



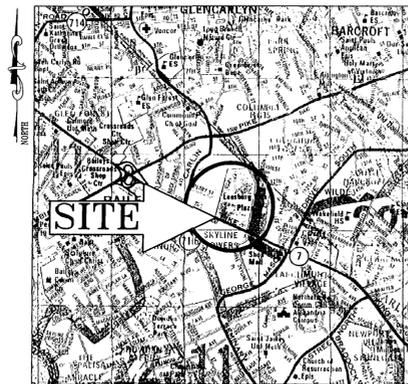
SPECIAL EXCEPTION PLAT

3516 S. JEFFERSON STREET FAIRFAX COUNTY, VIRGINIA

PARCEL ID# 0621-01-0016E-PART

LEGEND FOR ENTIRE PLAN SET (NOT TO SCALE)

| EXISTING | PROPOSED |
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VICINITY MAP
ADD THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2,000'

UTILITY CONTACT INFORMATION:

TELEPHONE

VERIZON
2980 FAIRVIEW PARK DR.
6TH FLOOR
FALLS CHURCH, VA 22042
CONTACT: MIKE HOOVER
(703) 204-5121

ELECTRIC

DOMINION VIRGINIA POWER
11133 MAIN STREET
FAIRFAX, VA 22030
CONTACT: JOEL FUNK
(703) 934-2415

GAS

WASHINGTON GAS
6801 INDUSTRIAL ROAD
SPRINGFIELD, VA 22151
CONTACT: HEATH KALMANSON
(703) 750-4880

SEWER

FAIRFAX COUNTY DPWES
12055 GOVERNMENT CENTER PKWY.
SUITE 358
FAIRFAX, VA 22035
CONTACT: ROBERT CARTER
(703) 324-5015 x45016

WATER

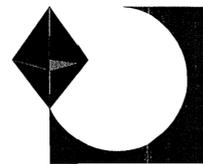
FAIRFAX COUNTY WATER AUTHORITY
8560 ARLINGTON BOULEVARD
MERRIFIELD, VA 22116
CONTACT: MIKE JENKINS
(703) 289-6358

DRAINAGE & STORMWATER

FAIRFAX COUNTY DPWES
12055 GOVERNMENT CENTER PKWY.
SUITE 358
FAIRFAX, VA 22035

APPLICANT:
PNC BANK
808 17TH STREET, NW
9TH FLOOR
WASHINGTON, DC 20006

OWNER:
PAYNE BROTHERS, LLC
C/O LEVIN MANAGEMENT CORP.
893 ROUTE 22 WEST
P.O. BOX 326
PLAINFIELD, NJ 07061-0326



PREPARED BY:
BOHLER ENGINEERING, P.C.
22630 DAVIS DRIVE, SUITE 200
STERLING, VIRGINIA 20164
(703) 709-9500
CONTACT: AARON BODENSCHATZ

| SHEET INDEX | |
|-------------|--|
| 1 | COVER SHEET |
| 2 | EXISTING CONDITIONS PLAN/EXISTING VEGETATION MAP |
| 3 | SPECIAL EXCEPTION PLAT |
| 4 | OVERALL SHOPPING CENTER PLAN |
| 5 | LANDSCAPE PLAN |
| 6 | STORMWATER MANAGEMENT PLAN |
| 7 | SITE DETAILS |
| 8 | ARCHITECTURAL ELEVATIONS |

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

APPROVED: *[Signature]*
APPROVED: *[Signature]*
SEE DEV CONDS DATED Sept. 22, 2008
Date of (BOS) (BZA) approval Feb. 25, 2008
Sheet 1 of 8

RECEIVED
Department of Planning & Zoning
AUG 29 2007
Zoning Evaluation Division



BEFORE YOU DIG CALL
1-800-552-7001
PROTECT YOURSELF - GIVE TWO
WORKING DAYS NOTICE
THIS DRAWING DOES NOT INCLUDE NECESSARY
COMPONENTS FOR CONSTRUCTION SAFETY. ALL
CONSTRUCTION MUST BE DONE IN COMPLIANCE
WITH THE OCCUPATIONAL SAFETY AND HEALTH
ACT OF 1970 AND ALL RULES AND
REGULATIONS THERE TO APPURTENANT.
THE CONTRACTOR TO CALL MISS UTILITY TO
HAVE ALL EXISTING UTILITIES MARKED 48
HOURS PRIOR TO ANY CONSTRUCTION.

PNC BANK

A.J. VOLANTH
PROFESSIONAL ENGINEER
Virginia License No. 6062-01-18
Office of Professional Regulation
1000 BANKERS BUILDING, SUITE 2100
FALLS CHURCH, VA 22042
PHONE: (703) 709-9500
FAX: (703) 709-9501
EMAIL: volanth@bohlereng.com

BOHLER ENGINEERING, P.C.
Professional Engineering Services
22630 Davis Drive, Suite 200
Sterling, VA 20164
Phone: (703) 709-9500
Fax: (703) 709-9501
Web: www.bohlereng.com

PNC BANK
COVER SHEET

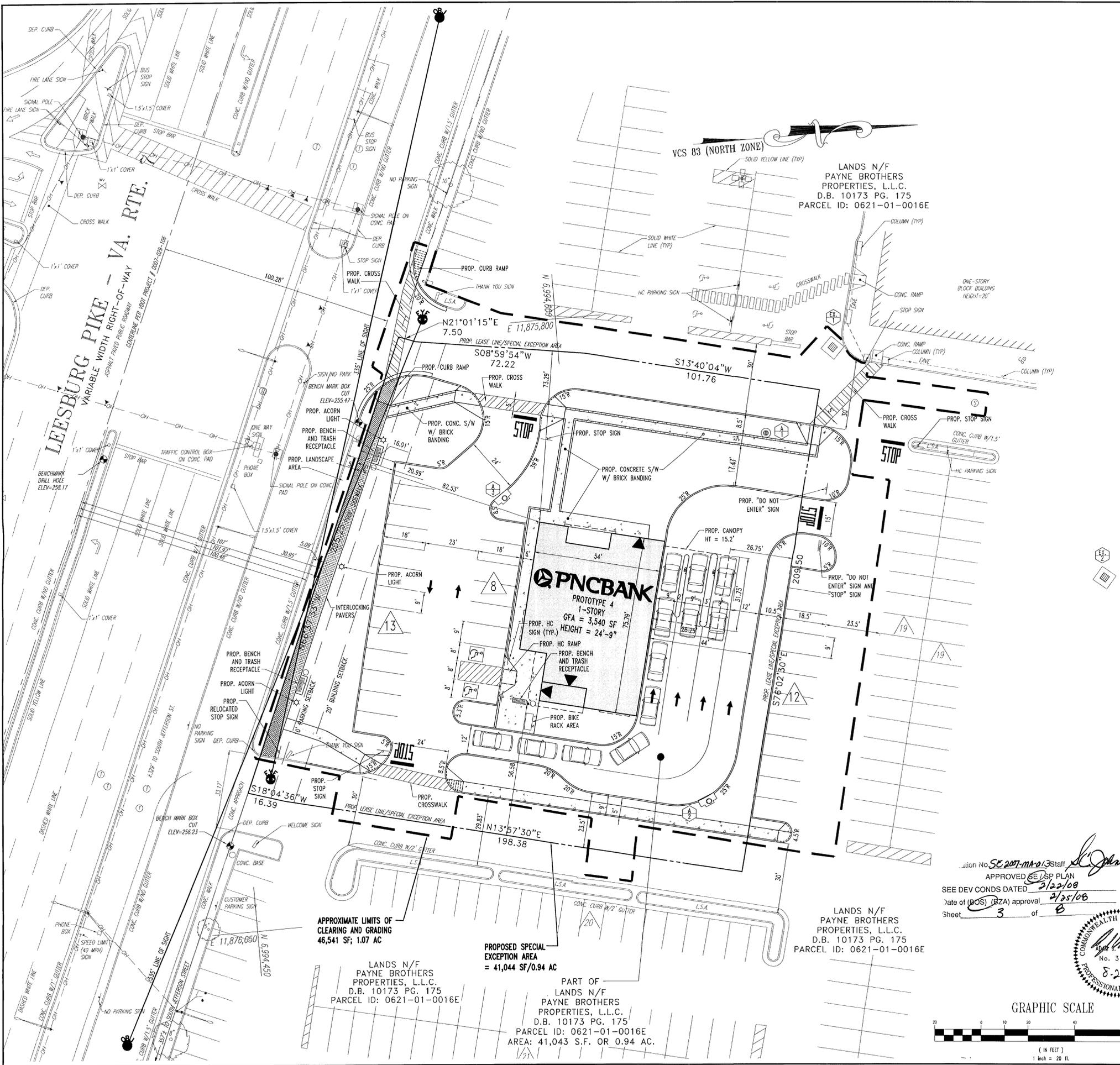
3516 S. JEFFERSON STREET
FALLS CHURCH, FAIRFAX COUNTY, VIRGINIA

| REVISIONS | | |
|-----------|------|-------------------------|
| NO. | DATE | DESCRIPTION |
| 1 | 8/29 | PER COUNTY COMMENTS |
| 2 | 8/9 | PER COUNTY COMMENTS |
| 3 | 7/23 | PER COUNTY COMMENTS |
| 4 | 5/18 | PER COUNTY COMMENTS |
| 5 | 9/7 | REV. PER ATTY. COMMENTS |
| 6 | 3/7 | REV. PER ATTY. COMMENTS |

