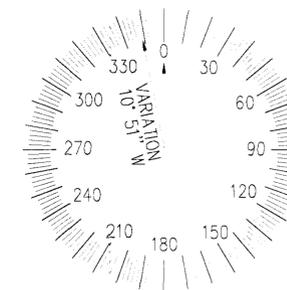


cricket

COMMUNICATIONS, INC.



MAGNETIC DECLINATION

cricket
COMMUNICATIONS, INC.

7100 COLUMBIA GATEWAY DRIVE
SUITE 120
COLUMBIA, MD 21046

entrex
communication services, inc.

1575 Eye Street, N.W. Suite 350
WASHINGTON, D.C. 20005
PHONE: (202)408-0960
FAX: (202)408-0961

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CLIENT NAME IS STRICTLY PROHIBITED.

SEARCH RING NAME

FRANKLIN FARM ROAD

SITE NUMBER

IAD-335-1

PROJECT TYPE

Application No. FOA 18-C-118-19 Staff DeHatche
APPROVED DEVELOPMENT PLAN
(DP) (GDP) (CDP) (EDP)
SEE DATE DATED July 15, 2009
Date of (BOS) ED approval July 29, 2009
Sheet 1 of 13

REVISIONS

DESIGNED BY:	J.D.S.	
CHECKED BY:	M.M.	
APPROVED BY:		
NO	DATE	DESCRIPTION
11-12-08		C/D/P REVIEW
12-25-08		C/D/P REVIEW
02-18-09		ZONING
05-20-09		ZONING
06-09-09		ZONING
07-06-09		ZONING

PROJECT NO.

1129.076



FINAL DEVELOPMENT
PLAN AMENDMENT

SEARCH RING NAME:

FRANKLIN FARM ROAD

SITE NUMBER:

IAD-335-1

SITE ADDRESS:

13224 FRANKLIN FARM RD
HERNDON, VA 22071

DESIGN TYPE:

COLOCATION

DRAWING TITLE:

TITLE SHEET

DRAWING No.:

T-1

(3) NEW ANTENNAS AT CL 55' -0" ON AN EXISTING 100' TREEPOLE AND NEW EQUIPMENT ON STEEL PLATFORM

SHEET	DESCRIPTION
T-1	TITLE SHEET
Z-1	SURVEY PLAN
Z-1A	ADJOINERS
Z-2	EROSION & SEDIMENT CONTROL PLAN
Z-3	COMPOUND LAYOUT AND TREEPOLE ELEVATION
Z-4	ANTENNA AND COAX DETAILS
Z-5	SITE DETAILS
Z-6	SITE DETAILS
Z-7	CABINET PLANS AND ELEVATIONS
Z-8	CIVIL DETAILS
Z-9	CIVIL NOTES
Z-10	TREE PROTECTION DETAILS
Z-11	PRELIMINARY STORMWATER EVALUATION
SHEET INDEX	

ARCHITECT INFORMATION:
ENTREX COMMUNICATION SERVICES, INC.
1575 EYE STREET, N.W. SUITE 350
WASHINGTON, DC 20005
PHONE: (202)408-0960
FAX: (202)408-0961
CONTACT: MARC MARZULLO
EMAIL: MMARZULLO@ENTREX.COM

APPLICANT:
CRICKET WIRELESS, INC.
A.K.A. CRICKET COMMUNICATIONS, INC.
7100 COLUMBIA GATWAY DRIVE
SUITE 120
COLUMBIA, MD 21046
PHONE: (410) 872-0078
FAX: (410) 872-0442

SITE ACQUISITION MANAGER:
WILLIAM BITTNER
PHONE: (724) 454-4188

LEAD CONSTRUCTION MANAGER:
PAIGE CASH
PHONE: (540) 908-5767

ZONING MANAGER:
CHARLES RYAN
PHONE: (301) 526-7342

CONSULTANT TEAM

SITE NAME:
FRANKLIN FARM ROAD

SITE NUMBER:
IAD-335-1

SITE ADDRESS:
13224 FRANKLIN FARM ROAD
HERNDON, VA 22071

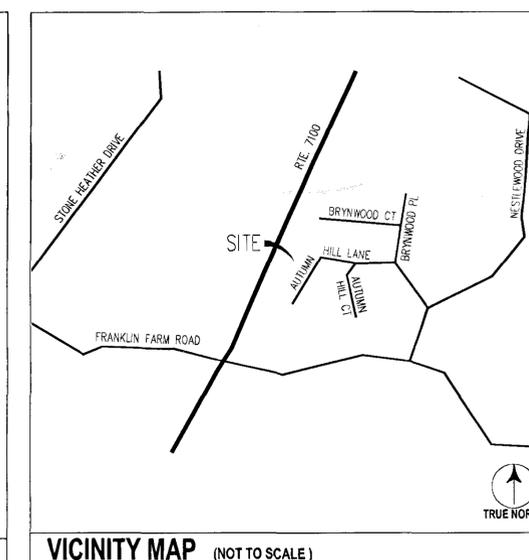
PROPERTY INFORMATION:
ACCOUNT ID: 0351 0419 C2
BOOK 6929, PAGE 1064
LATITUDE: N 38° 54' 32.73" (NAD 83)
LONGITUDE: W 77° 24' 12.28" (NAD 83)
GROUND ELEVATION: 381' AMSL
MAGNETIC DECLINATION: -10.5'

ZONING DISTRICT: R-2 (RESIDENTIAL 2 DU/AC)

USE: RESIDENTIAL

OWNER: CHURCH UNITED METHODIST, THE COMMUNITY OF FAITH TRUSTEES OF 13004 MT. AUBERN CT, HERNDON, VA 20171 (540) 527-2805

PROJECT SUMMARY



THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.

CRICKET R.F.: _____ DATE: _____

CRICKET ZONING: _____ DATE: _____

CRICKET SA: _____ DATE: _____

CRICKET P&T: _____ DATE: _____

CRICKET CONST: _____ DATE: _____

CRICKET A&E MGR: _____ DATE: _____

PROPERTY OWNER: _____ DATE: _____

RECEIVED
Department of Planning & Zoning
JUL 10 2009
Zoning Evaluation Division

APPROVALS

ELECTRIC:
DOMINION VIRGINIA POWER
1-888-667-3000

TELEPHONE:
VERIZON - VIRGINIA
(800) 483-2000

CONTRACTOR TO CALL MISS UTILITY OF VIRGINIA (800) 552-7001 (48) HRS PRIOR TO EXCAVATING FOR UNDERGROUND UTILITY LOCATIONS. LOCATION SURROUNDING EXCAVATED AREA MUST BE PRIVATELY LOCATED FOR NON-PUBLIC UTILITIES.

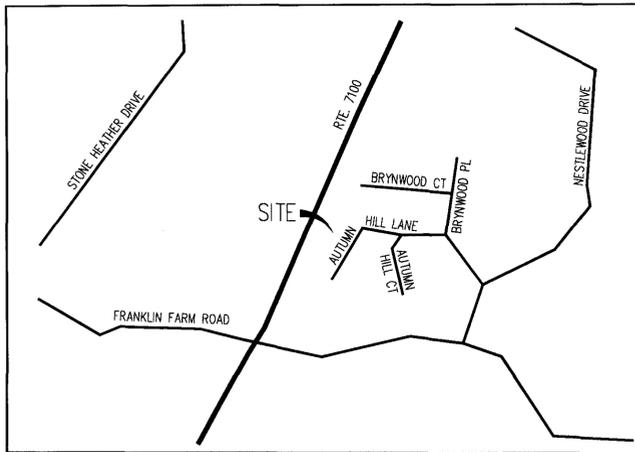
UTILITIES

- HANDICAP ACCESS REQUIREMENTS ARE NOT REQUIRED.
- THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
- THE FACILITY HAS NO PLUMBING OR REFRIGERANTS.
- THE FACILITY SHALL MEET OR EXCEED ALL FAA AND FCC REGULATORY REQUIREMENTS.
- THE FACILITY MEETS THE REQUIREMENTS OF THE 2006 INTERNATIONAL BUILDING CODE

COMPLIANCE NOTES

DRIVING DIRECTIONS

FROM DULLES AIRPORT:
DEPART WASHINGTON DULLES AIRPORT HILTON ON PARK CENTER RD (SOUTH-EAST). TURN RIGHT (SOUTH-WEST) ONTO TOWERVIEW RD. TURN LEFT (SOUTH-EAST) ONTO SR-688/MCLEAREN RD. TURN RIGHT (SOUTH) ONTO CENTREVILLE RD. TURN LEFT (EAST) ONTO FRANKLIN FARM RD. ARRIVE AT SITE.



