

ANDERSON PROPERTY

HUNTER MILL DISTRICT
FAIRFAX, VIRGINIA
SPECIAL EXCEPTION PLAT
PLAN NUMBER: SE-2008-HM-023

HUNTER MILL DISTRICT
FAIRFAX COUNTY, VIRGINIA

APRIL 16, 2008

(REVISED JUNE 18, 2008)
(REVISED AUGUST 14, 2008)
(REVISED SEPTEMBER 16, 2008)
(REVISED OCTOBER 10, 2008)
(REVISED OCTOBER 31, 2008)

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APPLICANT/OWNER

KEITH & STEPHANIE ANDERSON
1203 BISHOPSGATE WAY
RESTON, VIRGINIA 20194

ATTORNEY

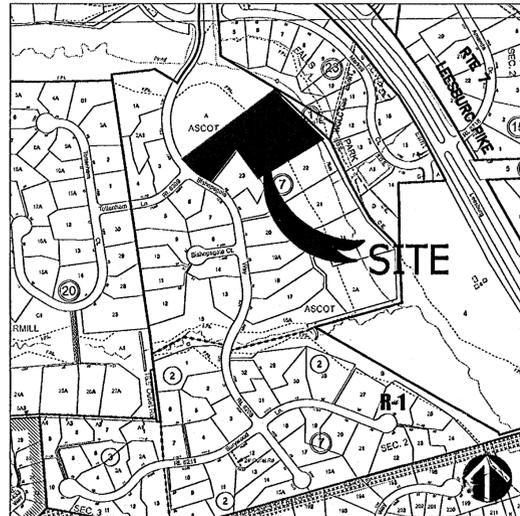
SACK, HARRIS & MARTIN
8270 GREENSBORO DRIVE
SUITE 810
MCLEAN, VIRGINIA 22102
CONTACT: KEITH C. MARTIN
(703) 883-0102

ENGINEER/LANDSCAPE ARCHITECT

VIKA INC.
8180 GREENSBORO DRIVE
SUITE 200
MCLEAN, VIRGINIA 22102
CONTACT: BOB COCHRAN
(703) 442-7800

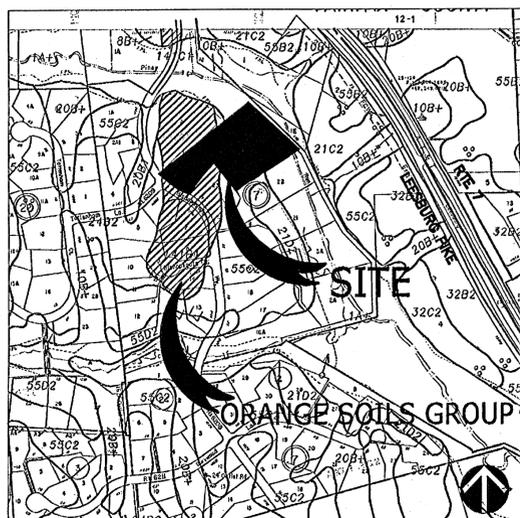
ENVIRONMENTAL CONSULTANT

WETLAND STUDIES AND SOLUTIONS, INC.
5300 WELLINGTON BRANCH DRIVE
SUITE 100
GAINESVILLE, VIRGINIA 20155
CONTACT: SEAN SIPPLE
(703) 679-5600



ZONING & VICINITY MAP
SCALE: 1"=500'

TM NO. 12-3-07-24A, 12-3-07-4A



SOILS MAP
SCALE: 1"=500'

TM NO. 12-3-07-24A, 12-3-07-4A



Application No SE-2008-HM-023 Staff S.J.
Approved (SE) (SF) Plan

See Dev Conds Dated Jan 8, 2009
Date of (BOS) (BZA) Approval Feb 9, 2009

Sheet / of 10

RECEIVED
Department of Planning & Zoning
OCT 31 2008
Zoning Evaluation Division

NOTES

- THE PROPERTY THAT IS THE SUBJECT OF THE SPECIAL EXCEPTION IS IDENTIFIED ON THE FAIRFAX COUNTY TAX ASSESSMENT MAP AS 0123-07-0024A AND 0123-07-0004A. THE PROPERTY IS OWNED BY KEITH J. ANDERSON AND STEPHANIE SHUM ANDERSON BY DEED BOOK 17706 AT PG. 1207 AND IS CURRENTLY ZONED R-1. THIS APPLICATION IS FOR RELIEF FROM MINIMUM LOT WIDTH REQUIREMENTS.
- THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO PLAT BEARINGS FROM DB 5748 PG 0097. THE TOPOGRAPHY SHOWN HEREON HAS BEEN TAKEN FROM A FIELD RUN SURVEY BY VIKI, INC. THE CONTOUR INTERVAL IS TWO (2) FEET. THE BOUNDARY INFORMATION SHOWN HEREON HAS BEEN TAKEN FROM A FIELD RUN SURVEY BY VIKI, INC.
- THE PROPERTY IS LOCATED ON LAND UNIT UP5 - RESTON COMMUNITY PLANNING SECTOR OF THE UPPER POTOMAC PLANNING DISTRICT OF THE FAIRFAX COUNTY COMPREHENSIVE PLAN.
- PUBLIC WATER AND SANITARY SEWER ARE AVAILABLE TO SERVE THE DEVELOPMENT. STORMWATER MANAGEMENT SHALL BE PROVIDED AS DESCRIBED IN THE SWM/BMP NARRATIVES. SWM FACILITY ACCESS EASEMENT(S) LOCATION(S) SUBJECT TO FINAL ENGINEERING.
- TO THE BEST OF OUR KNOWLEDGE, NO GRAVE SITES OR STRUCTURES MARKING A BURIAL SITE ARE PRESENT ON THE SUBJECT PROPERTY. TO THE BEST OF OUR KNOWLEDGE, NO HAZARDOUS OR TOXIC SUBSTANCES ARE KNOWN TO EXIST ON THE SUBJECT PROPERTY.
- THE SINGLE FAMILY DWELLING TO REMAIN ON THE PROPERTY WAS CONSTRUCTED IN APPROXIMATELY 1983. TWO EXISTING STABLE BUILDINGS ARE TO BE REMOVED AS ILLUSTRATED ON THE SPECIAL EXCEPTION PLAT.
- THE ENTIRE SUBJECT PROPERTY IS LOCATED WITHIN AN RMA ZONE. FLOODPLAIN AND RPA CURRENTLY EXIST ON THIS PROPERTY. THE RPA HAS BEEN FIELD VERIFIED BY WSSI PLAN #21632.01. SEE SHEET 10 FOR AN ALTERNATIVE SPECIAL EXCEPTION PLAT, WHICH INCLUDES THE COUNTY MAPPED RPA LINE, THAT WOULD BE IMPLEMENTED IN THE EVENT THE FIELD VERIFIED RPA (WSSI PLAN #21632.01) IS NOT APPROVED BY DPWES.
- THERE ARE NO PROPOSED TRAILS INDICATED PER THE FAIRFAX COUNTY COMPREHENSIVE PLAN.
- FINAL LIMITS OF CLEARING AND GRADING WILL BE DETERMINED WITH THE LOT GRADING PLAN. THEY SHALL GENERALLY CONFORM TO WHAT IS SHOWN ON THIS PLAT. THE STABLE IN THE FLOODPLAIN SHALL BE REMOVED WITH A MINIMAL AMOUNT OF DISTURBANCE. DEVELOPMENT WILL COMMENCE UPON COMPLETION OF REQUIRED FAIRFAX COUNTY PLAN PROCESSING AND APPROVALS.
- ANY WORK DONE WITHIN VDOT RIGHT-OF-WAY IS SUBJECT TO VDOT APPROVAL.
- TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DEVELOPMENT CONFORMS TO THE PROVISIONS OF ALL APPLICABLE STANDARDS AND OF THE ADOPTED COMPREHENSIVE PLAN.
- MINOR MODIFICATIONS MAY BE MADE TO THE SPECIAL EXCEPTION PLAT PER SECTION 18-204 OF THE ZONING ORDINANCE.
- THE PROPOSED FOOTPRINTS REPRESENTED HEREON ARE APPROXIMATE AND MAY BE INCREASED OR DECREASED IN SIZE. FINAL BUILDING FOOTPRINTS WILL BE PROVIDED UPON SUBDIVISION PLAT AND/OR FINAL GRADING PLAN. THE APPLICANT RESERVES THE RIGHT TO CONSTRUCT IMPROVEMENTS NOT SHOWN HEREON WHICH ARE CONSISTENT WITH THE R-1 ZONE, INCLUDING ACCESSORY STRUCTURES.
- ADDITIONAL SITE FEATURES SUCH AS DECKS, BAY WINDOWS, GAZEBOS, FENCING, RETAINING WALLS, CORNICES, TRELLISES, ENTRANCE SIGNS, LIGHTS AND/OR WALLS NOT REPRESENTED HEREON MAY BE PROVIDED IN THE AREA INDICATED AROUND EACH HOUSE AS SHOWN ON THE SE PLAT.
- THE PROPOSED DEVELOPMENT ON THE SUBJECT PROPERTY WILL NOT POSE ANY ADVERSE EFFECT ON ADJACENT OR NEIGHBORING PROPERTIES. THERE ARE NO SCENIC ASSETS OR NATURAL FEATURES ON THIS SITE WORTHY OF DELINEATION.
- THE PROJECT WILL MEET THE PARKING REQUIREMENTS SET FORTH IN THE R-1 ZONE PER ARTICLE 11 OF THE CURRENT ZONING ORDINANCE.
- THERE ARE NO EXISTING UTILITY EASEMENTS HAVING A WIDTH OF TWENTY-FIVE (25) FEET OR MORE, NOR ANY MAJOR UNDERGROUND UTILITY EASEMENTS LOCATED ON THIS SITE.
- SIGNAGE MAY BE PROVIDED AND WILL BE IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 12 OF THE ZONING ORDINANCE UNLESS WAIVED OR MODIFIED BY THE BOARD.
- BOTH PROPOSED LOTS MEET THE SHAPE FACTOR LIMITATIONS FOR LOTS IN THE R-1 DISTRICT OF $SF=(P^2)/A$.
- APPLICABLE PORTION OF PROPOSED DRIVEWAY SHALL BE ESTABLISHED IN A JOINT-ACCESS EASEMENT PER FAIRFAX COUNTY PUBLIC FACILITIES MANUAL.
- THERE ARE NO SLOPES ADJACENT TO FLOODPLAINS IN EXCESS OF 15%.
- SEE SHEET 6 FOR EXISTING SUBDIVISION DENSITY CALCULATIONS AND COMPREHENSIVE PLAN ANALYSIS.
- FOR TREE CANOPY COVERAGE TABULATIONS SEE SHEET 3. SEE SHEET 8 FOR CONCEPTUAL LANDSCAPE PLAN.
- IF REQUIRED, ARCHAEOLOGICAL SURVEYS SHALL BE PROVIDED AT FINAL ENGINEERING TO THE CULTURAL RESOURCE MANAGEMENT AND PROTECTION SECTION OF THE FAIRFAX COUNTY PARK AUTHORITY. AREA OF THE SURVEY(S) SHALL BE LIMITED TO THOSE AREAS WITHIN THE LIMITS OF CLEARING AND GRADING.
- AS ILLUSTRATED ON SHEET 7, THE SHARED PORTION OF DRIVEWAY SHALL BE CONSTRUCTED OF ASPHALT WHILE THE INDIVIDUAL PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED OF PERVIOUS MATERIALS TO BE DETERMINED AT LOT GRADING / FINAL ENGINEERING.
- VERTICAL AND HORIZONTAL SITE DISTANCE CALCULATIONS SHALL BE PROVIDED AT LOT GRADING / FINAL ENGINEERING.