SCALE (H): AS SHOWN
(V):

DRAWN BY: ASF
CHECKED BY: AMB
DATE: 08/08/07
DRAWING #: S052057
CAD ID #: SET

SHEET NUMBER
1 of 8

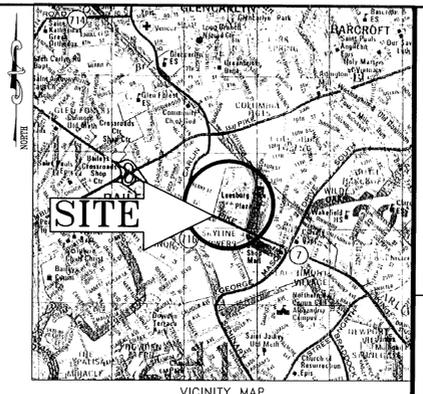


MISS UTILITY

BEFORE YOU DIG CALL
1-800-552-7071
PROTECT YOURSELF. GET TWO
WORKING DAYS NOTICE.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

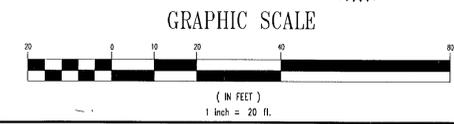
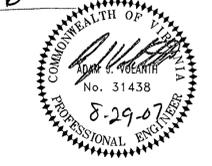


CONCEPT PLAN STANDARD GENERAL NOTES

- THIS PLAN REFERENCES A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY: CONTROL POINT ASSOCIATES, INC. 22530 DAVIS DRIVE, SUITE 200 STERLING, VA 20154. FIELD DATE: 6/28/05
- APPLICANT: PNC BANK, N.A. 808 17th ST., NW 9th FLOOR WASHINGTON, DC 20006
- THE AREA OF SPECIAL EXCEPTION IS 41,044 SF AND CONSISTS OF A LEASED PORTION OF TAX MAP PARCEL 0621-01-0016E. THESE PLANS ARE PART OF THE SPECIAL EXCEPTION APPLICATION TO ALLOW A DRIVE-IN BANK WITHIN THE C-6 ZONING DISTRICT.
- ZONING DATA: C-6 (COMMUNITY RETAIL COMMERCIAL DISTRICT) HIGHWAY CORRIDOR OVERLAY DISTRICT BAILEY'S CROSSROADS/SEVEN CORNERS COMMERCIAL REVITALIZATION DISTRICT
- EXISTING USE - COMMERCIAL PARKING LOT PROPOSED USE - DRIVE-IN BANK (ALLOWED BY SPECIAL EXCEPTION)
- BULK REQUIREMENTS

| | ALLOWED/REQUIRED | PROVIDED FOR SPECIAL EXCEPTION AREA |
|--|------------------|---|
| A. MIN. LOT AREA: | 40,000 SF | 41,044 SF/0.94 AC |
| B. MIN. LOT WIDTH: | 200 FT | 206.64 FT |
| C. MIN. BUILDING SETBACK | | |
| FRONT SETBACK (SOUTH) | 20' | 82.53' |
| SIDE SETBACK (WEST) | 0' | 73.29' |
| SIDE SETBACK (EAST) | 0' | 56.58' |
| REAR SETBACK (NORTH) | 0' | 26.75' |
| D. MIN. PARKING SETBACK | | |
| FRONT SETBACK (SOUTH) | 10' | 16.01' |
| SIDE SETBACK (WEST) | 0' | 0' |
| SIDE SETBACK (EAST) | 0' | 0' |
| REAR SETBACK (NORTH) | 0' | 10.00' |
| E. PARKING REQUIREMENTS | | |
| DRIVE-IN BANK | | |
| 4 SPACES PER 1,000 S.F. OF GROSS FLOOR AREA FOR CUSTOMER SERVICE, LOBBY, AND TELLER AREA PLUS 3.6 SPACES PER 1,000 S.F. OF OFFICE GROSS FLOOR AREA | | |
| CUSTOMER SERVICE, LOBBY, AND TELLER G.F.A.: (4 X 1,809) / 1,000 S.F. = 7.24 | | |
| OFFICE G.F.A.: (3.6 X 728) / 1,000 S.F. = 2.62 | | |
| 7.24 + 2.62 = 9.86 OR 10 SPACES (AREAS PROVIDED BY GENSLER) | 10 SPACES | 21 SPACES |
| STACKING: | | |
| DRIVE-IN BANK | | |
| 8 STACKING SPACES IN FRONT OF THE FIRST WINDOW, THEN 2 AT EACH ADDITIONAL WINDOW | 12 SPACES | 12 SPACES |
| LOADING: | | |
| DRIVE-IN BANK | 1 SPACE | 0 SPACES* |
| * A WAIVER IS HEREBY REQUESTED FROM THE REQUIREMENT SPECIFYING THE INCLUSION OF A LOADING AREA AS STATED IN ZONING ORDINANCE SECTION 11-203.6. | | |
| F. MAX F.A.R. | 0.40 | 0.09 |
| G. MIN. PARKING SPACE DIMENSIONS | 8.5' X 18' (90') | 9' X 18' (90') |
| H. MAX. BUILDING HT. | 40 FT. | 24.75 FT. (BUILDING) 15.2 FT. (CANOPY) |
| I. MIN. DRIVE AISLES (TWO WAY CIRCULATION) | 23 FT. | 23 FT. |
| J. OPEN SPACE (15% OF GROSS SITE AREA) | 6,157 SF (15%) | 12,615 SF (30.7%) |
| K. INTERIOR PARKING LOT LANDSCAPING (5% OF THE TOTAL PARKING LOT AREA) | 706 SF (5%) | 1,609 SF (11.4%) |
| L. GROSS FLOOR AREA | N/A | 3,540 SF |
- NO KNOWN BURIAL GROUNDS EXIST WITHIN THE LIMITS OF THE SPECIAL EXCEPTION AREA.
- THE PROPERTY IS LOCATED IN ZONE X (AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN), PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, FAIRFAX COUNTY, VIRGINIA, UNINCORPORATED AREA, PANEL 93 OF 150" COMMUNITY PANEL NO. 515525 0093 0, MAP REVISED 5/5/90.
- NO UTILITY EASEMENTS HAVING A WIDTH OF 25 FEET OR MORE ARE KNOWN TO EXIST ON THE SITE.
- NO RESOURCE PROTECTION AREA, ENVIRONMENTAL QUALITY CORRIDOR OR FLOOD PLAN IS KNOWN TO EXIST ON THIS SITE. THE ENTIRE SITE EXISTS WITHIN A RESOURCE MANAGEMENT AREA.
- THE ONE (1) FOOT CONTOUR INTERVALS THAT ARE SHOWN ON PLAN ARE THE RESULT OF A FIELD RUN SURVEY.
- A STATEMENT FROM THE HEALTH DEPARTMENT REGARDING ADEQUATE AVAILABLE FACILITIES IS REQUIRED FOR SANITARY SEWER AND WILL BE PROVIDED AT SITE PLAN REVIEW. THE PROPERTY IS SERVED BY PUBLIC WATER AND SEWER.
- PROPOSED BUILDING UTILITY LOCATIONS, LANDSCAPING AND PARKING LOT CONFIGURATIONS ARE SUBJECT TO FINAL ENGINEERING. BUILDING FOOTPRINT CONFIGURATION TO BE DETERMINED DURING THE SITE PLAN REVIEW BUT SHALL REMAIN IN SUBSTANTIAL CONFORMANCE AS DEPICTED.
- A WAIVER OF THE TRAIL REQUIREMENT ALONG LEESBURG PIKE IS HEREBY REQUESTED.
- SIGNS WILL BE INSTALLED UNDER SEPARATE PERMIT IN ACCORDANCE WITH FAIRFAX COUNTY ORDINANCES.
- TRASH WILL BE STORED INSIDE THE BUILDING AND REMOVED ON A REGULAR BASIS.
- SITE LIGHTING WILL CONFORM TO PART 9 OF ARTICLE 14 OF THE ZONING ORDINANCE.
- PAYMENT STRIPING AND MARKINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY.