VICINITY MAP
SCALE: 1"=1000'-0"



SURVEY NOTES

- 1.) SITE NAME: FRANKLIN FARM ROAD
- 2.) THIS IS NOT A BOUNDARY SURVEY AND IS NOT TO BE USED FOR THE TRANSFER OF PROPERTY.
- 3.) THE SUBJECT PARCEL INFORMATION:
OWNER: CHURCH UNITED METHODIST, COMMUNITY OF FAITH THE
PREMISES ADDRESS: 13224 FRANKLIN FARM RD HERNDON, VA 20171
MAILING ADDRESS: TRUSTEES OF 13004 MT. AUBERN CT HERNDON, VA 20171
COUNTY: FAIRFAX COUNTY
PARCEL ID #: 0351 0419 C2
DISTRICT NAME: SULLY
AREA: 8.9146 AC.
ZONING: R-2 USE: CHURCHES, TELECOMMUNICATION FACILITY/
- 5.) THE DATUM'S ARE NAD 83 AND NAVD 88, AND THE BEARING BASE IS STATE GRID.
- 6.) NO UNDERGROUND UTILITIES HAVE BEEN LOCATED, THE PRESENCE OF ANY SUCH UTILITIES MUST BE CONFIRMED BY THE CONTRACTOR BEFORE CONSTRUCTION.
- 7.) NO WETLANDS HAVE BEEN DEFINED AND ANY AREAS SHOWN AS MARSH, PONDS OR DITCHES ARE DONE 50 FROM VISIBLE SURFACE FEATURES AND IN NO WAY CONSTITUTE A DEFINED WETLAND.
- 8.) THE FLOOD ZONE OF THE EXISTING MONOPINE IS AS FOLLOWS: FLOOD ZONE X, AREA OF MINIMAL FLOODING. SOURCE, FEMA FLOOD MAP FOR FAIRFAX COUNTY, VA. COMMUNITY PANEL NUMBER 515525 0625D. REVISED, MARCH 5, 1990.
- 9.) THE DATA COLLECTED AND SHOWN ON THIS DRAWING ARE FOR THE PURPOSES OF THE EXISTING CELLULAR MONOPINE, ANY NECESSARY ANCILLARY EQUIPMENT AND ALL APPROPRIATE EASEMENTS.
- 10.) THERE ARE NO EXISTING EASEMENTS, UTILITY OR OTHERWISE, OF 25 FT. OR MORE ON THE SUBJECT PARCELS.
- 11.) THIS PROPERTY IS SUBJECT TO ALL MATTERS OF PUBLIC RECORD.
- 12.) THE LOCATION OF THE EXISTING MONOPINE IS AS FOLLOWS: THE VALUES LISTED BELOW ARE WITHIN ±50' HORIZONTAL AND ±20' VERTICAL.
LATITUDE: N 38° 54' 32.73" (NAD 83)
LONGITUDE: W 77° 24' 12.28" (NAD 83)
ELEVATION: 381' AMSL
- 13.) THE SITE IS SUBJECTED TO THE FOLLOWING PARKING REQUIREMENTS:
250 SEAT SANCTUARY= 250/4=63 SPACES REQUIRED
EXISTING PARKING SPACES= 63 SPACES INCLUDING 5 HANDICAP PARKING SPACES

PROJECT DATA

TELECOMMUNICATIONS COMPOUND AREA = 189 SF (0.04 AC) (LEASE AREA)
TOTAL PROJECT DISTURBED AREA = 203 SF (0.00 AC)
TOTAL PROJECT IMPERVIOUS AREA = 183 SF (0.00 AC)

EXISTING CONDITIONS

ALL EXISTING BUILDINGS AND STRUCTURES ON THE PROPERTY ARE TO REMAIN.

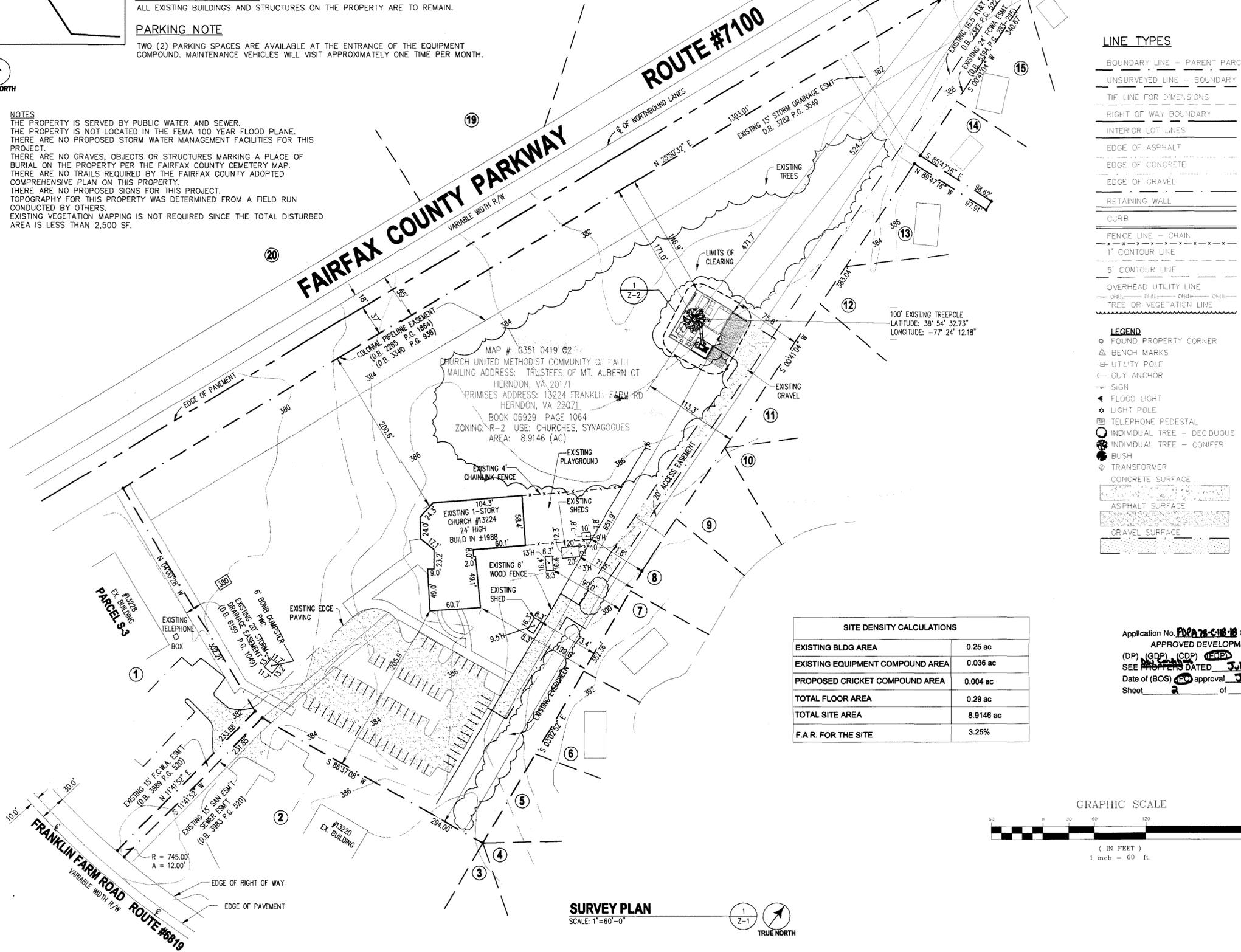
PARKING NOTE

TWO (2) PARKING SPACES ARE AVAILABLE AT THE ENTRANCE OF THE EQUIPMENT COMPOUND. MAINTENANCE VEHICLES WILL VISIT APPROXIMATELY ONE TIME PER MONTH.