WAIVERS/MODIFICATIONS REQUESTED

- SEE SHEET 7.

ABBREVIATIONS

- EX. EXISTING
- CONC. CONCRETE
- C.B. CATCH BASIN
- C&G CURB AND GUTTER
- INV. INVERT OF PIPE
- S/W SIDEWALK
- BLDG. BUILDING
- STY. STORY
- D/MH STORM DRAIN MANHOLE
- S/MH SANITARY SEWER MANHOLE
- TRN ELECTRICAL TRANSFORMER
- DB. DEED BOOK
- PG. PAGE
- ASPH. ASPHALT
- FF. FINISHED FLOOR ELEVATION
- ESMT. EASEMENT
- RCP REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE
- SAN. SEW. SANITARY SEWER
- STM. DRN. STORM DRAIN
- BRL. BUILDING RESTRICTION LINE
- R/W RIGHT-OF-WAY
- RTE. ROUTE
- REC. RECORD DIMENSION
- MEAS. MEASURED DIMENSION
- P.U.E. PERMANENT UNDERGROUND
- CL. CLEAN OUT

SYMBOLS

- ⊕ STORM DRAIN MANHOLE
- ⊕ ELECTRICAL MANHOLE
- ⊕ FIRE HYDRANT
- ⊕ GAS MANHOLE
- ⊕ OUT POLE
- ⊕ PHONE MANHOLE
- ⊕ UTILITY POLE
- ⊕ SANITARY MANHOLE
- ⊕ WATER METER
- ⊕ WATER MANHOLE
- ⊕ WATER VALVE
- ⊕ CATCH BASIN RIM
- ⊕ SIGN POST
- ⊕ UTILITY MANHOLE

SITE TABULATIONS

EXISTING / PROPOSED ZONING = R-1
TOTAL SITE AREA = 175,324 S.F. OR 4.02488 AC.

	REQUIRED	PROVIDED LOT 1	PROVIDED LOT 2
LOT AREA	36,000 S.F.	39,864 S.F.±	136,460 S.F.±
LOT WIDTH	150'	172'±	6'±
BUILDING HEIGHT	≤ 35'	35'	35'
SHAPE FACTOR	≤ 35	16.8	29.6
FRONT YARD	40'	187'±	53'±
REAR YARD	25'	34.8'±	219'±
SIDE YARD	20'	20'±/37.9'±	117'±/133'±

PARKING REQUIRED/PROVIDED = 2 PER UNIT

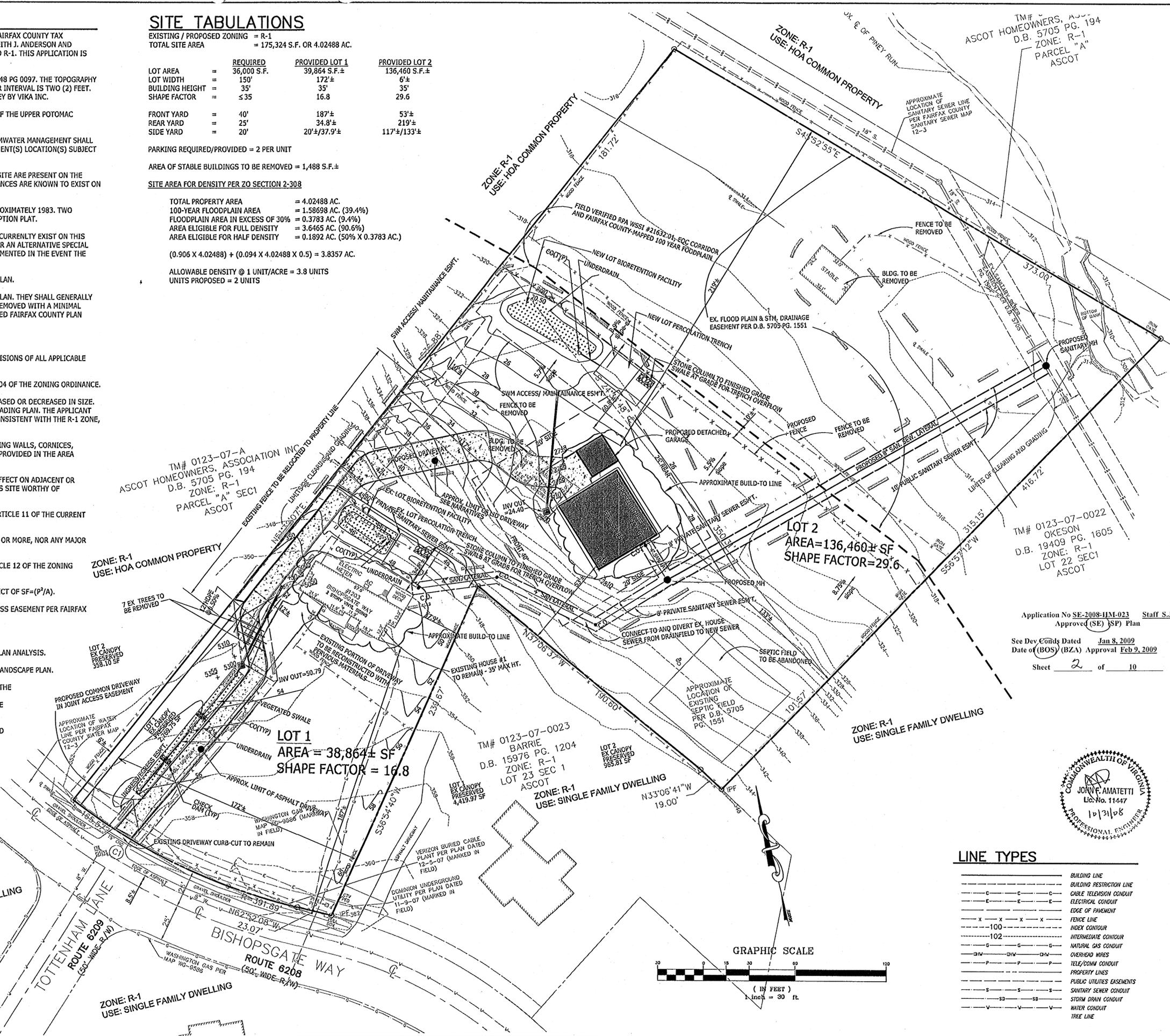
AREA OF STABLE BUILDINGS TO BE REMOVED = 1,488 S.F.±

SITE AREA FOR DENSITY PER ZO SECTION 2-308

TOTAL PROPERTY AREA	= 4.02488 AC.
100-YEAR FLOODPLAIN AREA	= 1.58698 AC. (39.4%)
FLOODPLAIN AREA IN EXCESS OF 30%	= 0.3783 AC. (9.4%)
AREA ELIGIBLE FOR FULL DENSITY	= 3.6465 AC. (90.6%)
AREA ELIGIBLE FOR HALF DENSITY	= 0.1892 AC. (50% X 0.3783 AC.)