Application No. SC 2007-MA-013 Staff [Signature]
 APPROVED SE/SP PLAN
 SEE DEV CONDS DATED 3/22/08
 Date of (POS) (BZA) approval 2/25/08
 Sheet 3 of 8



APPROXIMATE LIMITS OF CLEARING AND GRADING
 46,541 SF; 1.07 AC

LANDS N/F PAYNE BROTHERS PROPERTIES, L.L.C.
 D.B. 10173 PG. 175
 PARCEL ID: 0621-01-0016E

PROPOSED SPECIAL EXCEPTION AREA
 = 41,044 SF/0.94 AC

PART OF LANDS N/F PAYNE BROTHERS PROPERTIES, L.L.C.
 D.B. 10173 PG. 175
 PARCEL ID: 0621-01-0016E
 AREA: 41,043 S.F. OR 0.94 AC.

LANDS N/F PAYNE BROTHERS PROPERTIES, L.L.C.
 D.B. 10173 PG. 175
 PARCEL ID: 0621-01-0016E

PNC BANK

A.J. VOLANTH
 PROFESSIONAL ENGINEER
 VIRGINIA LICENSE NO. 31438
 DESIGNATION: CIVIL ENGINEER
 EXPIRES: 8/29/07
 STATE OF VIRGINIA
 LICENSE NO. 31438
 EXPIRES 8/29/07

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 3516 S. JEFFERSON STREET
 FALLS CHURCH, VIRGINIA
 • (703) 700-3600 FAX: (703) 700-3601 | www.bohlereng.com

PNC BANK SPECIAL EXCEPTION PLAN

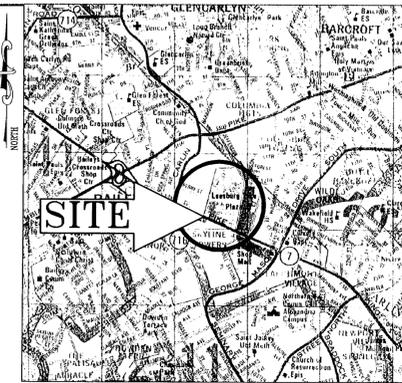
3516 S. JEFFERSON STREET
 FALLS CHURCH, VIRGINIA

| REVISIONS | | |
|-----------|---------|-------------------------|
| NO. | DATE | DESCRIPTION |
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| 3 | 7/20/08 | PER COUNTY COMMENTS |
| 4 | 5/18/08 | PER COUNTY COMMENTS |
| 5 | 9/7/07 | REV. PER ATTY. COMMENTS |
| 6 | 3/7/07 | REV. PER ATTY. COMMENTS |

SCALE (H): 1" = 20'
(V):

DRAWN BY: ASF
 CHECKED BY: AMB
 DATE: 08/08/05
 DRAWING #: S052057
 CAD ID #: S7

SHEET NUMBER
3 of 8



VICINITY MAP
 ASG: THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=2,000'



A.J. VOLANTH

PROFESSIONAL ENGINEER
 STATE OF VIRGINIA
 20250 Davis Drive, Suite 200
 Falls Church, VA 22041
 (703) 709-8500 Fax: (703) 709-8501 | vvolanth@pnc.com

BOHLER
 ENGINEERING, P.C.



PNC BANK
 OVERALL SHOPPING CENTER PLAN
 3516 S. JEFFERSON STREET
 FALLS CHURCH, FAIRFAX COUNTY, VIRGINIA

BULK REQUIREMENTS

| | ALLOWED/REQUIRED | PROVIDED FOR OVERALL SHOPPING CENTER |
|---|------------------|--------------------------------------|
| A. MIN. LOT AREA: | 40,000 SF | 1,018,228 SF/23.4 AC |
| B. MIN. LOT WIDTH: | 200 FT | 879.74 FT-SOUTH 1,562.25 FT-EAST |
| C. GROSS FLOOR AREA: | N/A | 365,803 SF |
| D. MIN. BUILDING SETBACK: | | |
| FRONT SETBACK (SOUTH) | 20' | 68.8' |
| FRONT SETBACK (EAST) | 20' | 51.6' |
| SIDE SETBACK (WEST) | 0' | 67.0' |
| REAR SETBACK (NORTH) | 20' | 25.7' |
| E. PARKING REQUIREMENTS: | | |
| SHOPPING CENTER (BETWEEN 100,000 SF AND 400,000 SF GFA): 4 SPACES PER 1,000 SF GFA = 352,871 SF (4/1,000) = 1,410 | | |
| RESTAURANT: 1 SPACE PER 4 SEATS, PLUS 1 SPACE PER 2 EMPLOYEES = 377(1/4) + 95(1/2) = 143 | | |
| OFFICE (UNDER 50,000 SF GFA): 3.6 SPACES PER 1,000 SF GFA = 2,852 SF(3.6/1000) = 11 | 1,364 SPACES | 1,383 SPACES |
| | 1,252 SPACES | |
| PARKING IN SPECIAL EXCEPTION AREA | | 21 SPACES |
| PARKING OUTSIDE SPECIAL EXCEPTION AREA | | 1,362 SPACES |
| F. MAX F.A.R. | 0.40 | 0.36 |

*IT IS REQUESTED THAT THE 20% PARKING REDUCTION IN ACCORDANCE WITH THE COMMUNITY REVITALIZATION DISTRICT GUIDELINES BE APPLIED TO THE PARKING REQUIREMENT.
 NOTE: THIS PLAN REFERENCES THE SITE PLAN FOR CROSSROADS PLACE PREPARED BY BOHLER ENGINEERING, P.C., SP# 9311-SP-01-2, DATED 1/21/2000.



MISS UTILITY



Station No. SE 207-MH-013 Staff: [Signature]
 APPROVED (SE) SITE PLAN
 SEE DEV CONDS DATED 2/22/08
 Date of (BOS) (BZA) approval 2/25/08
 Sheet 4 of 8

GRAPHIC SCALE



BEFORE YOU DIG CALL 1-800-SEE-9900 PROTECT YOURSELF-GIVE TWO WORKING DAYS NOTICE
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 THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

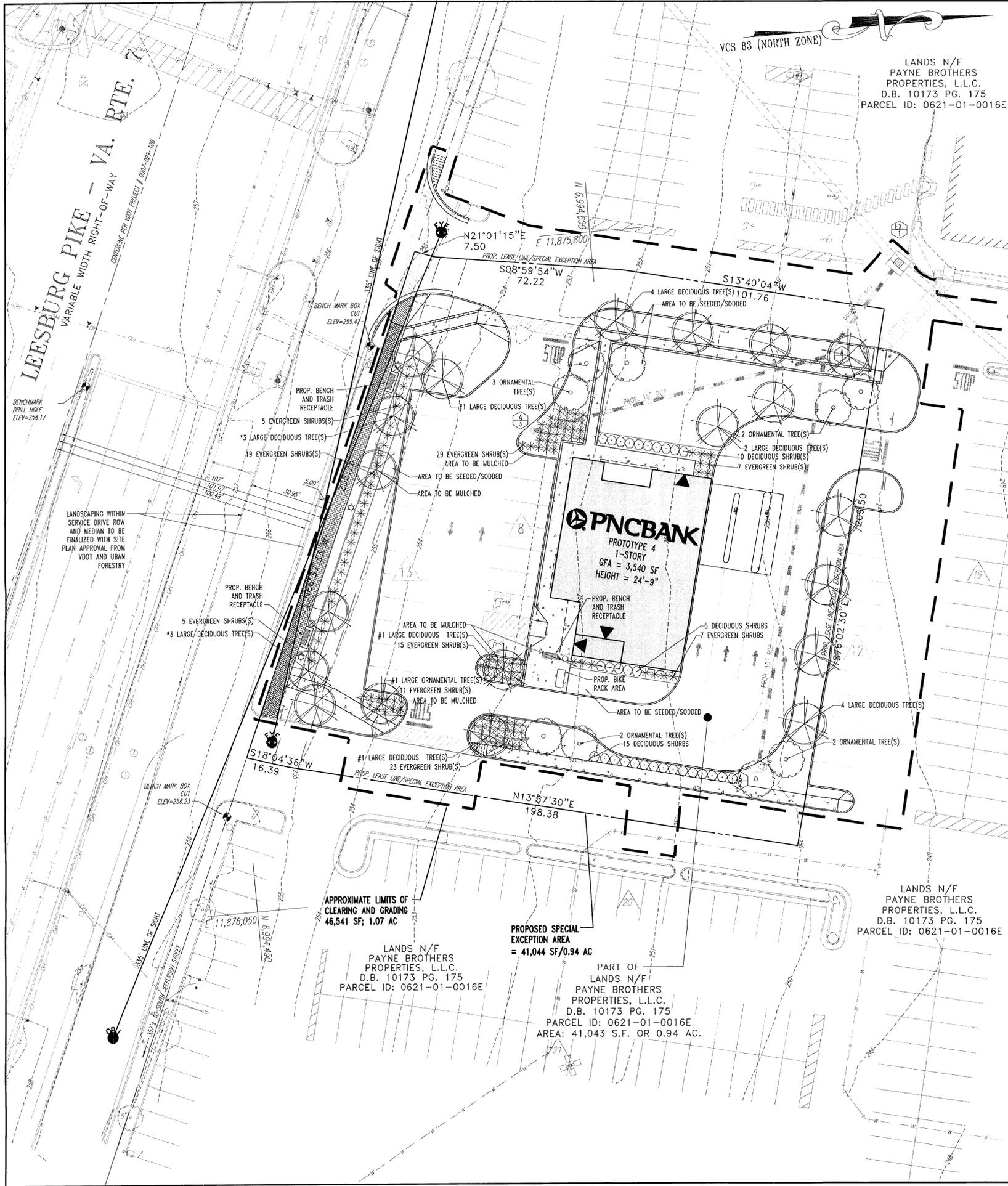
THIS SHEET IS FOR INFORMATIONAL PURPOSES ONLY.