BUILDING SETBACKS		
	EXISTING	PROPOSED
FRONT YARD (SOUTH)	205.9'	205.9'
REAR YARD (NORTH)	524.2'	524.2'
SIDE YARD (EAST)	75.8'	75.8'
SIDE YARD (WEST)	146.9'	146.9'

EXISTING MONOPINE SETBACKS		
	PROPOSED	MIN. REQUIRED
FRONT YARD (SOUTH)	651.9'	651.9'
REAR YARD (NORTH)	471.7'	471.7'
SIDE YARD (EAST)	113.3'	113.3'
SIDE YARD (WEST)	171.0'	171.0'
CLOSEST ROAD	226.2'	226.2'
CLOSEST RESIDENCE	219.5'	219.5'

NOTES
THE PROPERTY IS SERVED BY PUBLIC WATER AND SEWER.
THE PROPERTY IS NOT LOCATED IN THE FEMA 100 YEAR FLOOD PLANE.
THERE ARE NO PROPOSED STORM WATER MANAGEMENT FACILITIES FOR THIS PROJECT.
THERE ARE NO GRAVES, OBJECTS OR STRUCTURES MARKING A PLACE OF BURIAL ON THE PROPERTY PER THE FAIRFAX COUNTY CEMETERY MAP.
THERE ARE NO TRAILS REQUIRED BY THE FAIRFAX COUNTY ADOPTED COMPREHENSIVE PLAN ON THIS PROPERTY.
THERE ARE NO PROPOSED SIGNS FOR THIS PROJECT.
TOPOGRAPHY FOR THIS PROPERTY WAS DETERMINED FROM A FIELD RUN CONDUCTED BY OTHERS.
EXISTING VEGETATION MAPPING IS NOT REQUIRED SINCE THE TOTAL DISTURBED AREA IS LESS THAN 2,500 SF.



LINE TYPES

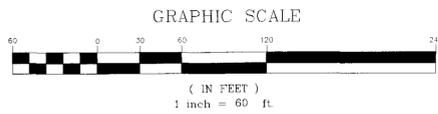
- BOUNDARY LINE - PARENT PARCEL
- UNSURVEYED LINE - BOUNDARY OF ADJOINERS
- TIE LINE FOR DIMENSIONS
- RIGHT OF WAY BOUNDARY
- INTERIOR LOT LINES
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- EDGE OF GRAVEL
- RETAINING WALL
- CURB
- FENCE LINE - CHAIN
- 1" CONTOUR LINE
- 5" CONTOUR LINE
- OVERHEAD UTILITY LINE
- CHILL - CHILL - CHILL
- TREE OR VEGETATION LINE

LEGEND

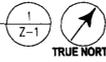
- FOUND PROPERTY CORNER
- BENCH MARKS
- UTILITY POLE
- GLY ANCHOR
- SIGN
- FLOOD LIGHT
- LIGHT POLE
- TELEPHONE PEDESTAL
- INDIVIDUAL TREE - DECIDUOUS
- INDIVIDUAL TREE - CONIFER
- BUSH
- TRANSFORMER
- CONCRETE SURFACE
- ASPHALT SURFACE
- GRAVEL SURFACE

SITE DENSITY CALCULATIONS	
EXISTING BLDG AREA	0.25 ac
EXISTING EQUIPMENT COMPOUND AREA	0.036 ac
PROPOSED CRICKET COMPOUND AREA	0.004 ac
TOTAL FLOOR AREA	0.29 ac
TOTAL SITE AREA	8.9146 ac
F.A.R. FOR THE SITE	3.25%

Application No. **FDA 78-C-18-18** Staff **deMand**
APPROVED DEVELOPMENT PLAN
(DP) (GDP) (CDP) **(CIB)**
SEE PROPPERS DATED **July 15, 2009**
Date of (BOS) approval **July 21, 2009**
Sheet **2** of **13**



SURVEY PLAN
SCALE: 1"=60'-0"



cricket
COMMUNICATIONS, INC.

7100 COLUMBIA GATEWAY DRIVE
SUITE 120
COLUMBIA, MD 21046

entrex
communication services, inc.

1575 Eye Street, N.W. Suite 350
WASHINGTON, D.C. 20005
PHONE: (202)408-0960
FAX: (202)408-0961

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REVISIONS

NO	DATE	DESCRIPTION
DESIGNED BY:	J.D.S.	
CHECKED BY:	M.M.	
APPROVED BY:		
11-12-08	C/D/P REVIEW	
12-25-08	C/D/P REVIEW	
02-18-09	ZONING	
05-20-09	ZONING	
06-09-09	ZONING	
07-06-09	ZONING	

PROJECT NO:
1129.076



FINAL DEVELOPMENT PLAN AMENDMENT

SEARCH RING NAME:
FRANKLIN FARM ROAD

SITE NUMBER:
IAD-335-1

SITE ADDRESS:
**13224 FRANKLIN FARM RD
HERNDON, VA 22071**

DESIGN TYPE:
COLOCATION

DRAWING TITLE:
SURVEY PLAN

DRAWING No.:
Z-1

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REVISIONS

DESIGNED BY:	J.D.S.	
CHECKED BY:	M.M.	
APPROVED BY:		
NO	DATE	DESCRIPTION
11-12-08	C/D/P	REVIEW
12-25-08	C/D/P	REVIEW
02-18-09	ZONING	
05-20-09	ZONING	
06-09-09	ZONING	
07-06-09	ZONING	

PROJECT NO:
1129.076



**FINAL DEVELOPMENT
PLAN AMENDMENT**

SEARCH RING NAME:

FRANKLIN FARM ROAD

SITE NUMBER:
IAD-335-1

SITE ADDRESS:
**13224 FRANKLIN FARM RD
HERNDON, VA 22071**

DESIGN TYPE:
COLOCATION

DRAWING TITLE:
ADJOINERS

DRAWING No.:
Z-1A

⑱
MAP #: 0351 0312 A
FRANKLIN FARM FOUNDATION
MAILING ADDRESS: 12700 FRANKLIN FARM RD
HERNDON, VA 20171
BOOK 05654 PAGE 1243
ZONING: PDH-2 USE: PRIVATE OPEN SPACE
AREA: 10,6828 (AC)

⑳
MAP #: 0351 04220005
LB FRANKLIN FARM LLC,
MAILING ADDRESS: 8405 GREENSBORO DR. STE. 830
CARE RAPPAPORT
BOOK 16070 PAGE 1551
ZONING: PDH-2 USE: NEIGHBORHOOD CENTER
AREA: 637,180 SQ. FT.

⑬
MAP #: 0351 04090016
LE CLERE C DAVID, AND PATRICIA S
MAILING ADDRESS: 13165 BRYNWOOD CT
HERNDON, VA 20171
PROPERTY ADDRESS: 13165 BRYNWOOD CT
HERNDON, VA 20171
BOOK 06241 PAGE 0551
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: 10,585 SQ. FT.

⑭
MAP #: 0351 04090017
TEEL DAVID
MAILING ADDRESS: 13167 BRYNWOOD CT
HERNDON, VA 20171
PROPERTY ADDRESS: 13167 BRYNWOOD CT
HERNDON, VA 20171
BOOK 17646 PAGE 0146
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: 8,582 SQ. FT.