$(0.906 \times 4.02488) + (0.094 \times 4.02488 \times 0.5) = 3.8357 \text{ AC.}$

ALLOWABLE DENSITY @ 1 UNIT/ACRE = 3.8 UNITS
UNITS PROPOSED = 2 UNITS



Application No SE-2008-IJM-023 Staff S.J.
Approved (SE) SPJ Plan
See Dev. Conds Dated Jan 8, 2009
Date of (BOS) (BZA) Approval Feb 9, 2009
Sheet 2 of 10



VIKI
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES
VIKI, INCORPORATED
8180 GREENSBORO DRIVE, SUITE 200 ■ McLEAN, VIRGINIA 22102
(703)442-7800 ■ FAX (703)761-2787
McLEAN, VA ■ GERMANTOWN, MD

ANDERSON PROPERTY
ASCOT LOT 24-A & 4A
HUNTER MILL DISTRICT
FAIRFAX COUNTY, VIRGINIA

SPECIAL EXCEPTION PLAT

VIKI REVISIONS

6-18-08
8-14-08
9-16-08
10-10-08
10-31-08

DATE: 4-16-08
DES. RO/JA DWN. BC
SCALE: 1"=30'
PROJECT/FILE NO. 7129
SHEET NO. 2 OF 10

EXISTING VEGETATION TABLE

EVM INDEX	COVER TYPE	SUCCESSIONAL STAGE	AREA	HEALTH/CONDITION	PRIMARY SPECIES	COMMENTS
A	OLD FIELD	CLIMAX	14,152.00 SF	GOOD HEALTH/LOW MAINTAINED	(SEE TYPE COVERS)	THESE EXISTING TREES APPEAR TO BE NATIVE PLANT MATERIAL THAT WENT TO SEED WHEN THE PROPERTY WAS AN AGRICULTURE USE, THEN AS THE USE CHANGED THE RESIDENCE WAS DEVELOPED THESE TREES HAD BEEN PRESERVED.
B	DEVELOPED	N/A	5,957.00 SF	MAINTAINED	(SEE TYPE COVERS)	BUILDINGS, DRIVEWAY, OUT-BUILDINGS, SIDEWALK
C	MAINTAINED LAWN AND LANDSCAPE	N/A	24,873.00 SF	GOOD HEALTH/MAINTAINED	(SEE TYPE COVERS)	MAINTAINED RESIDENTIAL LAWN
D	OPEN FIELD LOW MAINTAINED	N/A	130,342.00 SF	MAINTAINED	(SEE TYPE COVERS)	LOW MAINTAINED GRASS MEADOW THAT WAS PREVIOUSLY USED FOR GRAZING AGRICULTURE PASTURE.
TOTAL AREA			175,324.00 SF 4.0249 AC			

VEGETATION COVER TYPES

"A" PRIMARY COVER

- ACER - MAPLE
- PRUNUS - CHERRY
- PINUS - PINE
- QUERCUS - OAK
- FRAXINUS - ASH
- PLATANUS - SYCAMORE

"B" PRIMARY COVER

- EXISTING BUILDINGS
- VEHICLE DRIVEWAY

"C" PRIMARY COVER

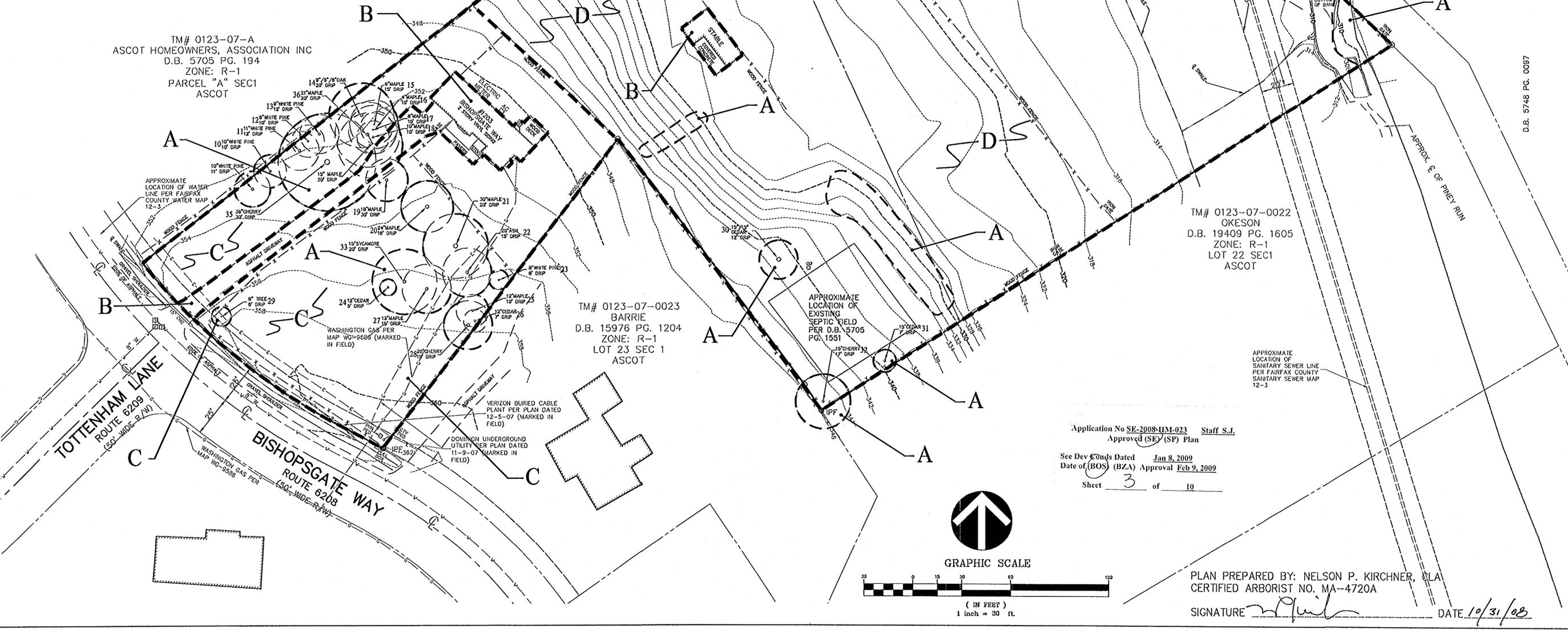
- OPEN TURF/GRASS AREA FOR RECREATION AND LAWN AREA
- ORNAMENTAL TREES
CUPRESSUS - CYPRESS
NANDINA
PICEA - SPRUCE

"D" PRIMARY COVER

- LOW MAINTAINED MEADOW PREVIOUSLY USED FOR LAWN AREA

FAIRFAX COUNTY TREE COVER CALCULATIONS

TREE COVER FOR LOTS 1 & 2	LOT 1	LOT 2
GROSS SITE AREA:	38,864 SF +/-	136,460 SF +/-
MODIFICATION: (FLOODPLAIN LOT 2) (-)	0 SF	69,128 SF
ADJUSTED GROSS SITE AREA: (=)	38,864 SF +/-	67,331 SF +/-
REQUIRED COVERAGE PER R-1 ZONING DISTRICT: (X)	20%	20%
REQUIRED COVERAGE FOR SITE: (=)	7,773 SF +/-	13,466 SF +/-
EXISTING TREE CANOPY PRESERVED: (=)	7,190 SF +/-	1,324 SF +/-
TREE COVER TO BE PLANTED: (=)	583 SF +/-	12,142 SF +/-
TREE COVER TO BE PROVIDED: (=)	7,773 SF +/-	13,466 SF +/-
TOTAL TREE COVER PROVIDED: (=)	20%	20%



VKA
 ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES
 VKA INCORPORATED
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 McLEAN, VA ■ GERMANTOWN, MD

LOT 24A & OUTLOT 4
 ASCOT
 DEED BOOK 5748 PAGE 0097
 HUNTER MILL DISTRICT
 FAIRFAX COUNTY, VIRGINIA

EXISTING VEGETATION MAP

VKA REVISIONS

6-18-08
8-14-08
9-16-08
10-10-08
10-31-08

DATE: 4-18-08
 DES. HPK DWN. RWS
 SCALE: 1"=30'
 PROJECT/FILE NO. 7129
 SHEET NO. 3 OF 10

Application No SE-2008-UM-023 Staff S.J.
 Approved (SE) (SP) Plan
 See Dev Conds Dated Jan 8, 2009
 Date of (BOS) (BZA) Approval Feb 9, 2009
 Sheet 3 of 10

PLAN PREPARED BY: NELSON P. KIRCHNER, CLA
 CERTIFIED ARBORIST NO. MA-4720A

SIGNATURE *N. Kirchner* DATE 10/31/08



ASCOT SUBDIVISION - SCALE: 1"=500'

