration lane or taper would require the applicant to obtain permission, likely in the form of an easement, from the property to the south at Parcel 7. However, as any lane would be offsite, staff believes that this issue is more adequately addressed at the time of site plan approval. Given the provided patron count and the offsite nature of this requirement, staff believes that this issue is resolved for the current application.

Issue: On-Road Bike Lane along Dolley Madison Boulevard

A bike lane is planned along Dolley Madison Boulevard. As such, a minimum of 45 feet from centerline is required along that frontage to accommodate this bike lane.

Construction of the bike lane would require a minimum of 37 feet of pavement from centerline to face of curb.

Resolution:

The applicant has provided right-of-way dedication so that there would be the required 45-feet of right-of-way from centerline along the Dolley Madison Boulevard frontage. Also, the applicant has shown the sidewalk along the frontage such that the bike lane can be accommodated without requiring future realignment of the sidewalk. While the applicant has not agreed to construct the bike lane, they have agreed to escrow the funds required for such construction and related expenses. Staff has recommended a proposed development condition requiring such escrow to construct the bike lane. With implementation of the proposed development condition, staff feels that this issue is resolved.

Stormwater Management Analysis (Appendix 7)

Issue: SWM and Outfall Requirements

As discussed above, the applicant has proposed an underground detention and an unnamed structural BMP facility to meet the SWM/BMP requirements. With regard to the BMP proposal, staff generally notes that these types of BMP facilities need to be parallel systems and not in line with the drainage system. It should be noted that a PFM modification will be required at the time of site plan for the use of any innovative BMP, such as that proposed by the applicant.

In addition, staff has noted that, with regard to the site outfall, the storm sewer sizes and capacities are not shown. These pipes need to be adequate to convey the runoff and meet the hydraulic grade requirements. Finally, staff also notes that the SWM facilities shall be maintained by the owners and that the owners will be required to enter into the Stormwater Maintenance Agreement.

Resolution:

Staff has alerted the applicant to the modification and agreement requirements associated with their request. The applicant acknowledges that the structural BMP, whether it is a Filterra or other structural BMP, will be a parallel system to the underground storage. To ensure conformance with DPWES policies and regulations, staff proposes a development condition which requires the applicant to provide SWM facilities and adequate outfall in accordance with the PFM, as determined by DPWES, at the time of site plan review. The proposed development condition also notes that if a modification of the PFM to permit the proposed stormwater management and/or best management practices as shown on the SE Plat is not granted by DPWES and SWM/BMP facilities cannot be provided in substantial conformance with the SE Plat, then a Special Exception Amendment (SEA) will be required to provide water quantity and quality control measures in accordance with the PFM as determined by DPWES. With implementation of the proposed development condition, this issue is resolved.

Sanitary Sewer Analysis (Appendix 8)

The property is located in the Dead Run Watershed and would be sewerred into the Blue Plains Treatment Plant. The sewer systems surrounding the application property have sufficient capacity to accommodate this proposal.

Park Authority Analysis (Appendix 9)

The Fairfax County Park Authority has reviewed the SE Plat and found that the application bears no adverse impact on land or resources of the Park Authority.

ZONING ORDINANCE PROVISIONS (Appendix 10)

Bulk Standards (C-2 Zoning, McLean CRD)		
Standard	Required	Provided
Lot Size	20,000 square feet	30,363 SF
Lot Width	100 feet	184 along Dolley Madison Blvd. 98.09 along Dolley Madison Blvd.* 60.37 along Elm Street (Because this lot was created prior to 1941, per Sect 2-405, no waiver of lot width is necessary.)*The lot line along the Dolley Madison Boulevard frontage has two distinct sections, both abut Dolley Madison Blvd. but create two front yard lines or "street lines that form the boundary of a lot)
Front Yard	20 feet (CRD) 25 feet per C-2	5 feet, waiver requested
Side Yard	No requirement	N/A
Rear Yard (to North)	25 feet	169 feet
Building Height	50 feet	29 feet
FAR	.50	.11
Barrier (along Dolley Madison frontage)	E,F, or G 6-foot high fence or wall	3 foot high masonry knee wall (modification requested)
Transitional Screening (along Dolley Madison Boulevard frontage)	TS 3 (50 feet wide landscaping strip)	Streetscape as depicted on SE Plat (modification requested)
Open Space	30% of the gross area shall be landscaped open space	30.8%
Tree Cover	10%	10.2%
Interior Parking Lot Landscaping	5% (770 SF)	> 5% (1,000 SF)
Parking Spaces	13	23

Bulk Standards (C-2 Zoning, McLean CRD)		
Standard	Required	Provided
Stacking Spaces	Five (5) stacking spaces in front of each of the first two (2) windows.	Five (5) at two ATMs Three (3) at third (All open 24 hours a day/seven days a week)
Loading Spaces	1	None (waiver requested)

Waivers/Modifications

- o *Modification of required front yard*

In accordance with the provisions of Sect. 9-622, the Board may modify the minimum front yard requirements in a CRD in order to further the implementation of the adopted Comprehensive Plan for the CRD. The subject parcel has several front yards—two along Dolley Madison Boulevard and one along Elm Street. As the minimum required front yard in the C-2 CRD district is 20 feet, the applicant requests a modification of the front yard requirements along Dolley Madison Boulevard. At the closest point, which is at the corner of the proposed building, the building will be situated 5 feet from the property boundary, which is the right-of way for Dolley Madison Boulevard. As previously discussed, the Comprehensive Plan provides specific guidance with regard to site planning—noting that the buildings are to be located within 25 feet of the street, parking was to be at the middle or rear of the site and building and/or landscaping is to be located at the most visible corners. The modification of the required minimum yard helps implement these goals as the site does feature a building sited near the street, with parking at the rear and landscaping along Dolley Madison Boulevard with a special focus on the “pocket park” at the most visible corner of Elm Street and Dolley Madison Boulevard. While staff acknowledges that the 5 foot distance is narrow, staff also notes that the distance is largely dictated by the dedication of additional right-of-way for Dolley Madison Boulevard. Dolley Madison Boulevard will have sufficient ROW for the travel lanes, on-road bike lane and sidewalk. As such, there is no reason to believe that the property line will be further altered. Therefore, staff supports this request.

- o *Modification of the transitional screening requirement and barrier requirement along Dolley Madison Blvd. frontage in favor of proposed streetscaping landscaping, sidewalk and knee wall.*

The applicant is proposing to provide streetscaping along the frontage beside both the parking lot and the structure. Along the parking lot, the applicant is proposing a 8 foot wide strip of land that includes deciduous trees and shrubbery. The applicant is also proposing a knee wall of 3 feet in height located between the deciduous trees and the parking lot. The proposal includes additional ground cover plantings behind the wall, closer to the parking area.

Along the building, the applicant is also proposing large deciduous trees planted at equal distances of approximately 22 feet between trees. The SE Plat indicates that there will be four such trees adjacent to the building. On the corner of Elm Street and Dolley Madison Blvd., a pocket park containing ground plants, shrubs and a brick/stone plaza with benches for pedestrian use is proposed. The pocket park would be within the right-of-way. Also in the right-of-way, the applicant is proposing a series of ornamental trees along both Elm Street and Dolley Madison Boulevard to provide further landscaping to buffer the site.

Par. 3 of Sect. 13-304 allows transitional screening to be modified where the building or the land between that building and the property line has been specifically designed to minimize adverse impact through a combination of architectural and landscaping techniques. In addition, Par. 5(C)(2) of Sect. A7-309 states that within the McLean CRD where there are landscaping or design provisions in the Comprehensive Plan which recommend a planting strip or other streetscape treatment with the same or lesser width and the same or lesser number of planting than required as part of the transitional screening and barrier requirements, then the provisions of the Comprehensive Plan shall apply. As noted earlier in this report, the applicant is providing the required streetscape along Dolley Madison. In addition, given that the landscaping, barrier and architecture of the building has been designed to minimize the adverse impact of this use on adjacent residences, staff supports this requested waiver.

- *Modification of peripheral parking landscaping in favor of proposed landscaping.*

The applicant is, as mentioned above, providing landscaping and streetscaping features along the Dolley Madison Boulevard frontage. However, the applicant requests modifications and/or waivers of the peripheral parking landscaping in the following ways:

- Modification of the 10-foot width of the peripheral parking lot landscaping strip along Dolley Madison Boulevard in favor of the 8-foot wide planting strip shown;
- Waiver of the required 4-foot wide peripheral parking lot landscaping strip along the southern boundary of the entrance drive on Elm Street in favor of the entrance without landscaping as shown on the SE Plat.

Paragraph 3(B) of Section 13-202 allows waiver and/or modification of peripheral parking landscaping if such waiver or modification will not have any deleterious effect on the existing or planned development of adjacent properties. In addition, Par. 5(B)(2) of Sect. A7-309 states that within the

McLean CRD where there are landscaping or design provisions in the Comprehensive Plan which recommend a planting strip or other streetscape

treatment with the same or lesser width or different plant materials than those requirement by Sect. 13-202, then the provisions of the Comprehensive Plan shall apply. Given the configuration of the parking lot, the compatible design of the building in terms of bulk and architectural features, and the fact that the applicant is proposing to provide significant landscaping in the form of the streetscaping guidelines, staff supports the request and believes that these requests will have no deleterious effects on the existing or planned development of adjacent properties.

o *Waiver of Loading Space Requirement*

Per Section 11-203 of the Zoning Ordinance, financial institutions are required to have one (1) loading space for the 3,197 square foot building. Given the nature of the use, a financial institution, with its limited need to accommodate large deliveries or other receiving functions, and the excess parking lot spaces provided, staff supports this requested waiver.

o *Waiver of Service Drive*

The applicant has also requested a waiver of the service drive requirement along Dolley Madison Boulevard. Staff supports this requested waiver as circulation is adequately addressed by the configuration of the site and adequate interparcel access has been provided per the proposed interparcel access to the south.

OTHER ZONING ORDINANCE REQUIREMENTS:

General Special Exception Standards (9-006)

Category 5 Standards (9-503)

Additional Standards for Drive in Banks (9-611)

Highway Corridor Overlay District (7-608)

Sign Control Overlay District (7-500)

Waiver of Certain Sign Regulations (9-620)

General Standards (Sect. 9-006)

- Par. 1 requires that the proposed use be in harmony with the Comprehensive Plan. As described in the Land Use Analysis section, staff has concluded the proposed bank with three remote drive-in ATMs

is in harmony with the land use recommendations of the Comprehensive Plan. With implementation of the proposed development condition requiring an interparcel access easement to Tax Map Parcel 30-2 ((5)) 7, the parcel to the south, for future interparcel access, the proposed drive-in financial institution is generally consistent with Plan guidelines for architecture, streetscape, and landscaping, pedestrian access and transportation elements of the Comprehensive Plan.

- Par. 2 requires that the proposed use be in harmony with the purpose and intent of the applicable zoning district regulations. In staff's opinion, the drive-in financial institution is consistent with the purpose of the C-2 District which is to provide areas where predominantly non-retail commercial uses may be located such as offices and financial institutions. The C-2 District also allows for uses which can be employed as transitional land uses between higher intensity uses and residential uses. Additionally, the application is in harmony with the recommendations for the McLean CRD by providing urban design measures including streetscape and landscaping, which are consistent with the recommendations for the CBC.
- Par. 3 requires that the proposed use be harmonious with and not adversely affect the use or development of adjacent properties. The proposed drive-in financial institution is to be located on a site surrounded on the south side of Dolley Madison Boulevard by property similarly zoned C-2 and also planned for retail and mixed uses and/or high density residential development. To the north, across Dolley Madison Boulevard the proposed use will be across from single-family detached residential development. In order to mitigate the impacts on these residences, the proposed use incorporates the urban design guidelines for streetscaping and also includes architectural features such as brick masonry. In addition, the massing of the proposed building is similar to other development in the area. Staff has proposed a development condition limiting the lighting of the signage that will be directly visible to residences across Dolley Madison Boulevard. With the proposed site layout and implementation of the proposed development condition, staff feels that this standard is satisfied.
- Par. 4 states that pedestrian and vehicular traffic associated with the use not be hazardous or conflict with existing or anticipated traffic in the neighborhood. The application addresses this standard in the following ways:
 - There is only one access, from Elm Street—which avoids the busy Dolley Madison Boulevard;
 - Drive-in lanes are remote, removed from the road network, with the required number of stacking spaces;

- The applicant has agreed to escrow funds sufficient for future construction of the required on road bike lane;
- The application proposes 5-foot wide concrete/brick paver sidewalks trails along the Dolley Madison Boulevard and Elm Street frontages connecting to the adjacent properties; and
- The applicant is providing a twenty-five (25) foot wide access easement for connection to the property to the south which will be triggered upon redevelopment of Tax Map Parcel 30-2 ((5)) 7, thus providing future access to Fleetwood Road as envisioned by the Comprehensive Plan.

With the implementation of the proposed development conditions and site layout depicted on the SE Plat, staff believes that, this standard has been satisfied.

- Par. 5 addresses the requirements of Article 13, Landscaping and Screening. The only required transitional screening would be along the northern property frontage along Dolley Madison Boulevard. As discussed above, the applicant has requested a modification of this required screening and barriers in favor of the streetscaping and knee wall provided. The applicant has also requested waivers and/or modifications of the peripheral parking landscaping requirements at specified areas on the subject site. As discussed above, staff supports these waivers and finds that this standard is satisfied.
- Par. 6 requires that open space be provided as required in the zoning district. As noted on the Bulk Standards chart above, the proposal just exceeds the minimum open space requirement of 10 percent required in the C-2 District.
- Par. 7 addresses the adequate provision of utilities, drainage, parking and loading at the site. Adequate utilities, drainage, and parking requirements have been met with this application. The applicant has requested a waiver of the required loading space for this financial institution. As discussed above, staff supports this waiver and is satisfied that this standard is satisfied.
- Par. 8 states that all signs are regulated by the provisions of Article 12, Signs. This site is within the Sign Control Overlay District and is subject to Article 12 of the Zoning Ordinance, except as modified below, and therefore this standard has been satisfied.

Category 5 Standards (Sect.9-503)

The Category 5 Standards require that the proposed development meet lot size and bulk regulations for the Zoning District, comply with performance standards and be subject to site plan review. With approval of the requested waivers to the bulk standards relating to required yards, and noting that the lot was created prior to adoption of the existing Zoning Ordinance, the applicant meets this standard.

Provisions for Approving Drive-in Financial Institutions, Fast Food Restaurants, Quick-Service Food Stores, Service Stations and Service Station/Mini-Marts in a Highway Corridor Overlay District (Sect. 9-611)

This provision states that the Board may approve a special exception for the establishment or for the enlargement, extension, relocation or increase in intensity of a drive-in financial institution in a Highway Corridor Overlay District, but only in accordance with the provisions of Part 6 of Article 7.

Highway Corridor Overlay District Use Limitations (Sect. 7-608)

Paragraph 1A requires that a use be designed so that pedestrian and vehicular circulation is coordinated with the adjacent properties. Access to the site is provided along the southwestern boundary from Elm Street. In addition, the applicant is providing an access easement along the southeastern boundary in order to facilitate future access from Fleetwood Road. As such, staff believes that this standard has been satisfied.

Paragraph 1B requires that such a use shall have access designed so not to impede traffic on a public street intended to carry through traffic. Again, the SE Plat depicts access to the site via Elm Street. Three remote drive-in lanes are proposed in the interior of the site that can accommodate three to five stacking spaces each which present little risk of stacking on any travel lanes or public streets. There is no access provided from Dolley Madison Boulevard. Therefore, staff believes that this application will not impede traffic on Dolley Madison Boulevard or Elm Street and this standard is satisfied.

Paragraph 1C requires that there be no outdoor storage or display of goods offered for sale. Par. 3 of Sect. 9-505 of the Zoning Ordinance prohibits the outdoor storage or display of goods offered for sale for the drive-in financial institution use; therefore this standard is satisfied.

Sign Control Overlay District Use Limitations (Section 7-500)

The Sign Control Overlay District restricts freestanding signs in the intensely developed commercial and industrial areas of the County where there is an increased need to reduce visual clutter, sight distance obstructions and interference

with traffic control signals and mechanisms and where the speed of traffic does not warrant the freestanding signs otherwise permitted by the provisions of Article 12.

This application does not propose an increase to the sign area associated with freestanding signs as stipulated by the Zoning Ordinance. As such, the standard associated with this overlay district has been met.

Additional Standards for a Waiver of Certain Sign Regulations (Sect. 9-620)

Paragraph 1 states that a waiver may be requested for an increase in sign area, but may not allow the erection of a freestanding sign not otherwise permitted. This request seeks an increase in building mounted sign area from 60 square feet to 105 square feet on the building and 18.19 square feet on the remote ATM structures, for a total of 124.19 SF. Therefore, this standard is satisfied.

Paragraph 2 requires that the applicant demonstrate that there are unusual circumstances or conditions, which may include unusual size or orientation of the structure on the lot, the impact the ability to provide for reasonable identification of the use. Paragraph 8 of Section 12-203 allows for one and one-half (1 ½) square feet of sign area for each of the first 100 linear feet of building frontage. The applicant believes that the additional signage of 64.19 SF is necessary because of the orientation and design of the building. The building frontage is defined by the front door, which, in this case, is located on the narrow end of the building (facing Elm Street). Therefore, under the proposed layout, only 60 SF of signage is allowed by the Ordinance (40 feet of building frontage x 1.5 square feet). However, the front door was located along Dolley Madison Blvd. (the longer side of the building), 138 SF of signage would be allowed. The application is requesting three façade signs on the building and one façade sign on the ATM structure, for a total of 124.19 SF of signage on facades onsite, less than would be allowed if the building doorway were located on the long side of the building. As discussed above, staff supports the orientation of the building, located along the street and framing the most visible intersection at Elm Street and Dolley Madison Boulevard. In staff's opinion, the design and orientation of the building qualify as an "unusual circumstance" under this standard, and the requested wall-mounted signage is not excessive for this site.

Paragraph 3 requires that a waiver be in harmony with the policies of the Comprehensive Plan. The Comprehensive Plan notes that "signage should be incorporated within the front entry door" Staff notes that while the applicant is proposing two signs, at approximately 70 SF at the entrances, there will be one sign is proposed on a side without an entrance and that the ATM structure has no entrance, per se. The applicant has agreed to limit the effect of these signs, as they are unlit during from 9 pm to 7 am every day. Thus, staff believes that the waiver is in harmony with the policies of the Comprehensive Plan given

Paragraph 4 requires that the signage will not have any deleterious effect on the existing or planned development of adjacent properties and that it is consistent with the purpose and intent of Article 12. The proposed signage would be divided between four signs and, in staff's opinion, would have less effect than a single large sign. In addition, staff has proposed, and the applicant has agreed to, a development condition requiring the lighted signs on the Dolley Madison Boulevard side of the buildings, across from single family residential development, turn off the lights on that side from dusk until dawn. With the imposition of staff's proposed development conditions, this standard will be met.

Summary of Zoning Ordinance Provisions

All applicable standards have been satisfied with the proposed development conditions.

CONCLUSIONS AND RECOMMENDATIONS

Staff Conclusions

With the implementation of the proposed development conditions, staff finds that the proposed drive in financial institution is in harmony with the Comprehensive Plan and in conformance with the applicable Zoning Ordinance provisions.

With the implementation of the proposed development conditions, staff finds that the proposed increase in sign area is in harmony with the Comprehensive Plan and in conformance with the applicable Zoning Ordinance provisions.

Recommendation

Staff recommends approval of SE 2008-DR-003 subject to the proposed development conditions in Appendix 1.

Staff recommends approval of a modification to the transitional screening and a waiver of the barrier requirement to the north, along Dolley Madison Boulevard, in favor of that shown on the SE Plat.

Staff recommends that the loading space requirement be waived.

Staff recommends that the front yard requirements in a Commercial Revitalization District be modified in favor of what is shown on the SE Plat.

Staff recommends approval of a waiver of the service drive requirement along Dolley Madison Boulevard.

Staff recommends approval of a modification to the required peripheral parking lot landscaping in favor of that shown on the SE Plat.

Staff recommends waiver of construction of on-road bike lane per Comprehensive Plat in favor of an escrow per development conditions.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

The approval of this special exception does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Supervisors.

APPENDICES

1. Proposed Development Conditions
2. Affidavit
3. Statement of Justification
4. Plan Citations and Land Use Analysis and Environmental Analysis
5. Urban Forest Management Analysis
6. Transportation Analysis
7. Stormwater Management Analysis
8. Sanitary Sewer Analysis
9. Park Authority Analysis
10. Applicable Zoning Ordinance Provisions
11. Glossary

PROPOSED DEVELOPMENT CONDITIONS

SE 2008-DR-003

May 28, 2008

If it is the intent of the Board of Supervisors to approve SE 2008-DR-003 located at 1427, 1433 and 1441 Dolley Madison Boulevard [Tax Map 30-2 ((5)) 6, 9, & 10] for a drive-in financial institution, waiver of certain sign regulations and waivers and modifications in a CRD pursuant to 7-607, 9-620 and 9-622 of the Fairfax County Zoning Ordinance, then staff recommends that the Board condition the approval by requiring conformance with the following development conditions:

1. This Special Exception is granted for and runs with the land indicated in this application and is not transferable to other land.
2. This Special Exception is granted only for the purpose(s), structure(s) and/or use(s) indicated on the special exception plat approved with the application, as qualified by these development conditions. Other by-right special permit and/or special exception uses may be permitted on the Application Property without the approval of a Special Exception Amendment if such uses do not affect this Special Exception.
3. This Special Exception is subject to the provisions of Article 17, Site Plans, as may be determined by the Director, Department of Public Works and Environmental Services (DPWES). Any plan submitted pursuant to this special exception shall be in substantial conformance with the approved Special Exception Plat entitled "Chevy Chase Bank, Dolley Madison Blvd.", prepared by BC Consultants and dated November 2007, as revised though May 2, 2008, the McLean Open Space design guidelines, and these conditions. Minor modifications to the approved special exception may be permitted pursuant to Par. 4 of Sect. 9-004 of the Zoning Ordinance.
4. Architectural elevations shall be in substantial conformance with those shown on the SE Plat. Materials shall be brick, synthetic stucco entablature and pediments, painted columns and trim as shown on the elevations in the SE Plat.
5. The three drive-in lanes shown on the SE Plat shall have a maximum of three ATM facilities.
6. The total amount of building-mounted signage shall be limited to a maximum of 124 square feet (SF) and in substantial conformance with that shown on the elevations. No more than one sign, 35 SF in size, shall be permitted on each side of the proposed building and no sign shall be permitted on the southern side of the building. These signs shall consist of individual letters of internally illuminated red plastic. The building-mounted signage on northern façade of the building and the ATM structure shall be unlit from 9:00 pm to 7:00 am daily.
7. A landscape plan shall be submitted concurrent with each site plan submission and shall provide for the number and size of trees and plantings consistent with that shown on the SE Plat and the additional requirements of these conditions. The landscape plan shall specify the appropriate soils, including structural soils, to be used in planting areas 8 feet wide or less. Trees planted along Dolley Madison Boulevard, in the area near the existing overhead power lines, shall be chosen and planted such that these utility lines will not interfere with the viability and aesthetics of the trees. If smaller trees are required in that area, tree cover

requirements shall be met with the smaller trees or with trees elsewhere onsite. The landscape plan shall be subject to the review and approval of Urban Forest Management (UFM).