REVISIONS

| NO. | DATE | DESCRIPTION |
|------|------|-------------------------|
| 8/29 | | PER COUNTY COMMENTS |
| 8/9 | | PER COUNTY COMMENTS |
| 7/20 | | PER COUNTY COMMENTS |
| 5/18 | | PER COUNTY COMMENTS |
| 9/7 | | REV. PER ATTY. COMMENTS |
| 3/7 | | REV. PER ATTY. COMMENTS |

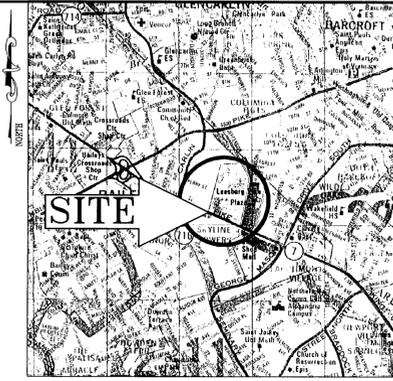
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 (V):
 DRAWN BY: ASF
 CHECKED BY: AMB
 DATE: 08/08/05
 DRAWING #: S052057
 CAD ID #: 0V7
 SHEET NUMBER

4 of 7



TREE COVER CALCULATIONS

| | |
|-----------------------------------|---|
| GROSS SITE AREA: | TOTAL = 41,044 SF. BUILDING = 3,710 SF. FOOTPRINT NET SITE = 37,334 SF. |
| TREE COVER REQUIRED: | 37,334 SF. X .10 TREE COVER REQUIRED (COMMERCIAL)=3,733 SF. REQUIRED |
| CREDITS: | 0 |
| EQUAL TREE COVER PROVIDED: | 5,350 SF. (14.3%) |



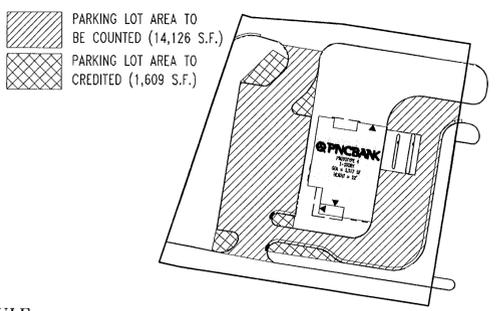
COMPLIANCE CHART FOR THE PUBLIC FACILITIES MANUAL

| REQUIREMENTS | CALCULATIONS (REQUIRED/PROPOSED) | COMPLIANCE |
|---|--|----------------|
| 12-0701.6 PLANT DIVERSITY: TO CURTAIL THE SPREAD OF DISEASE OR INSECT INFESTATION IN A PLANT SPECIES, NO MORE THAN 70% OF THE TREES REQUIRED TO BE PLANTED ON-SITE SHALL BE OF ONE SPECIES. IN ADDITION, WHEN MORE THAN 20 TREES ARE REQUIRED ON A SITE, NO MORE THAN 35% OF THE DECIDUOUS TREES NOR 50% OF THE EVERGREEN TREES SHALL BE OF A SINGLE SPECIES. | SEE TREE COVER CALCULATION TABLE PROVIDED ON THIS SHEET | N/A |
| 12-0701.9 TREE COVER CALCULATIONS: ALL REQUIRED CALCULATIONS FOR TREE COVER SHALL BE PROVIDED ON THE LANDSCAPE PLAN SHEET IN A TABLE SIMILAR TO TABLE 12.12. | SEE TREE COVER CALCULATION TABLE PROVIDED BELOW: SECTION 12-0703.1 | COMPLIES |
| 12-0701.10 INTERIOR PARKING LOT LANDSCAPING: ALL CALCULATIONS AND ILLUSTRATIONS FOR INTERIOR PARKING LOT LANDSCAPING SHALL BE PROVIDED ON THE LANDSCAPE PLAN SHEET. | (EASEMENTS DEPICTED ON PLAN) | COMPLIES |
| 12-0701.11A THE LANDSCAPE PLAN SHALL SHOW ALL EXISTING AND PROPOSED EASEMENTS THAT MAY CONFLICT WITH THE TREE PLANTING REQUIREMENTS OF ARTICLE 13 OF THE ZONING ORDINANCE. | PROPOSED: NO TREES PLANTED WITHIN EASEMENT OR WITHIN 5' OF STORM DRAINAGE EASEMENTS THAT CONTAIN PIPES | COMPLIES |
| 12-0701.11B TREES SHALL NOT BE PLANTED WITHIN ANY EXISTING OR PROPOSED PUBLIC UTILITY EASEMENT THAT IS REQUIRED TO BE DELINEATED ON THE PLAN, OR WITHIN 5' (15' W) OF STORM DRAINAGE EASEMENTS THAT CONTAIN PIPES. IN ADDITION, TREES SHALL NOT BE PLANTED IN AN AREA WHICH WILL INTERFERE WITH EXISTING OR PROPOSED UTILITIES OR OBSTRUCT OR INTERFERE WITH ACCESS OF MAINTENANCE PERSONNEL OR EQUIPMENT, AS DETERMINED BY THE DIRECTOR, EXCEPT AS MAY BE ALLOWED IN ACCORDANCE WITH SECTION 12-701.11C. | NO TREES IN VDOT R.O.W. CREDITED TOWARDS THE REQUIREMENTS OF ARTICLE 13 | NOT APPLICABLE |
| 12-0701.12 EXISTING VEGETATION OR PROPOSED PLANTINGS IN VDOT RIGHTS-OF-WAY SHALL NOT BE CREDITED TO PROVIDE INTERIOR PARKING LOT LANDSCAPING THAT COVERS NO LESS THAN 5% OF THE TOTAL AREA OF THE PARKING LOT. | TOTAL PARKING AREA: 14,126 SF. 14,126 SF. X .05 = 706 SF. PROPOSED: 1,609 SF. (11.4%) SEE INTERIOR PARKING LOT CALCULATIONS CHART (TO RIGHT) | COMPLIES |
| 12-0703.4 CALCULATIONS: TO DETERMINE THE AMOUNT OF INTERIOR PARKING LOT LANDSCAPING REQUIRED, A) MULTIPLY THE AREA TO BE COUNTED AS DESCRIBED IN SECTION 12-0703.2 BY 5%; B) BASED ON 10-YEAR TREE COVER, CALCULATE THE TOTAL TREE COVER PROVIDED BY EACH TREE AND/OR THE TOTAL AMOUNT OF PRESERVED VEGETATION THAT PROVIDES SHADE DIRECTLY TO THE PARKING LOT. THE TOTAL TREE COVER PROVIDED MUST EQUAL OR EXCEED THE TOTAL LANDSCAPED AREA REQUIRED. A TABLE SIMILAR TO THAT SHOWN IN TABLE 12.13 SHALL BE PROVIDED ON THE LANDSCAPE SHEET. | TOTAL PARKING AREA: 14,126 SF. REQUIRED: 14,126 X .05 = 706 SF. PROPOSED: = 4 LARGE DECIDUOUS TREES @ 200 S.F. EACH (800 S.F. OF TREE COVER) # INDICATES PLANT MATERIAL UTILIZED TO MEET THIS REQUIREMENT | COMPLIES |