COMPREHENSIVE PLAN ANALYSIS EXCLUSIVE OF ROAD DEDICATION

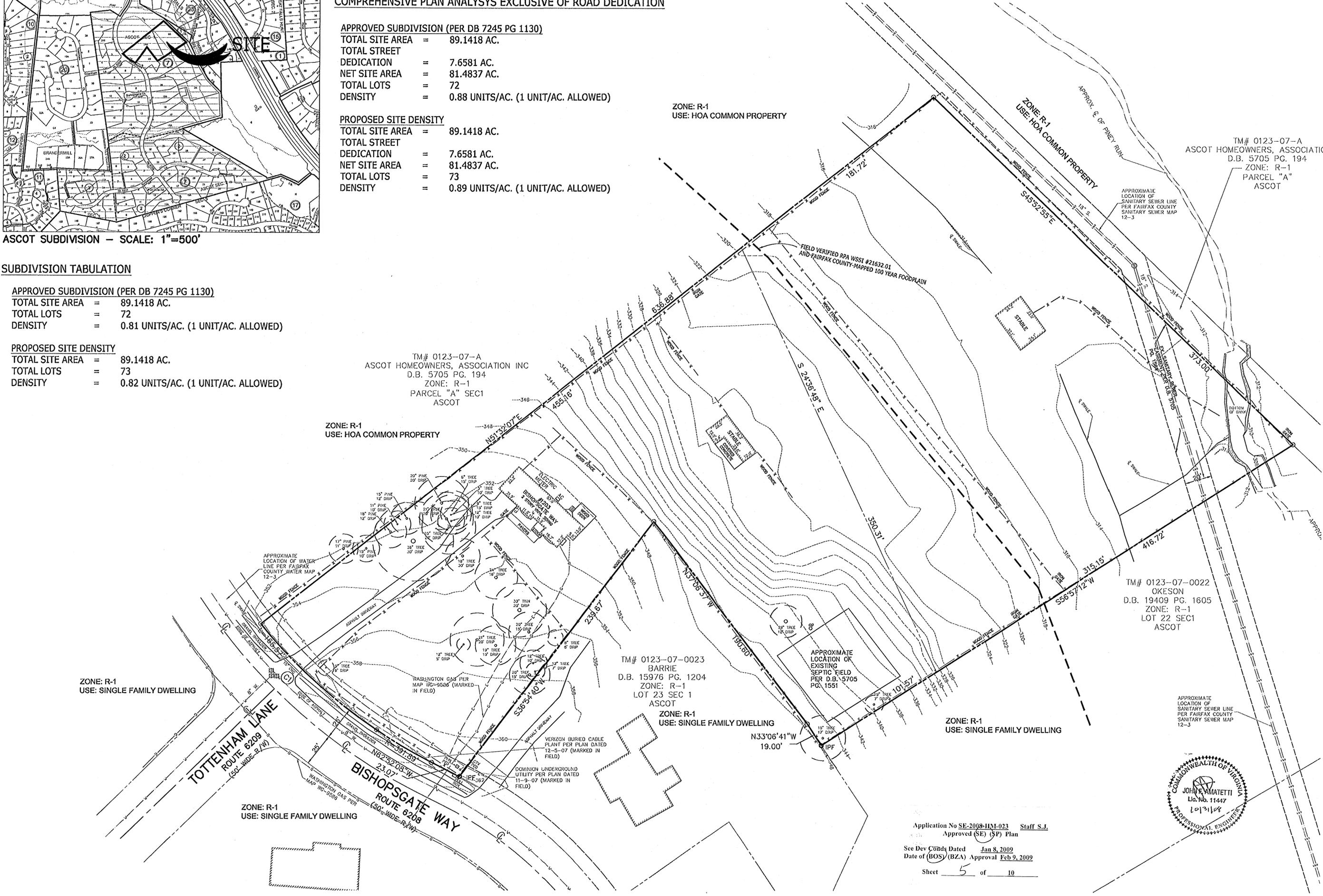
APPROVED SUBDIVISION (PER DB 7245 PG 1130)
 TOTAL SITE AREA = 89.1418 AC.
 TOTAL STREET DEDICATION = 7.6581 AC.
 NET SITE AREA = 81.4837 AC.
 TOTAL LOTS = 72
 DENSITY = 0.88 UNITS/AC. (1 UNIT/AC. ALLOWED)

PROPOSED SITE DENSITY
 TOTAL SITE AREA = 89.1418 AC.
 TOTAL STREET DEDICATION = 7.6581 AC.
 NET SITE AREA = 81.4837 AC.
 TOTAL LOTS = 73
 DENSITY = 0.89 UNITS/AC. (1 UNIT/AC. ALLOWED)

SUBDIVISION TABULATION

APPROVED SUBDIVISION (PER DB 7245 PG 1130)
 TOTAL SITE AREA = 89.1418 AC.
 TOTAL LOTS = 72
 DENSITY = 0.81 UNITS/AC. (1 UNIT/AC. ALLOWED)

PROPOSED SITE DENSITY
 TOTAL SITE AREA = 89.1418 AC.
 TOTAL LOTS = 73
 DENSITY = 0.82 UNITS/AC. (1 UNIT/AC. ALLOWED)



TM# 0123-07-A
 ASCOT HOMEOWNERS, ASSOCIATION INC
 D.B. 5705 PG. 194
 ZONE: R-1
 PARCEL "A" SEC1
 ASCOT

ZONE: R-1
 USE: HOA COMMON PROPERTY

TM# 0123-07-0023
 BARRIE
 D.B. 15976 PG. 1204
 ZONE: R-1
 LOT 23 SEC 1
 ASCOT

ZONE: R-1
 USE: SINGLE FAMILY DWELLING

TM# 0123-07-0022
 OKESON
 D.B. 19409 PG. 1605
 ZONE: R-1
 LOT 22 SEC1
 ASCOT

ZONE: R-1
 USE: SINGLE FAMILY DWELLING

ZONE: R-1
 USE: SINGLE FAMILY DWELLING

ZONE: R-1
 USE: SINGLE FAMILY DWELLING



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 Sheet 5 of 10

VIKA
 ENGINEERS PLANNERS LANDSCAPE ARCHITECTS SURVEYORS GPS SERVICES
 VIKA INCORPORATED
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 (703) 442-7800 ■ FAX (703) 761-2767
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ANDERSON PROPERTY
 ASCOT LOT 24-A & 4A
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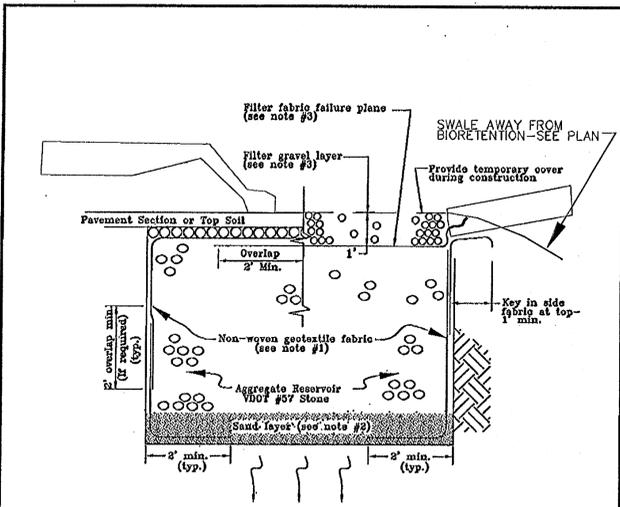
EXISTING CONDITIONS & SUBDIVISION TABULATIONS

VIKA REVISIONS

6-18-08
8-14-08
9-16-08
10-10-08
10-31-08

DATE: 4-16-08
 DES. RO/JA DWN. BC
 SCALE: 1"=30'
 PROJECT/FILE NO. 7129
 SHEET NO. 5 OF 10

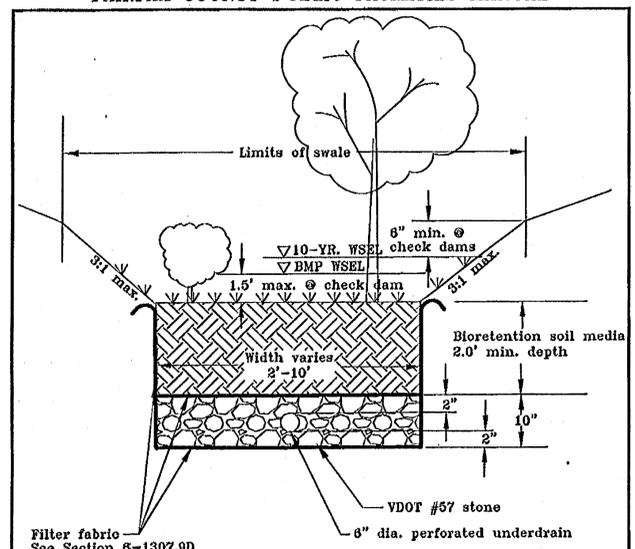
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- NOTES:**
- Use non-woven geotextile fabric with AOS of 70-100 US Sieve or 0.2 mm - 0.15 mm as determined by ASTM D4751 and a trapezoidal tensile strength of 45 lb. or 0.9 kN as determined by ASTM D4633.
 - An 8-in. deep bottom sand layer (VDOT Fine Aggregate, Grading A or B) is required.
 - For an aggregate surface trench, filter fabric shall surround all of the aggregate fill material except the top one foot. A separate piece of fabric shall be used for the top layer to act as a failure plane. This top piece can then be removed and replaced upon clogging.
 - Geotextile fabric shall not be exposed to direct sunlight for more than 24 hours prior to installation.