8. As part of the first site plan submission, a tree survey and Tree Preservation Plan shall be submitted that identifies the trunk location, species, size, crown spread and condition analysis rating for all individual and groups of off-site trees, living or dead with trunks 6 inches in diameter and greater (measured at 4 ½ -feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) located within 25 feet of the approved limits of clearing and grading shall also be submitted for review by UFM
9. The limits of clearing and grading shown on the SE Plat shall be strictly adhered to. The site plan shall clearly identify these areas as shown on the SE Plat.
10. Any work occurring in or adjacent to the areas to be left undisturbed, including off site areas, such as root pruning, instillation of tree protection fencing and silt control devices, removal of trash, or plant debris, or extraction of trees designated to be removed shall be performed in a manner that minimizes damage to any tree, shrub, herbaceous, or vine plant species that grows in the lower canopy environment; and minimizes impacts to the existing top soil and leaf litter layers that provide nourishment and protection to that vegetation, all as approved by UFM. The use of power equipment in these areas shall be limited to small hand-operated equipment such as chainsaws. Any work that requires the use of larger motorized equipment such as, but not limited to, tree transplanting spades, skid loaders, tractors, trucks, stump-grinders, or any accessory or attachment connected to such equipment shall not occur unless reviewed and approved in writing by UFM.
11. As part of the site plan, management practices shall be provided for the protection of understory plant materials, leaf litter and soil conditions found in areas to be left undisturbed, subject to the approval of the Urban Forest Management Division. The applicant shall actively monitor the site to ensure that inappropriate activities such as the storage of construction materials, dumping of construction debris, and traffic by construction equipment and personnel do not occur within these areas. The understory plant materials, leaf litter and soil conditions shall be restored by the applicant to the satisfaction of UFM if these are found to be damaged, removed or altered in manner not allowed in writing by UFM.
12. All individual trees to be preserved and all areas designated to be left undisturbed shall be protected by tree protection fencing and signage as set forth below. Tree protection fencing shall be erected at the drip line of individual trees to be preserved and at the limits of clearing and grading, and shall be shown on the demolition and phase I and II erosion and sediment control sheets:
 - Four foot high, 14 gauge welded wire attached to 6 foot steel posts driven 18 inches into the ground and placed no further than 10 feet apart (see attached detail); or
 - Super silt fence as may be approved by UFM to the extent that required trenching for super silt fence does not sever or wound compression roots which can lead to structural failure and/or uprooting of trees.
13. All tree protection fencing shall be installed prior to Phase II clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection

fencing shall be performed under the supervision of a certified arborist or landscape architect and accomplished in a manner that does not harm existing vegetation that is required to be preserved/conserved. At least three days prior to the commencement of any clearing, grading, or demolition activities and prior to the installation of tree protection fencing, UFM shall be notified in writing and given the opportunity to inspect the site to assure that all individual trees to be preserved and all areas to be left undisturbed have been correctly delineated. UFM shall provide written notice to the applicant as to whether or not the areas have been delineated correctly. If it is determined by UFM that the areas are not delineated correctly, no grading or construction activities shall occur on the subject property until the delineation is corrected and field verified by UFM.

14. Signs shall be provided and erected by the applicant that identify and help protect all areas to be left undisturbed. These signs will be highly visible, posted in appropriate locations along the limits of clearing and grading, and attached to the tree protection fencing. Under no circumstances will the signs be nailed or in any manner attached to the trees or vegetation within the areas to left undisturbed.
15. The services of a certified arborist or landscape architect shall be retained by the applicant. The limits of clearing and grading shall be marked with a continuous line of flagging prior to the pre-construction meeting. Prior to commencement of any land disturbing activities, the applicant's certified arborist or landscape architect shall walk the limits of clearing and grading with a representative from UFM, DPWES to determine where adjustments to the clearing limits can be made to increase the size of the area to be left undisturbed, and to increase the survivability of trees to be preserved that occur along the edge of the limits of clearing and grading, and/or identify hazardous trees that need to be removed. Any adjustments agreed to by the applicant and UFM shall be agreed upon and memorialized in writing by both the applicant and UFM before any such adjustments are implemented, and such adjustments shall be implemented. Trees to be removed shall be tagged in the field. Trees that are identified in writing by an authorized representative of UFM as dead or dying may be removed as part of the clearing operation. Any tree that is so identified shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump grinding machine in a manner causing as little disturbance as possible to the adjacent trees and associated understory vegetation and soil conditions.
16. The site shall be monitored by a representative of the applicant who is a certified arborist or landscape architect to ensure that the activities are conducted in accordance with the development conditions and as approved by the UFM. Monitoring shall occur at all times during the installation of tree protection fencing and during any clearing or removal of trees, vegetation, or structures, or transplanting of trees or vegetation, or other similar activities, on the site in the areas within 25 feet of the limits of clearing and grading along the 5-foot high retaining wall on the southern property boundary . The monitoring schedule shall be described and detailed in the Tree Preservation Plan and shall be reviewed and approved in writing by UFM.
17. Prior to site plan approval, a license agreement shall be entered into by the applicant with the County to permit landscaping to be provided and maintained in the right of way along Dolley Madison Boulevard and Elm Street, including in the area to be dedicated on those roadways, as shown on the SE Plat.

18. If the trees, labeled as "VDOT approved ornamental trees", are not approved by VDOT in the license agreement, these trees shall not be planted. These trees shall not be required to be replaced elsewhere onsite.
19. All lighting, including streetlights, security lighting, signage lighting (during the allowed hours as listed within these conditions) and pedestrian or other incidental lighting, shall be in conformance with Part 9 of Article 14 of the Zoning Ordinance.
20. At the time of site plan approval, or on demand (whichever occurs first) right-of-way for future improvements along Dolley Madison Blvd. and Elm Street, as shown on the SE Plat shall be dedicated to the Board of Supervisors in fee simple at no cost as shown on the SE Plat.
21. Prior to site plan approval, a 25-foot wide interparcel access easement shall be recorded, as depicted on the SE Plat, to access the parcel to the south, Tax Map Parcel 30-2 ((5)) 7. Any wall or other structural impediment shall be removed at the time of the construction of this access.
22. A stormwater management/best management practices (SWM/BMP) facility, which may include a Filterra, shall be provided in accordance with the Public Facilities Manual (PFM) as determined by DPWES. Any required PFM modification shall be requested at the time of site plan to permit the use an innovative BMP. The applicant shall also provide adequate outfall in accordance with the PFM, as determined by DPWES, at the time of site plan review. If a modification of the PFM to permit the proposed stormwater management and/or best management practices as shown on the SE Plat is not granted by DPWES and SWM/BMP facilities in substantial conformance with the SE Plat cannot be provided, then a Special Exception Amendment (SEA) shall be filed to provide water quantity and/or quality control measures in accordance with the Public Facilities Manual (PFM) as determined by DPWES.
23. The lobby hours of operation shall not exceed 9:00 am to 7:00 pm Monday to Friday and 9:00 am to 3:00 pm on Saturdays. The ATMs shall operate 24 hours a day, seven days a week.
24. Registration with the United States Green Building Council (USGBC) shall be completed by the applicant and LEED certification shall be applied for by the applicant. This application shall include, but is not limited to, elements such as conservation of transportation energy and potable water, reduction of the heat island effect and reduced contribution to landfill, reduction in the use of virgin materials, use of regional materials and improved indoor air quality.
25. A LEED®-accredited professional shall be included as a member of the design team. This professional will also be a professional engineer or architect licensed to practice in the Commonwealth of Virginia. The LEED-accredited professional will work with the team to incorporate sustainable design elements and innovative technologies into the project so that the project will attain LEED certification. At the time of site plan submission, the applicant will provide documentation to the Environment and Development Review Branch of the Department of Planning and Zoning (DPZ) demonstrating compliance with the commitment to engage such a professional.
26. Prior to approval of the site plan for this building, a separate agreement shall be provided for this building, a "green building escrow," in the form of cash or a letter of credit from a financial institute acceptable to DPWES as defined in the PFM, in the amount of \$82,500. This

escrow will be in addition to and separate from other bond requirements and will be released upon demonstration of attainment of certification, by the U.S. Green Building Council, under the most current version of the U.S. Green Building Council's Leadership in Energy and Environmental Design—New Construction (LEED®-NC) rating system or other LEED rating system determined, by the U.S. Green Building Council, to be applicable to the building. The provision to the Environment and Development Review Branch of DPZ of documentation from the U.S. Green Building Council that each building has attained LEED certification will be sufficient to satisfy this commitment. If the applicant fails to provide documentation to the Environment and Development Review Branch of DPZ demonstrating attainment of LEED certification within one year of issuance of the RUP/non-RUP for the building, the escrow will be released to Fairfax County and will be posted to a fund within the county budget supporting implementation of county environmental initiatives.

27. Prior to approval of site plan for this building, an escrow fund shall be established for the purposes of future construction, by others, of the on-road bike lane along the Dolley Madison Blvd. frontage of the site.

The above proposed conditions are staff recommendations and do not reflect the position of the Board of Supervisors unless and until adopted by that Board.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The applicant shall be himself responsible for obtaining the required Non-Residential Use Permit through established procedures, and this Special Exception shall not be valid until this has been accomplished.

Pursuant to Section 9-015 of the Zoning Ordinance, this special exception shall automatically expire, without notice, thirty (30) months after the date of approval unless the use has been established or construction has commenced and been diligently prosecuted. The Board of Supervisors may grant additional time to establish the use or to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special exception. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

SPECIAL EXCEPTION AFFIDAVIT

DATE: November 28, 2007
 (enter date affidavit is notarized)

I, Robert F. Flinn, attorney, do hereby state that I am an
 (enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below 99076

in Application No.(s): SE 2008-DR-003
 (enter County-assigned application number(s), e.g. SE 88-V-001)

and that, to the best of my knowledge and belief, the following information is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application, and, if any of the foregoing is a **TRUSTEE***, each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
Chevy Chase Bank, F.S.B.	7501 Wisconsin Avenue, Bethesda, MD 20814	Applicant/Contract Purchaser
J. Page Lansdale	7501 Wisconsin Avenue, Bethesda, MD 20814	Agent for Applicant
Joseph B. Pearson	7501 Wisconsin Avenue, Bethesda, MD 20814	Agent for Applicant
1441 Dolley Madison, LLC	7505 S. Royal Oak Dr., McLean, VA 22102	Title Owner of Lot 6
1427 Dolley Maddison, LLC	7505 S. Royal Oak Dr., McLean, VA 22102	Title Owner of Lots 9 & 10
Flinn & Beagan	8300 Boone Blvd., Suite 225, Vienna, VA 22182	Attorney/Agent for Applicant

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Special Exception Attachment to Par. 1(a)" form.

* List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Special Exception Attachment to Par. 1(a)DATE: November 28, 2007

(enter date affidavit is notarized)

99076

for Application No. (s):

SE 2003-DR-003
(enter County-assigned application number (s))

(NOTE: All relationships to the application are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel (s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
Young Life Arlington	1441 Dolley Madison Blvd., McLean, VA 22101	Tenant
Young Life Eastern Division	1441 Dolley Madison Blvd., McLean, VA 22101	Tenant
Pendleton Homes, Inc.	1441 Dolley Madison Blvd., McLean, VA 22101	Tenant
Cheerway Care, Inc.	1441 Dolley Madison Blvd., McLean, VA 22101	Tenant
Mark McFadden Associates, Ltd.	1433 Dolley Madison Blvd., McLean, VA 22101	Tenant
Modified Lending, Inc.	1427 Dolley Madison Blvd., McLean, VA 22101	Tenant
Robert F. Flinn	8300 Boone Blvd., Suite 225, Vienna, VA 22182	Attorney/Agent for Applicant
Mathew D. Ravencraft	8300 Boone Blvd., Suite 225, Vienna, VA 22182	Attorney/Agent for Applicant

(check if applicable)

There are more relationships to be listed and Par. 1(a) is continued further on a "Special Exception Attachment to Par. 1(a)" form.

SPECIAL EXCEPTION AFFIDAVIT

DATE: November 28, 2007
(enter date affidavit is notarized)

99076

for Application No. (s): SE 2008-DR-003
(enter County-assigned application number(s))

1(b). The following constitutes a listing** of the SHAREHOLDERS of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

(NOTE: Include SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name and number, street, city, state, and zip code)

CHEVY CHASE BANK, F.S.B.
7501 WISCONSIN AVENUE
BETHESDA, MARYLAND 20814

DESCRIPTION OF CORPORATION: (check one statement)

- [x] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF SHAREHOLDERS: (enter first name, middle initial and last name)

- B.F. Saul Real Estate Investment Trust
Derwood Investment Corporation
B.F. Saul Profit Sharing & Retirement Trust

(check if applicable) [] There is more corporation information and Par. 1(b) is continued on a "Special Exception Affidavit Attachment 1(b)" form.

** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Special Exception Attachment to Par. 1(b)

DATE: November 28, 2007

(enter date affidavit is notarized)

for Application No. (s): SE 2008.DR-003
(enter County-assigned application number (s))

99076

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

B.F. Saul Profit Sharing and Retirement Trust
7501 Wisconsin Avenue
Bethesda, Maryland 20814

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

The beneficiaries are all participants in a qualified retirement and pension plan.

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Derwood Investment Corporation
7501 Wisconsin Avenue
Bethesda, Maryland 20814

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Westminster Investing Corporation

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

Special Exception Attachment to Par. 1(b)

DATE: November 28, 2007
(enter date affidavit is notarized)

99076

for Application No. (s): SE 2008-DR-003
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

B.F. Saul Real Estate Investment Trust
7501 Wisconsin Avenue
Bethesda, Maryland 20814

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

B.F. Saul Company	Columbia Securities Company of
Franklin Development Co., Inc.	Washington, D.C.
Westminster Investing Corporation	The Klingle Corporation
Derwood Investment Corporation	
Somerset Investment Corporation	

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

Special Exception Attachment to Par. 1(b)

DATE: November 28, 2007
(enter date affidavit is notarized)

99076

for Application No. (s): SE 2008-DR-003
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Westminster Investing Corporation
7501 Wisconsin Avenue
Bethesda, Maryland 20814

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Chevy Chase Property Company

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

B.F. Saul Company
7501 Wisconsin Avenue
Bethesda, Maryland 20814

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

B. Frances Saul, II

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

Special Exception Attachment to Par. 1(b)

DATE: November 28, 2007

(enter date affidavit is notarized)

99076

for Application No. (s): SE 2008-DR-003
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Chevy Chase Property Company
7501 Wisconsin Avenue
Bethesda, Maryland 20814

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

B. Francis Saul, II	Andrew Saul, II and Elizabeth Saul	American Security & Trust Co. ✓
George M. Rogers, Jr.	Frank W. Metzbowler, Jr.	David A.E.R. Peake
Donald P. Lines	American Security Bank, Trustee for	
David A.E.R. Peake and John D. Campbell,	Patricia E. Saul, Sharon E. Saul, and	
Trustees for B. Francis Saul, III	Elizabeth Saul	

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

American Security and Trust Co.
7501 Wisconsin Avenue
Bethesda, Maryland 20814

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Bank of America

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

Special Exception Attachment to Par. 1(b)

DATE: November 28, 2007
(enter date affidavit is notarized)

99076

for Application No. (s): SE 2008-DK-003
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

American Security Bank
1501 Pennsylvania Avenue, N.W.
Washington, D.C. 20005

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Bank of America

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Bank of America
8300 Greensboro Drive, #13
McLean, Virginia 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

Special Exception Attachment to Par. 1(b)

DATE: November 28, 2007

(enter date affidavit is notarized)

99076

for Application No. (s): SE 2008-DR-003
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Franklin Development Co., Inc.
7501 Wisconsin Avenue
Bethesda, Maryland 20814

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Ruth Saul Poljeuka
Teresa G. Lyons
Estate of Rose Saul Zalles

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

Special Exception Attachment to Par. 1(b)

DATE: November 28, 2007
(enter date affidavit is notarized)

for Application No. (s): SE 2008 DR-003
(enter County-assigned application number (s))

99076

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Somerset Investment Corporation
7501 Wisconsin Avenue
Bethesda, Maryland 20814

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Westminster Investing Corporation

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

The Klinge Corporation
7501 Wisconsin Avenue
Bethesda, Maryland 20814

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Estate of Rose Zalles
Teresa G. Lyons
B. Francis Saul II and Security Bank Co.,
Trustees for Ruth S. Poljeuka
B.F. Saul Company

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

Special Exception Attachment to Par. 1(b)

DATE: November 28, 2007
(enter date affidavit is notarized)

99076

for Application No. (s): SE 2008-DR-003
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Columbia Securities Company of Washington, D.C.
7501 Wisconsin Avenue
Bethesda, Maryland 20814

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Estate of Rose Zalles
Teresa G. Lyons
B. Francis Saul II
B. Francis Saul II and Security Bank,
Trustees for Rush S. Poljeuka

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Security Bank Co.
1501 Pennsylvania Avenue, N.W.
Washington, D.C. 20005

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

American Security Bank

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

Special Exception Attachment to Par. 1(b)

DATE: November 28, 2007
(enter date affidavit is notarized)

99076

for Application No. (s): SE 2008-DR-003
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

1427 Dolley Madison, LLC
7505 Royal Oak Drive
McLean, Virginia 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Mark McFadden

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

1441 Dolley Madison, LLC
7505 Royal Oak Drive
McLean, Virginia 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Mark McFadden

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

Special Exception Attachment to Par. 1(b)

DATE: November 28, 2007
(enter date affidavit is notarized)

99076

for Application No. (s): SE 2008-DR-003
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Young Life Arlington
1441 Dolley Madison Boulevard
McLean, Virginia 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

No shareholders/non-stock corporation

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Young Life Eastern Division
1441 Dolley Madison Boulevard
McLean, Virginia 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

No shareholders/non-stock corporation

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

Special Exception Attachment to Par. 1(b)

DATE: November 28, 2007
(enter date affidavit is notarized)

99076

for Application No. (s): SE 2008-DR-003
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Pendleton Homes, Inc.
1441 Dolley Madison Boulevard
McLean, Virginia 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

George T. Pendleton

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Cheerway Care, Inc.
1441 Dolley Madison Boulevard
McLean, Virginia 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Evangeline N. Pitog
Jessel A. Newton
Joseph R. Newton

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

Special Exception Attachment to Par. 1(b)

DATE: November 28, 2007
(enter date affidavit is notarized)

99076

for Application No. (s): SE 2008-DE-003
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Mark McFadden Associates, Ltd.
1433 Dolley Madison Boulevard
McLean, Virginia 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Mark McFadden

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Modified Lending, Inc.
1427 Dolley Madison Boulevard
McLean, Virginia 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Keith Kelly

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

SPECIAL EXCEPTION AFFIDAVIT

DATE: November 28, 2007
(enter date affidavit is notarized)

99076

for Application No. (s): SE 2008-DR-003
(enter County-assigned application number(s))

1(c). The following constitutes a listing** of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, and number, street, city, state, and zip code)
FLINN & BEAGAN
8300 BOONE BOULEVARD, SUITE 225
VIENNA, VIRGINIA 22182

(check if applicable) The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. General Partner, Limited Partner, or General and Limited Partner)

Robert F. Flinn	8300 Boone Boulevard, Suite 225 Vienna, Virginia 22182	General Partner
Robert J. Beagan	8300 Boone Boulevard, Suite 225 Vienna, Virginia 22182	General Partner
Mathew D. Ravencraft	8300 Boone Boulevard, Suite 225 Vienna, Virginia 22182	General Partner

(check if applicable) There is more partnership information and Par. 1(c) is continued on a "Special Exception Affidavit Attachment to Par. 1(c)" form.

** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

SPECIAL EXCEPTION AFFIDAVIT

DATE: November 28, 2007
(enter date affidavit is notarized)

99076

for Application No. (s): SE 2008-DE-003
(enter County-assigned application number(s))

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE** of the land.

2. That no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on the line below.)

NONE.

(check if applicable) There are more interests to be listed and Par. 2 is continued on a "Special Exception Attachment to Par. 2" form.

Application No.(s): SE 2008-DR-003
(county-assigned application number(s), to be entered by County Staff)

SPECIAL EXCEPTION AFFIDAVIT

DATE: November 28, 2007
(enter date affidavit is notarized)

99076

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

NONE.

NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [] There are more disclosures to be listed and Par. 3 is continued on a "Special Exception Attachment to Par. 3" form.

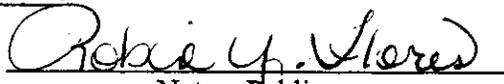
4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature: 

(check one) [] Applicant [x] Applicant's Authorized Agent

ROBERT F. FLINN, attorney
(type or print first name, middle initial, last name, and & title of signee)

Subscribed and sworn to before me this 28th day of November 20 07, in the State/Comm. of Virginia, County/City of Fairfax


Notary Public

My commission expires: November 30, 2008

FLINN & BEAGAN
ATTORNEYS AT LAW
SUITE 225
8300 BOONE BOULEVARD
VIENNA, VIRGINIA 22182-2630

ROBERT F. FLINN
rflinn@flinnandbeagan.com

(703) 448-6800
FAX (703) 448-0249

www.flinnandbeagan.com

April 25, 2008

HAND-DELIVERED

Regina Coyle, Division Director
Zoning Evaluation Division
Department of Planning and Zoning
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035-5505

Re: Application for Special Exception for Drive-in Bank
Chevy Chase Bank
Tax Map Reference No. 030-2-05-6, 9 & 10

Dear Ms. Coyle:

We represent Chevy Chase Bank. Please accept this letter as our revised statement of justification for a special exception to permit the construction of a drive-in bank on the above-referenced property.

The property consists of three lots jointly comprising approximately 30,363 square feet. The property is zoned C-2 (Limited Office District). Banks are permitted by right in the C-2 District, but drive-through facilities require a category 5 special exception from the Board of Supervisors. The property is located in a Highway Corridor Overlay District, Sign Control Overlay District and the McLean Commercial Revitalization District. The property is currently used for commercial offices located in three former single-family residences.

The proposed bank will be a free-standing building consisting of approximately 3,197 square feet with free-standing remote drive-through ATM facilities. The building will be a one-story brick structure approximately 25 feet in height with a standing seam metal roof, two portico entrances, and neoclassical architectural characteristics. Colored elevations showing the building façade and architecture of the proposed building accompany the bank's plans. Substantial landscaping will be

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Regina Coyle, Division Director
April 25, 2008
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provided, and at least 30% of the property will be devoted to open space. Hours of operation for the bank are expected to be 9:00 a.m. to 7:00 p.m. Monday through Friday and 9:00 a.m. to 3:00 p.m. Saturday. The bank will have automatic teller machines which are expected to operate 24 hours a day, seven days a week. Approximately eight employees will work at the bank. It is estimated that there will be approximately 135 patrons of the bank each day. The bank is intended to serve the McLean area.