⑮
MAP #: 0351 04090018
MANCUM GEORGE W JR, AND ROSA G
MAILING ADDRESS: 13169 BRYNWOOD CT
HERNDON, VA 20171
PROPERTY ADDRESS: 13169 BRYNWOOD CT
HERNDON, VA 20171
BOOK 06178 PAGE 1746
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: 10,117 SQ. FT.

⑯
MAP #: 0351 04090019
DEHNE THOMAS A, DEHNE LORRAINE D
MAILING ADDRESS: 13170 BRYNWOOD CT
HERNDON, VA 20171
PROPERTY ADDRESS: 13170 BRYNWOOD CT
HERNDON, VA 20171
BOOK 10095 PAGE 0551
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: 13,511 SQ. FT.

⑰
MAP #: 0351 01 0013A
PARK AUTHORITY FAIRFAX COUNTY
MAILING ADDRESS: 12055 GOVERNMENT CENTER PW SUIT 927
FAIRFAX, VA 22035
BOOK 09943 PAGE 0383
ZONING: R-1 USE: VACANT LAND
AREA: 3.0527 (AC)

⑱
MAP #: 0351 0419 A
FRANKLIN FARM FOUNDATION
MAILING ADDRESS: 12700 FRANKLIN FARM RD
HERNDON, VA 20171
PROPERTY ADDRESS: 12700 FRANKLIN FARM RD
HERNDON, VA 20171
BOOK 08953 PAGE 1631
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: 7.0566 (AC)

⑦
MAP #: 0351 04210023
CANAVAN MICHAEL P, AND EILEEN M
MAILING ADDRESS: 13168 AUTUMN HILL LA
HERNDON, VA 20171
PROPERTY ADDRESS: 13168 AUTUMN HILL LA
HERNDON, VA 20171
BOOK 06249 PAGE 0244
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: 10,217 SQ. FT.

⑧
MAP #: 0351 04210024
BURDEN PHILIP L TR,
MAILING ADDRESS: 10891 EL PASO AVE
FOUNTAIN VALLEY, CA 92708
PROPERTY ADDRESS: 13166 AUTUMN HILL LA
HERNDON, VA 20171
BOOK 17658 PAGE 0199
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: 9,400 SQ. FT.

⑨
MAP #: 0351 04210025
MASSIE ROBERT G, AND SUSAN M
MAILING ADDRESS: 13164 AUTUMN HILL LA
HERNDON, VA 20171
PROPERTY ADDRESS: 13164 AUTUMN HILL LA
HERNDON, VA 20171
BOOK 05961 PAGE 0626
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: 8,862 SQ. FT.

⑩
MAP #: 0351 04210026
LUDDEKE DALE E, LUDDEKE LISA L
MAILING ADDRESS: 13162 AUTUMN HILL LA
HERNDON, VA 20171
PROPERTY ADDRESS: 13162 AUTUMN HILL LA
HERNDON, VA 20171
BOOK 07461 PAGE 0691
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: 10,094 SQ. FT.

⑪
MAP #: 0351 0421 B
FRANKLIN FARM FOUNDATION
MAILING ADDRESS: 12700 FRANKLIN FARM RD
HERNDON, VA 20171
PROPERTY ADDRESS: 12700 FRANKLIN FARM RD
HERNDON, VA 20171
BOOK 05797 PAGE 1551
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: .4968 (AC)

⑫
MAP #: 0351 04090015
READYOFF DAVID J, READYOFF LAURA
MAILING ADDRESS: 13163 BRYNWOOD CT
HERNDON, VA 20171
PROPERTY ADDRESS: 13163 BRYNWOOD CT
HERNDON, VA 20171
BOOK 11367 PAGE 1049
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: 15,614 SQ. FT.

①
MAP #: 0351 0419 C3
KC PROPCO LLC, C/O
KINDERCARE LEARNING CENTER INC. STE 1400
MAILING ADDRESS: 650 NE HOLLADAY ST
PORTLAND, OR 97232
PRIMISES ADDRESS: 13224 FRANKLIN FARM RD
HERNDON, VA 22071
BOOK 14709 PAGE 0142
ZONING: R-2 USE: NURSEY SCHOOLS
AREA: 14604 (AC)

②
MAP #: 0351 0419 C1
CHILD CARE REALTY OF VA
CARE CHILDRENS WORLD
MAILING ADDRESS: PROPERTY CONTROLLER
573 PARK POINT DR.
GOLDEN, CO 80401
PROPERTY ADDRESS: 13220 FRANKLIN FARM RD
HERNDON, VA 22071
BOOK 06287 PAGE 1830
ZONING: R-2 USE: NURSEY SCHOOLS
AREA: 61,812 SQ. FT.

③
MAP #: 0351 0421 A
FRANKLIN FARM FOUNDATION
MAILING ADDRESS: 12700 FRANKLIN FARM RD
HERNDON, VA 20171
PROPERTY ADDRESS: 12700 FRANKLIN FARM RD
HERNDON, VA 22071
BOOK 06287 PAGE 1830
ZONING: R-2 USE: NURSEY SCHOOLS
AREA: 1.7828 (AC)

④
MAP #: 0351 04210020
REAVIS THOMAS F, REAVIS DENISE R
MAILING ADDRESS: 13174 AUTUMN HILL LA
HERNDON, VA 20171
PROPERTY ADDRESS: 13174 AUTUMN HILL LA
HERNDON, VA 20171
BOOK 08112 PAGE 1795
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: 13,739 SQ. FT.

⑤
MAP #: 0351 04210021
YEATMAN ANDREW P TR,
MAILING ADDRESS: 9000 NEW DELHI PL
DULLES, VA 20189-9000
PROPERTY ADDRESS: 13172 AUTUMN HILL LA
HERNDON, VA 20171
BOOK 17028 PAGE 2102
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: 12,795 SQ. FT.

⑥
MAP #: 0351 04210022
JUSTICE JAMES C, JUSTICE PENELOPE R
MAILING ADDRESS: 13170 AUTUMN HILL LA
HERNDON, VA 20171
PROPERTY ADDRESS: 13170 AUTUMN HILL LA
HERNDON, VA 20171
BOOK 10104 PAGE 0296
ZONING: PDH-2 USE: SINGLE-FAMILY DETACHED
AREA: 10,928 SQ. FT.

Application No. PDA78-C-114-B Staff: Dettonche
APPROVED DEVELOPMENT PLAN
(DP) (GDP) (CDP) ELDP
SEE PROFFERS DATED July 15, 2009
Date of (BOS) approval July 29, 2009
Sheet 3 of 13

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REVISIONS

DESIGNED BY:	J.D.S.	
CHECKED BY:	M.M.	
APPROVED BY:		
NO	DATE	DESCRIPTION
11-12-08		C/D/P REVIEW
12-25-08		C/D/P REVIEW
02-18-09		ZONING
05-20-09		ZONING
06-09-09		ZONING
07-06-09		ZONING

PROJECT NO:
1129.076



**FINAL DEVELOPMENT
PLAN AMENDMENT**

SEARCH RING NAME:

FRANKLIN FARM ROAD

SITE NUMBER:

IAD-335-1

SITE ADDRESS:

**13224 FRANKLIN FARM RD
HERNDON, VA 22071**

DESIGN TYPE:

COLOCATION

DRAWING TITLE:

**EROSION & SEDIMENT
CONTROL PLAN**

DRAWING No.:

Z-2



382

382

384

384

384

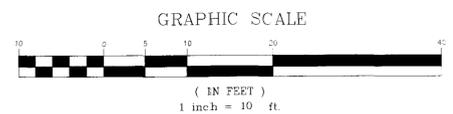
386

386

300

NOTE:
NO GRADING WILL BE REQUIRED
FOR PROPOSED SITE.