Ref. Sec. 6-1303.7B, 6-1303.10J, 6-1303	PERCOLATION TRENCH	PLATE NO.	STD. NO.
Rev. 7-08		41A-6	

1 PERCOLATION TRENCH DETAIL
NOT TO SCALE



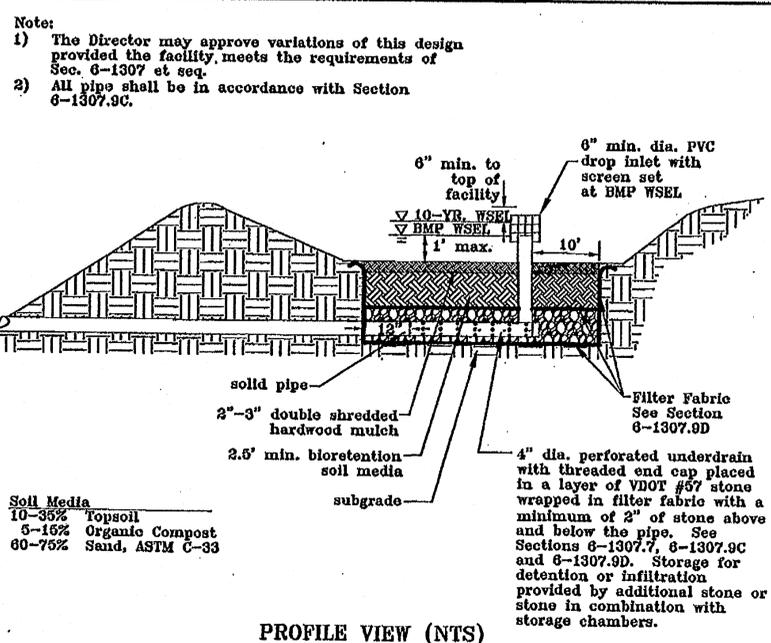
- Notes:**
- Side slopes of the facility excavated below ground may be as steep as the in situ soils will permit. All excavation must be performed in accordance with VOSH requirements.
 - All pipe shall be in accordance with Section 6-1307.9C.

Ref. Sec. 6-1308 et seq.	VEGETATED SWALE WITH CHECK DAMS	PLATE NO.	STD. NO.
Rev. 3-07		87-6	

2 VEGETATED SWALE DETAIL
NOT TO SCALE

Ref. Sec. 6-1307 et seq.
Rev. 3-07

BIORETENTION FILTER OR BASIN (OUTFALL DAYLIGHTED)
PLATE NO. 85-6
STD. NO.



3 BIORETENTION FILTER DETAIL
NOT TO SCALE

Vegetated Swale Computations (Volume Based)

Swale #	Depth Treated (in)	WQv (cu. ft)	CD Height (ft)	S (ft/ft)	L (ft)	Spacing (ft)	# of CD	Vs (cu. ft)	Ax (sq. ft)	b (ft)	Z	Area (sq. ft)
1	1	123.33	1.00	0.0300	33.33	38.33	2	61.67	3.70	2.50	3	5.5

Provided Cross Sectional Area is Sufficient? Yes

* Assumes Trapezoidal Channel

WQv = Water Quality Volume
CD Height = Check Dam Height
S = Channel Slope
L = Length of Channel Segment Between Check Dams
Spacing = Distance between Check Dams (L + 5 to ensure ponded water does not reach toe of upstream Check Dam)
of CD = Number of Check Dams
Vs = WQv per segment
Ax = Required Cross Sectional Area
b = Bottom Width of Channel
Z = Side Slopes of Channel (Z:1)
Area = Actual Area for given channel geometry

BIORETENTION COMPUTATIONS

EXISTING LOT

NEW LOT

Percolation Trench Computations

Facility	10-yr, 2-hr Vd (cu. ft)	Infiltration Rate (in/hr)	Trench Area (sq. ft)	2-hr Volume Infiltrated (cu. ft)	Void Ratio	Required Storage (cu. ft)	Required Storage Media (cu. ft)	Required Trench Depth
Prop Lot	1440	0.2	720	24.00	0.40	1418.00	3540.00	4.92
Ex. Lot	1160	0.2	600	20.00	0.40	1140.00	2850.00	4.75

Facility #	Ex. Unit
WQv (cf)	435.60
Dtreat (in)	1.00
IAT (Ac)	0.12
Af req'd (sq. ft)	653.40
hf (ft)	0.67
tf (hrs)	9.32
df (ft)	2.50
kf (in/hr)	1.50
Vs (cu. ft)	N/A
ks (in/hr)	0.52
As (sq. ft)	N/A
Af (sq. ft)	330.00
Qu (cfs)	Unrestricted
Detention (Y/N)	N
Vds (cu. ft)	N/A
dg (ft)	N/A
n (Unitless)	N/A
td (hr)	N/A

Variable Definitions:
Dtreat = Runoff Depth Treated
IAT = Impervious Area Treated
Af req'd = Required Filter Area
hf = Max Ponding Depth - 1' Max
tf = Filter Drain Time - 24 hr Max
df = Filter Depth
kf = Design Coefficient of Permeability
Vs = Volume of Storage Required
ks = Soil Coefficient of Permeability
As = Area of soil bed
Af = Area of filter
Qu = Underdrain Outflow
WQv = Water Quality Volume
Vds = Design Storm Volume
dg = Storage Layer Depth
td = Facility Drain Time - 48 hr Max
n = Detention Media Porosity

Required Filter Area Met? No
Maximum Filter Time Met? Yes
Maximum Facility Time Met? N/A
Max Ponding Depth Met? Yes
Min. Filter Depth Met? Yes

Facility #	New Unit
WQv (cf)	544.50
Dtreat (in)	1.00
IAT (Ac)	0.15
Af req'd (sq. ft)	816.75
hf (ft)	0.67
tf (hrs)	8.70
df (ft)	2.50
kf (in/hr)	1.50
Vs (cu. ft)	N/A
ks (in/hr)	0.52
As (sq. ft)	N/A
Af (sq. ft)	442.00
Qu (cfs)	Unrestricted
Detention (Y/N)	N
Vds (cu. ft)	N/A
dg (ft)	N/A
n (Unitless)	N/A
td (hr)	N/A

Variable Definitions:
Dtreat = Runoff Depth Treated
IAT = Impervious Area Treated
Af req'd = Required Filter Area
hf = Max Ponding Depth - 1' Max
tf = Filter Drain Time - 24 hr Max
df = Filter Depth
kf = Design Coefficient of Permeability
Vs = Volume of Storage Required
ks = Soil Coefficient of Permeability
As = Area of soil bed
Af = Area of filter
Qu = Underdrain Outflow
WQv = Water Quality Volume
Vds = Design Storm Volume
dg = Storage Layer Depth
td = Facility Drain Time - 48 hr Max
n = Detention Media Porosity

Required Filter Area Met? No
Maximum Filter Time Met? Yes
Maximum Facility Time Met? N/A
Max Ponding Depth Met? Yes
Min. Filter Depth Met? Yes

NOTE: WATER QUALITY FACILITIES ON THIS PAGE DESIGNED TO TREAT FIRST 1" OF RUNOFF - THIS TRANSLATES TO A PHOSPHOROUS REMOVAL EFFICIENCY OF 65%

Application No SE-2008-HM-023 Staff S.J.
Approved (SE)(SP) Plan
See Dev Conds Dated Jan 8, 2009
Date of (BOS) (BZA) Approval Feb 9, 2009
Sheet 6 of 10



NO.	DESCRIPTION	REVIEW BY	APPROVED	DATE

REVISION APPROVED BY:
DIVISION OF DESIGN REVIEW

BEST MANAGEMENT PRACTICES NARRATIVE
 BEST MANAGEMENT PRACTICES (BMP) FOR THE SUBJECT SITE WILL BE ACHIEVED THROUGH A VARIETY OF MEASURES - BOTH STRUCTURAL AND NON-STRUCTURAL. PRESENTED BELOW IS A DISCUSSION OF EACH MEASURE PROPOSED ON THE SITE PER THE SUBJECT APPLICATION.

THE FIRST BMP FACILITIES TO BE CONSIDERED ARE THE BIORETENTION FACILITIES. EACH FACILITY IS DESIGNED TO TREAT THE FIRST 1" OF RUNOFF FROM THE AREA THAT DRAINS TO SAID FACILITY. THE TWO (2) BIORETENTION FACILITIES ARE LOCATED SUCH THAT EACH ONE PROVIDES TREATMENT FOR ONE OF THE LOTS PROPOSED ON THE SUBJECT APPLICATION.

THE NEXT FACILITY TO CONSIDER IS THE VEGETATED SWALE LOCATED ADJACENT TO THE DRIVEWAY NEAR THE ENTRANCE FOR THE SUBJECT SITE. THIS SWALE WAS DESIGNED WITH A VOLUME BASED SCENARIO AND TREATS THE FIRST 1" OF RUNOFF FROM ITS CONTRIBUTING DRAINAGE AREA. THE VEGETATED SWALE TO BE USED IN THIS LOCATION IS THE ALTERNATIVE WHICH PROVIDES PERIODIC CHECK DAMS ALONG THE LENGTH OF THE SWALE.