The property is located in Subarea 27 of the McLean Community Business Center of the Area II Comprehensive Plan. The Plan text provides:

The area bounded by Dolley Madison Boulevard, Beverly Road, Fleetwood Road and Elm Street (Subareas 27 and 28) should develop as low-rise commercial. Future development should be carefully sited to face toward Dolley Madison Boulevard with access from Fleetwood Road. This area is intended as a transition from the higher density commercial core along Elm Street to the residential neighborhood beyond the CBC boundary.

The Open Space Design Guidelines for the McLean Central Business Center recommend that office buildings be located close to adjacent roadways to form a visual frame to the roadway with parking to the rear of the building. The Guidelines also recommend pedestrian concourses which have a minimum 5-foot planting strip adjacent to the road with shade trees, a minimum 5-foot sidewalk, and a 15 to 25 foot planting and access area adjacent to the office facades.

The proposed bank conforms to the recommendations of the Comprehensive Plan and McLean CBC Design Guidelines. The bank building is sited to face Dolley Madison Boulevard, but there will be no direct access to the site from Dolley Madison Boulevard. The bank building is essentially a low-rise office building with a standing seam metal gable roof which is compatible with the architecture and roof lines of office rowhouses or single-family homes. The bank building has been located 15 feet from the curb line of Dolley Madison Boulevard, 25 feet from the right-of-way of Elm Street, and parking has been placed to the rear of the building. A knee wall is proposed along Dolley Madison Boulevard to screen the parking lot and create an additional visual frame to the roadway. A 5-foot

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planting strip is proposed next to Dolley Madison Boulevard and Elm Street with a 5-foot sidewalk and pedestrian concourse at the intersection. All lighting for parking areas is "cut-off" lighting so as to prevent light from shining on adjacent properties.

It is estimated that approximately 120 vehicle trips per day (60 in/60 out) will be generated by the bank. The vehicle trips are expected to be distributed evenly over the entire day, especially in light of the 24-hour availability of the bank's automatic teller machines. The two existing entrances onto Dolley Madison Boulevard will be closed. The existing entrance on Elm Street will be relocated as far away from the intersection as possible and will serve as the sole means of vehicle access to and from the property.

The applicant is requesting that the requirement for constructing a loading space be waived pursuant to §11-202(14) of the Zoning Ordinance on the ground that a loading space is unnecessary for the bank and adequate receiving facilities are otherwise being provided.

The applicant is also requesting that the limit on sign area in the ordinance be waived pursuant to §9-620 of the Zoning Ordinance so that the bank can have three facade signs, each approximately 35 square feet in size. This waiver is necessitated by the unique design and orientation of the bank building so that the main entrance of the bank is on the side of the building with only 40 feet of building frontage rather than 96 feet of building frontage. Since allowable facade signage is based upon the location of the main entrance to the building, this results in an overall limit of approximately 60 square feet of facade signage rather than approximately 144 square feet. The aggregate square footage of the bank's three typical facade signs, each 35.07 square feet, is approximately 106 square feet. The location and dimensions of the proposed facade signage is shown on the schematic architectural elevations of the bank which accompany the bank's plans.

The bank is also requesting approval of a fourth facade sign of 18.19 square feet (13" high channel letters) on the remote ATM drive-through facilities. A waiver of the limit on sign area to allow for this fourth sign is necessitated by the unique design and orientation of the proposed free-standing ATM drive-through

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facilities. Since the facilities are not connected to the bank and are located in the rear of the site, a sign is necessary to provide reasonable identification of the drive-through facilities to customers. The aggregate square footage of this fourth sign, together with the three façade signs on the building, is only 123.4 square feet, less than the 144 square feet of signage allowed by right for a conventional commercial building.

The applicant also is requesting a modification to the 50-foot transitional screening and barrier requirement along Dolley Madison Boulevard in accordance with §13-304 of the Zoning Ordinance. The strict application of the screening and barrier requirements along Dolley Madison Boulevard would reduce the usable area of the property to a size which would preclude a reasonable use and conflict with the recommendation of the Comprehensive Plan to place the building close to the roadway and provide a pedestrian concourse. Furthermore, the proposed landscaping, knee-wall and street-scape improvements are specifically designed to minimize any adverse impacts.

The applicant is also requesting that the 25-foot minimum front yard requirement along Dolley Madison Boulevard be waived pursuant to section 9-622 of the Zoning Ordinance to allow for a front yard varying in width from 5-feet to 9-feet as shown on the bank's plan. This waiver is required in order to allow the building to be placed close to Dolley Madison Boulevard as recommended by the Comprehensive Plan.

The applicant is also requesting that the 10-foot peripheral parking lot landscaping requirement and 10-foot minimum distance between front lot line and off-street parking space along Dolley Madison Boulevard be modified pursuant to section 13-202 of the Zoning Ordinance to allow for a 6-foot landscaping strip as shown on the bank's plan. This modification is required in order to accommodate the County's request for dedication of 5-feet of road frontage along Dolley Madison Boulevard for a future bike lane. The applicant is also requesting that the 4-foot peripheral parking lot landscaping requirement along the southern boundary of the entrance drive on Elm Street be modified to allow for a 2.6-foot landscaping strip as shown on the bank's plan. These modifications are appropriate due to the location and configuration of the parking lot, and the modifications will not have any deleterious effect on existing or planned development of adjacent properties.

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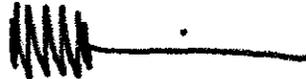
Regina Coyle, Division Director
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Page 5

The applicant is also requesting that the requirement for a service drive along Dolley Madison Boulevard be waived pursuant to §17-201 of the Zoning Ordinance. There is no existing or proposed service drive abutting the property on either side and there is limited desire to travel between abutting uses.

Except for the waivers and modifications referenced above, the proposed bank will conform to the provisions of all applicable ordinances, regulations, adopted standards and any applicable conditions.

No hazardous or toxic substances or hazardous waste or petroleum products will be generated, utilized, stored, treated or disposed of on site as part of the bank's operations, and there are no known existing or proposed storage tanks or containers on the property.

Very truly yours,

A handwritten signature consisting of several vertical, parallel, wavy lines followed by a horizontal line extending to the right.

Robert F. Flinn

cc: Joseph B. Pearson (w/o enclosures)

RFF/03010-109/RYE/LOB.061



County of Fairfax, Virginia

MEMORANDUM

DATE May 21, 2008

TO: Regina Coyle, Director
Zoning Evaluation Division, DPZ

FROM: Pamela G. Nee, Chief
Environment and Development Review Branch, DPZ

SUBJECT: Land Use Analysis and Environmental Assessment: SE 2008-DR-003
McLean Chevy Chase Bank

The memorandum, prepared by Jennifer Bonnette, includes citations from the Comprehensive Plan that provide guidance for the evaluation of the subject Special Exception (SE) application dated November 28, 2007 as revised through April 15, 2008. The extent to which the application conforms to the applicable guidance contained in the Comprehensive Plan is noted. Possible solutions to remedy identified issues are suggested.

DESCRIPTION OF THE APPLICATION

The applicant, Chevy Chase Bank, F.S.B., proposes to consolidate three parcels along Dolley Madison Boulevard/Route 123, zoned C-2, to develop an approximately 3,197 square foot, one story bank with three remote drive-through lanes on .697 acre. The project will remove three existing homes which function as offices and reduce the existing FAR from .28 to .11. Hours of operation for the bank are expected to be 9:00 a.m. to 7:00 p.m. Monday through Friday and 9:00 a.m. to 3:00 p.m. Saturday. The bank will have automatic teller machines which are expected to operate 24 hours a day, seven days a week. The bank is proposed to have eight employees. Twenty-three parking spaces are proposed and 13 spaces are required under the Zoning Ordinance. The applicant proposes to provide 30.80 percent open space, over the required 30 percent. The sole access point to the site will be from Elm Street. The existing Elm Street access point will be relocated farther from the intersection with Dolley Madison Boulevard. The two existing access points on Dolley Madison Boulevard will be eliminated.

LOCATION AND CHARACTER OF THE AREA

The subject property is located on the edge of the McLean Central Business Center (CBC) and McLean Commercial Revitalization District in Subarea #27, which is a designated Buffer Area in the Comprehensive Plan. The site is in the northeast quadrant of the intersection of Dolley

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Planning Division

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Madison Boulevard and Elm Street. To the north across Dolley Madison Boulevard are single family detached homes planned for residential use at 4 to 5 dwelling units per acre and zoned R-4. To the east is an office building planned for office use and zoned C2 and beyond that is a residential community planned for office use and zoned PDH-20. To the south, and across Elm Street to the west, are office buildings planned for office use and zoned C-2.

COMPREHENSIVE PLAN CITATIONS:

Land Use

In the Fairfax County Comprehensive Plan, 2007 Edition, Area II, McLean Planning District, McLean Community Business Center, Buffer Areas, as amended through August 6, 2007, pages 28 and 69, the Plan states:

- “5. The area bounded by Dolley Madison Boulevard, Beverly Road, Fleetwood Road and Elm Street (Subareas 27 and 28) should develop as low-rise commercial. Future development should be carefully sited to face toward Dolley Madison Boulevard with access from Fleetwood Road. This area is intended as a transition from the higher density commercial core along Elm Street to the residential neighborhood beyond the CBC boundary. As an option, townhouse-style residential use at 12-16 dwelling units per acre may be appropriate contingent upon substantial and logical parcel consolidation; high quality design and landscaping; to the extent practical preservation of existing specimen trees along the periphery of the site; the provision of pedestrian connections to adjacent properties; and vehicular access limited to Fleetwood Road. . . .

McLEAN CBC SUBAREA GUIDELINES

Subarea #27: Dolley Madison Boulevard, Elm Street, Fleetwood Road, vacated Summit Road.



Guidelines

Planning Objective

Medium intensity fringe development of office core. Integrated design.



Land Use Objective Medium intensity office and potential restaurant uses and an option for townhouse-style residential use at 12-16 du/ac. Encourage consolidation with pedestrian connection to uses not consolidated.

Implementation Strategy Office uses with option for townhouse-style residential through a rezoning.

Parking Requirement As required by zoning ordinance.

Design Objective

Public Space Guidelines North (Dolley Madison Boulevard): Rowhouse Office type K or Residential Frontage type L
Access from Fleetwood Road and Elm Street only.

East (Summit Road): Rowhouse Office type K or Residential Frontage type L

South (Fleetwood Road): Rowhouse Office type K or Residential Frontage type L

West (Elm Street): Rowhouse Office type K or Residential Frontage type L

Building Envelope Guidelines Rowhouse Office type K or Residential Frontage type L.

Building Relationships

Cluster rowhouse with surface parking areas broken by landscaping and varied building forms. All vehicular access from Fleetwood Road or Summit Road.

Special Considerations

On-Street bikeway along Fleetwood Road.”

Environment

Fairfax County Comprehensive Plan, 2007 Edition, Policy Plan, Environment, as amended through February 25, 2008, pages 7 to 19, the Plan states:

“Objective 2: Prevent and reduce pollution of surface and groundwater resources. Protect and restore the ecological integrity of streams in Fairfax County.

- Policy a. Maintain a best management practices (BMP) program for Fairfax County and ensure that new development and redevelopment complies with the County’s best management practice (BMP) requirements. . . .
- Policy j. Regulate land use activities to protect surface and groundwater resources.
- Policy k. For new development and redevelopment, apply better site design and low impact development (LID) techniques...

Development proposals should implement best management practices to reduce runoff pollution and other impacts. Preferred practices include: those which recharge groundwater when such recharge will not degrade groundwater quality; those which preserve as much undisturbed open space as possible; and, those which contribute to ecological diversity by the creation of wetlands or other habitat enhancing BMPs, consistent with State guidelines and regulations. . . .

Objective 3: Protect the Potomac Estuary and the Chesapeake Bay from the avoidable impacts of land use activities in Fairfax County.

- Policy a. Ensure that new development and redevelopment complies with the County's Chesapeake Bay Preservation Ordinance. . . .

Objective 10: Conserve and restore tree cover on developed and developing sites. Provide tree cover on sites where it is absent prior to development.

Policy a: Protect or restore the maximum amount of tree cover on developed and developing sites consistent with planned land use and good silvicultural practices.

Policy b: Require new tree plantings on developing sites which were not forested prior to development and on public rights of way. . . .

Objective 13: Design and construct buildings and associated landscapes to use energy and water resources efficiently and to minimize short- and long-term negative impacts on the environment and building occupants.

Policy a. Consistent with other Policy Plan objectives, encourage the application of energy conservation, water conservation and other green building practices in the design and construction of new development and redevelopment projects. These practices can include, but are not limited to:

- Environmentally-sensitive siting and construction of development
- Application of low impact development practices, including minimization of impervious cover (See Policy k under Objective 2 of this section of the *Policy Plan*)
- Optimization of energy performance of structures/energy-efficient design
- Use of renewable energy resources
- Use of energy efficient appliances, heating/cooling systems, lighting and/or other products
- Application of water conservation techniques such as water efficient landscaping and innovative wastewater technologies
- Reuse of existing building materials for redevelopment projects
- Recycling/salvage of non-hazardous construction, demolition, and land clearing debris
- Use of recycled and rapidly renewable building materials
- Use of building materials and products that originate from nearby sources
- Reduction of potential indoor air quality problems through measures such as increased ventilation, indoor air testing and use of low-emitting adhesives, sealants, paints/coatings, carpeting and other building materials.

Encourage commitments to implementation of green building practices through certification under established green building rating systems (e.g., the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED[®]) program or other comparable programs with third party

certification). Encourage commitments to the attainment of the ENERGY STAR[®] rating where applicable and to ENERGY STAR qualification for homes. Encourage the inclusion of professionals with green building accreditation on development teams. Encourage commitments to the provision of information to owners of buildings with green building/energy efficiency measures that identifies both the benefits of these measures and their associated maintenance needs.

Policy b. Ensure that zoning proposals for nonresidential development and zoning proposals for multifamily residential development of four or more stories within the Tysons Corner Urban Center, Suburban Centers, Community Business Centers and Transit Station Areas as identified on the Concept Map for Future Development incorporate green building practices sufficient to attain certification through the LEED program or its equivalent, where applicable, where these zoning proposals seek at least one of the following:

- Development in accordance with Comprehensive Plan Options;
- Development involving a change in use from what would be allowed as a permitted use under existing zoning;
- Development at the Overlay Level; or
- Development at the high end of planned density/intensity ranges. For nonresidential development, consider the upper 40% of the range between by-right development potential and the maximum Plan intensity to constitute the high end of the range. . . .

Policy d. Promote implementation of green building practices by encouraging commitments to monetary contributions in support of the county's environmental initiatives, with such contributions to be refunded upon demonstration of attainment of certification under the applicable LEED rating system or equivalent rating system.

Policy e. Encourage energy conservation through the provision of measures which support nonmotorized transportation, such as the provision of showers and lockers for employees and the provision of bicycle parking facilities for employment, retail and multifamily residential uses.”

COMPREHENSIVE PLAN MAP: Office

LAND USE ANALYSIS

Use, Intensity and Site Design The Comprehensive Plan recommends that Subarea 27, which contains this site, develop as low-rise commercial with development sited to face toward Dolley Madison Boulevard with access from Fleetwood Road. The applicant proposes to establish a one-story commercial bank with three remote drive through lanes. The bank building has been situated adjacent to the corner of Dolley Madison Boulevard and Elm Street, and visually frames the intersection and helps to provide a pedestrian-friendly environment. The proposed site does not border Fleetwood Road. An existing office building and accompanying surface parking prevent the applicant from obtaining access to this road. In lieu of access at this time, the applicant has been asked to provide for possible future interparcel access with redevelopment of the office building site. Parking and the remote drive through lanes are located at the rear of the building parallel to Dolley Madison Boulevard. Access to the site has been limited to one point on Elm Street, eliminated existing access points from Dolley Madison Boulevard.

Architectural Design The bank is proposed to be constructed as a one-story brick structure with two portico entrances and neoclassical architectural characteristics with a standing seam metal gable roof. Colored elevations are provided which show the building façade and architecture. The architecture is designed to be compatible with the surrounding area.

Streetscaping, Lighting and Signage The applicant has proposed streetscaping that meets the intent of the Comprehensive Plan. A five foot concrete/brick paver sidewalk is proposed along both Dolley Madison Boulevard and Elm Street. Both sidewalks are located within the right-of-way. Minimum six foot wide landscape strips with ornamental trees are proposed along both streets subject to approval by the Virginia Department of Transportation (VDOT). A ten foot wide landscaping strip is proposed in between the sidewalk and surface parking lot along Dolley Madison Boulevard, to include an eight foot wide area with medium or large deciduous trees and a two foot wide area with groundcover behind a three foot high brick knee wall. The knee wall will provide screening of the parking lot from the roadway. The location and type of the proposed trees in the landscaping strips is intended to avoid any potential conflict with the existing overhead utilities. A brick wall will be a maximum of five feet high along the northeastern and rear boundaries of the site.

The Plan recommends shade trees in the landscaping strip adjacent to the building on Elm Street, however, due to existing and proposed storm drain easements there is insufficient room to plant street trees. The frontage along Elm Street is one of the main entrances to the proposed building and sufficient landscaping is provided given the site constraints.

The applicant has designed an entrance area/corner feature that includes plantings, benches, paving and sidewalk areas and is located mostly within the VDOT right-of-way. This entrance area/corner feature is a key element of this project and VDOT approval should be obtained or assured during the development review process. The street furniture and exterior lighting proposed should be black in color and consistent with the McLean CBC's Open Space Design

Standards. The bench illustration provided in the development plans appears to be consistent with the Plan recommendations. Additionally, the approximate locations of outside lights are shown on the plan and a depiction of the proposed lighting fixtures is provided.

The applicant proposes to locate signage along three faces of the building. It is recommended that signage should be limited to the two sides that contain building entrances.

ENVIRONMENTAL ANALYSIS

This section characterizes the environmental concerns raised by an evaluation of this site and the proposed land use. Solutions are suggested to remedy the concerns that have been identified by staff. There may be other acceptable solutions. Particular emphasis is given to opportunities provided by this application to conserve the county's remaining natural amenities.

Stormwater Management/Best Management Practices (SWM/BMP) The site is located in the Dead Run Watershed and Chesapeake Bay Preservation Area. The proposed development will increase the amount of impervious area from 63 to 71 percent of the site. Stormwater runoff on the site is uncontrolled currently. The applicant proposes to install an underground storage facility located under the driveway accessing the surface parking lot. The applicant is proposing to use a structural BMP device to provide for a 21.06 percent phosphorus removal efficiency, which is above the minimum 20.14 percent phosphorus removal required. The BMP device is shown on the development plans in the parking lot and design calculations are provided. The SWM and outfall narratives indicate that the applicant reserves the right to use conventional SWM techniques should the outfall be determined to be adequate during final engineering. The applicant is encouraged to use low impact development techniques to optimize water quality and quantity controls rather than more conventional stormwater management. The adequacy of the submission materials as well as any proposed SWM/BMP measures will be subject to review and approval by the Department of Public Works and Environmental Services (DPWES).

Vegetation The applicant is proposing to remove all existing trees on the site, some of which are mature and in good condition. The applicant should consider preserving some of the trees along the periphery of the site. Additionally, in the Comprehensive Plan's McLean CBC Appendix, several lists of suggested vegetation is provided. The applicant is recommended to plant the proposed deciduous trees and evergreen and deciduous shrubs from these lists.

Green Building Design The applicant is seeking a change in use on a site located in the McLean Community Business Center (CBC). The Policy Plan recommends that such developments which are seeking changes in use and are located in specially designated areas such as the McLean CBC, attain basic Leadership in Energy and Environmental Design (LEED) certification through the U.S. Green Building Council or other comparable program with third party certification at a minimum.

The project should incorporate green building practices sufficient to attain basic LEED certification under the U.S. Green Building Council program. In support of attainment of LEED certification for the project, the applicant is encouraged to:

- Retain a LEED AP who is a professional engineer or architect licensed to practice in the Commonwealth of Virginia and will be a part of the project's design and construction team;
- Prior to approval of the site plan for the building, execute a separate agreement and post, for that building, a "green building escrow," in the form of cash or a letter of credit from a financial institute acceptable to DPWES as defined in the Public Facilities Manual, in the amount of \$82,500. The provision to the Environment and Development Review Branch of DPZ of documentation from the U.S. Green Building Council that the building has attained LEED certification will be sufficient to satisfy this commitment. If the applicant fails to provide documentation to the Environment and Development Review Branch of DPZ demonstrating attainment of LEED certification within one year of issuance of the non-RUP for the building, the escrow will be released to Fairfax County and will be posted to a fund within the county budget supporting implementation of county environmental initiatives.
- Include a list of specific credits within the most current version of a LEED rating system as part of the site plan and building plan submission; and
- Retain a professional engineer or architect licensed to practice in the Commonwealth of Virginia who will provide certification statements both at the time of site plan and building plan reviews confirming that the items on the list will meet at least the minimum number of points necessary to attain LEED certification of the project.

In order to ensure the long term viability of the green building measures, the applicant is encouraged to distribute a green building manual prepared by a LEED AP for use by all future building occupants (including tenants of properties to be rented or lease). The manual at a minimum should:

- Provide a narrative description of each green building component, including a description of the environmental benefits of that component and including information regarding the importance of maintenance and operation in retaining the attributes of a green building;
- Provide, where applicable, product manufacturer's manuals or other instructions regarding operations and maintenance needs for each green building component, including operational practices that can enhance energy and water conservation;
- Provide, as applicable, either or both of the following: (1) a maintenance staff notification process for improperly functioning equipment; or (2) a list of local service providers that offer regularly scheduled service and maintenance

- contracts to assure proper performance of green building-related equipment and the structure, to include, where applicable, the HVAC system, water heating equipment, water conservation features, sealants, and caulks; and
- Provide contact information that building occupants can use to obtain further guidance on each green building component.

COUNTYWIDE TRAILS PLAN

The Countywide Trails Plan Map depicts a Major Paved Trail (defined as asphalt or concrete, eight feet or more in width) and an Onroad Bike Route along the subject property's Dolley Madison Boulevard frontage and a Minor Paved Trail (defined as asphalt or concrete, four feet to 7 feet 11 inches) along Elm Street. A five foot wide concrete sidewalk located within the right-of-way may be acceptable. The applicant has provided five foot wide sidewalks within the right-of-way along both street frontages and provided dedication for a five foot wide onroad bike route along Dolley Madison Boulevard.