COMPLIANCE CHART FOR THE FAIRFAX COUNTY ZONING ORDINANCE

| SECTION | REQUIREMENTS | CALCULATIONS (REQUIRED/PROPOSED) | COMPLIANCE |
|---|--|--|----------------|
| 13-202 PERIPHERAL PARKING LOT LANDSCAPING | IF ANY PARKING LOT CONTAINS 20 OR MORE SPACES AND TRANSITIONAL SCREENING IS NOT REQUIRED BY SECTION 901 AND 302, THEN PERIPHERAL PARKING LOT LANDSCAPING SHALL BE REQUIRED AS FOLLOWS: 1. WHEN A PROPERTY LINE ABUTS LAND NOT IN THE R.O.W. OF A STREET: A. A LANDSCAPING STRIP FOUR FEET IN WIDTH SHALL BE LOCATED BETWEEN THE PARKING LOT AND THE ABUTTING PROPERTY LINES. EXCEPT WHERE DRIVEWAYS OR OTHER OPENINGS MAY NECESSITATE OTHER TREATMENT. B. AT LEAST ONE TREE SHALL BE PLANTED FOR EVERY FEET WITHIN THE LANDSCAPING STRIP. 2. WHERE A PROPERTY LINE ABUTS THE R.O.W. OF A STREET: A. A LANDSCAPING STRIP 10' IN WIDTH, WHICH SHALL NOT INCLUDE A SIDEWALK OR TRAIL, SHALL BE LOCATED BETWEEN THE PARKING LOT AND THE PROPERTY LINE. B. AT LEAST ONE TREE FOR EVERY 40' SHALL BE PLANTED WITHIN THE LANDSCAPING STRIP. | LEESBURG PIKE REQUIRED: 206.64 L.F./40 = 5.17 OR 6 TREES PROVIDED: 6 TREES | COMPLIES |
| 13-303 BARRIER REQUIREMENTS | BARRIERS SHALL BE LOCATED BETWEEN THE REQUIRED TRANSITIONAL SCREENING AND THE USE BEING SCREENED FROM. | (NO ABUTTING PROPERTY OF VARYING USE OR ZONE) | NOT APPLICABLE |
| 13-401 TREE COVER REQUIREMENTS | ZONING DISTRICT: COMMERCIAL SITE SHALL HAVE 10% COVERAGE OF TREE CANOPY | (SEE CHART PROVIDED ON THIS SHEET) | COMPLIES |

INTERIOR PARKING LOT CALCULATIONS



LANDSCAPE SCHEDULE

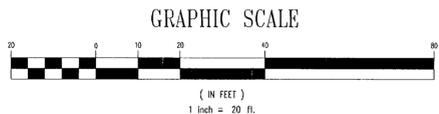
| SYMBOL | KEY | QTY | SIZE | ROOT | 10 YR. TREE COVER | TREE COVER SUB-TOTAL |
|--------------------------------|--------------------|-----|----------------|--------|-------------------|----------------------|
| (Circle with cross) | DECIDUOUS TREE(S) | 20 | 2 1/2"-3" CAL. | B+B | 200 | 4,000 |
| (Circle with dot) | ORNAMENTAL TREE(S) | 9 | 2 1/2"-3" CAL. | B+B | 150 | 1,350 |
| (Circle with horizontal lines) | DECIDUOUS SHRUB(S) | 30 | 24"-36" | B+B | | |
| (Circle with vertical lines) | EVERGREEN SHRUB(S) | 121 | 12"-15" SPREAD | #3 CAN | | |

TOTAL TREE COVER: 5,350 S.F.

APPROVED: *[Signature]*
DATE: 2/22/08
DATE OF BSA APPROVAL: 2/25/08



MISS UTILITY
BEFORE YOU DIG CALL 1-800-542-7001
PROTECT YOURSELF, GIVE TWO WEEKS NOTICE.
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.



PNC BANK
LANDSCAPE PLAN

BOHLER ENGINEERING, P.C.
Professional Engineer
No. 31438
State of Virginia
• 2220 JAMES MONROE BLVD., SUITE 200
• FALLS CHURCH, VIRGINIA 22034
• (703) 700-8600 FAX: (703) 700-8601 | v@bohlere.com

A.J. VOLANTH
PROFESSIONAL ENGINEER
No. 31438
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• 2220 JAMES MONROE BLVD., SUITE 200
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PNC BANK
LANDSCAPE PLAN
3516 S. JEFFERSON STREET
FALLS CHURCH, FAIRFAX COUNTY, VIRGINIA

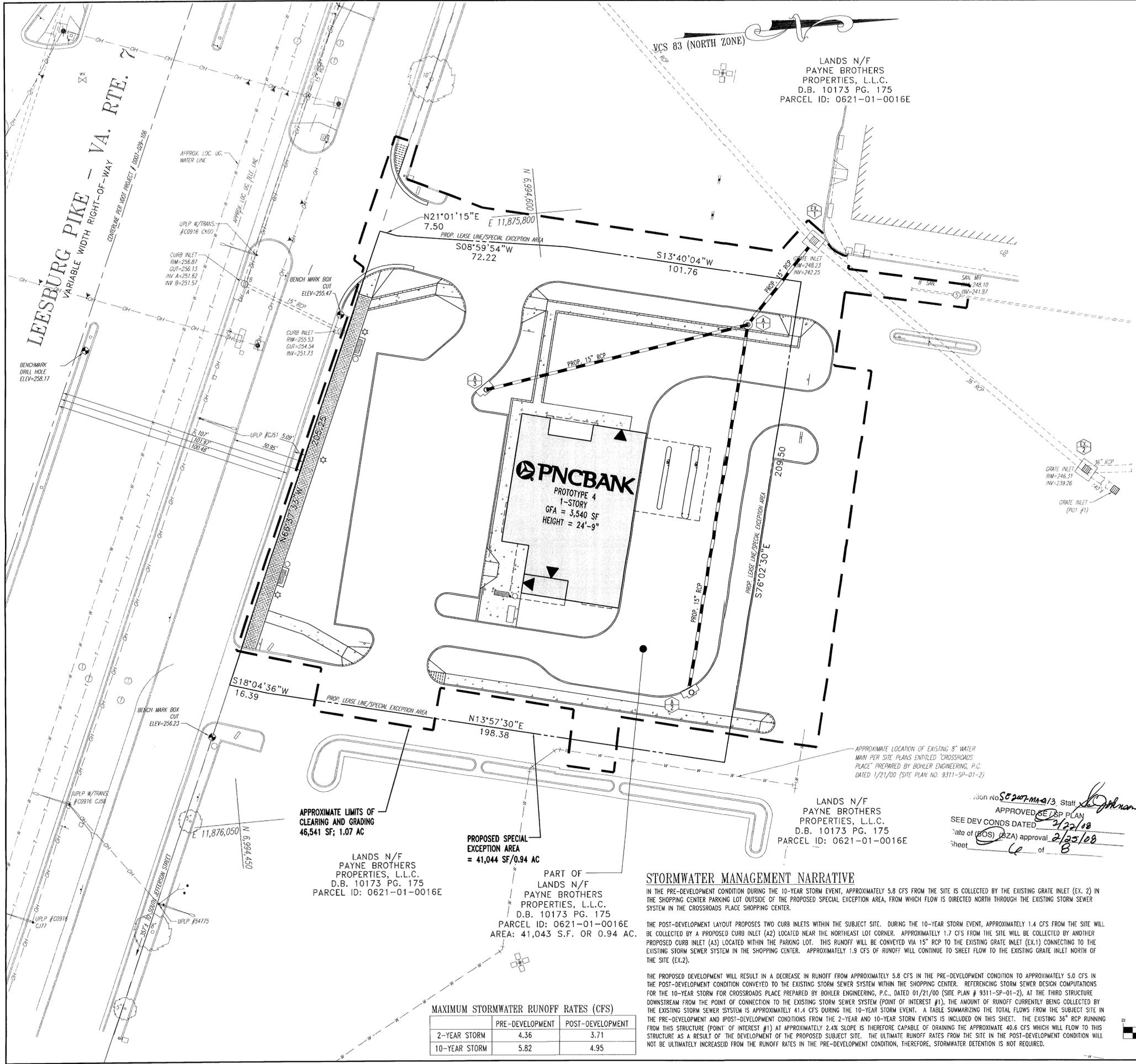
REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------------------|
| 1 | 8/29 | PER COUNTY COMMENTS |
| 2 | 8/9 | PER COUNTY COMMENTS |
| 3 | 7/20 | PER COUNTY COMMENTS |
| 4 | 5/18 | PER COUNTY COMMENTS |
| 5 | 9/7 | REV. PER ATTY. COMMENTS |
| 6 | 3/7 | REV. PER ATTY. COMMENTS |

SCALE (H): 1" = 20'
(V):

DRAWN BY: ASF
CHECKED BY: AMB
DATE: 08/08/05
DRAWING #: S052057
CAD ID #: SE7

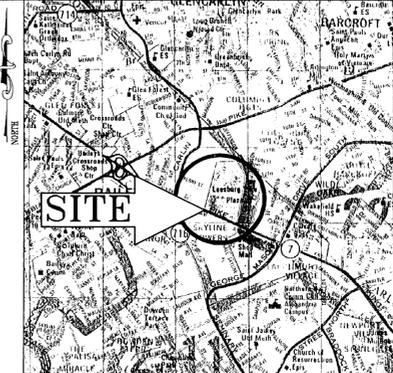
SHEET NUMBER
5 of 8



MISS UTILITY
 BEFORE YOU DIG CALL
 1-800-552-7900
 PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE.