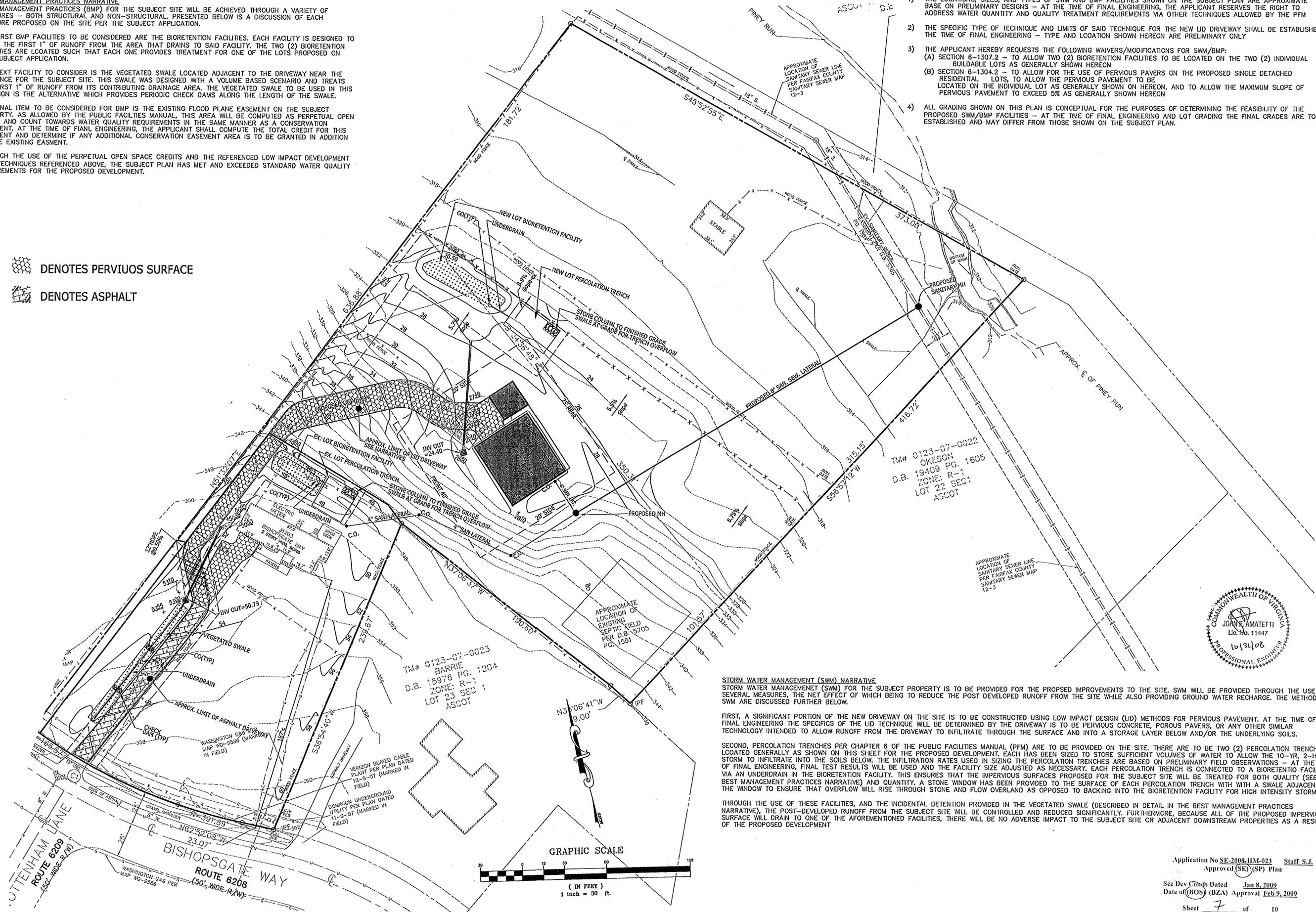
THE FINAL ITEM TO BE CONSIDERED FOR BMP IS THE EXISTING FLOOD PLANE EASEMENT ON THE SUBJECT PROPERTY. AS ALLOWED BY THE PUBLIC FACILITIES MANUAL, THIS AREA WILL BE COMPUTED AS PERPETUAL OPEN SPACE AND COUNT TOWARDS WATER QUALITY REQUIREMENTS IN THE SAME MANNER AS A CONSERVATION EASEMENT. AT THE TIME OF FINAL ENGINEERING, THE APPLICANT SHALL COMPUTE THE TOTAL CREDIT FOR THIS EASEMENT AND DETERMINE IF ANY ADDITIONAL CONSERVATION EASEMENT AREA IS TO BE GRANTED IN ADDITION TO THE EXISTING EASEMENT.

THROUGH THE USE OF THE PERPETUAL OPEN SPACE CREDITS AND THE REFERENCED LOW IMPACT DEVELOPMENT (LID) TECHNIQUES REFERENCED ABOVE, THE SUBJECT PLAN HAS MET AND EXCEEDED STANDARD WATER QUALITY REQUIREMENTS FOR THE PROPOSED DEVELOPMENT.

- NOTES:**
- 1) THE LOCATIONS, SIZES, AND TYPES OF SWM AND BMP FACILITIES SHOWN ON THE SUBJECT PLAN ARE APPROXIMATE BASE ON PRELIMINARY DESIGNS - AT THE TIME OF FINAL ENGINEERING, THE APPLICANT RESERVES THE RIGHT TO ADDRESS WATER QUANTITY AND QUALITY TREATMENT REQUIREMENTS VIA OTHER TECHNIQUES ALLOWED BY THE PFM
 - 2) THE SPECIFIC TYPE OF TECHNIQUE AND LIMITS OF SAID TECHNIQUE FOR THE NEW LID DRIVEWAY SHALL BE ESTABLISHED AT THE TIME OF FINAL ENGINEERING - TYPE AND LOCATION SHOWN HEREON ARE PRELIMINARY ONLY
 - 3) THE APPLICANT HEREBY REQUESTS THE FOLLOWING WAIVERS/MODIFICATIONS FOR SWM/BMP:
 (A) SECTION 6-1307.2 - TO ALLOW TWO (2) BIORETENTION FACILITIES TO BE LOCATED ON THE TWO (2) INDIVIDUAL BUILDABLE LOTS AS GENERALLY SHOWN HEREON
 (B) SECTION 6-1304.2 - TO ALLOW FOR THE USE OF PERVIOUS PAVERS ON THE PROPOSED SINGLE DETACHED RESIDENTIAL LOTS, TO ALLOW THE PERVIOUS PAVEMENT TO BE LOCATED ON THE INDIVIDUAL LOT AS GENERALLY SHOWN ON HEREON, AND TO ALLOW THE MAXIMUM SLOPE OF PERVIOUS PAVEMENT TO EXCEED 5% AS GENERALLY SHOWN HEREON
 - 4) ALL GRADING SHOWN ON THIS PLAN IS CONCEPTUAL FOR THE PURPOSES OF DETERMINING THE FEASIBILITY OF THE PROPOSED SWM/BMP FACILITIES - AT THE TIME OF FINAL ENGINEERING AND LOT GRADING THE FINAL GRADES ARE TO BE ESTABLISHED AND MAY DIFFER FROM THOSE SHOWN ON THE SUBJECT PLAN.

 DENOTES PERVIOUS SURFACE

 DENOTES ASPHALT



STORM WATER MANAGEMENT (SWM) NARRATIVE
 STORM WATER MANAGEMENT (SWM) FOR THE SUBJECT PROPERTY IS TO BE PROVIDED FOR THE PROPOSED IMPROVEMENTS TO THE SITE. SWM WILL BE PROVIDED THROUGH THE USE OF SEVERAL MEASURES, THE NET EFFECT OF WHICH BEING TO REDUCE THE POST DEVELOPED RUNOFF FROM THE SITE WHILE ALSO PROVIDING GROUND WATER RECHARGE. THE METHODS OF SWM ARE DISCUSSED FURTHER BELOW.

FIRST, A SIGNIFICANT PORTION OF THE NEW DRIVEWAY ON THE SITE IS TO BE CONSTRUCTED USING LOW IMPACT DESIGN (LID) METHODS FOR PERVIOUS PAVEMENT. AT THE TIME OF FINAL ENGINEERING THE SPECIFICS OF THE LID TECHNIQUE WILL BE DETERMINED BY THE DRIVEWAY IS TO BE PERVIOUS CONCRETE, POROUS PAVERS, OR ANY OTHER SIMILAR TECHNOLOGY INTENDED TO ALLOW RUNOFF FROM THE DRIVEWAY TO INFILTRATE THROUGH THE SURFACE AND INTO A STORAGE LAYER BELOW AND/OR THE UNDERLYING SOILS.

SECOND, PERCOLATION TRENCHES PER CHAPTER 6 OF THE PUBLIC FACILITIES MANUAL (PFM) ARE TO BE PROVIDED ON THE SITE. THERE ARE TO BE TWO (2) PERCOLATION TRENCHES, LOCATED GENERALLY AS SHOWN ON THIS SHEET FOR THE PROPOSED DEVELOPMENT. EACH HAS BEEN SIZED TO STORE SUFFICIENT VOLUMES OF WATER TO ALLOW THE 10-YR, 2-HR STORM TO INFILTRATE INTO THE SOILS BELOW. THE INFILTRATION RATES USED IN SIZING THE PERCOLATION TRENCHES ARE BASED ON PRELIMINARY FIELD OBSERVATIONS - AT THE TIME OF FINAL ENGINEERING, FINAL TEST RESULTS WILL BE USED AND THE FACILITY SIZE ADJUSTED AS NECESSARY. EACH PERCOLATION TRENCH IS CONNECTED TO A BIORETENTION FACILITY VIA AN UNDERDRAIN IN THE BIORETENTION FACILITY. THIS ENSURES THAT THE IMPERVIOUS SURFACES PROPOSED FOR THE SUBJECT SITE WILL BE TREATED FOR BOTH QUALITY (SEE BEST MANAGEMENT PRACTICES NARRATIVE) AND QUANTITY. A STONE WINDOW HAS BEEN PROVIDED TO THE SURFACE OF EACH PERCOLATION TRENCH WITH WITH A SWALE ADJACENT TO THE WINDOW TO ENSURE THAT OVERFLOW WILL RISE THROUGH STONE AND FLOW OVERLAND AS OPPOSED TO BACKING INTO THE BIORETENTION FACILITY FOR HIGH INTENSITY STORMS.