PGN: JRB

Additional Plan Citations

In the Fairfax County Comprehensive Plan, 2007 Edition, Area II, McLean Open Space Design Standards, as amended through May 5, 2008, pages 3-7, 12, 14, 18-19, the Plan states:

“INTRODUCTION

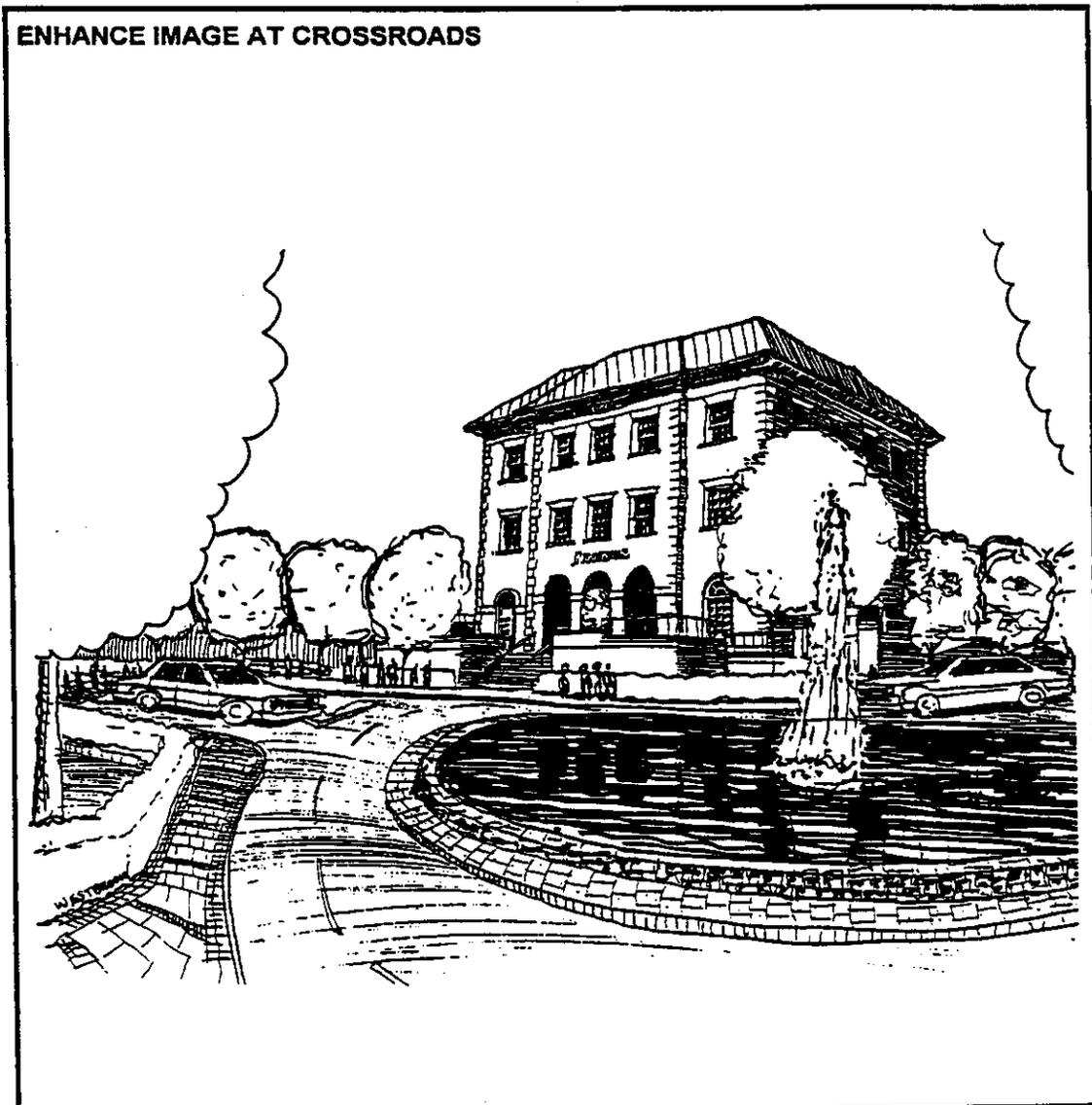
This document provides urban design guidance for transforming the McLean Central Business Center (CBC) into a more pedestrian-oriented environment. It includes general design principles; specific design standards for sidewalks, streetscape and parking lot landscaping; and building envelope guidance for subareas of the CBC. The purpose is to provide clear design parameters to those submitting projects for review, whether it is new construction, building expansion, exterior renovation and/or other improvements to existing conditions. During the review of a development application, County staff will evaluate the proposal for conformity with the design guidance provided herein, as well as the McLean CBC Subarea Guidelines and other aspects of the Comprehensive Plan. A similar review will be undertaken by the McLean Planning Committee. This review process will provide a clear framework for maintaining architectural integrity, quality, consistency and continuity while allowing flexibility for creative and innovative design solutions in unique circumstances.

Each street and building type to be found in the CBC is described for its general planning and design objectives. Specific guidelines are provided for elements of the streetscape, but are intended to be flexible in their implementation. In addition, these design guidelines should be reviewed in conjunction with the McLean CBC Subarea Guidelines as outlined in the Area II volume of the Comprehensive Plan.

The effectiveness of the design standards will be reviewed from time to time. Potential amendments may be identified to clarify the intent or to add alternatives that would better achieve the objectives of the Comprehensive Plan. Therefore, it is strongly advised that individuals contact the Fairfax County Department of Planning and Zoning and the McLean Planning Committee to confirm the status of specific guidelines.

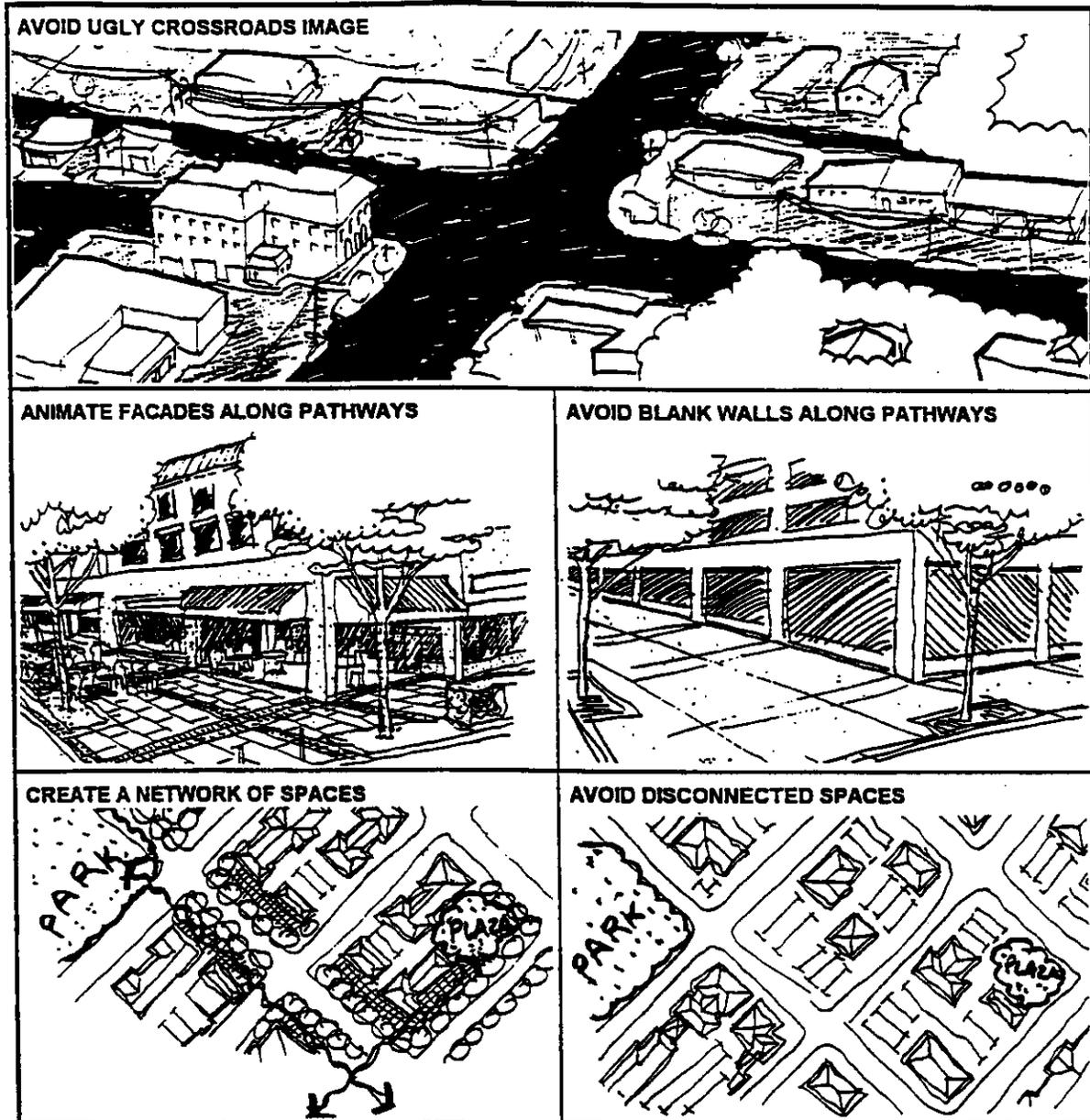
GENERAL DESIGN PRINCIPLES

The following illustrations of general design principles are included to demonstrate an approach to designing the public way that will encourage the public and private sectors of the community to think about the McLean CBC as a special place for commerce and human interaction. Enhancing image, animating facade, creating networks of space, providing upgraded streetscapes, enhancing view corridors, and improving architectural design by achieving compatible building styles and designs are some of the general design principles

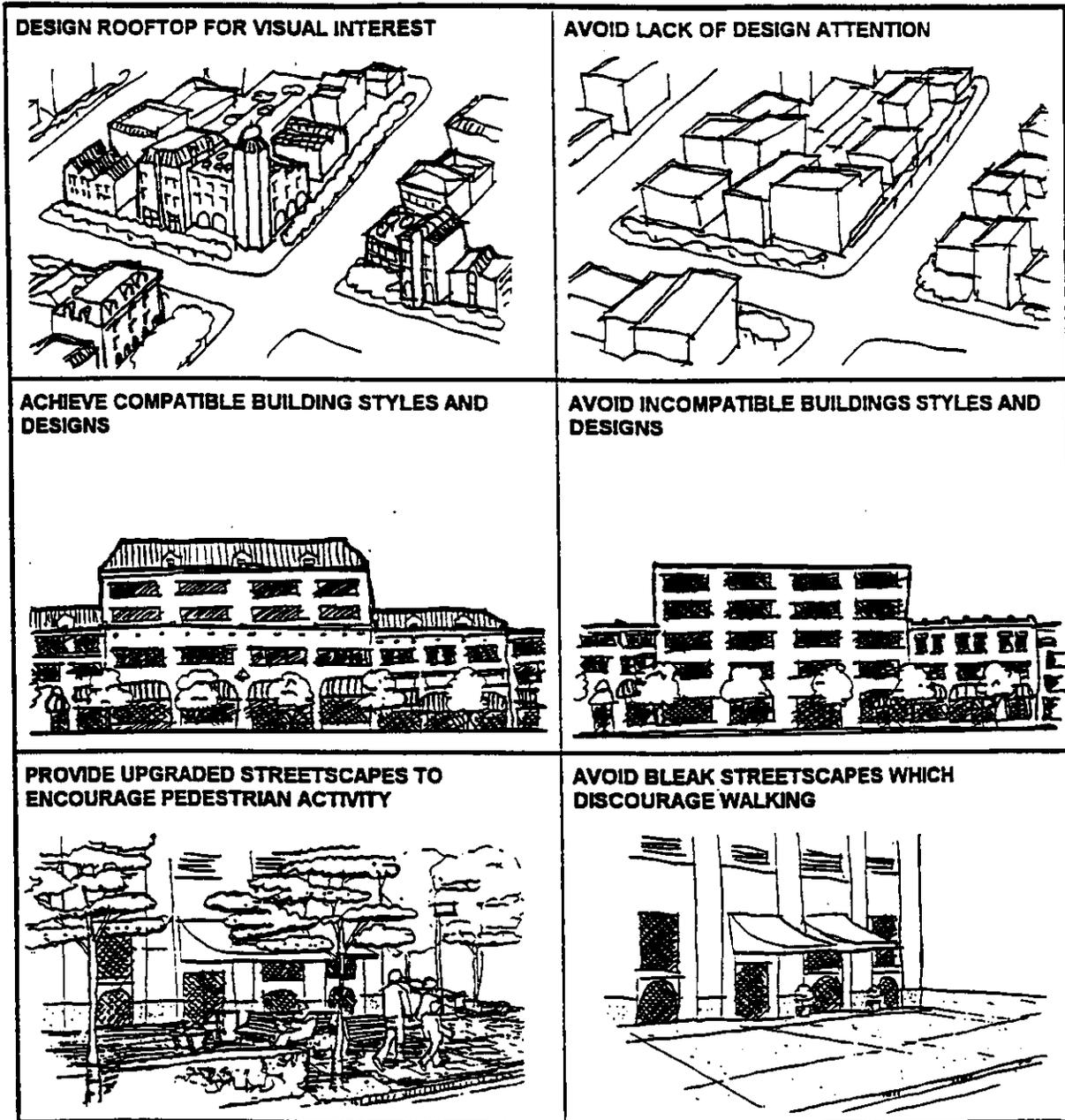


illustrated here.

GENERAL DESIGN PRINCIPLES



GENERAL DESIGN PRINCIPLES



PUBLIC SPACE DESIGN STANDARDS

The McLean CBC section of the Area II volume of the Comprehensive Plan divides the CBC into twenty-nine subareas (See Subarea Map in Appendix #9) and provides guidance for the planned land use, intensity/density, and character within each subarea. For design guidance within each subarea, the following public space and building envelope design categories (A through L) are provided, which include design objectives, design standards, and at least one illustration. The illustrations show how subareas (or portions thereof) should develop in terms of streetscape, building orientation and the design of public spaces (i.e., space between buildings). For example, the parking lot drawing for category “D” shows that large parking areas should be made more hospitable for both the pedestrian and automobile user. Other design solutions may be appropriate, if the result achieves the category’s design objectives. In addition to the design standard categories, the appendices provide design guidance applicable to all subareas within the CBC. The appendices address sidewalks, streetscape plantings, parking area design, street furniture, and right-of-way design as well as bike way design.

The combined guidance provided by the design standard categories A through L and the appendices should be applied rigorously to new construction in the McLean CBC. However, for renovations and minor expansions to existing buildings, the project’s design solution should be evaluated for achieving the Plan’s design objectives within the constraints inherent to the particular site. In addition, flexibility should be considered, based on other site conditions such as maintaining and enhancing the existing streetscape. (See Appendix #2: Sidewalks and Appendix #3: Streetscape Planting for guidance addressing the influence of existing conditions on design solutions.) . . .

C. SPECIAL PLACES

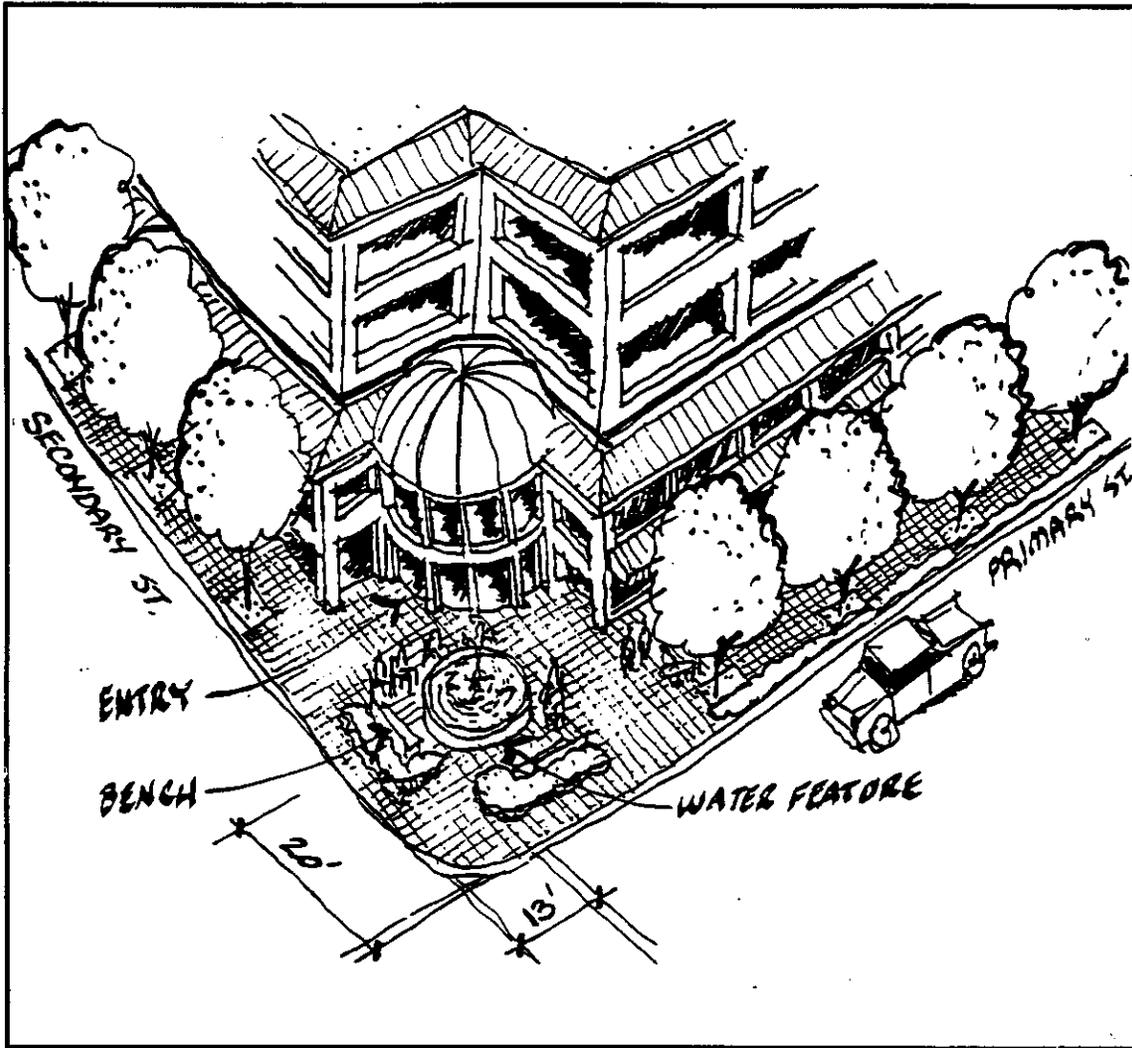
Planning and Design Objectives	At significant corners and on axis with major pedestrian corridors such as Main Street, provide special design treatments to enhance the pedestrian environment, unify the CBC, add to the "Sense of Place" and create a more attractive public space. Such design elements may include features such as flagpoles, banners, fountains, sculpture, or special architectural elements as appropriate to each setting.
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Public Space Design Guidelines	<ul style="list-style-type: none">• Special places take on differing characteristics - ranging from village greens to paved urban plazas to areas with significant focal features such as fountains. Each of the places is pedestrian-oriented and public.• Provide consistent treatment of the sidewalk so as to be distinguished from other typical conditions.• Primary paving materials should be either precast or poured-in-place concrete, or brick, with new materials possibly introduced as accents.• Provide unified street furniture, using the same visual characteristics as required elsewhere in the CBC.• Bosques, rows, or clusters of shade or flowering trees to be used to create visually attractive and physically comfortable spaces for people. (Tree bosques are a geometric clump or grove of trees.)• Benches should be provided which are arranged in a manner which encourages informal conversation by facing each other or at right angles rather than side by side.
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Recommended Tree Types	See Appendix #4
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C. SPECIAL PLACE - MAJOR CORNER



Major corners are located at the corner of a block where two pedestrian walkways intersect and where at least one pedestrian walkway is adjacent to a primary street. These areas should have additional architectural features and attractive landscaping that add to the sense of place. The illustration shows a major pedestrian walkway adjacent to a primary street with a building-line-to-curb width of 20 feet, and a secondary pedestrian walkway adjacent to a secondary street with a building-line-to-curb minimum width of 13 feet. The corner feature should have a protected seating area with hedges and low-profile shade or ornamental trees in addition to a fountain, public art and/or other amenities. For streetscape guidance away from the corner, see Design Standard Category "F" (i.e., Major Public Walkways) for the area adjacent to the primary street, and see Design Standard Category "G" (i.e., Minor Public Walkway) for the area adjacent to the secondary street. The Major Corner guidance applies to the Subareas as described in the McLean Subarea Guidelines. A map and location index is provided in Appendix #9. . . .