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BMP NARRATIVE/PHOSPHORUS REMOVAL REQUIREMENT

THE PROPOSED PROJECT IS CONSIDERED REDEVELOPMENT IN FAIRFAX COUNTY. PER FAIRFAX COUNTY PFM, SECTION 6-401.28, THE REQUIRED PHOSPHORUS REMOVAL IS DETERMINED BY THE FORMULA BELOW. 10% PHOSPHORUS REMOVAL FROM THE EXISTING CONDITION MUST BE PROVIDED BY THE REDEVELOPMENT. THE IMPERVIOUS COVERAGE IN THE PRE-DEVELOPMENT CONDITION IS APPROXIMATELY 90.4% AND THE IMPERVIOUS COVERAGE IN THE POST-DEVELOPMENT CONDITION IS APPROXIMATELY 67.6%. THE PROPOSED DEVELOPMENT DECREASES THE SITE'S IMPERVIOUS AREA PERCENTAGE BY APPROXIMATELY 22.8%. ACCORDING TO THE FORMULA BELOW, GREATER THAN 10% PHOSPHORUS REMOVAL IS PROVIDED, AND NO STRUCTURAL BMP'S ARE REQUIRED. THEREFORE, THE PROPOSED DEVELOPMENT FULFILLS THE PHOSPHORUS REMOVAL REQUIREMENTS OF FAIRFAX COUNTY.

PER THE FAIRFAX COUNTY PFM PAGE 6-13, SECTION 6-401.20:

% REMOVAL = $[1 - 0.9 (I - PRE / I - POST)] \times 100$

I - PRE = 90.4
 I - POST = 67.6

% REMOVAL REQUIRED = -20.4%

ADEQUATE OUTFALL NARRATIVE

AFTER REACHING THE AFORESAID EXISTING GRATE INLET IN THE SHOPPING CENTER PARKING LOT (POINT OF INTEREST #1), SITE RUNOFF IS CONVEYED NORTH THROUGH THE STORM SEWER SYSTEM UNDER SOUTH JEFFERSON STREET FOR APPROXIMATELY 1,300 FEET, THEN EAST THROUGH THE STORM SEWER SYSTEM UNDER COLUMBIA PIKE. APPROXIMATELY 2,800 FEET EAST ON COLUMBIA PIKE IN ARLINGTON COUNTY, RUNOFF REACHES THE SITE'S ULTIMATE OUTFALL, FOUR MILE RUN, HAVING A DRAINAGE AREA OF AT LEAST 100 TIMES THE AREA OF THE SUBJECT SITE.

MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

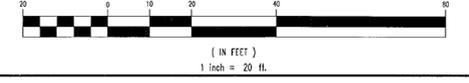
This information is required under the following Zoning Ordinance paragraphs:
 Special Permits (8-011 2J & 2L) Special Exceptions (8-011 2J & 2L)
 Cluster Subdivisions (8-915 1G & 1H) Commercial Reutilization Districts (8-622 2A (12) & (14))
 Development Plans PRC District (16-302 3 & 4L) PRC Plan (16-303 1E & 1G)
 FDP P Districts (except PRC) (16-202 1F & 1G) Amendments (16-202 10F & 10J)

- 1. Plat is at a minimum scale of 1"=50' (unless it is depicted on one sheet with a minimum scale of 1"=100').
- 2. A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet 6.
- N/A 3. Provide:

| Facility Name/Type & No. | On-site area served (acres) | Off-site area served (acres) | Drainage area (acres) | Footprint area (sf) | Storage Volume (cf) | If pond, dam height (ft) |
|--------------------------|-----------------------------|------------------------------|-----------------------|---------------------|---------------------|--------------------------|
| | | | | | | |
| Totals | | | | | | |

- 4. On-site drainage channels, outfalls and pipe systems are shown on Sheet 6.
 Pond inlet and outlet pipe systems are shown on Sheet 2/3/4.
- N/A 5. Maintenance access (road) to stormwater management facility(ies) are shown on Sheet 6.
 Type of maintenance access road surface noted on the plat is asphalt, geobuck, gravel, etc.
- 6. Landscaping and tree preservation shown in and near the stormwater management facility is shown on Sheet 6.
- 7. A 'stormwater management narrative' which contains a description of how detention and best management practices requirements will be met is provided on Sheet 6.
- 8. A description of the existing conditions of each numbered site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet 6.
- 9. A description of how the outfall requirements, including contributing drainage areas of the Public Facilities Manual will be satisfied is provided on Sheet 6.
- 10. Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheets 2 and 6.
- N/A 11. A submission waiver is requested for none.
- 12. Stormwater management is not required because there is a decrease in post-development stormwater runoff, and no adverse downstream effects over development.

GRAPHIC SCALE



STORMWATER MANAGEMENT NARRATIVE

IN THE PRE-DEVELOPMENT CONDITION DURING THE 10-YEAR STORM EVENT, APPROXIMATELY 5.8 CFS FROM THE SITE IS COLLECTED BY THE EXISTING GRATE INLET (EX. 2) IN THE SHOPPING CENTER PARKING LOT OUTSIDE OF THE PROPOSED SPECIAL EXCEPTION AREA, FROM WHICH FLOW IS DIRECTED NORTH THROUGH THE EXISTING STORM SEWER SYSTEM IN THE CROSSROADS PLACE SHOPPING CENTER.

THE POST-DEVELOPMENT LAYOUT PROPOSES TWO CURB INLETS WITHIN THE SUBJECT SITE. DURING THE 10-YEAR STORM EVENT, APPROXIMATELY 1.4 CFS FROM THE SITE WILL BE COLLECTED BY A PROPOSED CURB INLET (A2) LOCATED NEAR THE NORTHEAST LOT CORNER. APPROXIMATELY 1.7 CFS FROM THE SITE WILL BE COLLECTED BY ANOTHER PROPOSED CURB INLET (A3) LOCATED WITHIN THE PARKING LOT. THIS RUNOFF WILL BE CONVEYED VIA 15" RCP TO THE EXISTING GRATE INLET (EX.1) CONNECTING TO THE EXISTING STORM SEWER SYSTEM IN THE SHOPPING CENTER. APPROXIMATELY 1.9 CFS OF RUNOFF WILL CONTINUE TO SHEET FLOW TO THE EXISTING GRATE INLET NORTH OF THE SITE (EX.2).

THE PROPOSED DEVELOPMENT WILL RESULT IN A DECREASE IN RUNOFF FROM APPROXIMATELY 5.8 CFS IN THE PRE-DEVELOPMENT CONDITION TO APPROXIMATELY 5.0 CFS IN THE POST-DEVELOPMENT CONDITION CONVEYED TO THE EXISTING STORM SEWER SYSTEM WITHIN THE SHOPPING CENTER. REFERENCING STORM SEWER DESIGN COMPUTATIONS FOR THE 10-YEAR STORM FOR CROSSROADS PLACE PREPARED BY BOHLER ENGINEERING, P.C., DATED 01/21/00 (SITE PLAN # 9311-SP-01-2), AT THE THIRD STRUCTURE DOWNSTREAM FROM THE POINT OF CONNECTION TO THE EXISTING STORM SEWER SYSTEM (POINT OF INTEREST #1), THE AMOUNT OF RUNOFF CURRENTLY BEING COLLECTED BY THE EXISTING STORM SEWER SYSTEM IS APPROXIMATELY 41.4 CFS DURING THE 10-YEAR STORM EVENT. A TABLE SUMMARIZING THE TOTAL FLOWS FROM THE SUBJECT SITE IN THE PRE-DEVELOPMENT AND POST-DEVELOPMENT CONDITIONS FROM THE 2-YEAR AND 10-YEAR STORM EVENTS IS INCLUDED ON THIS SHEET. THE EXISTING 36" RCP RUNNING FROM THIS STRUCTURE (POINT OF INTEREST #1) AT APPROXIMATELY 2.4% SLOPE IS THEREFORE CAPABLE OF DRAINING THE APPROXIMATE 40.6 CFS WHICH WILL FLOW TO THIS STRUCTURE AS A RESULT OF THE DEVELOPMENT OF THE PROPOSED SUBJECT SITE. THE ULTIMATE RUNOFF RATES FROM THE SITE IN THE POST-DEVELOPMENT CONDITION WILL NOT BE ULTIMATELY INCREASED FROM THE RUNOFF RATES IN THE PRE-DEVELOPMENT CONDITION, THEREFORE, STORMWATER DETENTION IS NOT REQUIRED.