Application No. FDP 78-C-14-B Staff DeManche
APPROVED DEVELOPMENT PLAN
(DP) (GDP) (CDP) (EDP)
SEE APPROVAL DATED July 15, 2009
Date of (BOS) approval July 29, 2009
Sheet 4 of 13



AREA TABLE	
PROPOSED IMPERVIOUS AREA:	183 SF (0.00 AC)
DISTURBED AREA:	203 SF (0.00 AC)

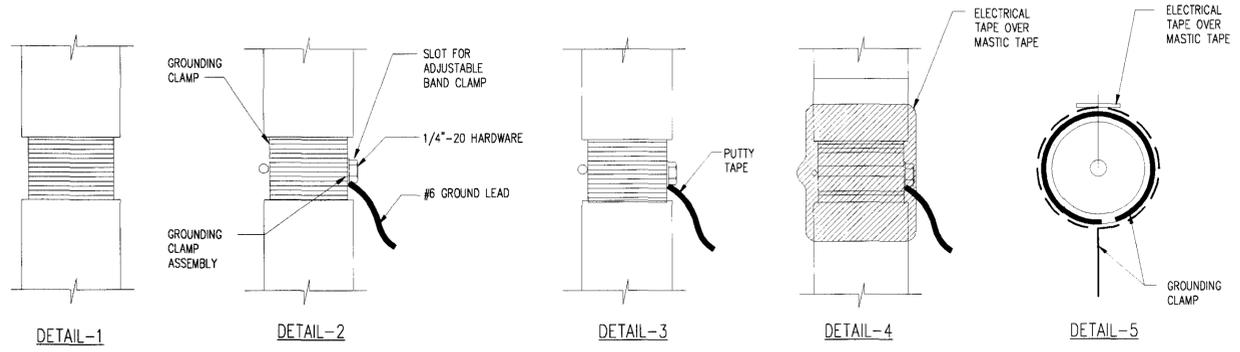
EROSION & SEDIMENT CONTROL PLAN
SCALE: 1"=10'
1
Z-2
TRUE NORTH

ANTENNA INFORMATION			
	SECTOR 1	SECTOR 2	SECTOR 3
MFR	JAYBEAM	JAYBEAM	JAYBEAM
MODEL	W65-13-A010	W65-13-A010	W65-13-A010
QUANTITY	1	1	1
WEIGHT (LBS)	15.4	15.4	15.4
DIM	54.5"x6.7"x3.9"	54.5"x6.7"x3.9"	54.5"x6.7"x3.9"
RAD CENTER (FT)	55	55	55
AZIMUTH (DEG)	90°	210°	330°
ELECTRICAL DOWNTILT	0°	0°	0°
MECHANICAL DOWNTILT	0°	0°	0°

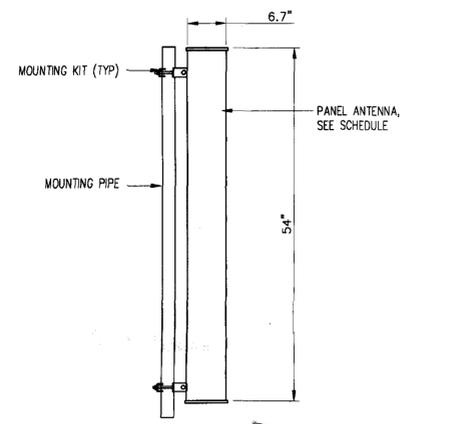
CABLE INFORMATION			
	RFS	RFS	RFS
COAX CABLE MFR	RFS	RFS	RFS
COAX CABLE MODEL	LCF158 50JL	LCF158 50JL	LCF158 50JL
COAX CABLE DIA (IN)	1-5/8"	7/8"	7/8"
QUANTITY	2	2	2
COAX LENGTH (FT)	85	85	85
COLOR CODE (TX)	YELLOW/BROWN	RED/BROWN	GREEN/BROWN
COLOR CODE (RX)	YELLOW/WHITE	RED/WHITE	GREEN/WHITE

ANTENNA AND CABLE INFORMATION

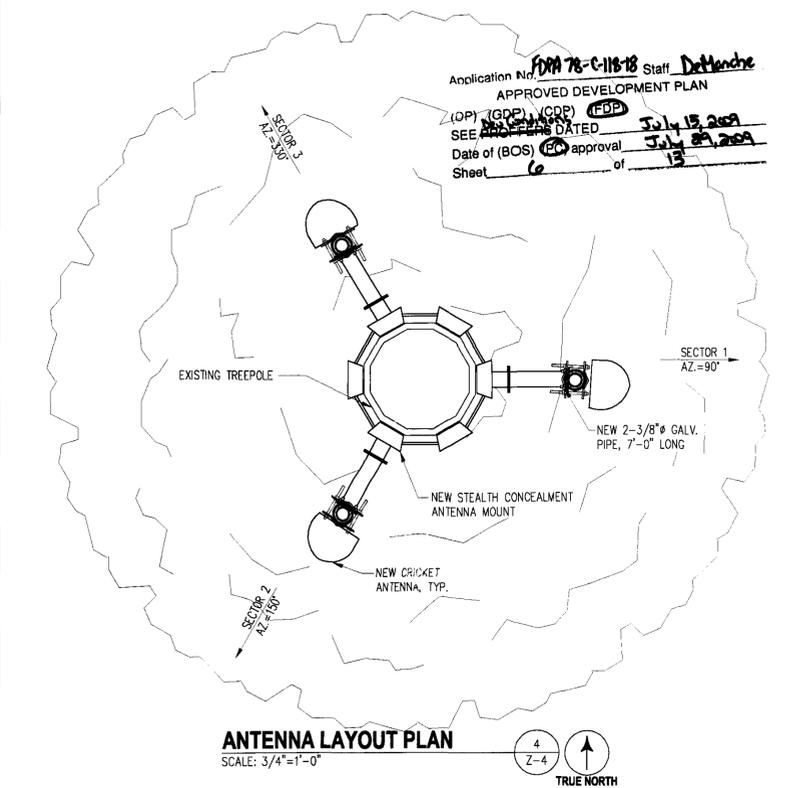
- EACH LINE OF COAX SHALL BE LABELED PURSUANT TO THE COLOR CODING SCHEDULE 12" BEFORE ANY CONNECTOR. COLOR CODING METHOD IS BY MEANS OF 2" WIDE COLORED ELECTRICAL TAPE WRAPPED AROUND COAX THREE TIMES TO PRODUCE A STRIPE. (I.E. TWO RED WILL HAVE TWO STRIPES) (3M SCOTCH SUPER 88 ELECTRICAL TAPE-ALL WEATHER, HEAVY DUTY, ABRASION RESISTANCE TAPE-38" WIDE)
- ALL MAIN COAX LINES WILL BE GROUNDED AT SPECIFIED LOCATIONS AND ACCORDING TO MANUFACTURER'S SPECIFICATION.
- ALL INSTANCES WHERE THE COAX HAS BEEN CUT, MODIFIED, SPLICED OR STRIPPED SHALL BE PROPERLY SEALED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- ALL COAX IS TO BE PROPERLY INSPECTED UPON RECEIPT AND SHALL BE HANDLED ACCORDING TO THE MANUFACTURER SPECIFICATIONS. IT SHALL NOT BE BENT BEYOND SPECIFICATION.
- COAX SHALL BE INSTALLED TO SHED WATER IMMEDIATELY BEFORE ENTRY INTO INTERIOR AREAS OF THE EQUIPMENT.
- ALL ANTENNAS (AND SUPPORTING STRUCTURES AS PRACTICAL) SHALL BE ACCURATELY ORIENTED IN THE SPECIFIED DIRECTION.
- SWEEP TEST SHALL BE PERFORMED BY GENERAL CONTRACTOR AND SUBMITTED TO CRICKET REPRESENTATIVE. TEST SHALL BE PERFORMED PER CRICKET STANDARDS.
- ALL COAX SHALL BE PAINTED AND SHEATHED ON OUTSIDE OF POLE TO MATCH EXISTING POLE EXTERIOR.