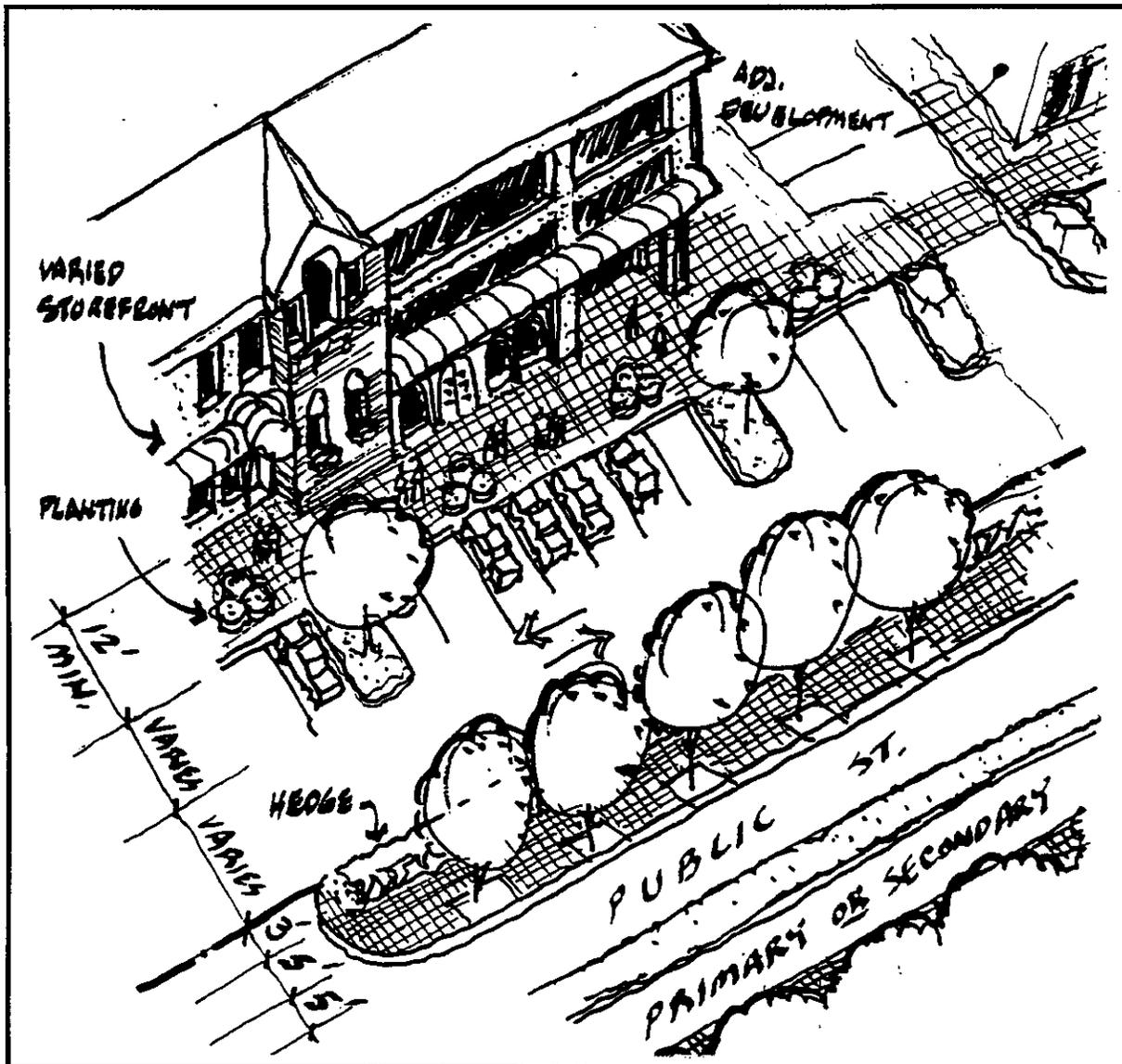
E. MAJOR PUBLIC WALKWAY - ADJACENT TO PARKING

Planning and Design Objectives	Develop and maintain a strong visual edge along primary and secondary streets. Visually separate convenience retail parking from the arterial street.
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Public Space Design Standards	<ul style="list-style-type: none"> • Provide streetscape as per Appendix #3. • Provide sidewalk as shown in Appendix #2. • Provide expanded brick band in the utility strip right-of-way paralleling the curb. • Provide unified street furniture, consisting of standard lights and trash containers. (At building entrances, provide benches, planter pots, and other furniture using the same visual characteristics as required elsewhere in the CBC, and illustrated in Appendix #6) • Provide public sidewalk adjacent to retail storefronts, continuing walkway to end with no step-off, to the adjacent development's pedestrian area. • Provide one row of parking at storefront. (Parking can be either perpendicular or diagonal as shown). • Provide low wall, hedge, or berm located on island between parking lot and street to provide separation between street and parking. • Provide flowering bulbs, and perennial flowers at entrances to parking lot and along sidewalk area. • Provide flowering trees planted within parking lot in spaces in designated planter islands. Low vegetation should be planted in islands. • Provide pedestrian connections to adjacent developments which encourage safe and continuous pedestrian circulation. • Provide light fixtures as specified in Appendix #7.
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Recommended Tree Types	See Appendix #4
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E. MAJOR PUBLIC WALKWAY - ADJACENT TO PARKING



Where convenience retail parking is appropriate, the distance from the building facade to the inside curb line of the parking area should be 12 to 15 feet. The pedestrian concourse between the primary road and the parking lot should have shade trees planted in a 5-foot planting strip or alternately 5-foot by 5-foot insets, a minimum 5-foot sidewalk and 3-foot hedge width located between the sidewalk and the parking lot. Shade trees along the primary streets should be spaced approximately 30 feet apart and coordinated with lighting fixtures. This guidance applies to the Subareas as described in the McLean Subarea Guidelines. A map and location index is provided in Appendix #9.”

In the Fairfax County Comprehensive Plan, 2007 Edition, Area II, McLean Planning District, McLean Central Business District Appendix, as amended through May 5, 2008, pages 38-40, 42, 44-46, 48-53, and 55-59, the Plan states:

“APPENDIX 2 - SIDEWALKS

Planning and Design Objectives	To provide general flexible guidelines for optimum sidewalk widths for different circumstances, applicable to new construction, building expansions, renovations, and other improvements to existing conditions.
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Guidelines	<p>Sidewalks should generally range from 5 feet to 10 feet in width. Sidewalks wider than 10 feet may also be appropriate under certain special circumstances. Determining the appropriate sidewalk width is a function of the design objectives as stated by the applicable design standard category and the following factors which may establish a basis to reduce or increase the design standard category width.</p> <p>In order to vary sidewalk widths from the design standards category guidance, the following factors should be considered;</p> <p>The amount of present and anticipated pedestrian use.</p> <p>The widths of existing adjoining sidewalks and their likely permanence.</p> <p>Possible use by bicycles as well as pedestrians.</p> <p>The type of road, road speed and the corresponding need to keep pedestrians back from the curb except at crossings.</p> <p>Type of buildings or space alongside sidewalks, e.g.; (1) ground floor shops where window shopping would call for wider sidewalks (about 10 feet); (2) ground floor restaurants with seasonal sidewalk tables (even wider than 10 feet); (3) office buildings without first floor shops or restaurants where medium sidewalks (about 7 feet) would permit landscaping between sidewalk and buildings; (4) parking areas where narrower sidewalks (5 feet) will allow space for hedge screening (See Appendix 3).</p> <p>The need for adequate, plantable green strips between sidewalk and curb (see also Appendix 3).</p> <p>Special circumstances (as identified above and in the Design Standards), calling for very wide sidewalks, relieved by planting cutouts, street furniture, etc. and other special circumstances (such as embankments) allowing only a very narrow sidewalk.</p> <p>The need to reduce or vary sidewalk width to save existing trees.</p> <p>Sidewalks should be constructed as shown in the illustration in Appendix #5. Brick pavers shall be “garden blend” by Watson Towne or identified-equal by the Mclean Planning Committee (MPC).</p>
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APPENDIX 3 – STREETScape

<p>Planning and Design Objectives</p>	<p>To provide for attractive streetscapes and related plantings, which are essential elements to the CBC's revitalization. The following guidelines apply to new construction, renovation, building expansions, and other improvements to existing conditions.</p>
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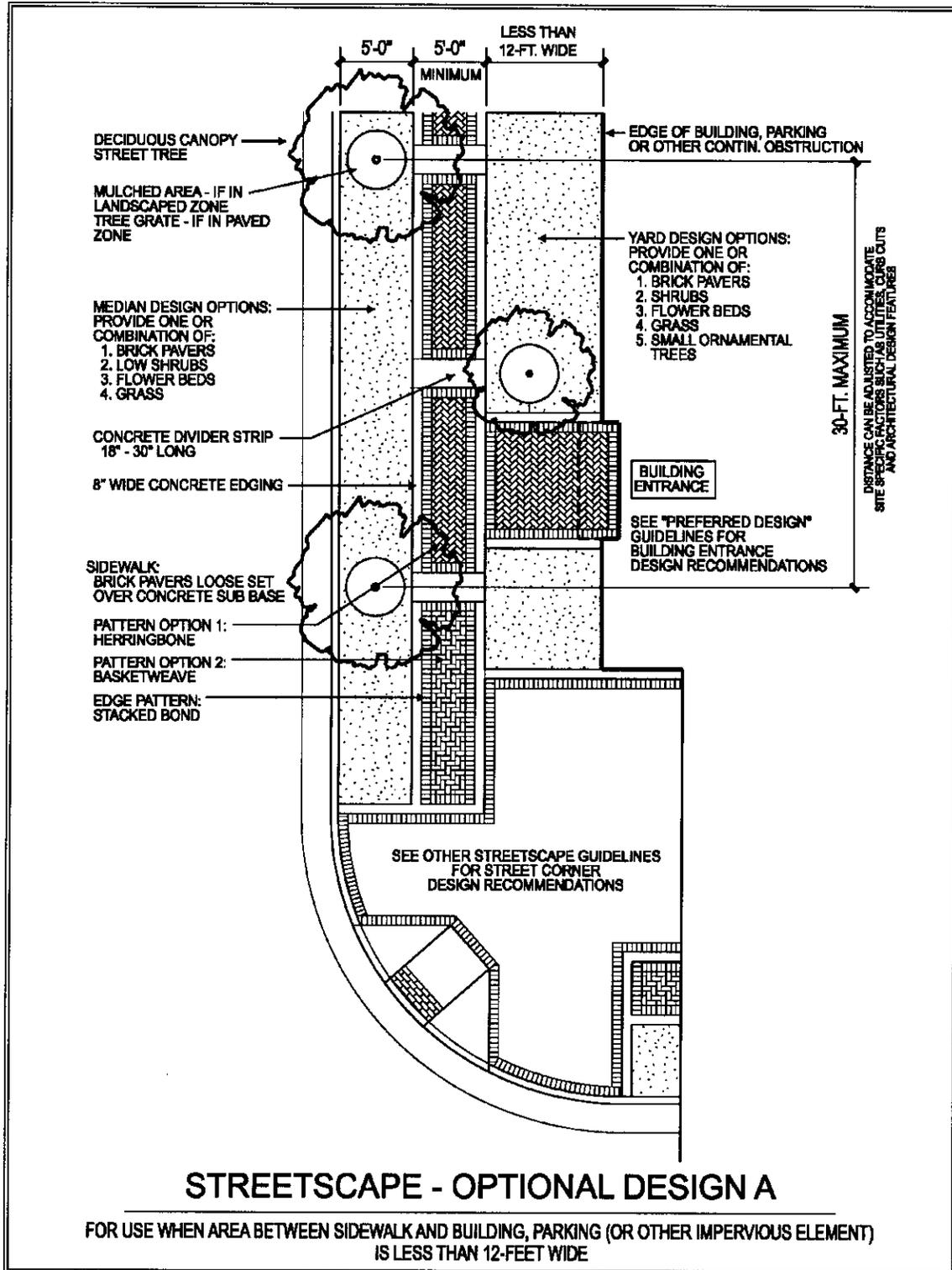
<p><i>Guidelines</i></p>	<ul style="list-style-type: none"> • Streetscape preferred design applies whenever the space between the building and the sidewalk is 12 feet or greater. Street trees located between building and sidewalk are supplemented by offset ornamental trees located between street and sidewalk. • Optional Design "A" shows streetscape configuration for locations where the space between building and sidewalk is less than 12 feet. • Optional Design "B" applies when the area between sidewalk and curb measures less than 5 feet. • Sidewalk construction shall be brick pavers set on concrete between concrete strips and edges as shown in the illustrations. • Large deciduous shade trees should be used as street trees as well as for parking lot plantings, but smaller trees may have to be used in certain circumstances, e.g. overhead lines, and VDOT restrictions on narrower traffic median strips and islands. • Types of shade trees used can be varied, but it is recommended that one type be used for a given distance (e.g. a short block or a stretch between curb cuts in a long block) before switching to another type. • Recommended spacing between shade trees 30 feet on center, but this can be adjusted to accommodate such factors as curb cuts, overhead lines, etc. • Recommended size of shade trees at planting is 2 ½ inches caliper. • To the extent possible, interior and peripheral landscaping should be configured to save existing trees. • Where there is adjoining parking space, shade trees should be supplemented by evergreen hedges high enough to obscure most cars but low enough not to obscure shop signs. • Adequate planting strips should also be provided between sidewalk and curb to accommodate ornamental trees, low shrubs, perennial flowers, spring flowering bulbs and groundcover. • Minimum width of these strips should be at least 18 inches and as much as five feet. These strips may also be integrated into the sidewalk using brick paving where a wider pedestrian walkway is desirable.
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	<ul style="list-style-type: none">• Trees should be planted within parking lots in planting islands or strips and/or in cutout planters as well as on the periphery. (See Parking Lot Landscaping, Appendix #5). The combined planting areas should be at least 15 percent of the gross areas for all non-residential properties, including at least 5 percent of the interior area of any parking lot over 20 spaces.• Street furniture (see Appendix #7) should be placed at entrances and used wherever possible to supplement the streetscape and make it more user-friendly.• Clearly visible street numbers should be provided in locations shown in the streetscape illustrations.
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	<p>See Appendix #4 for suggested trees, screens and hedges and Appendix #5 for parking area landscaping standards.</p>
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APPENDIX 3 (continued) – STREETScape DESIGN STANDARDS



APPENDIX 4 - LANDSCAPE TREES AND PLANTS

In laying out the design for public and private streets, care should be given to the selection of trees and plants that are appropriate to the use intended regarding shade in parking lots and visual order along the streets and pedestrians circulation areas.

MAJOR SHADE TREES SUGGESTED FOR STREETS AND PARKING LOTS

Willow Oak (*Quercus phellos*)
Red Oak (*Quercus rubra*)
Pin Oak (*Quercus palustris*)
Japanese Zelkova (*Zelkova serrata*)
Ginkgo Biloba or Fastigiata (Sentry) - male only
Red or Scarlet Maple (*Acer rubrum*)
Sugar Maple (*Acer saccharum*)
River Birch (*Betula nigra*)
Black Gum or Tupelo (*Nyssa sylvatica*) - slow growing
Crimean Linden (*Tilia euchlora*)
Chinese Elm (*Ulmus parvifolia*)
American Elm (*Ulmus americana*) - cultivars only

MEDIUM AND SMALLER TREES SUGGESTED FOR STREETS AND PARKING LOTS WHERE CIRCUMSTANCES DO NOT PERMIT MAJOR SHADE TREES

Trident Maple (*Acer buergeranum*)
Hedge Maple (*Acer campestre*)
Amur Maple (*Acer ginnala*)
Goldspire Sugar Maple (*Acer saccharum goldspire*)
Bowhall Red Maple (*Acer rubrum bowhall*)
Crape Myrtle (*Lagerstroemia indica*)
Chinese Pistache (*Pistacia chinensis*)
Callery Pear (*Pyrus calleriana*) - cultivars only
Sawtooth Oak (*Quercus acustissima*)
Golden Raintree (*Koelreuteria paniculata*)

SUGGESTED ORNAMENTAL TREES

Paperbark Maple (*Acer griseum*)
Japanese Maple (*Acer palmatum* "Bloodgood")
Fern Leaf Maple (*Acer japonicum*)
Chinese Redbud (*Cercis chinensis*)
White Fringetree (*Chionanthus virginicus*)
Kousa Dogwood (*Cornus kousa*)

SUGGESTED ORNAMENTAL TREES (continued)

Mas Dogwood (*Cornus mas*)
Carolina Silverbell (*Halesia carolina*)
Golden Raintree (*Koelreuteria paniculata*)
Crape Myrtle (*Lagerstroemia indica*)
Saucer Magnolia (*Magnolia x Soulangeana*)
Star Magnolia (*Magnolia x Stellata*)
Sweetbay, Laurel or Swamp Magnolia (*Magnolia virginiana*)
Persian Parrotia (*Parrotia persica*)
Chinese Pistache (*Pistacia chinensis*)
Callery Pear (*Pyrus calleriana*) - cultivars only
Japanese Snowbell (*Styrax arborea*)
Downy Serviceberry (*Amelanchier arborea*)
Sourwood (*Oxydendron arboreum*)
Franklinia (*Franklinia alatamaha*)

SUGGESTED SCREEN TREES (Evergreen)

Leyland Cypress (*Cupressocyparis x Leylandii*)
Foster Holly (*Ilex x Attenuata* "Fosteri")
Arborvitae
Juniperus virginiana
Yews (*Taxus*) - *Stricta*
Yews (*Taxus*) - *Hicksii*
Osmanthus
Canadian Hemlock (*Tsuga canadensis*)
Photinia x Fraseri

SUGGESTED HEDGES (Evergreen)

Japanese Holly (*Ilex crenata*)
Japanese Holly (*Ilex convexa*)
Blue Holly (*Ilex meserveae*) - part shade
Ilex boxifolia
Ligustrum ricurvifolia
Common Boxwood (*Buxus sempervirens*)
Photina x Fraseri
Euonymous manhattan
English or Cherry Laurel (*Prunus laurocerasus*)
Schipka ("Skip") Laurel (*Prunus laurocerasus schipkaensis*)
Leatherleaf Viburnum (*Viburnum rhytidophyllum*)

Cotoneaster mucidus
 Scotch Broom (*Cytisus scoparius*)