MAXIMUM STORMWATER RUNOFF RATES (CFS)

| | PRE-DEVELOPMENT | POST-DEVELOPMENT |
|---------------|-----------------|------------------|
| 2-YEAR STORM | 4.36 | 3.71 |
| 10-YEAR STORM | 5.82 | 4.95 |

APPROXIMATE LIMITS OF CLEARING AND GRADING
 46,541 SF; 1.07 AC

LANDS N/F PAYNE BROTHERS PROPERTIES, L.L.C.
 D.B. 10173 PG. 175
 PARCEL ID: 0621-01-0016E

PROPOSED SPECIAL EXCEPTION AREA
 = 41,044 SF/0.94 AC

PART OF LANDS N/F PAYNE BROTHERS PROPERTIES, L.L.C.
 D.B. 10173 PG. 175
 PARCEL ID: 0621-01-0016E
 AREA: 41,043 S.F. OR 0.94 AC.

LANDS N/F PAYNE BROTHERS PROPERTIES, L.L.C.
 D.B. 10173 PG. 175
 PARCEL ID: 0621-01-0016E

APPROVED SE 2/22/08 STAFF PLAN
 DATE OF (BOS) (BZA) APPROVAL 2/25/08
 SHEET 6 OF 8

PNC BANK

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PNC BANK
STORMWATER MANAGEMENT PLAN
 3516 S. JEFFERSON STREET
 FALLS CHURCH, FAIRFAX COUNTY, VIRGINIA

REVISIONS

| NO. | DATE | DESCRIPTION |
|--------|------|-------------------------|
| △ 8/29 | | PER COUNTY COMMENTS |
| △ 8/9 | | PER COUNTY COMMENTS |
| △ 7/20 | | PER COUNTY COMMENTS |
| △ 5/18 | | PER COUNTY COMMENTS |
| △ 9/7 | | REV. PER ATTY. COMMENTS |
| △ 3/7 | | REV. PER ATTY. COMMENTS |

SCALE (H): 1" = 20'
(V):

DRAWN BY: ASF
 CHECKED BY: AMB
 DATE: 08/08/05
 DRAWING #: 5052057
 CAD ID #: SE7

SHEET NUMBER
6 of 8

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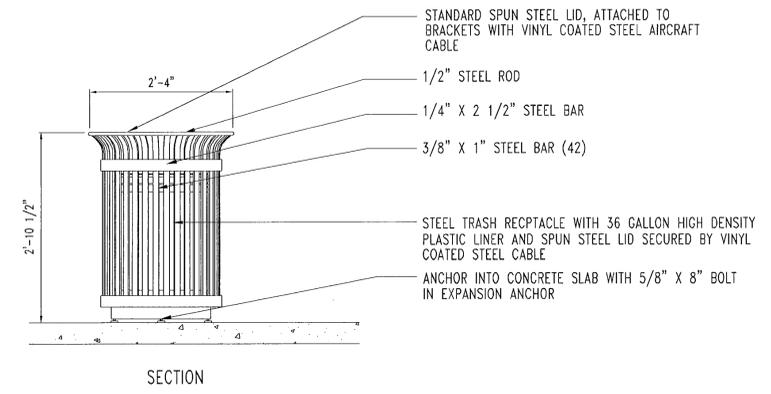
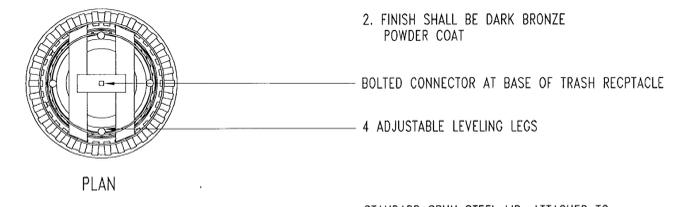
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|-----------|-------------------------|
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| 4 | PER COUNTY COMMENTS |
| 5 | PER COUNTY COMMENTS |
| 6 | REV. PER ATTY. COMMENTS |
| 7 | REV. PER ATTY. COMMENTS |

SCALE (H): N.T.S.
(V):

DRAWN BY: ASF
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 DATE: 08/08/05
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 CAD ID #: SE7

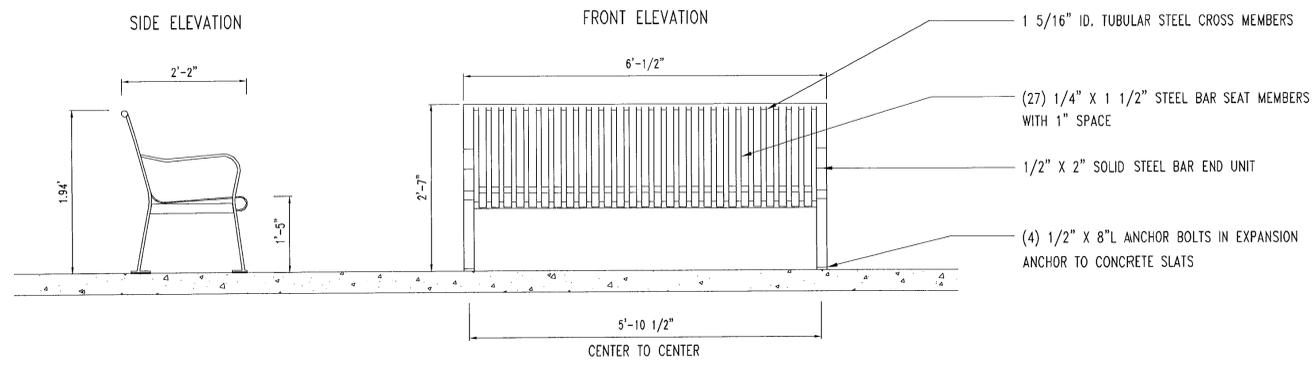
SHEET NUMBER
7 of 8

NOTES:
 1. TRASH RECEPTACLE SHALL BE S-424, BY VICTOR STANLEY OR APPROVED EQUAL
 2. FINISH SHALL BE DARK BRONZE POWDER COAT

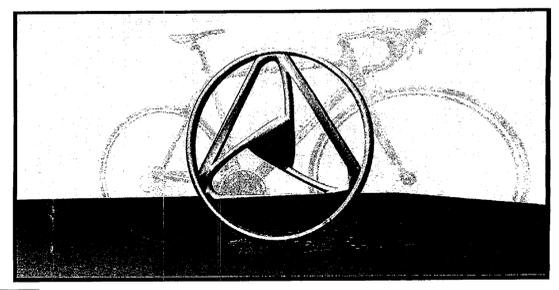


TRASH RECEPTACLE DETAIL
 SCALE: N.T.S.

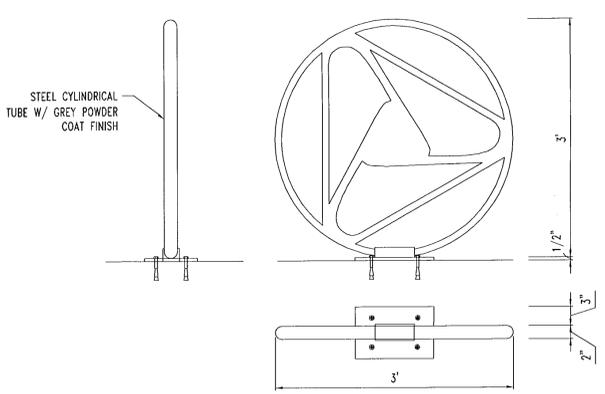
NOTES:
 1. BENCH SHALL BE 6 FT., RB 28, BY VICTOR STANLEY OR APPROVED EQUAL
 2. FINISH SHALL BE DARK BRONZE, POWDER COAT



BENCH DETAIL
 SCALE: N.T.S.