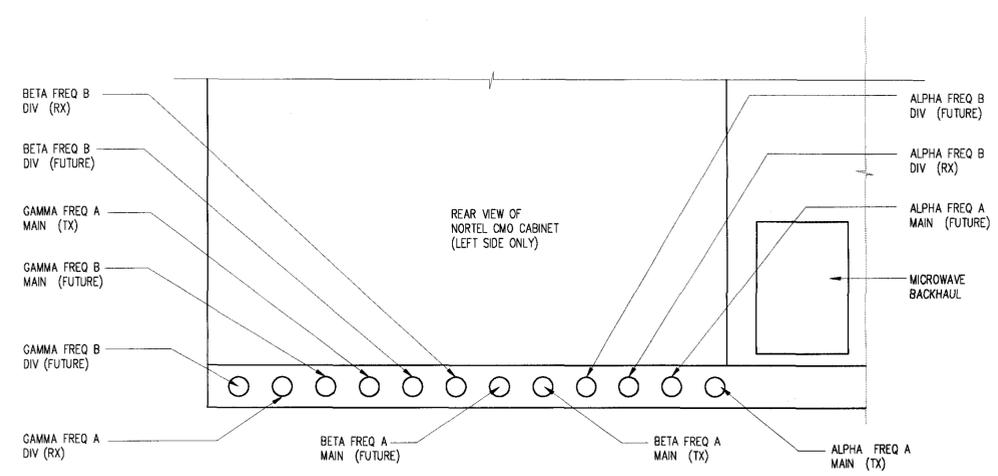
TYPICAL COAX WEATHERPROOFING DETAILS
SCALE: NTS



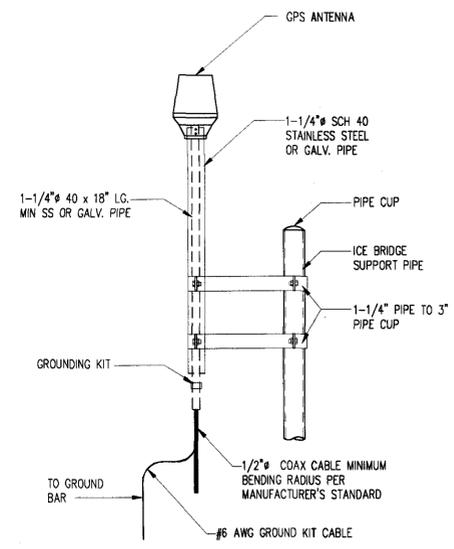
ANTENNA MOUNTING DETAIL
SCALE: 3/4"=1'-0"



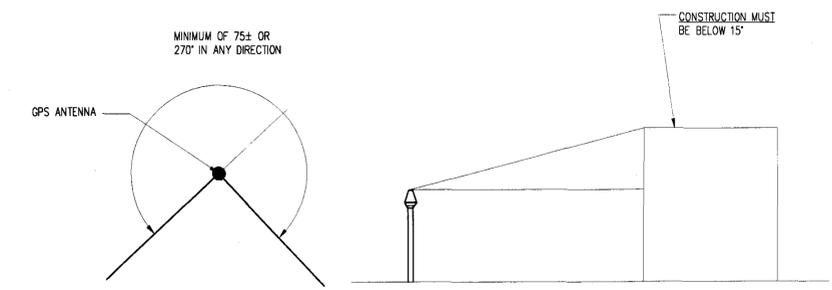
ANTENNA LAYOUT PLAN
SCALE: 3/4"=1'-0"



COAX CONFIGURATION DETAIL AT CABINET
SCALE: 1-1/2"=1'-0"



GPS ANTENNA DETAIL
SCALE: 1"=1'-0"



GPS MINIMUM VIEW REQUIREMENTS

NOTES:

- THE ELEVATION AND LOCATION OF THE GPS ANTENNA SHALL BE IN ACCORDANCE WITH THE FINAL RF REPORT.
- THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1-1/4" DIAMETER SCHEDULE 40, GALVANIZED STEEL OR STAINLESS STEEL PIPE. THE PIPE MUST NOT BE THREADED AT THE ANTENNA MOUNT END. THE PIPE SHALL BE CUT TO THE REQUIRED LENGTH (MINIMUM OF 18 INCHES) USING A HAND OR ROTARY PIPE CUTTER TO ASSURE A SMOOTH AND PERPENDICULAR CUT. A HACK SAW SHALL NOT BE USED. THE CUT PIPE END SHALL BE DEBARRED AND SMOOTH IN ORDER TO SEAL AGAINST THE NEOPRENE GASKET ATTACHED TO THE ANTENNA MOUNT.
- IT IS CRITICAL THAT THE GPS ANTENNA IS MOUNTED SUCH THAT IT IS WITHIN 2 DEGREES OF VERTICAL AND THE BASE OF THE ANTENNA IS WITHIN 2 DEGREES OF LEVEL.
- DO NOT SWEEP TEST GPS ANTENNA CABLE.

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02-18-09		ZONING
05-20-09		ZONING
06-09-09		ZONING
07-06-09		ZONING

PROJECT NO:
1129.076



FINAL DEVELOPMENT PLAN AMENDMENT

SEARCH RING NAME:
FRANKLIN FARM ROAD

SITE NUMBER:
IAD-335-1

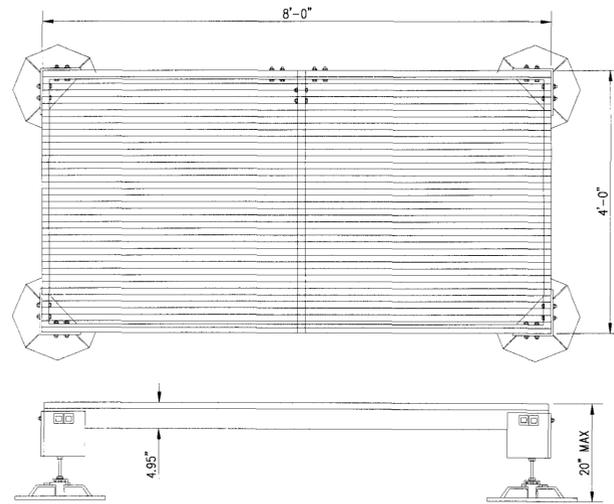
SITE ADDRESS:
**13224 FRANKLIN FARM RD
HERNDON, VA 22071**

DESIGN TYPE:
COLOCATION

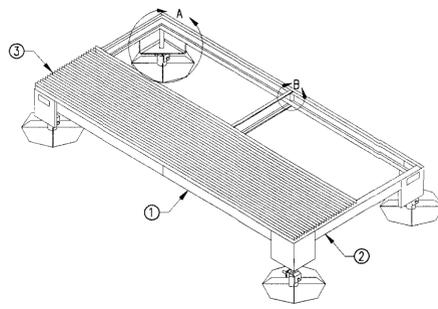
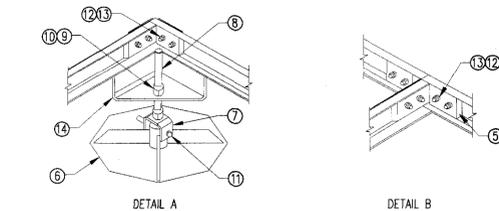
DRAWING TITLE:
ANTENNA AND COAX DETAILS