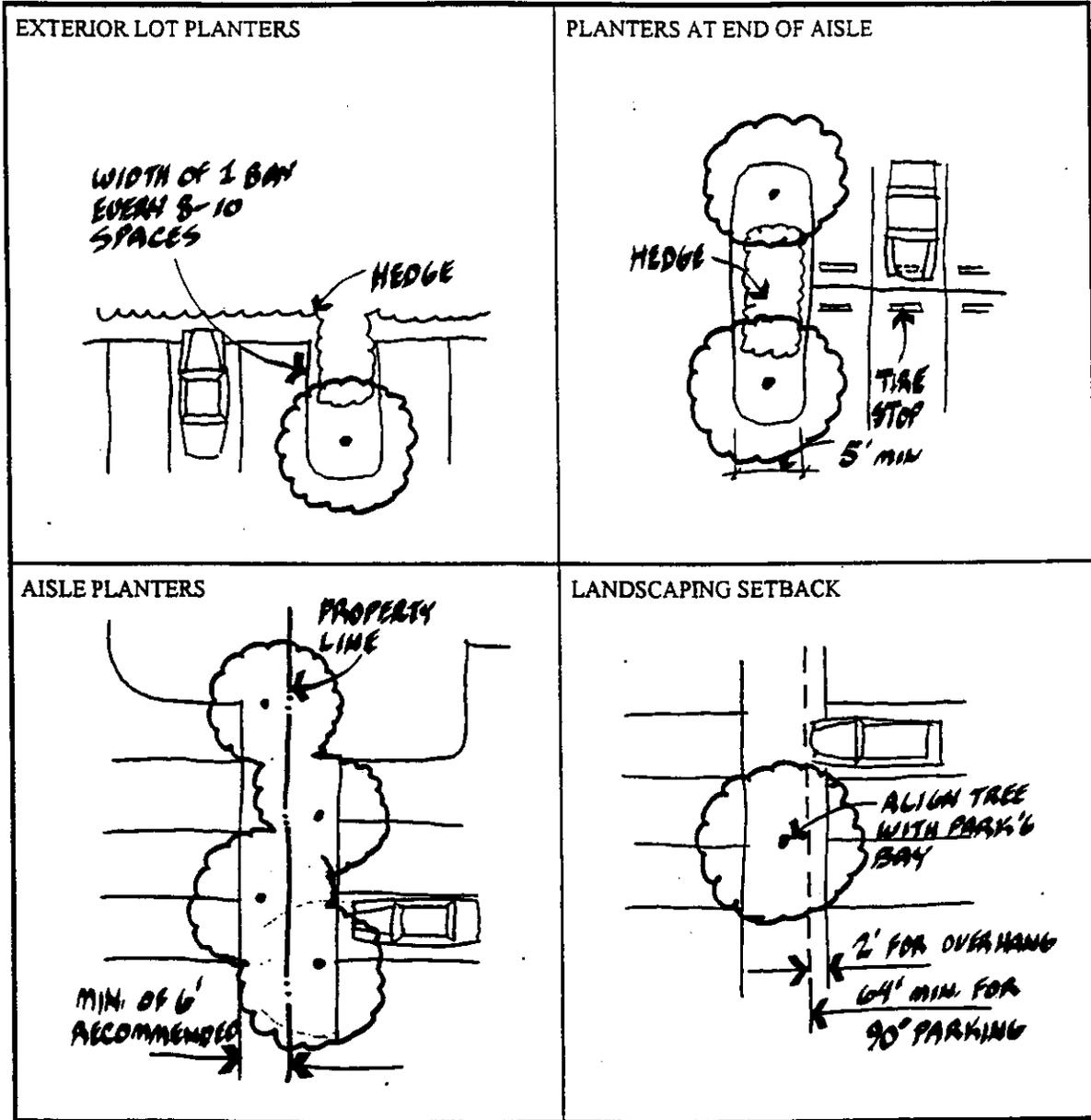
APPENDIX 5 - PARKING AREAS

Planning and Design Objective	In laying out parking areas, the developer should refer to the appropriate section of the Fairfax County zoning ordinance and its amendments.
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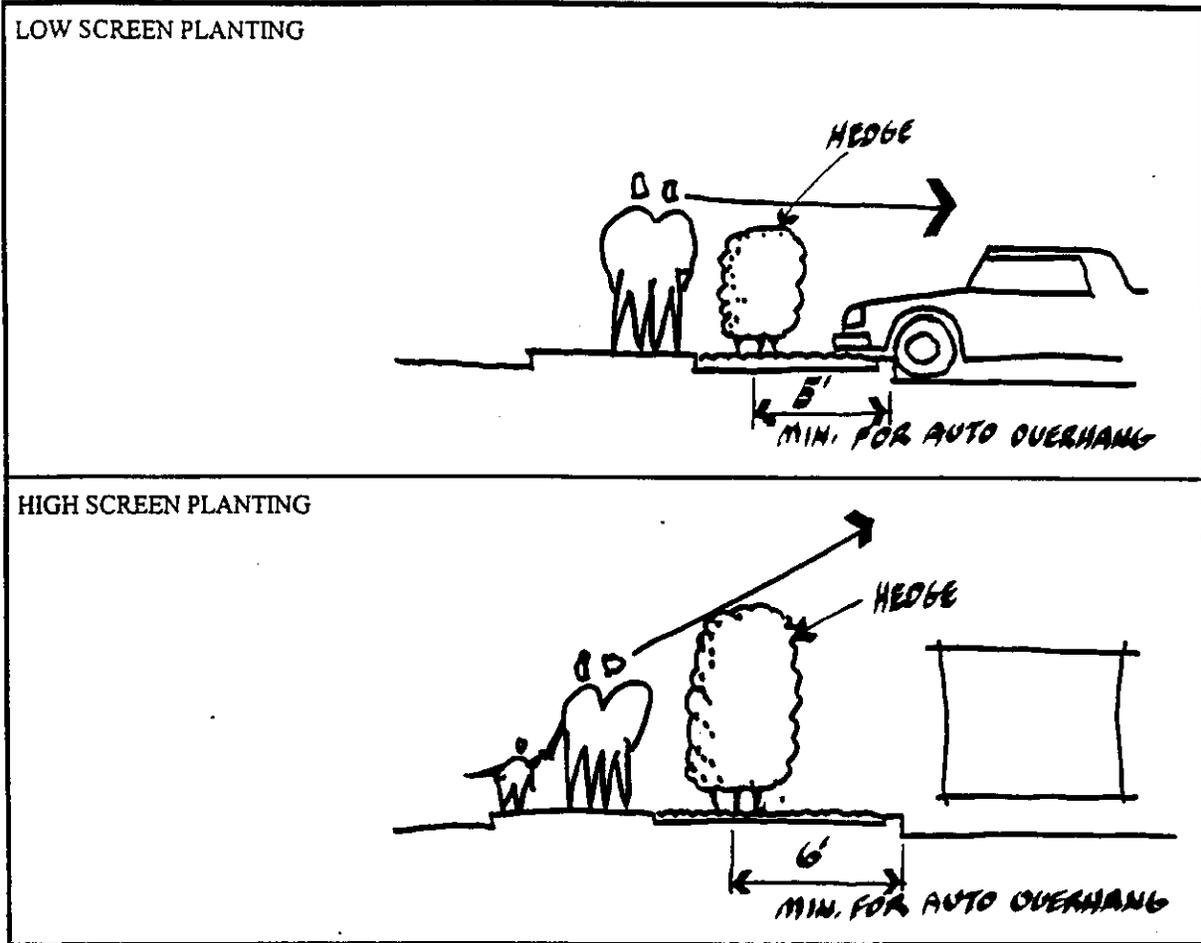
Design Guidelines	<p>The first drawing illustrates the condition where a minimum dimension exists between parking aisles. Planters with these dimensions and configuration can be used without losing parking spaces. The illustration shows the relationship of the planter and vehicular placement.</p> <p>Tree placements are shown on the illustrations on the following pages for minimum landscaping condition. Should larger planting areas be feasible, these trees should be placed in groupings or in special cases, one of the specimen trees can be used.</p> <p>At the ends of all parking aisles a planting area with screen hedging and trees should be provided.</p> <p>All excess space between parking aisles should be used as a planting strip with a porous material or ground cover being used within the 2'-0" overhang space.</p> <p>Between adjacent properties a "green strip" should be provided to accommodate planting of trees, landscaping and, where desirable, pedestrian walkways.</p> <p>A minimum of 5% landscaped area should be provided within the parking area (not including perimeter landscaping).</p> <p>Low hedges are to be used where eye level visibility is required such as in front of shopping center parking areas. High hedges are to be used for complete visual screening. (See Appendix #4 for hedge plant listings).</p>
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Recommended Tree Types	See Appendix #4
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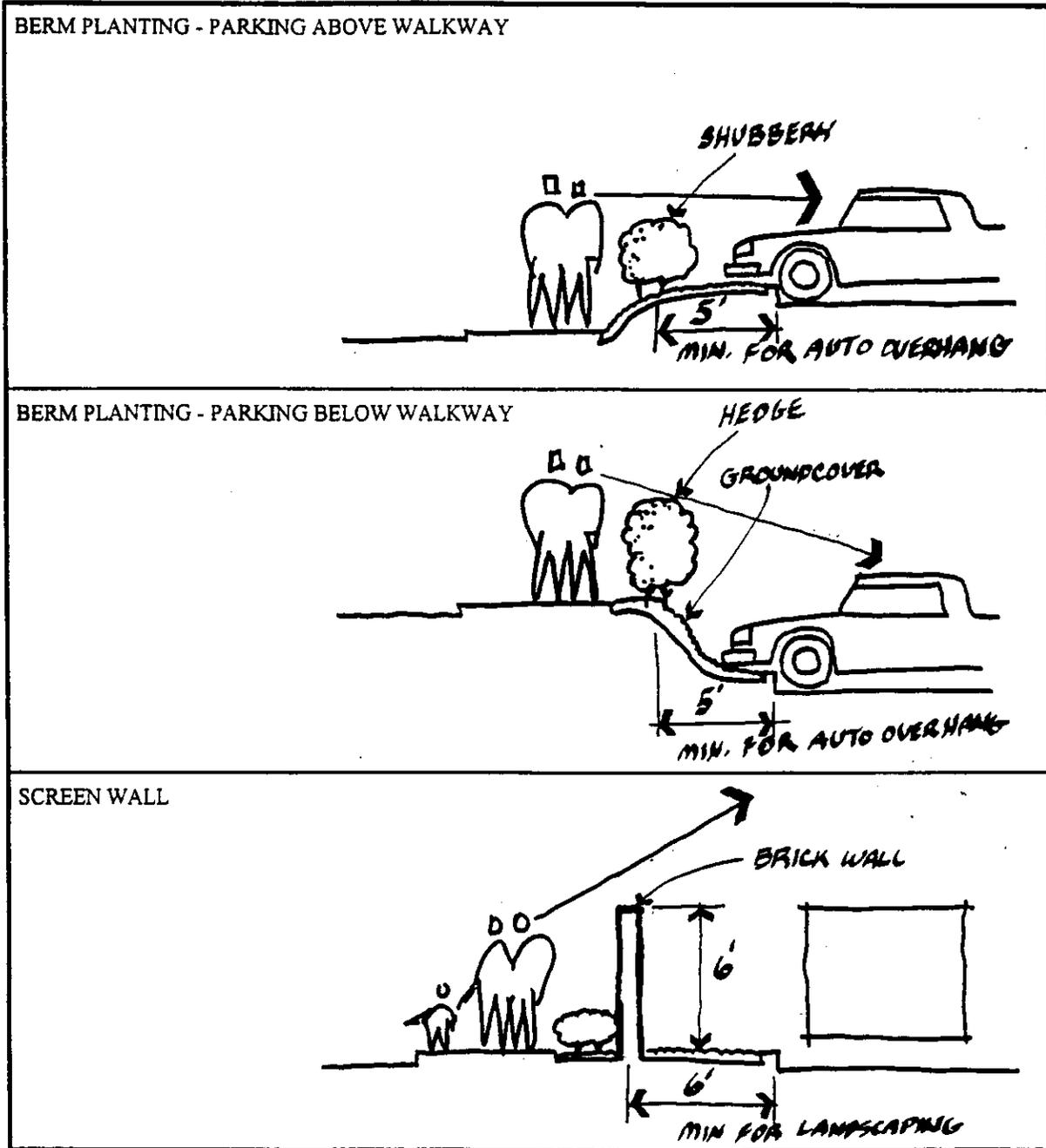
APPENDIX 5 (continued) - PARKING AREAS/landscaping



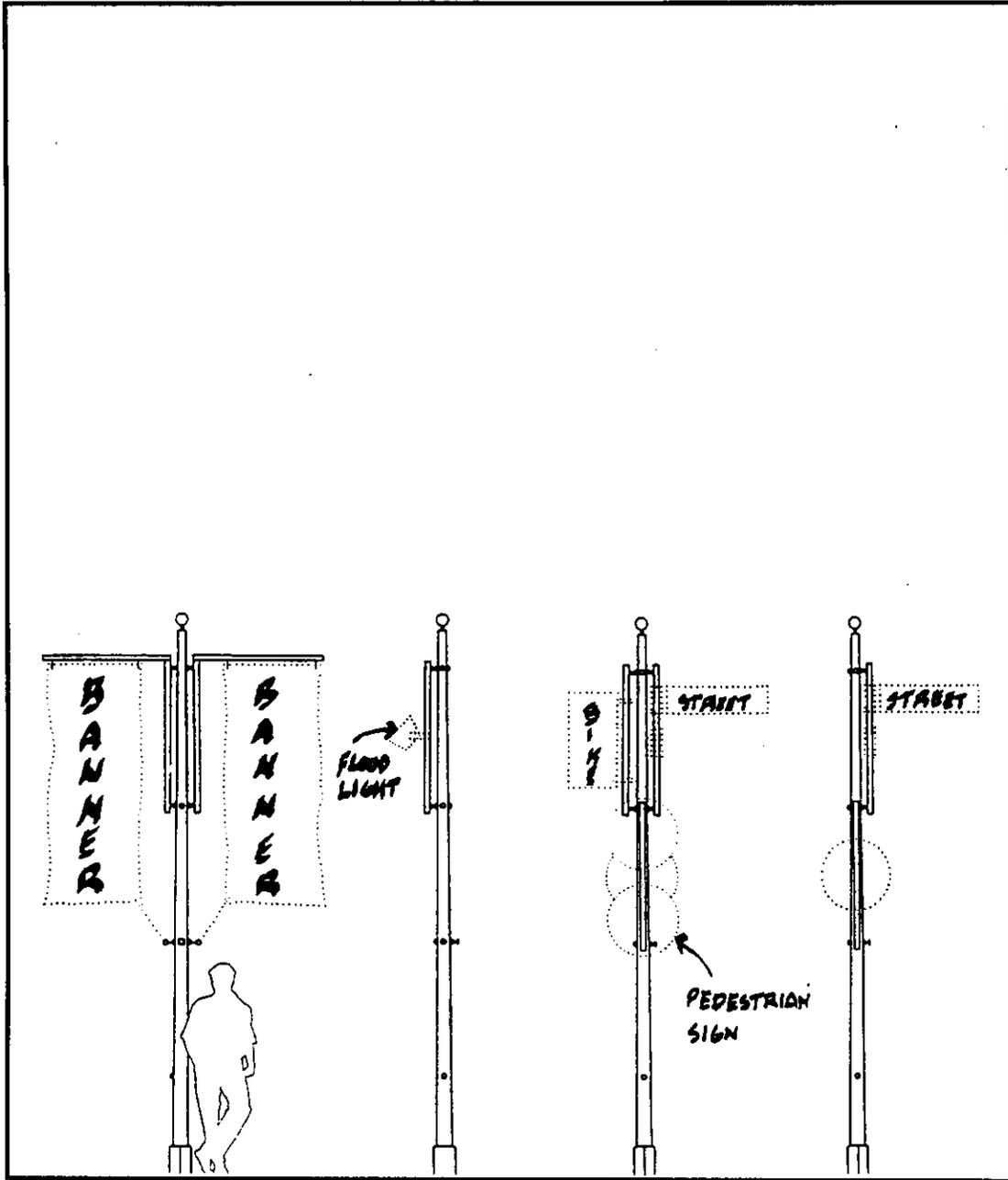
APPENDIX 5 (continued) - PARKING AREAS/screening



APPENDIX 5 (continued) - PARKING AREAS/screening



APPENDIX 6 (continued) - STREET FURNITURE/signing



Lighting used to illuminate flags, banners, or other objects mounted on a pole shall consist of full cut-off or directly shielded lighting fixtures that are aimed and controlled so that the directed light shall be substantially confined to the object intended to be illuminated. . . .

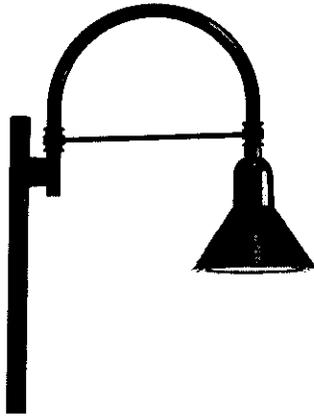
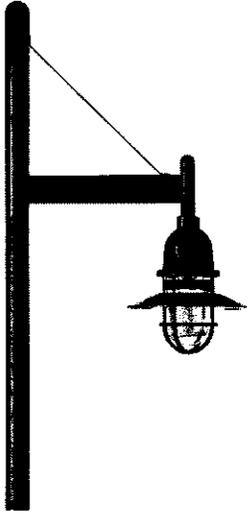
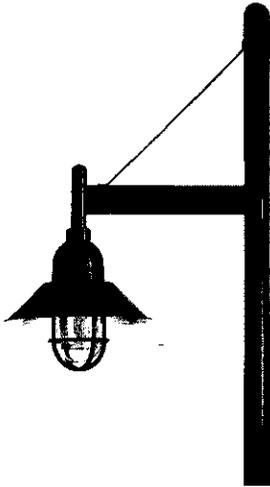
APPENDIX 7 – EXTERIOR LIGHTING

Planning and Design Objectives	<p>It is important that all exterior lighting be consistent with and complement the overall standards for lighting within the CBC. For any single building or project, exterior lighting should be compatible with and appropriate for the building architecture, material(s) and color(s). Lighting should be consistent throughout to maintain the overall character and quality.</p> <p>In general, street, parking lot and pedestrian lighting should be used to illuminate key areas such as vehicular entrances, building entrances and site circulation elements including streets, sidewalks and pathways. Site lighting shall be designed to levels required for public safety without creating glare or high intensity.</p>
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Design Standards	<ul style="list-style-type: none">• All light fixtures shall be designed to comply with Fairfax County’s Outdoor Lighting Standards.• Intensified or special effect lighting will be considered by the McLean Planning Committee for situations requiring a dramatic effect, highlight, or other unique application; however such lightning should be in compliance with Fairfax County’s Outdoor Lighting Standards.• The “washing” or highlighting of any building with lighting must comply with Fairfax County’s Outdoor Lighting Standards.• The McLean Planning Committee (MPC) reserves the right to ask the applicant, tenant, building owner or other responsible party to reduce the intensity of the lighting after installation, if the MPC determines that the light is too bright or creates excessive glare.• Applicants should submit plans that include detailed drawings and specifications of lighting including type, wattage, material, color, photometrics, etc.
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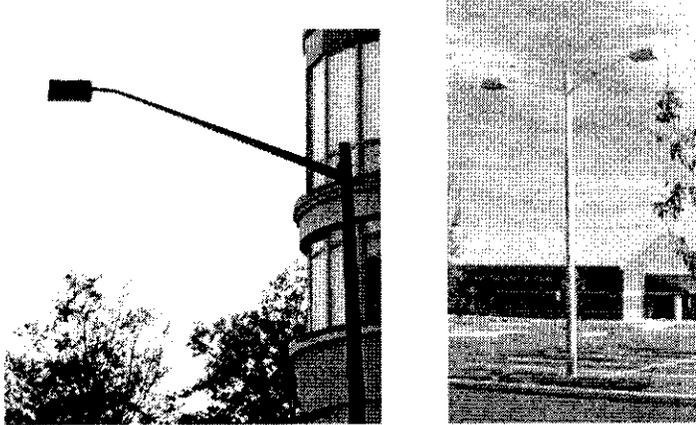
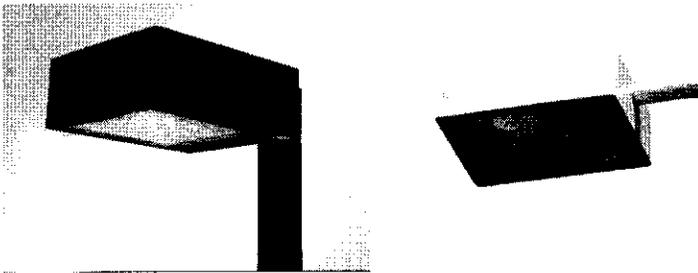
APPENDIX 7 (continued) – EXTERIOR LIGHTING

<p>Planning and Design Objectives</p>	<p>It is important that all exterior lighting be consistent with and complement the overall standards for lighting within the CBC. For any building or project, exterior lighting shall be compatible with and appropriate for the building architecture and surrounding streetscape.</p>
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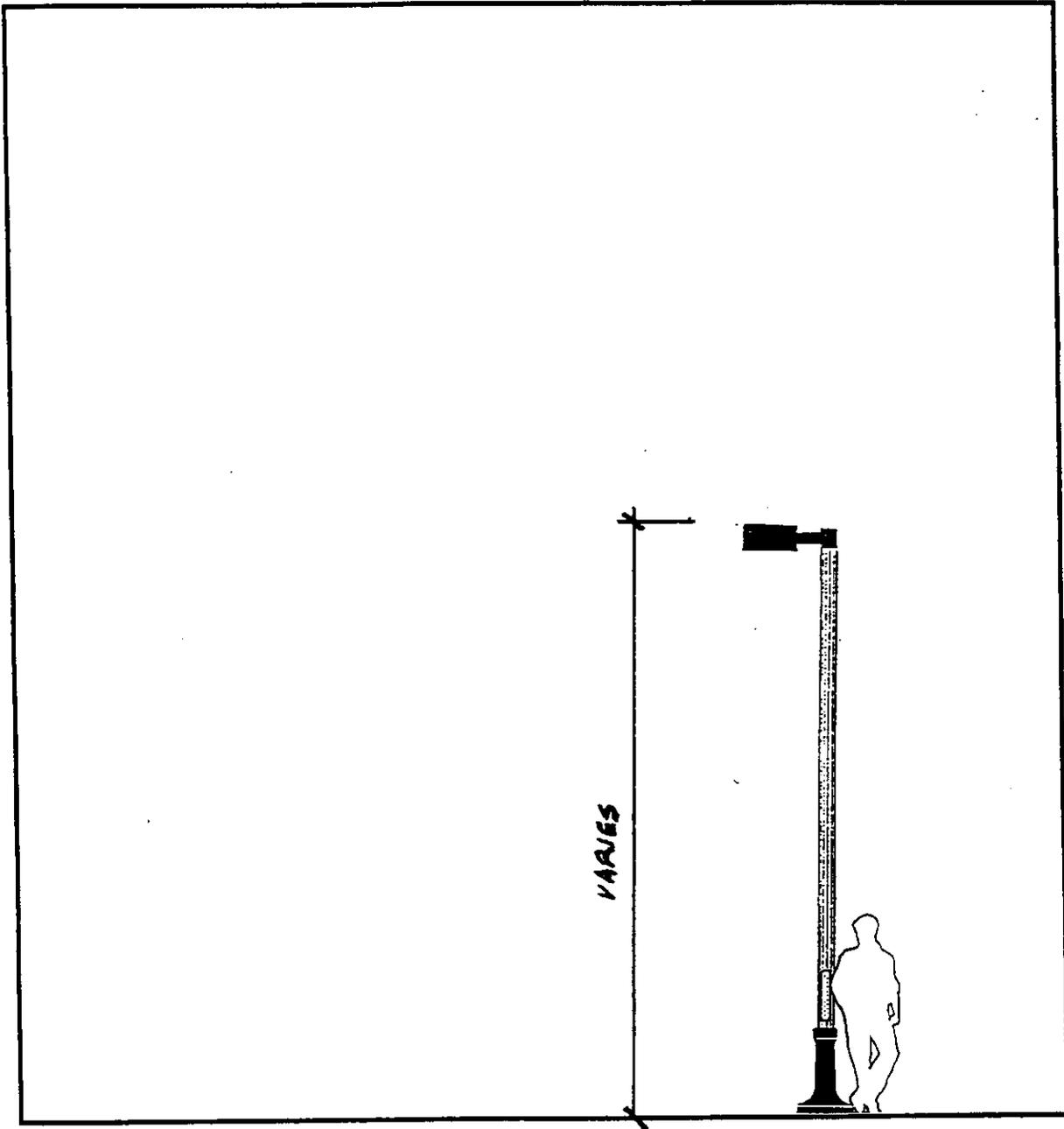
<p>Color:</p> <p>Pedestrian and Area Lighting: Light Fixture Examples</p> <p>The images at right should serve as illustrative examples of appropriately styled fixtures. Similar fixtures by other manufacturers may be appropriate as well. In all cases, these should be full cut-off light fixtures.</p> <p>Lamp Type:</p> <p>All lamps shall be high pressure sodium or metal halide. All lamps on any single project shall be one type.</p>	<p>All light fixtures and poles shall be Black in color.</p> <div data-bbox="548 835 862 1251"></div> <p data-bbox="548 1266 699 1297">Hadco CF5T</p> <div data-bbox="959 737 1206 1251"></div> <p data-bbox="959 1266 1122 1297">Hadco CF72T</p> <div data-bbox="532 1325 802 1812"></div> <p data-bbox="532 1827 695 1858">Hadco CF2T</p>
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APPENDIX 7 (continued) – EXTERIOR LIGHTING

<p>Planning and Design Objectives</p>	<p>It is important that all exterior lighting be consistent with and complement the overall standards for lighting within the CBC. For any building or project, exterior lighting shall be compatible with and appropriate for the building architecture and surrounding streetscape.</p>
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<p>Color:</p> <p>Parking Lot and Street Lighting: Light Fixture Examples</p> <p>The images at right should serve as illustrative examples of appropriately styled fixtures. Similar fixtures by other manufacturers may be appropriate as well.</p> <p>Lamp Type:</p> <p>All lamps shall be high pressure sodium or metal halide. All lamps on any single project shall be one type.”</p>	<p>All light fixtures and poles shall be Black in color.</p> <div data-bbox="522 730 1218 1155"></div> <div data-bbox="516 1264 1214 1537"></div>
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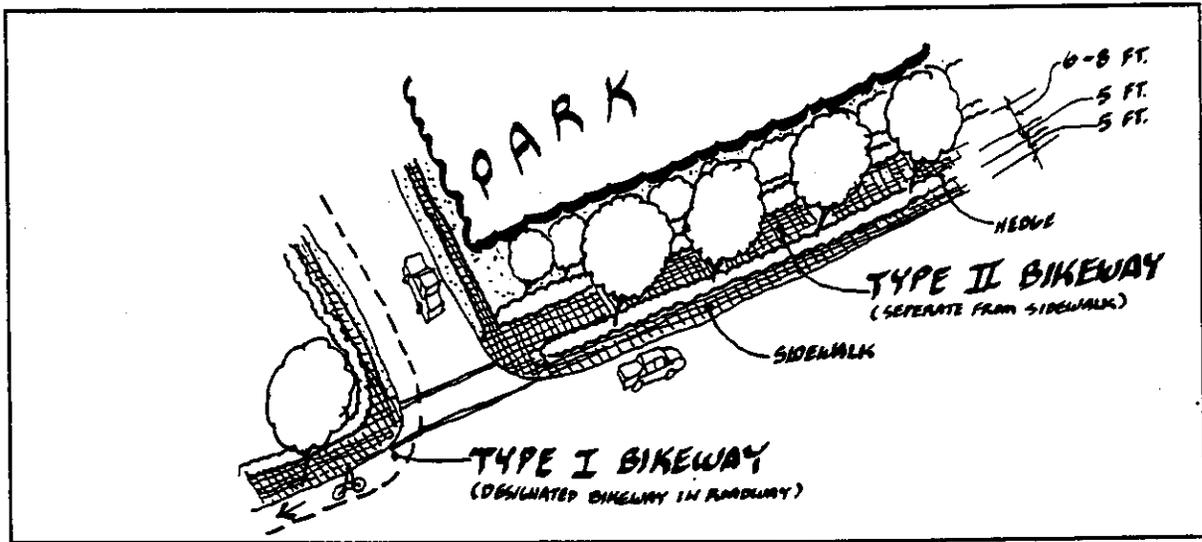
**APPENDIX 7 (continued) – EXTERIOR LIGHTING/full cut-off lighting
(PARKING LOTS AND OLD DOMINION DRIVE)**



APPENDIX 8 - BIKE WAYS

<p>Planning and Design Objectives</p>	<p>Create designated bikeways as an alternative to automobile transportation and to provide for safe bicycling through McLean, and to create a continuous way through the CBC.</p>
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<p>Public Space Design Guidelines</p> <p>Type I On-Street</p> <p>Type II Off-Street</p>	<ul style="list-style-type: none"> • Provide clearly marked 4' travel lane for bikes with street signage to alert motorists of bike use (preferably on primary street). • Provide asphalt bike path 8-foot wide with concrete rumble strips, roll over curb and bollards to mark proximity of street intersection and facilitate safe crossing by cyclists. • Provide consistent street tree planting with each street type between bike path and residential areas. • Provide flowering trees, shrubs, and ground covers between bike path and street. • Provide benches and trash containers at rest stop along the path.
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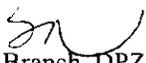


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FAIRFAX COUNTY, VIRGINIA

MEMORANDUM

TO: Regina Coyle, Director
Zoning Evaluation Division, DPZ

FROM: Sheng-Jieh Leu 
Facilities Planning Branch, DPZ

FILE: 08.12.86 (ZTRAILS)

SUBJECT: Trail Requirements*

REFERENCE: SE 2008-DR-003
Applicant: Chevy Chase Bank, F.S.B.
Tax Map: 30-2-005-6, 9, 10

DATE: March 5, 2008

In accordance with the Countywide Trails Plan and the Public Facilities Manual, the trail type(s) specified below should be provided in the following location(s):

- Dolley Madison Boulevard (south side) – Type IV (concrete) trail, 5 feet wide within a 9-foot trail easement, or VDOT right-of-way. This applicant proposes an 8 feet wide trail straddling the VDOT right-of-way line, it may need to be reduced to 5 feet wide and located entirely within the right-of-way. An 8-foot trail is desirable if it can be accommodated.
- Dolley Madison Boulevard – A 5 feet wide on-road bike lane is required, if frontage improvement along Dolley Madison Boulevard is required.
- Elm Street (east side) – Type IV (concrete) trail, 5 feet wide within a 9-foot trail easement, or VDOT right-of-way. The existing sidewalk is 4 feet wide and should be expanded to 5 feet wide.