THROUGH THE USE OF THESE FACILITIES, AND THE INCIDENTAL DETENTION PROVIDED IN THE VEGETATED SWALE (DESCRIBED IN DETAIL IN THE BEST MANAGEMENT PRACTICES NARRATIVE), THE POST-DEVELOPED RUNOFF FROM THE SUBJECT SITE WILL BE CONTROLLED AND REDUCED SIGNIFICANTLY. FURTHERMORE, BECAUSE ALL OF THE PROPOSED IMPERVIOUS SURFACE WILL DRAIN TO ONE OF THE AFOREMENTIONED FACILITIES, THERE WILL BE NO ADVERSE IMPACT TO THE SUBJECT SITE OR ADJACENT DOWNSTREAM PROPERTIES AS A RESULT OF THE PROPOSED DEVELOPMENT

VIA
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 (703)442-7800 ■ FAX (703)761-2787
 McLEAN, VA ■ GERMANTOWN, MD

ANDERSON PROPERTY
ASCOT LOT 24-A & 4A
 HUNTER HILL DISTRICT
 FAIRFAX COUNTY, VIRGINIA

SWM/BMP
COMPUTATIONS & DETAILS

VIA REVISIONS

6-18-08
8-14-08
9-16-08
10-10-08
10-31-08

Application No SE-2008-111-023 Staff S.J.
 Approved (SE) (SP) Plan

See Dev Conds Dated Jan 8, 2009
 Date of (BOS) (BZA) Approval Feb 9, 2009

Sheet 7 of 10

DATE: JUNE, 2001

DES.	SEC	DWN.	SEC
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SCALE: HORIZ: 1"=30'
 VERT: N/A

PROJECT/FILE NO.
 7129

SHEET NO.
7 OF 10

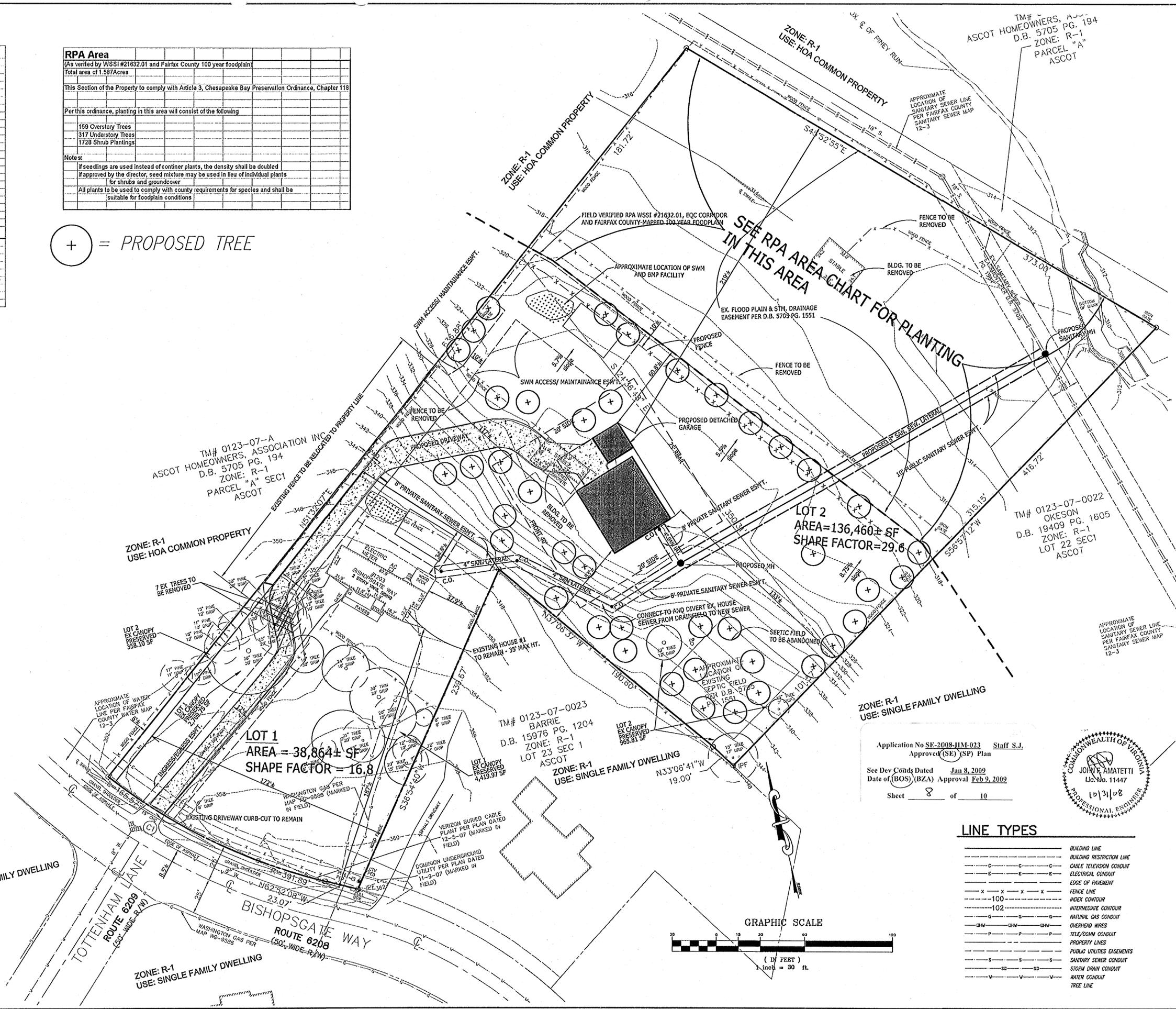
Tree Cover Calculations		
	Lot #1	Lot #2
Total Lot Size	38,864.00	136,460.00
REQUIRED COVERAGE (%)	0.20	0.20
REQUIRED COVERAGE (SF)	7,773.00	27,292.00
COVERAGE FROM SEEDING ON RPA @ 25%	0.00	17,282.00
Existing Trees to be Preserved (canopy at 1.25%)	8,987.00	1,655.00
Proposed New Planting	0.00	8,400.00
Total Coverage Provided	23.1%	20.03%

RPA Area	
(As verified by WSSI #21632.01 and Fairfax County 100 year floodplain)	
Total area of 1.587 Acres	
This Section of the Property to comply with Article 3, Chesapeake Bay Preservation Ordinance, Chapter 118	
Per this ordinance, planting in this area will consist of the following	
159 Overstory Trees	
317 Understory Trees	
1728 Shrub Plantings	
Notes:	
If seedlings are used instead of container plants, the density shall be doubled	
If approved by the director, seed mixture may be used in lieu of individual plants for shrubs and groundcover	
All plants to be used to comply with county requirements for species and shall be suitable for floodplain conditions	

Lot #2 Planting Schedule	
12,000 SF of plantings required	
Notes:	
All Species to be on the approved list per Chapter 12 of the PFM Manual	
Regrading shown contemplates 2" caliper material resulting in a 200 SF 10 year canopy	
Final design will include a mix of category II, III and IV trees	
Total 10 year canopy of 12,000 SF of new plantings to be provided	

⊕ = PROPOSED TREE

- ABBREVIATIONS**
- EX. EXISTING
 - CONC. CONCRETE
 - C.B. CATCH BASIN
 - C&G CURB AND GUTTER
 - INV. INVERT OF PIPE
 - SI/W SIDEWALK
 - BLDG. BUILDING
 - STY. STORY
 - DMH STORM DRAIN MANHOLE
 - SMH SANITARY SEWER MANHOLE
 - TRN ELECTRICAL TRANSFORMER
 - DB. DEED BOOK
 - PG. PAGE
 - ASPH. ASPHALT
 - FF. FINISHED FLOOR ELEVATION
 - ESMT. EASEMENT
 - ROP. REINFORCED CONCRETE PIPE
 - CMP. CORRUGATED METAL PIPE
 - SAN. SEW. SANITARY SEWER
 - STM. DRN. STORM DRAIN
 - BRL. BUILDING RESTRICTION LINE
 - R/W. RIGHT-OF-WAY
 - RT. ROUTE
 - REC. RECORD DIMENSION
 - MEAS. MEASURED DIMENSION
 - P.U.E. PERMANENT UNDERGROUND
 - CO. CLEAN OUT
- SYMBOLS**
- ⊕ STORM DRAIN MANHOLE
 - ⊕ ELECTRICAL MANHOLE
 - ⊕ FIRE HYDRANT
 - ⊕ GAS MANHOLE
 - ⊕ GUY POLE
 - ⊕ PHONE MANHOLE
 - ⊕ UTILITY POLE
 - ⊕ SANITARY MANHOLE
 - ⊕ WATER METER
 - ⊕ WATER MANHOLE
 - ⊕ WATER VALVE
 - ⊕ CATCH BASIN RIM
 - ⊕ SIGN POST
 - ⊕ UTILITY MANHOLE
 - ⊕ PROPOSED TREE



Application No SE-2008-IIM-023 Staff S.J.
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 Sheet 8 of 10



LINE TYPES

---	BUILDING LINE
---	BUILDING RESTRICTION LINE
---	CABLE TELEVISION CONDUIT
---	ELECTRICAL CONDUIT
---	EDGE OF PAVEMENT
---	FENCE LINE
---	NATURAL GAS CONDUIT
---	INTERMEDIATE CONTOUR
---	OVERHEAD WIRES
---	TELE/COMM CONDUIT
---	PROPERTY LINES
---	PUBLIC UTILITIES EASEMENTS
---	SANITARY SEWER CONDUIT
---	STORM DRAIN CONDUIT
---	WATER CONDUIT
---	TREE LINE

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ANDERSON PROPERTY
 ASCOT LOT 24-A & 4A
 HUNTER HILL DISTRICT
 FAIRFAX COUNTY, VIRGINIA