PNC BANK | PNC Bike Rack
 Rendering
 October, September 22, 2006



NOTE:
 BIKE RACK OF SIMILAR QUALITY AND STYLE MAY BE USED AN ALTERNATE DESIGN. A MINIMUM OF THREE BIKE RACKS WILL BE PROVIDED.

BIKE RACK DETAIL
 SCALE: N.T.S.

SPECIFICATIONS:

LUMINAIRE: ONE PIECE HIGH IMPACT CLEAR PATTERNED POLYCARBONATE DIFFUSER. LUMINAIRE SUPPLIED WITH SPUN ALUMINUM TOP, AND CAST FITTER.

LAMP HOLDER: MOGUL BASE PORCELAIN.

LAMP: 175 W. M.H. (BY OTHERS)

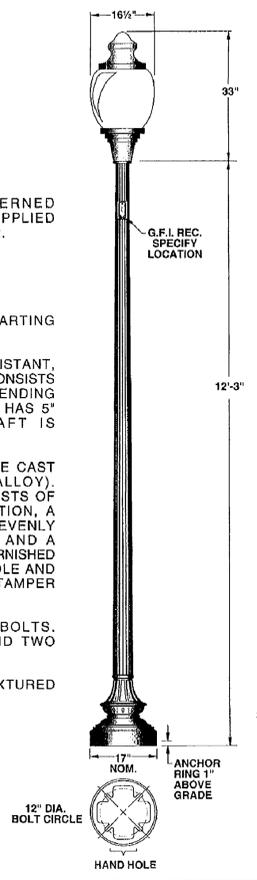
BALLAST: H.P.F./C.W.A. AUTOTRANSFORMER, -20° STARTING TEMPERATURE. (MULTI-TAP VOLTAGE)

SHAFT: ONE PIECE ROUND TAPERED, CORROSION RESISTANT, CAST ALUMINUM CONSTRUCTION. POLE SHAFT CONSISTS OF 16 EVENLY SPACED VERTICAL FLUTES EXTENDING THE ENTIRE LENGTH OF THE SHAFT. SHAFT HAS 5" BUTT, TAPERING TO 3 1/2" TOP. SHAFT IS CIRCUMFERENTIALLY WELDED TO BASE.

BASE: ONE PIECE CORROSION RESISTANT, DURABLE CAST ALUMINUM CONSTRUCTION (A366 ALUM. ALLOY). MINIMUM .275 WALL THICKNESS. BASE CONSISTS OF A 17" DIA. SMOOTH TAPERED BOTTOM SECTION, A DECORATIVE TAPERED FLUTED SECTION OF EVENLY SPACED WIDE RAISED VERTICAL FLUTES AND A DECORATIVE CAST ALUMINUM COLLAR BASE IS FURNISHED WITH A CONTOURED, FLUTED FLUSH HAND HOLE AND COVER. HAND HOLE COVER SUPPLIED WITH TAMPER RESISTANT HARDWARE.

ANCHORAGE: (4) 3/4"x24" FULLY GALVANIZED ANCHOR BOLTS. EACH BOLT SUPPLIED WITH TWO NUTS AND TWO WASHERS.

FINISH: ELECTROSTATICALLY APPLIED BAKED ON TEXTURED ACRYLIC ENAMEL. FINISH SHALL BE BLACK.



NOTE:
 SITE LIGHTING WILL CONFORM TO PART 9 OF ARTICLE 16 OF THE ZONING ORDINANCE.

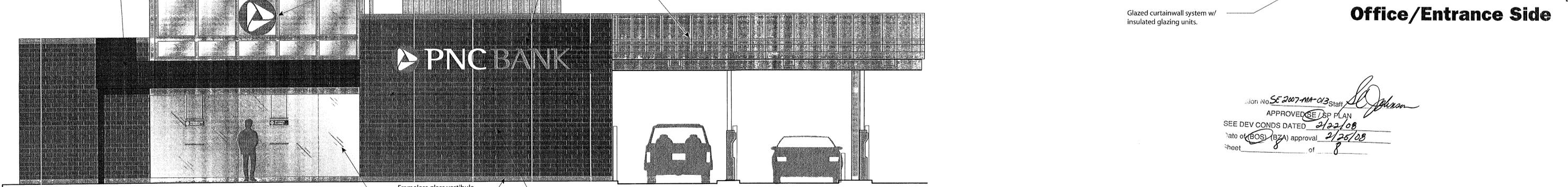
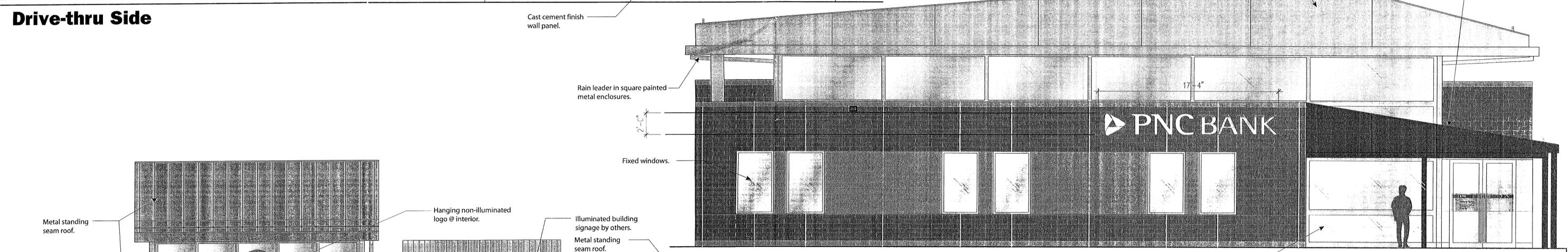
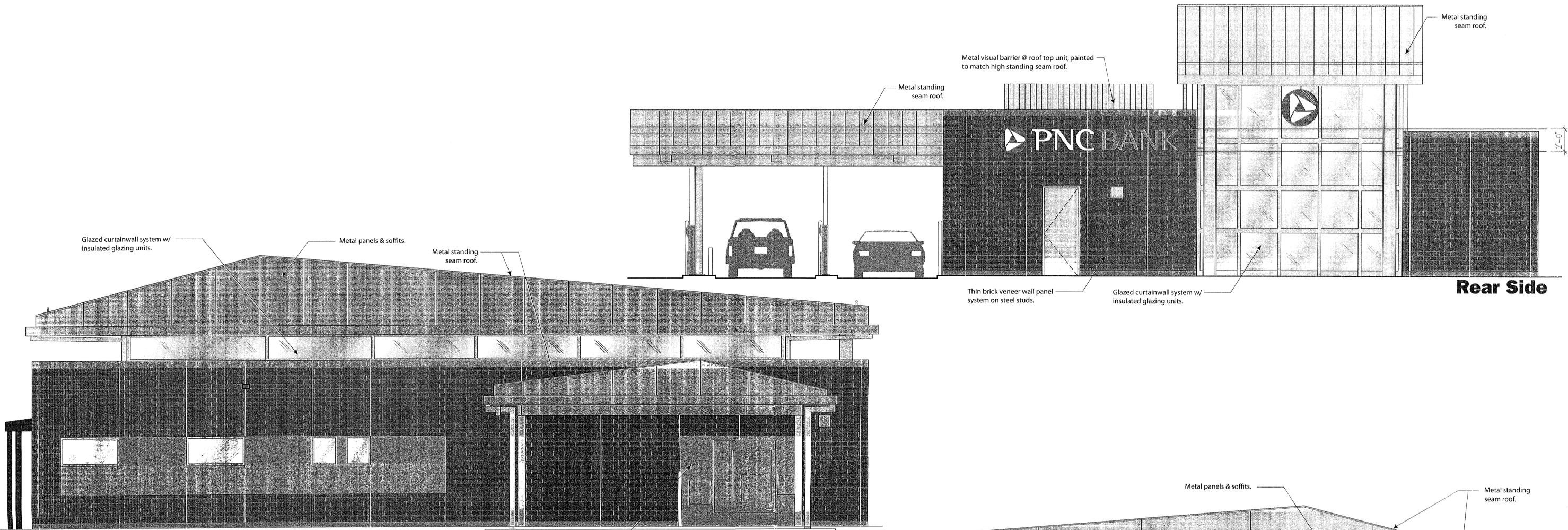
ACORN LIGHT DETAIL
 SCALE: N.T.S.

MISS UTILITY
 BEFORE YOU DIG CALL 1-800-452-2900
 PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE

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Project No. SE 2007-11A-03 Staff [Signature]
 APPROVED [Signature] SE/SP PLAN
 SEE DEV CONDS DATED 2/22/08
 Date of (BOS) (BZA) approval 2/25/08
 Sheet 8 of 8