Please refer to McLean CBC Subarea Guidelines for Subarea #27, McLean Community Business Center, Area II Comprehensive Plan for details.

In addition to the above recommended trails**, the following suggested features are intended to enhance inter-and/or intra-parcel non-motorized circulation and access:

The design engineer is responsible for ensuring that trail design and construction includes adequate provision for user safety. Inclusion of adequate safety measures shall be considered in the County's trail review and approval process.

SJL

cc: Pam Nee, Environment and Development Review Branch, PD, DPZ

* The Fairfax County Park Authority and other County agencies may have additional requirements or comments. These Trail Plan requirements in no way limit or exclude this plat from the requirements of the County Sidewalk Policy and the School Sidewalk Program, which should be fully implemented as it applies to this subdivision in locations not already accounted for by Trails Plan requirements.

** These trails are eligible for County maintenance. Please contact the Maintenance and Stormwater Management Division of the Department of Public Works & Environmental Services (703-934-2860) for details.



MEMORANDUM

April 29, 2008

TO: Suzanne Lin, Staff Coordinator
Department of Planning and Zoning, DPZ

FROM: Heather Finch, Urban Forester II
Forest Conservation Branch, DPWES

SUBJECT: Chevy Chase Bank Dolley Madison Boulevard, SE 2008-DR-003

This review is based on a resubmission of the Application for a special exception received by the Urban Forest Management Division on April 18, 2008.

Site Description: The site contains three existing buildings and associated parking areas. There are several mature landscape trees on the site which vary in condition from poor to good; including mulberry, red maple, cedar and cherry. There is a row of mature deciduous trees in the central portion of the site, including elm and cherry. The trees within this area are in poor to fair condition. In addition, there are mature deciduous trees, such as oak, ash and maple; that appear to be off-site or jointly owned, located along the eastern and southern property boundaries. These trees are in fair to good condition.

- 1. Comment:** There are mature trees along the southern and eastern property boundaries that appear to be off-site or jointly owned. These trees may be impacted by construction activities. Several of these trees are located within 5-10 feet of the proposed retaining wall. The trunk of tree #27, an off-site 30 inch diameter maple, is located approximately 2 feet from the proposed retaining wall. While certain tree preservation measures such as root pruning and tree protection fence are recommended as part of this SE plat, the installation of a retaining wall within such close proximity to a large, mature tree will significantly damage the critical root zone and is likely to reduce the survivability of the tree.

Recommendation: The Applicant should provide tree protection measures to minimize construction impacts to off-site or jointly owned trees, such as tree protection fence and/or root pruning, where appropriate. Considering the proximity of several off-site trees to the limits of clearing and grading and the proposed retaining wall, UFMD recommends the Applicant retain the services of a Certified Arborist to assist with designing and implementing appropriate tree preservation measures. It should be noted that letters of permission from off-site property owners for the removal of off-site trees shall be included in all future site plans.

Department of Public Works and Environmental Services
Land Development Services, Urban Forest Management Division
12055 Government Center Parkway, Suite 518
Fairfax, Virginia 22035-5503
Phone 703-324-1770, TTY: 703-324-1877, Fax: 703-803-7769
www.fairfaxcounty.gov/dpwes



2. **Comment:** Large or medium deciduous landscape trees are proposed along Dolley Madison Blvd. where overhead utilities exist. In addition, it is mentioned in the narrative that the planting strip provided in this area is 6 feet wide, although the location of this planting strip is not clearly indicated on the landscape plan. Trees shall be planted no closer than 4 feet from any restrictive barrier and the minimum planting area required by the PFM shall be provided. The 10 foot planting strip for peripheral parking lot landscaping required in this area would adequately accommodate large or medium deciduous trees.

Recommendation: The Applicant should consider using smaller sized trees to avoid conflict with the existing overhead utilities. Adequate planting spaces for trees shall also be provided. If the requested modifications and waivers of the peripheral parking lot landscaping and the transitional screening requirements are granted by the BZA and the 6 foot planting strip is used, smaller sized trees should be considered to avoid problems that may arise from planting large trees in small spaces. The Applicant should clearly show the location of all required and modified planting strips and screening yards on the landscape plan. It should be noted that the use of smaller trees will decrease the tree cover provided. The Applicant should ensure that the tree cover requirements are met.

3. **Comment:** A waiver of the transitional screening and barrier requirements along the Dolley Madison Blvd. frontage has been requested with this SE application.

Recommendation: If the Applicant wishes to request a waiver of the transitional screening and barrier requirements, then a motion shall be submitted to the BZA requesting that transitional screening and barrier requirements be waived in conformance with the provisions of the Fairfax County Comprehensive Plan for Area II, McLean Planning District, McLean Community Business Center and the McLean Open Space Design Standards, or the Applicant may submit an application for a waiver of the transitional screening and barrier requirements to the UFMD.

4. **Comment:** A modification of the peripheral parking lot landscaping requirements has been requested with this SE application.

Recommendation: If the Applicant wishes to request a modification of the peripheral parking lot landscaping requirements, then a motion shall be submitted to the BZA requesting that peripheral parking lot landscaping requirements be modified. The limited planting space provided with this modification should be considered with regard to tree species selection and tree survivability.



5. **Comment:** The location of the modified 5 foot planting strip near Dolley Madison and Elm Steet is not clearly identified on the landscape plan.

Recommendation: The Applicant should clearly show the location of all required and modified planting strips and screening yards on the landscape plan.

6. **Comment:** It appears that several trees on the site are proposed within 4 feet of restrictive barriers, including the large deciduous trees that are proposed along the western edge of the Chevy Chase bank. These trees are too large to be planted in this area, as their crowns overlap the building itself and there appears to be less than 8 feet between the retaining wall and the building.

Recommendation: Trees shall be planted no closer than 4 feet from any restrictive barrier. The Applicant should ensure that no trees on the site are planted closer than 4 feet from any restrictive barrier and that all trees have the required amount of planting space (PFM table 12.7). In addition, the Applicant should ensure that the tree cover requirements are met when changes are made to the landscape plan.

Please contact me at 703-324-1770 if you have any questions or concerns.

HAF/
UFMID #: 134461

cc: RA File
DPZ File





MEMORANDUM

DATE: April 22, 2008

TO: Regina Coyle, Director
Zoning Evaluation Division, DPZ

FROM: Angela Kadar Rodeheaver, Chief
Site Analysis Section, DOT

FILE: 3-5(RZ 2008-DR-003)

SUBJECT: SE 2008-DR-003; Chevy Chase Bank, F.S.B.
Land Identification Map: 30-2-((5))-06, 09, and 10

This department has reviewed the special exception plat revised through April 15, 2008. We have the following comments:

- According to the County's Transportation Plan, development in this block of McLean should be oriented to provide vehicular access from Fleetwood Road. Currently the applicant's development is accessed off of Elm Street and has no outlet towards Fleetwood Road. The applicant should designate an area along its southern property line for the establishment of an interparcel connection to the south. Such a connection would thus allow the opportunity for the property to be accessed from Fleetwood Road in the future.
- A bike lane is planned along Dolley Madison Boulevard and requires that the applicant dedicate a minimum of 45 feet of right of way from centerline. The bike lane should be constructed by the applicant and will require a minimum of 37 feet of pavement from centerline to face of curb.
- Right of way in the amount of 33 feet from centerline should be dedicated along Elm Street.
- A shared maintenance agreement should be secured between VDOT and the applicant to ensure that landscaping will not interfere with any roadway maintenance and improvements.

cc: Michelle Brickner, Director, Office of Site Development Services, Department of Public Works and Environmental Services



COMMONWEALTH of VIRGINIA

DAVID S. EKERN, P.E.
COMMISSIONER

DEPARTMENT OF TRANSPORTATION

14685 Avion Parkway
Chantilly, VA 20151
(703) 383-VDOT (8368)

April 18, 2008

Ms. Regina Coyle
Director of Zoning Evaluation
Department of Planning and Zoning
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035-5511

Re: Chevy Chase Bank
SE 2008-DR-003, Tax Map No.: 30-2((5)) 6, 9, and 10

Dear Ms. Coyle:

We have reviewed the referenced plan as requested and offer the following comments:

1. Provide a 5 ft sidewalk along Elm Street. The proposed sidewalks should conform to the current *Road Design Manual Appendix B, Subdivision Street Design Guide* to qualify for VDOT maintenance.
2. Provide a VPD (vehicle per day) count at the site entrance and an ADT (average daily traffic) on Elm Street. A right turn deceleration lane or taper may be required if warranted.
3. Label the site entrance type as a VDOT standard CG-11 (30 ft is the min. entrance width).
4. Provide a curb ramp at the proposed entrance (next to lot 7).
5. The proposed plantings, paving, trail, etc. should be maintained by the County.

If you have any questions, please call me at (703) 383-2059.

Sincerely,

A handwritten signature in black ink, appearing to read "P. Gerner".

Peter K. Gerner, P.E.
Transportation Engineer

cc: Ms. Angela Rodeheaver



County of Fairfax, Virginia

MEMORANDUM

DATE: APR 14 2008

TO: Suzanna Lin, Staff Coordinator
Zoning Evaluation Division
Department of Planning and Zoning

FROM: Qayyum Khan, Chief Stormwater Engineer *QK*
Stormwater and Geotechnical Section
Environmental and Site Review Division
Department of Public Works and Environmental Services

SUBJECT: Special Exception Application SE 2008-DR-003, Chevy Chase Bank, Plan Dated April 8, 2008, LDS Project #3689-ZONAV-001-A-1, Tax Map#030-2-05-0010, 0009 and 0006, Dranesville District, Dead Run Watershed

We have reviewed the subject application and offer the following comments related to Stormwater Management (SWM):

Chesapeake Bay Preservation Ordinance

There is no Resource Protection Area on the site.

Floodplain

There is no floodplain on the site.

SWM

The applicant has proposed an underground detention and an unnamed structural best management practice facility to meet the SWM requirements. These facilities need to be parallel and not in line to the drainage system (Public Facilities Manual [PFM] 6-1306.3L). Any innovative facility, that is not included in the Letter to Industry #01-11 or the PFM, will need compliance with Section 6-0402.4 of the PFM.

Site Outfall

- The storm sewer sizes and capacities are not shown. The pipes need to be adequate to convey the runoff and meet the hydraulic grade requirements.
- The SWM facilities shall be maintained by the owners and they will be required to enter into the Stormwater Maintenance Agreement.

If further assistance is desired, please contact me at 703-324-1720.

QK/dah

cc: Craig Carinci, Stormwater Planning Division, DPWES
Zoning Application File

Department of Public Works and Environmental Services
Land Development Services, Environmental and Site Review Division
12055 Government Center Parkway, Suite 535
Fairfax, Virginia 22035-5503
Phone 703-324-1720 • TTY 711 • FAX 703-324-8359





FAIRFAX COUNTY PARK AUTHORITY

MEMORANDUM



TO: Regina M. Coyle, Director
Zoning Evaluation Division
Department of Planning and Zoning

FROM: Sandy Stallman, Branch Manager,
Planning and Development Division *SS*

DATE: March 12, 2008

SUBJECT: SE 2008-DR-003, Chevy Chase Bank
Tax Map Number: 30-2((5)) 6, 9, & 10

The Park Authority staff has reviewed the above referenced plan. Based on that review, staff has determined that this application bears no adverse impact on land or resources of the Park Authority.

FCPA Reviewer: Andy Galusha
DPZ Coordinator: Suzanne Lin

cc: Cindy Walsh, Acting Director, Resource Management Division
Chron Binder
File Copy

SPECIAL EXCEPTIONS

4. Such special exception may be approved notwithstanding any existing nonconformity and any nonconformity that may be created by the public improvement, and approval of the special exception shall permit such nonconformities to continue as nonconformities.

Upon approving a special exception, the Board may impose such conditions as deemed necessary to address any impacts of the nonconformity or proposed modification.

9-620

Waiver of Certain Sign Regulations

The purpose of this special exception is to provide some relief where appropriate for those signs in the C and I districts which, because of certain unusual circumstances as specified below, do not provide identification as intended by the sign regulations. In the C and I districts, the Board may approve, either in conjunction with the approval of a rezoning or as a Category 6 special exception, a modification or waiver of the sign regulations in accordance with the following:

1. Such waiver may be for an increase in sign area, increase in sign height or different location of a sign, not otherwise provided by Sect. 12-304. Such waiver shall not allow the erection of a freestanding sign or off-site sign, not otherwise permitted by this Ordinance, or the establishment of any sign prohibited by the provisions of Sect. 12-104.
2. Such waiver may be approved only when it is demonstrated by the applicant that there are unusual circumstances or conditions in terms of location, topography, size or configuration of the lot; access to the lot; unusual size or orientation of the structure on the lot; or other unique circumstance of the land or structure that impacts the applicant's ability to provide for a reasonable identification of the use.
3. It is determined that such waiver will be in harmony with the policies of the adopted comprehensive plan.
4. A waiver of the sign provisions may be approved only in those locations where, based upon a review of the relationship of the sign to the land, buildings and conforming signs in the neighborhood, it is determined that the sign will not have any deleterious effect on the existing or planned development of adjacent properties and that it is consistent with the purpose and intent of Article 12.

9-621

Provisions for Outdoor Storage in Association with Warehousing Establishments in the Sully Historic Overlay District

The Board may approve a special exception authorizing the establishment of outdoor storage in association with a warehousing establishment on land zoned I-5 or I-6 in the Sully Historic Overlay District in accordance with the provisions of Sect. A1-303.

9-622

Provisions for Modifications/Waivers/Increases and Uses in a Commercial Revitalization District

1. In a Commercial Revitalization District, the Board may approve, either in conjunction with the approval of a rezoning or as a special exception, the following:
 - A. A modification or waiver of the minimum lot size, minimum yard and/or minimum open space requirements of the underlying zoning district regulations,

FAIRFAX COUNTY ZONING ORDINANCE

- B. An increase in the amount of office use permitted, increase in the maximum permitted building height or increase in the maximum permitted FAR in accordance with the underlying zoning district regulations,
 - C. A use allowed by special exception in the underlying zoning district regulations, to include other applicable Category 6 special exception uses,
 - D. A modification or waiver of the provisions of a Commercial Revitalization District, as provided for in that district, and/or
 - E. The establishment of a vehicle transportation service establishment in the C-6, C-7, C-8 or C-9 Districts.
2. Notwithstanding the provisions of Par. 2 of Sect. 011 above, the plat requirements set forth below shall apply. Upon receipt of a written request with justification, the Zoning Administrator may modify or waive a plat requirement, if it is determined that the requirement is clearly not necessary for the review of the application.
- A. Twenty-three (23) copies of a plat, including any resubmissions of the plat and supporting graphics, drawn to designated scale of not less than one inch equals fifty feet (1" = 50'), certified by a professional engineer, land surveyor, architect or landscape architect licensed by the State of Virginia, presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat and supporting graphics. If the proposal cannot be accommodated on one 24" x 36" sheet at a scale of 1" = 50', a scale of not less than 1" = 100' may be used. If presented on more than one (1) sheet, match lines shall clearly indicate where the several sheets join. Such plat shall contain the following information:
 - (1) Boundaries of entire property, with bearings and distances of the perimeter property lines and of each zoning district.
 - (2) Total area of the property and of each zoning district in square feet or acres.
 - (3) Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and all supporting graphics.
 - (4) Location, dimensions and maximum height in feet, including penthouses, of all existing and proposed structures.
 - (5) A statement of the architectural concepts, building materials and color of any proposed structures, and schematic architectural sketches, if available.
 - (6) The location, dimensions, style and lighting of all signs.
 - (7) The distances of all existing structures that are proposed to remain and all proposed structures from the lot boundaries and abutting streets, and a graphic depiction of the angle of bulk plane, if applicable.

SPECIAL EXCEPTIONS

PART 5 9-500 CATEGORY 5 COMMERCIAL AND INDUSTRIAL USES OF SPECIAL IMPACT

9-501 Category 5 Special Exception Uses

1. Amusement arcades.
2. Automobile-oriented uses.
3. Car washes.
4. Commercial recreation restaurants.
5. Convenience centers.
6. Drive-in financial institutions.
7. Drive-in motion picture theatres.
8. Drug paraphernalia establishments.
9. Eating establishments.
10. Establishments for scientific research and development.
11. Fast food restaurants.
12. Funeral chapels.
13. Heavy industrial uses, to include:
 - A. Abattoir.
 - B. Ammonia, bleaching powder or chlorine manufacture.
 - C. Asphalt mixing plant.
 - D. Bag cleaning establishment.
 - E. Blast furnace.
 - F. Boiler works.
 - G. Concrete mixing or batching plant.
 - H. Distillation of coal, wood or bones.
 - I. Distillation of turpentine or varnish.

FAIRFAX COUNTY ZONING ORDINANCE

- J. Emery cloth manufacture.
 - K. Fertilizer manufacture.
 - L. Fireworks or explosives manufacture or storage.
 - M. Fish canning, curing, grinding or smoking.
 - N. Garbage incineration other than in municipal plants or incidental to the operation of hotels, eating establishments and dwellings.
 - O. Glue, size or gelatin manufacture.
 - P. Grinding, cooking, boiling, rendering or storing of slaughter-house refuse, or animal refuse, or rancid fats or refuse of dead animals.
 - Q. Iron, steel or copper works or foundries.
 - R. Lime, cement, gypsum or plaster of paris manufacture.
 - S. Manufacture of concrete or mortar.
 - T. Petroleum, alcohol or asphalt refining, mixing, or manufacture or storage.
 - U. Pyroxylin or celluloid manufacture.
 - V. Pulverizing of charcoal or coal.
 - W. Smelting of iron.
 - X. Soap manufacture.
 - Y. Stockyards.
 - Z. Sulphuric, nitric or hydrochloric acid manufacture.
 - AA. Tanning, curing or storing of raw hides or skins.
 - BB. Tetra-ethyl lead precipitate or liquid manufacture.
 - CC. Vinegar manufacture.
 - DD. Wool pulling and scouring.
 - EE. Yeast plants.
 - FF. Any other similar use which in the opinion of the Board might be injurious or noxious by reason of odor, fumes, dust, smoke, vibration, noise or other cause.
14. Hotels, motels.

SPECIAL EXCEPTIONS

15. Marinas, docks and boating facilities, commercial.
16. Mini-warehousing establishments.
17. Offices.
18. Parking, commercial off-street, as a principal use.
19. Plant nurseries.
20. Quick-service food stores.
21. Service stations.
22. Theatres.
23. Vehicle light service establishments.
24. Vehicle major service establishments.
25. Vehicle sale, rental and ancillary service establishments.
26. Wholesale trade establishments.
27. Commercial off-street parking in Metro Station areas as a temporary use.
28. Food and beverage manufacturing, production and processing establishments.
29. Industrial/flex.
30. Pawnshops.
31. Mixed waste reclamation facilities.
32. Retail sales establishments.
33. Service station/mini-marts.
34. Truck rental establishments.
35. Bed and breakfasts.
36. Drive-through pharmacies.
37. Baseball hitting and archery ranges, outdoor.
38. Golf courses, country clubs.
39. Golf driving ranges.

FAIRFAX COUNTY ZONING ORDINANCE

- 40. Kennels, animal shelters.
- 41. Miniature golf courses ancillary to golf driving ranges.
- 42. Veterinary hospitals, but only ancillary to kennels.
- 43. Retail sales establishments-large.