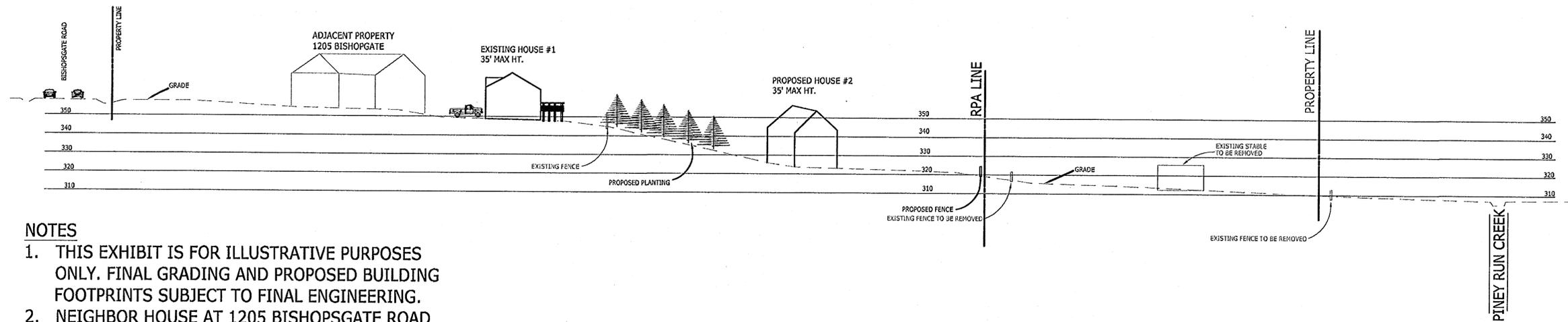
CONCEPTUAL LANDSCAPE PLAN

DATE: 4-16-08
 DES. RO/JA DWN. BC
 SCALE: 1"=30'
 PROJECT/FILE NO. 7129
 SHEET NO. 8 OF 10

VIKA REVISIONS

6-18-08
8-14-08
9-16-08
10-10-08
10-31-08

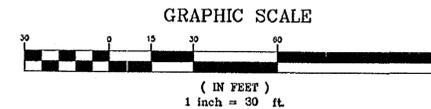
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NOTES

1. THIS EXHIBIT IS FOR ILLUSTRATIVE PURPOSES ONLY. FINAL GRADING AND PROPOSED BUILDING FOOTPRINTS SUBJECT TO FINAL ENGINEERING.
2. NEIGHBOR HOUSE AT 1205 BISHOPSGATE ROAD SHOWN IN FOREGROUND FOR CONTEXT PURPOSES.

SECTION A-A



**SECTION MAP
NTS**

HOUSE STYLE EXAMPLE #1



HOUSE STYLE EXAMPLE #2



NOTES:

1. EXTERIOR MATERIALS MAY INCLUDE HARDIE-PLANK SIDING, WOOD TRIM, ARCHITECTURAL ASPHALT SHINGLES, METAL ACCENT ROOFING, WOOD RAILINGS.
2. THE HOUSE STYLE EXAMPLES AND DESCRIPTIONS OF MATERIALS TO BE USED SHOWN HERE ARE ILLUSTRATIVE ONLY AND MAY CHANGE WITH FINAL ENGINEERING AND LOT GRADING.



Application No SE-2008-114-023 Staff S.J.
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 Sheet 9 of 10

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 VKA INCORPORATED
 5150 GREENSBORO DRIVE SUITE 200 ■ MCLEAN, VIRGINIA 22102
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 HUNTER MILL DISTRICT
 FAIRFAX COUNTY, VIRGINIA

**CROSS SECTION &
 HOUSE DETAILS
 EXHIBIT**

VIKA REVISIONS	
DATE:	4-16-08
DES. VKA	DWN. VKA
SCALE:	1"=30'
PROJECT/FILE NO.	7129
SHEET NO.	9 OF 10

NOTES

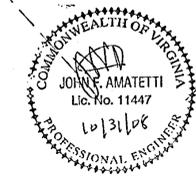
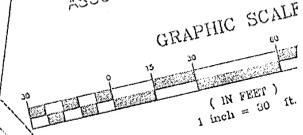
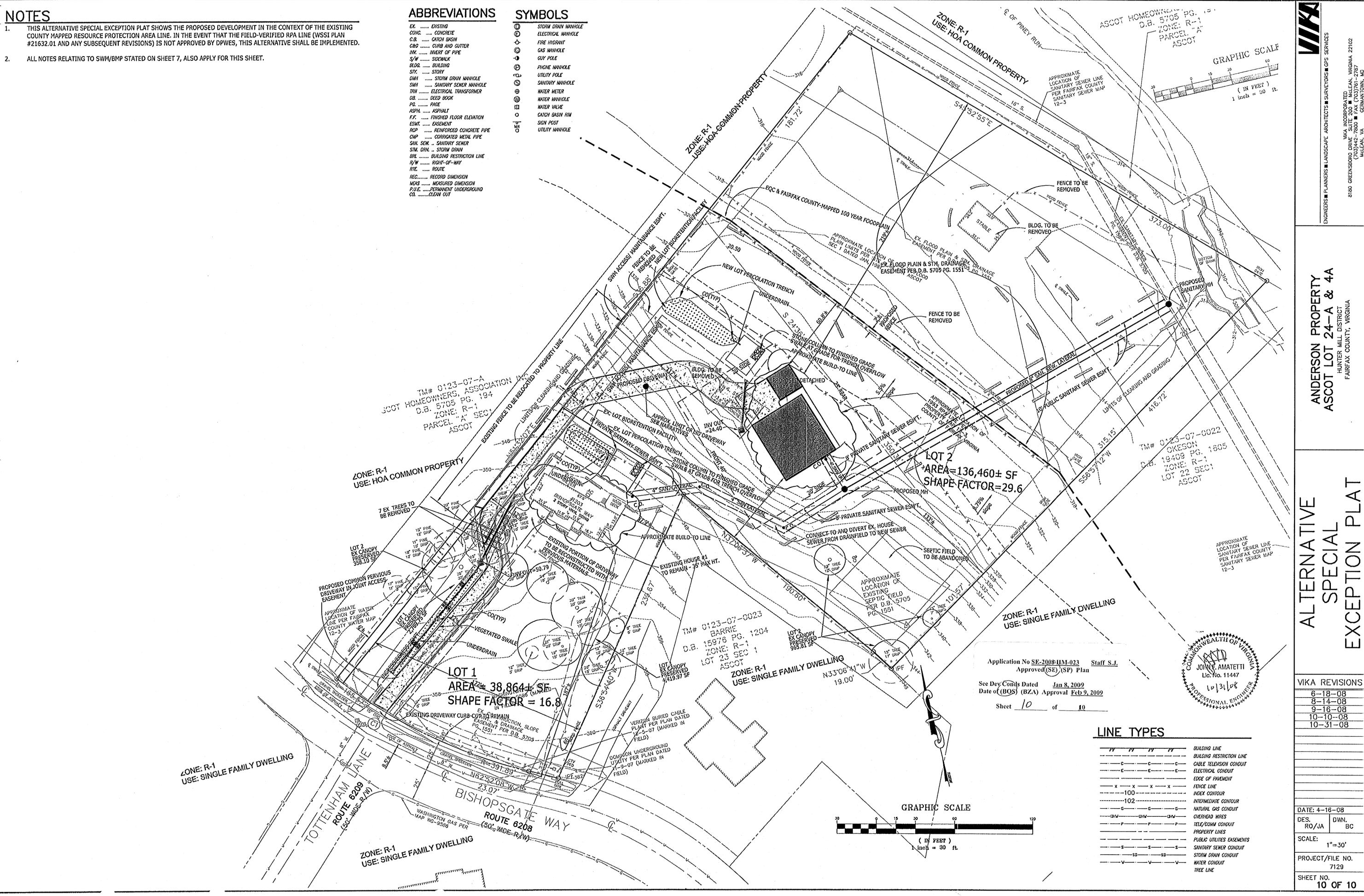
- THIS ALTERNATIVE SPECIAL EXCEPTION PLAT SHOWS THE PROPOSED DEVELOPMENT IN THE CONTEXT OF THE EXISTING COUNTY MAPPED RESOURCE PROTECTION AREA LINE. IN THE EVENT THAT THE FIELD-VERIFIED RPA LINE (WSSI PLAN #21632.01 AND ANY SUBSEQUENT REVISIONS) IS NOT APPROVED BY DPWES, THIS ALTERNATIVE SHALL BE IMPLEMENTED.
- ALL NOTES RELATING TO SWM/BMP STATED ON SHEET 7, ALSO APPLY FOR THIS SHEET.

ABBREVIATIONS

- EX. EXISTING
- CONC. CONCRETE
- C.B. CATCH BASIN
- C&G CURB AND GUTTER
- HW HOLEY PIPE
- S/W SIDEWALK
- BLDG. BUILDING
- STY. STORY
- DMH STORM DRAIN MANHOLE
- SMH SANITARY SEWER MANHOLE
- TRM ELECTRICAL TRANSFORMER
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SYMBOLS

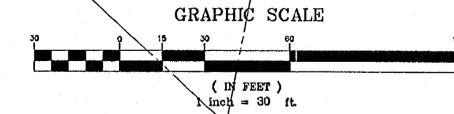
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ANDERSON PROPERTY
ASCOT LOT 24-A & 4A
HUNTER HILL DISTRICT
FAIRFAX COUNTY, VIRGINIA

ALTERNATIVE
SPECIAL
EXCEPTION PLAT

VKA REVISIONS

6-18-08	
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