9-502

Districts in Which Category 5 Uses May be Located

- 1. Category 5 uses may be permitted by right or as an accessory service use in the following districts:

PDH District: Limited to uses 2, 6, 9, 15, 17, 20, 21, 23, 32, 33, 36, 38, 39 and kennels (indoor) when represented on an approved development plan

PDC District: Limited to uses 1, 2, 3, 6, 9, 10, 11, 14, 15, 17, 18, 20, 21, 22, 23, 25, 32, 33, 36, 38, 39, kennels (indoor) and 43 when represented on an approved development plan

PRC District: Limited to uses 1, 2, 3, 6, 9, 11, 12, 14, 15, 17, 18, 20, 21, 22, 23, 25, 32, 33, 36, 37, 38, 39, kennels (indoor), 42 and 43 when represented on an approved development plan

PRM District: Limited to uses 9, 11, 14, 17, 20, 22, 25 and 32 when represented on an approved development plan

C-1, C-2 Districts: Limited to use 17

C-3 District: Limited to uses 9, 12 and 17

C-4 District: Limited to uses 9, 12, 17 and 18

C-5 District: Limited to uses 6, 9, 11, 12, 17, 18, 20, 32, 36 and kennels (indoor)

C-6 District: Limited to uses 6, 9, 11, 12, 17, 18, 20, 22, 23, 32, 36, kennels (indoor) and 43

C-7 District: Limited to uses 1, 6, 9, 11, 12, 14, 17, 18, 20, 22, 23, 32, 36, kennels (indoor) and 43

C-8 District: Limited to uses 2, 6, 9, 11, 12, 14, 17, 18, 20, 22, 23, 26, 32, 36, kennels (indoor) and 43

C-9 District: Limited to uses 1, 6, 9, 11, 14, 17, 20, 22, 23, 32, 36, kennels (indoor) and 43

I-I District: Limited to uses 9, 10 and 17

I-1, I-2 Districts: Limited to uses 10, 12 and 17

I-3 District: Limited to uses 10, 12, 17 and kennels (indoor)

I-4 District: Limited to uses 10, 12, 16, 17, 26 and kennels (indoor)

I-5, I-6 Districts: Limited to uses 10, 12, 16, 17, 23, 24, 26, 28, 34 and kennels (indoor)

- 2. Category 5 uses may be allowed by special exception in the following districts:

R-A District: Limited to uses 19 and 40

R-P District: Limited to uses 15, 17, 19, 35, 38, 40 and 42

R-C District: Limited to uses 15, 17, 19, 35, 38, 39, 40 and 42

R-E, R-1 Districts: Limited to uses 10, 12, 15, 17, 19, 27, 35, 37, 38, 39, 40, 41 and 42

SPECIAL EXCEPTIONS

R-2 District: Limited to uses 5, 12, 15, 17, 19, 27, 35 and 38
R-3, R-4 Districts: Limited to uses 5, 12, 15, 17, 19, 27 and 38
R-5, R-8 Districts: Limited to uses 5, 12, 15, 17, 27 and 38
R-12, R-16, R-20 Districts: Limited to uses 12, 15, 27 and 38
R-30 District: Limited to uses 12, 15, 17, 27 and 38
R-MHP District: Limited to uses 12, 15, 27 and 38

PDH District: Limited to uses 11, 27 and 35
PDC District: Limited to uses 11 and 27
PRC District: Limited to uses 27 and 35

C-1 District: Limited to uses 10, 27 and 38
C-2 District: Limited to uses 6, 9, 10, 27 and 38
C-3 District: Limited to uses 6, 9, 10, 14, 18, 21, 22, 25, 27 and 38
C-4 District: Limited to uses 6, 9, 10, 14, 21, 22, 25, 27 and 38
C-5 District: Limited to uses 2, 3, 6, 11, 15, 17, 20, 21, 23, 27, 33, 34, 36, 37, 38, 39 and 41
C-6 District: Limited to uses 2, 3, 4, 6, 11, 14, 15, 17, 20, 21, 23, 25, 27, 30, 33, 34, 36, 37, 38, 39 and 43
C-7 District: Limited to uses 2, 3, 4, 6, 7, 8, 10, 11, 15, 17, 20, 21, 23, 25, 26, 27, 30, 33, 34, 36, 37, 38, 39 and 43
C-8 District: Limited to uses 2, 3, 4, 6, 7, 10, 11, 15, 16, 17, 20, 21, 23, 24, 25, 27, 30, 33, 34, 36, 37, 38, 39 and 43
C-9 District: Limited to uses 2, 3, 4, 6, 10, 11, 17, 18, 20, 21, 23, 25, 26, 27, 33, 36, 37 and 43

I-I District: Limited to use 27
I-1 District: Limited to uses 27 and 38
I-2 District: Limited to uses 9, 14, 15, 18, 22, 27 and 38
I-3 District: Limited to uses 3, 6, 9, 14, 15, 16, 18, 21, 22, 25, 26, 27, 29, 37, 38, 39 and kennels (outdoor)
I-4 District: Limited to uses 3, 6, 9, 14, 15, 18, 19, 21, 22, 25, 27, 28, 32, 37, 38, 39 and kennels (outdoor)
I-5 District: Limited to uses 3, 6, 7, 9, 11, 14, 18, 19, 20, 21, 23, 25, 27, 32, 33, 37, 38, 39 and kennels (outdoor)
I-6 District: Limited to uses 3, 6, 7, 11, 13, 18, 19, 20, 21, 23, 27, 31, 33, 37, 38, 39 and kennels (outdoor)

9-503 Standards for all Category 5 Uses

In addition to the general standards set forth in Sect. 006 above, all Category 5 special exception uses shall satisfy the following standards:

1. Except as qualified in the following Sections, all uses shall comply with the lot size and bulk regulations of the zoning district in which located.
2. All uses shall comply with the performance standards specified for the zoning district in which located, including the submission of a sports illumination plan or photometric plan as may be required by Part 9 of Article 14.

FAIRFAX COUNTY ZONING ORDINANCE

3. Before establishment, all uses, including modifications or alterations to existing uses, shall be subject to the provisions of Article 17, Site Plans.

9-504

Additional Standards for Amusement Arcades

1. Such a use shall not be located closer than 1000 feet to any school. In addition, except when located under the roof of a shopping center, such a use shall not be located within 100 feet of any adjoining property which is in an R district.
2. Such use shall be established only after approval by the Board of a plan setting forth acceptable rules for the operation of the establishment. Such plan shall specify (a) procedures to preclude gambling and loitering; (b) regulations regarding the use of the establishment by school age children; and (c) procedures for the enforcement of the rules.
3. In addition, the Board shall impose such conditions and restrictions as it may deem necessary to assure that the use will be compatible with and will not adversely impact the adjacent area. Such conditions and restrictions may include, but need not be limited to, the following:
 - A. Hours of operation.
 - B. Number of adult attendants required to be on the premises at all times.
 - C. Size of the establishment and the number of amusement machines.

9-505

Additional Standards for Automobile-Oriented Uses, Car Washes, Drive-In Financial Institutions, Drive-Through Pharmacies, Fast Food Restaurants, Quick-Service Food Stores, Service Stations and Service Stations/Mini-Marts

1. In all districts where permitted by special exception:
 - A. Such a use shall have on all sides the same architectural features or shall be architecturally compatible with the building group or neighborhood with which it is associated.
 - B. Such a use shall be designed so that pedestrian and vehicular circulation is coordinated with that on adjacent properties.
 - C. The site shall be designed to minimize the potential for turning movement conflicts and to facilitate safe and efficient on-site circulation. Parking and stacking spaces shall be provided and located in such a manner as to facilitate safe and convenient vehicle and pedestrian access to all uses on the site.
 - D. In reviewing such a use or combination of uses, it shall be determined that the lot is of sufficient area and width to accommodate the use and that any such use will not adversely affect any nearby existing or planned residential areas as a result of the hours of operation, noise generation, parking, glare or other operational factors.

GLOSSARY

This Glossary is provided to assist the public in understanding the staff evaluation and analysis of development proposals. It should not be construed as representing legal definitions. Refer to the Fairfax County Zoning Ordinance, Comprehensive Plan or Public Facilities Manual for additional information.

ABANDONMENT: Refers to road or street abandonment, an action taken by the Board of Supervisors, usually through the public hearing process, to abolish the public's right-of-passage over a road or road right-of way. Upon abandonment, the right-of-way automatically reverts to the underlying fee owners. If the fee to the owner is unknown, Virginia law presumes that fee to the roadbed rests with the adjacent property owners if there is no evidence to the contrary.

ACCESSORY DWELLING UNIT (OR APARTMENT): A secondary dwelling unit established in conjunction with and clearly subordinate to a single family detached dwelling unit. An accessory dwelling unit may be allowed if a special permit is granted by the Board of Zoning Appeals (BZA). Refer to Sect. 8-918 of the Zoning Ordinance.

AFFORDABLE DWELLING UNIT (ADU) DEVELOPMENT: Residential development to assist in the provision of affordable housing for persons of low and moderate income in accordance with the affordable dwelling unit program and in accordance with Zoning Ordinance regulations. Residential development which provides affordable dwelling units may result in a density bonus (see below) permitting the construction of additional housing units. See Part 8 of Article 2 of the Zoning Ordinance.

AGRICULTURAL AND FORESTAL DISTRICTS: A land use classification created under Chapter 114 or 115 of the Fairfax County Code for the purpose of qualifying landowners who wish to retain their property for agricultural or forestal use for use/value taxation pursuant to Chapter 58 of the Fairfax County Code.

BARRIER: A wall, fence, earthen berm, or plant materials which may be used to provide a physical separation between land uses. Refer to Article 13 of the Zoning Ordinance for specific barrier requirements.

BEST MANAGEMENT PRACTICES (BMPs): Stormwater management techniques or land use practices that are determined to be the most effective, practicable means of preventing and/or reducing the amount of pollution generated by nonpoint sources in order to improve water quality.

BUFFER: Graduated mix of land uses, building heights or intensities designed to mitigate potential conflicts between different types or intensities of land uses; may also provide for a transition between uses. A landscaped buffer may be an area of open, undeveloped land and may include a combination of fences, walls, berms, open space and/or landscape plantings. A buffer is not necessarily coincident with transitional screening.

CHESAPEAKE BAY PRESERVATION ORDINANCE: Regulations which the State has mandated must be adopted to protect the Chesapeake Bay and its tributaries. These regulations must be incorporated into the comprehensive plans, zoning ordinances and subdivision ordinances of the affected localities. Refer to Chesapeake Bay Preservation Act, Va. Code Section 10.1-2100 et seq and VR 173-02-01, Chesapeake Bay Preservation Area Designation and Management Regulations.

CLUSTER DEVELOPMENT: Residential development in which the lots are clustered on a portion of a site so that significant environmental/historical/cultural resources may be preserved or recreational amenities provided. While smaller lot sizes are permitted in a cluster subdivision to preserve open space, the overall density cannot exceed that permitted by the applicable zoning district. See Sect. 2-421 and Sect. 9-615 of the Zoning Ordinance.

COUNTY 2232 REVIEW PROCESS: A public hearing process pursuant to Sect. 15.2-2232 (Formerly Sect. 15.1-456) of the Virginia Code which is used to determine if a proposed public facility not shown on the adopted Comprehensive Plan is in substantial accord with the plan. Specifically, this process is used to determine if the general or approximate location, character and extent of a proposed facility is in substantial accord with the Plan.

dba: The momentary magnitude of sound weighted to approximate the sensitivity of the human ear to certain frequencies; the dba value describes a sound at a given instant, a maximum sound level or a steady state value. See also Ldn.

DENSITY: Number of dwelling units (du) divided by the gross acreage (ac) of a site being developed in residential use; or, the number of dwelling units per acre (du/ac) except in the PRC District when density refers to the number of persons per acre.

DENSITY BONUS: An increase in the density otherwise allowed in a given zoning district which may be granted under specific provisions of the Zoning Ordinance when a developer provides excess open space, recreation facilities, or affordable dwelling units (ADUs), etc.

DEVELOPMENT CONDITIONS: Terms or conditions imposed on a development by the Board of Supervisors (BOS) or the Board of Zoning Appeals (BZA) in connection with approval of a special exception, special permit or variance application or rezoning application in a "P" district. Conditions may be imposed to mitigate adverse impacts associated with a development as well as secure compliance with the Zoning Ordinance and/or conformance with the Comprehensive Plan. For example, development conditions may regulate hours of operation, number of employees, height of buildings, and intensity of development.

DEVELOPMENT PLAN: A graphic representation which depicts the nature and character of the development proposed for a specific land area; information such as topography, location and size of proposed structures, location of streets trails, utilities, and storm drainage are generally included on a development plan. A development plan is a submission requirement for rezoning to the PRC District. A **GENERALIZED DEVELOPMENT PLAN (GDP)** is a submission requirement for a rezoning application for all conventional zoning districts other than a P District. A development plan submitted in connection with a special exception (SE) or special permit (SP) is generally referred to as an SE or SP plat. A **CONCEPTUAL DEVELOPMENT PLAN (CDP)** is a submission requirement when filing a rezoning application for a P District other than the PRC District; a CDP characterizes in a general way the planned development of the site. A **FINAL DEVELOPMENT PLAN (FDP)** is a submission requirement following the approval of a conceptual development plan and rezoning application for a P District other than the PRC District; an FDP further details the planned development of the site. See Article 16 of the Zoning Ordinance.

EASEMENT: A right to or interest in property owned by another for a specific and limited purpose. Examples: access easement, utility easement, construction easement, etc. Easements may be for public or private purposes.

ENVIRONMENTAL QUALITY CORRIDORS (EQCs): An open space system designed to link and preserve natural resource areas, provide passive recreation and protect wildlife habitat. The system includes stream valleys, steep slopes and wetlands. For a complete definition of EQCs, refer to the Environmental section of the Policy Plan for Fairfax County contained in Vol. 1 of the Comprehensive Plan.

ERODIBLE SOILS: Soils that wash away easily, especially under conditions where stormwater runoff is inadequately controlled. Silt and sediment are washed into nearby streams, thereby degrading water quality.

FLOODPLAIN: Those land areas in and adjacent to streams and watercourses subject to periodic flooding; usually associated with environmental quality corridors. The 100 year floodplain drains 70 acres or more of land and has a one percent chance of flood occurrence in any given year.

FLOOR AREA RATIO (FAR): An expression of the amount of development intensity (typically, non-residential uses) on a specific parcel of land. FAR is determined by dividing the total square footage of gross floor area of buildings on a site by the total square footage of the site itself.

FUNCTIONAL CLASSIFICATION: A system for classifying roads in terms of the character of service that individual facilities are providing or are intended to provide, ranging from travel mobility to land access. Roadway system functional classification elements include Freeways or Expressways which are limited access highways, Other Principal (or Major) Arterials, Minor Arterials, Collector Streets, and Local Streets. Principal arterials are designed to accommodate travel; access to adjacent properties is discouraged. Minor arterials are designed to serve both through traffic and local trips. Collector roads and streets link local streets and properties with the arterial network. Local streets provide access to adjacent properties.

GEOTECHNICAL REVIEW: An engineering study of the geology and soils of a site which is submitted to determine the suitability of a site for development and recommends construction techniques designed to overcome development on problem soils, e.g., marine clay soils.

HYDROCARBON RUNOFF: Petroleum products, such as motor oil, gasoline or transmission fluid deposited by motor vehicles which are carried into the local storm sewer system with the stormwater runoff, and ultimately, into receiving streams; a major source of non-point source pollution. An oil-grit separator is a common hydrocarbon runoff reduction method.

IMPERVIOUS SURFACE: Any land area covered by buildings or paved with a hard surface such that water cannot seep through the surface into the ground.

INFILL: Development on vacant or underutilized sites within an area which is already mostly developed in an established development pattern or neighborhood.

INTENSITY: The magnitude of development usually measured in such terms as density, floor area ratio, building height, percentage of impervious surface, traffic generation, etc. Intensity is also based on a comparison of the development proposal against environmental constraints or other conditions which determine the carrying capacity of a specific land area to accommodate development without adverse impacts.

Ldn: Day night average sound level. It is the twenty-four hour average sound level expressed in A-weighted decibels; the measurement assigns a "penalty" to night time noise to account for night time sensitivity. Ldn represents the total noise environment which varies over time and correlates with the effects of noise on the public health, safety and welfare.

LEVEL OF SERVICE (LOS): An estimate of the effectiveness of a roadway to carry traffic, usually under anticipated peak traffic conditions. Level of Service efficiency is generally characterized by the letters A through F, with LOS-A describing free flow traffic conditions and LOS-F describing jammed or grid-lock conditions.

MARINE CLAY SOILS: Soils that occur in widespread areas of the County generally east of Interstate 95. Because of the abundance of shrink-swell clays in these soils, they tend to be highly unstable. Many areas of slope failure are evident on natural slopes. Construction on these soils may initiate or accelerate slope movement or slope failure. The shrink-swell soils can cause movement in structures, even in areas of flat topography, from dry to wet seasons resulting in cracked foundations, etc. Also known as slippage soils.

OPEN SPACE: That portion of a site which generally is not covered by buildings, streets, or parking areas. Open space is intended to provide light and air; open space may function as a buffer between land uses or for scenic, environmental, or recreational purposes.

OPEN SPACE EASEMENT: An easement usually granted to the Board of Supervisors which preserves a tract of land in open space for some public benefit in perpetuity or for a specified period of time. Open space easements may be accepted by the Board of Supervisors, upon request of the land owner, after evaluation under criteria established by the Board. See Open Space Land Act, Code of Virginia, Sections 10.1-1700, et seq.

P DISTRICT: A "P" district refers to land that is planned and/or developed as a Planned Development Housing (PDH) District, a Planned Development Commercial (PDC) District or a Planned Residential Community (PRC) District. The PDH, PDC and PRC Zoning Districts are established to encourage innovative and creative design for land development; to provide ample and efficient use of open space; to promote a balance in the mix of land uses, housing types, and intensity of development; and to allow maximum flexibility in order to achieve excellence in physical, social and economic planning and development of a site. Refer to Articles 6 and 16 of the Zoning Ordinance.

PROFFER: A written condition, which, when offered voluntarily by a property owner and accepted by the Board of Supervisors in a rezoning action, becomes a legally binding condition which is in addition to the zoning district regulations applicable to a specific property. Proffers are submitted and signed by an owner prior to the Board of Supervisors public hearing on a rezoning application and run with the land. Once accepted by the Board, proffers may be modified only by a proffered condition amendment (PCA) application or other zoning action of the Board and the hearing process required for a rezoning application applies. See Sect. 15.2-2303 (formerly 15.1-491) of the Code of Virginia.

PUBLIC FACILITIES MANUAL (PFM): A technical text approved by the Board of Supervisors containing guidelines and standards which govern the design and construction of site improvements incorporating applicable Federal, State and County Codes, specific standards of the Virginia Department of Transportation and the County's Department of Public Works and Environmental Services.

RESOURCE MANAGEMENT AREA (RMA): That component of the Chesapeake Bay Preservation Area comprised of lands that, if improperly used or developed, have a potential for causing significant water quality degradation or for diminishing the functional value of the Resource Protection Area. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

RESOURCE PROTECTION AREA (RPA): That component of the Chesapeake Bay Preservation Area comprised of lands at or near the shoreline or water's edge that have an intrinsic water quality value due to the ecological and biological processes they perform or are sensitive to impacts which may result in significant degradation of the quality of state waters. In their natural condition, these lands provide for the removal, reduction or assimilation of sediments from runoff entering the Bay and its tributaries, and minimize the adverse effects of human activities on state waters and aquatic resources. New development is generally discouraged in an RPA. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

SITE PLAN: A detailed engineering plan, to scale, depicting the development of a parcel of land and containing all information required by Article 17 of the Zoning Ordinance. Generally, submission of a site plan to DPWES for review and approval is required for all residential, commercial and industrial development except for development of single family detached dwellings. The site plan is required to assure that development complies with the Zoning Ordinance.

SPECIAL EXCEPTION (SE) / SPECIAL PERMIT (SP): Uses, which by their nature, can have an undue impact upon or can be incompatible with other land uses and therefore need a site specific review. After review, such uses may be allowed to locate within given designated zoning districts if appropriate and only under special controls, limitations, and regulations. A special exception is subject to public hearings by the Planning Commission and Board of Supervisors with approval by the Board of Supervisors; a special permit requires a public hearing and approval by the Board of Zoning Appeals. Unlike proffers which are voluntary, the Board of Supervisors or BZA may impose reasonable conditions to assure, for example, compatibility and safety. See Article 8, Special Permits and Article 9, Special Exceptions, of the Zoning Ordinance.

STORMWATER MANAGEMENT: Engineering practices that are incorporated into the design of a development in order to mitigate or abate adverse water quantity and water quality impacts resulting from development. Stormwater management systems are designed to slow down or retain runoff to re-create, as nearly as possible, the pre-development flow conditions.

SUBDIVISION PLAT: The engineering plan for a subdivision of land submitted to DPWES for review and approved pursuant to Chapter 101 of the County Code.

TRANSPORTATION DEMAND MANAGEMENT (TDM): Actions taken to reduce single occupant vehicle automobile trips or actions taken to manage or reduce overall transportation demand in a particular area.

TRANSPORTATION SYSTEM MANAGEMENT (TSM) PROGRAMS: This term is used to describe a full spectrum of actions that may be applied to improve the overall efficiency of the transportation network. TSM programs usually consist of low-cost alternatives to major capital expenditures, and may include parking management measures, ridesharing programs, flexible or staggered work hours, transit promotion or operational improvements to the existing roadway system. TSM includes Transportation Demand Management (TDM) measures as well as H.O.V. use and other strategies associated with the operation of the street and transit systems.

URBAN DESIGN: An aspect of urban or suburban planning that focuses on creating a desirable environment in which to live, work and play. A well-designed urban or suburban environment demonstrates the four generally accepted principles of design: clearly identifiable function for the area; easily understood order; distinctive identity; and visual appeal.

VACATION: Refers to vacation of street or road as an action taken by the Board of Supervisors in order to abolish the public's right-of-passage over a road or road right-of-way dedicated by a plat of subdivision. Upon vacation, title to the road right-of-way transfers by operation of law to the owner(s) of the adjacent properties within the subdivision from whence the road/road right-of-way originated.

VARIANCE: An application to the Board of Zoning Appeals which seeks relief from a specific zoning regulation such as lot width, building height, or minimum yard requirements, among others. A variance may only be granted by the Board of Zoning Appeals through the public hearing process and upon a finding by the BZA that the variance application meets the required Standards for a Variance set forth in Sect. 18-404 of the Zoning Ordinance.

WETLANDS: Land characterized by wetness for a portion of the growing season. Wetlands are generally delineated on the basis of physical characteristics such as soil properties indicative of wetness, the presence of vegetation with an affinity for water, and the presence or evidence of surface wetness or soil saturation. Wetland environments provide water quality improvement benefits and are ecologically valuable. Development activity in wetlands is subject to permitting processes administered by the U.S. Army Corps of Engineers

TIDAL WETLANDS: Vegetated and nonvegetated wetlands as defined in Chapter 116 Wetlands Ordinance of the Fairfax County Code: includes tidal shores and tidally influenced embayments, creeks, and tributaries to the Occoquan and Potomac Rivers. Development activity in tidal wetlands may require approval from the Fairfax County Wetlands Board.

Abbreviations Commonly Used in Staff Reports

A&F	Agricultural & Forestal District	PDH	Planned Development Housing
ADU	Affordable Dwelling Unit	PFM	Public Facilities Manual
ARB	Architectural Review Board	PRC	Planned Residential Community
BMP	Best Management Practices	RC	Residential-Conservation
BOS	Board of Supervisors	RE	Residential Estate
BZA	Board of Zoning Appeals	RMA	Resource Management Area
COG	Council of Governments	RPA	Resource Protection Area
CBC	Community Business Center	RUP	Residential Use Permit
CDP	Conceptual Development Plan	RZ	Rezoning
CRD	Commercial Revitalization District	SE	Special Exception
DOT	Department of Transportation	SEA	Special Exception Amendment
DP	Development Plan	SP	Special Permit
DPWES	Department of Public Works and Environmental Services	TDM	Transportation Demand Management
DPZ	Department of Planning and Zoning	TMA	Transportation Management Association
DU/AC	Dwelling Units Per Acre	TSA	Transit Station Area
EQC	Environmental Quality Corridor	TSM	Transportation System Management
FAR	Floor Area Ratio	UP & DD	Utilities Planning and Design Division, DPWES
FDP	Final Development Plan	VC	Variance
GDP	Generalized Development Plan	VDOT	Virginia Dept. of Transportation
GFA	Gross Floor Area	VPD	Vehicles Per Day
HC	Highway Corridor Overlay District	VPH	Vehicles per Hour
HCD	Housing and Community Development	WMATA	Washington Metropolitan Area Transit Authority
LOS	Level of Service	WS	Water Supply Protection Overlay District
Non-RUP	Non-Residential Use Permit	ZAD	Zoning Administration Division, DPZ
OSDS	Office of Site Development Services, DPWES	ZED	Zoning Evaluation Division, DPZ
PCA	Proffered Condition Amendment	ZPRB	Zoning Permit Review Branch
PD	Planning Division		
PDC	Planned Development Commercial		