DRAWING No.:
Z-4

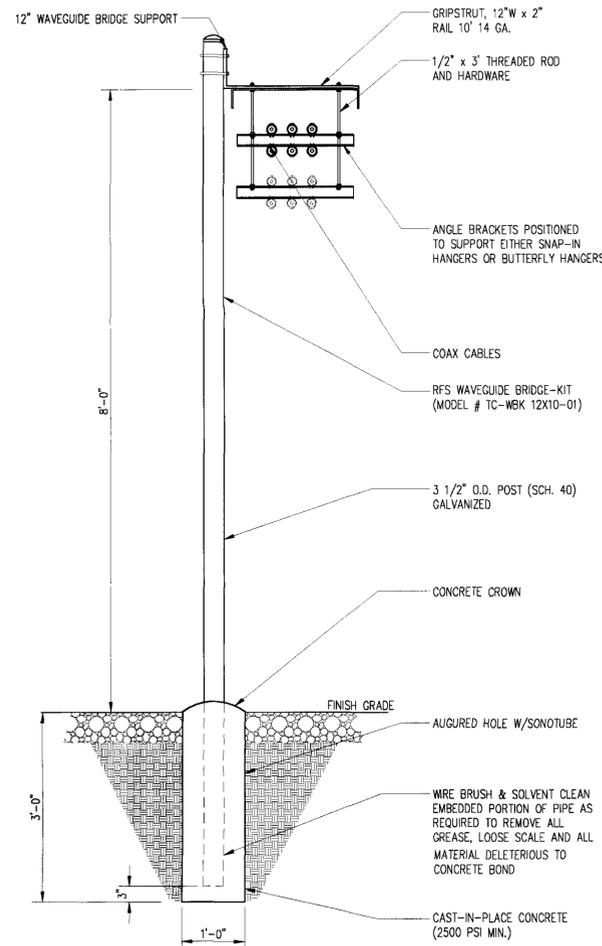
ITEM	PART NO.	DESCRIPTION	QTY.	WEIGHT
1	MTC9336.01	48" SIDE FORMED CHANNEL	4	20.18 LBS
2	MTC9336.02	45" CENTER FORMED CHANNEL	3	18.91 LBS
3	MTC79020808.03	24" X 96" BAR GRATING	2	14.17 LBS
4	MTC9336DFH	HARDWARE KIT (ITEM 5-15)	1	
5	MTC9336.04	CHANNEL ADAPTER ANGLE	8	2.80 LBS
6	EQPDF.05	BASE FOOT	4	19.44 LBS
7	EQPDF.08	PIVOT CLIP	4	1.30 LBS
8	MT3847812	7/8" X 12" GALV. THREADED ROD	4	2.03 LBS
9	GN-07	7/8" GALV. HEX NUT	16	0.01 LBS
10	GWL-07	7/8" GALV. LOCK WASHER	8	0.00 LBS
11	BG-05505	5/8" X 5" GALV. BOLT KIT	4	0.04 LBS
12	MTC9402	5/8" X 2-1/2" FULL THREADED BOLT	36	0.04 LBS
13	MT389	SQUARE WASHER, 1-1/2" X 1-5/8" W/11/16" HOLE	72	0.11 LBS
14	MTC9336.07	FOOT SUPPORT	4	17.74 LBS
15	GCM03	GRATING CLIP (NOT SHOWN)	8	0.12 LBS
16	GWL-05	5/8" GALV. LOCK WASHER	36	0.00 LBS
17	GN-05	5/8" GALV. HEX NUT	36	0.01 LBS



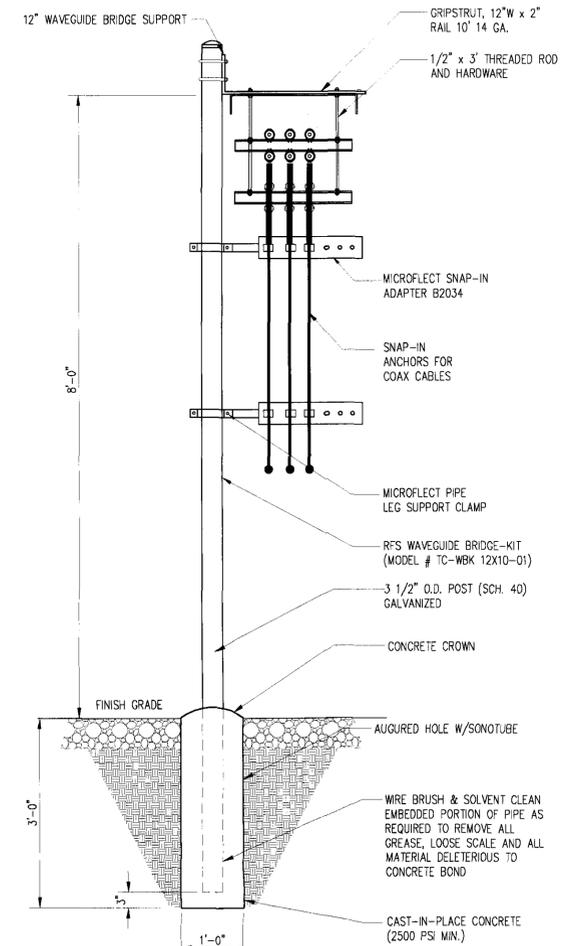
MODULAR EQUIPMENT PLATFORM DETAIL
SCALE: 3/4"=1'-0"



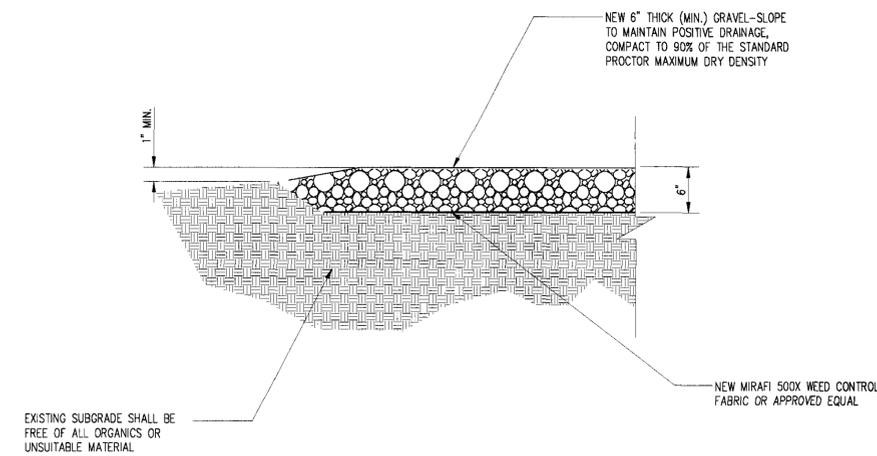
- NOTES:**
1. PLATFORM MANUFACTURER: ANDREW, PART #MTC933654DF, REV. A DATED 03-09-06
 2. MATERIAL: ASTM A36
 3. FINISH: GALV PER ASTM 123
 4. ASSEMBLED WEIGHT: 569.03 LBS.
 5. ONLY PARTIAL GRATING SHOWN FOR CLARITY



ICE BRIDGE DETAIL
SCALE: 3/4"=1'-0"



ICE BRIDGE DETAIL AT CABINET
SCALE: 3/4"=1'-0"



COMPOUND SURFACE DETAIL
SCALE: 1"=1'-0"

Application No. **PA 78-C-1818** Staff: **Dellenche**
APPROVED DEVELOPMENT PLAN
(DP) (GDP) (CDP) **(EED)**
SEE PROFILES DATED **July 15, 2009**
Date of (BOS) approval **July 29, 2009**
Sheet **7** of **13**

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REVISIONS

DESIGNED BY:	J.D.S.	
CHECKED BY:	M.M.	
APPROVED BY:		
NO	DATE	DESCRIPTION
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02-18-09		ZONING
05-20-09		ZONING
06-09-09		ZONING
07-06-09		ZONING

PROJECT NO:
1129.076



FINAL DEVELOPMENT PLAN AMENDMENT

SEARCH RING NAME:

FRANKLIN FARM ROAD

SITE NUMBER:
IAD-335-1

SITE ADDRESS:
**13224 FRANKLIN FARM RD
HERNDON, VA 22071**

DESIGN TYPE:
COLOCATION

DRAWING TITLE:
SITE DETAILS

DRAWING No.:
Z-5

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CHECKED BY:	M.M.	
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PROJECT NO:
1129.076



FINAL DEVELOPMENT
PLAN AMENDMENT

SEARCH RING NAME:

FRANKLIN FARM ROAD

SITE NUMBER:
IAD-335-1

SITE ADDRESS:
**13224 FRANKLIN FARM RD
HERNDON, VA 22071**

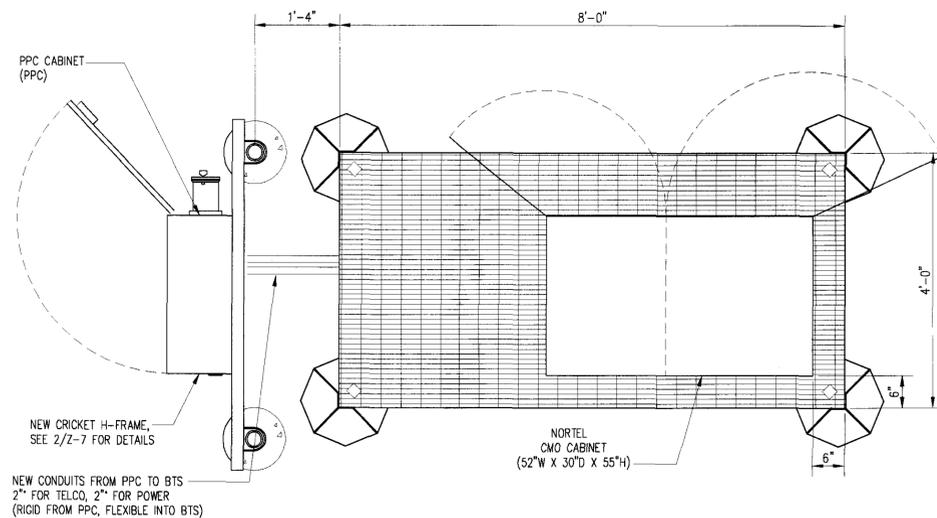
DESIGN TYPE:
COLOCATION

DRAWING TITLE:
SITE DETAILS

DRAWING No.:
Z-6

NOTE:
SEE SITE PLAN FOR EXACT
LOCATION OF H-FRAME

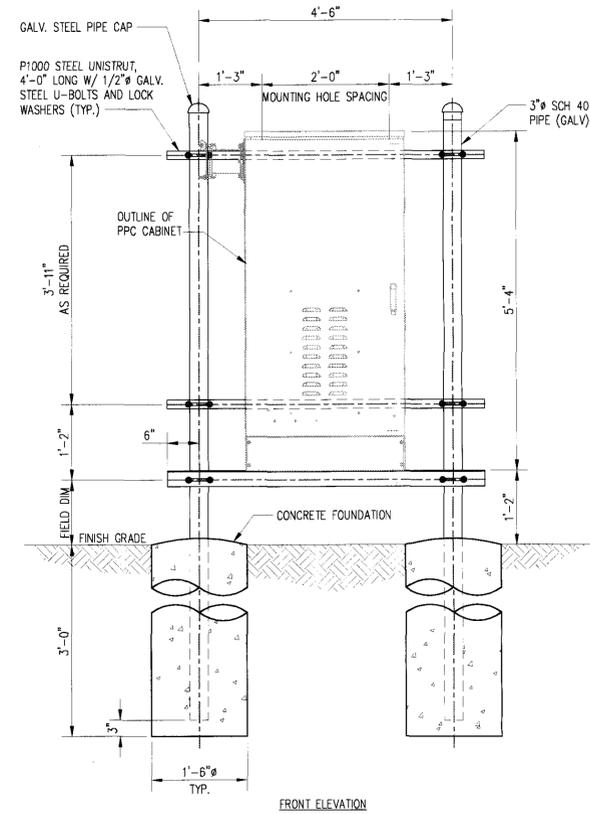
NOTE:
SEE SITE PLAN FOR
PLATFORM ORIENTATION



MODULAR EQUIPMENT PLATFORM DETAIL

SCALE: 3/4"=1'-0"

1
Z-6

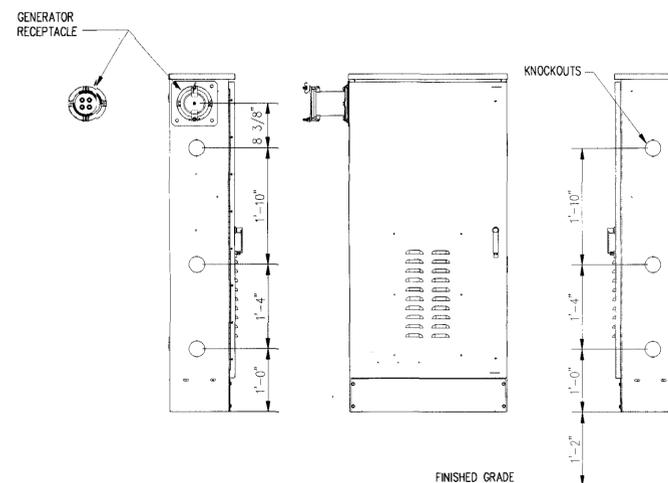
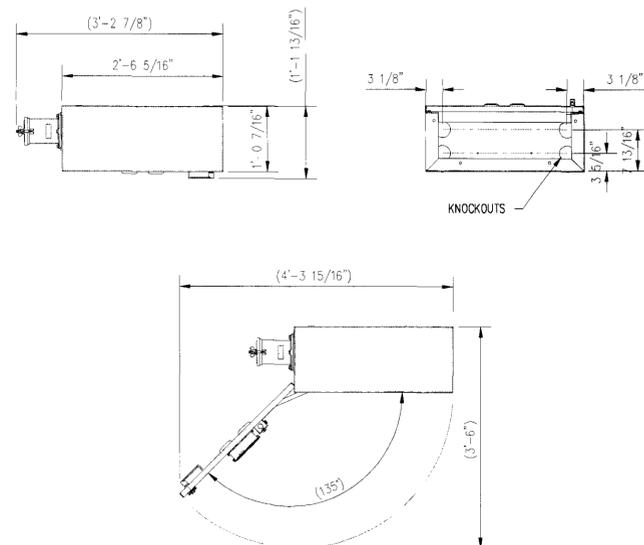


PPC FRAME DETAIL

SCALE: 3/4"=1'-0"

2
Z-6

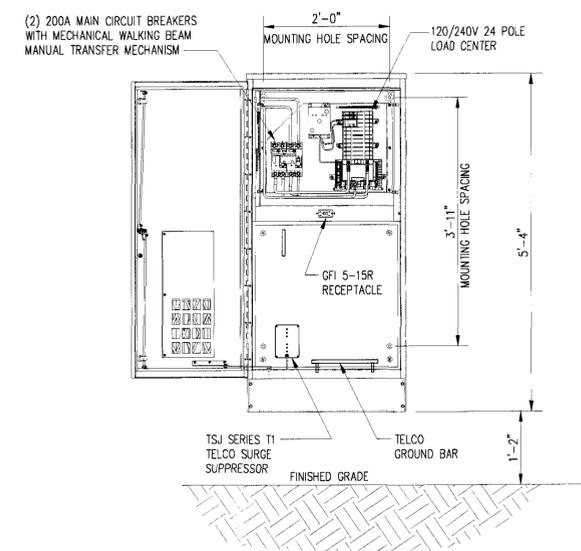
Application No. **FDPA 78-C-1118** Staff **DeMarino**
APPROVED DEVELOPMENT PLAN
(DP) (GDR) (CDP) (EDP)
SEE REVISIONS DATED **July 15, 2009**
Date of (BOS) (PC) approval **July 29, 2009**
Sheet **8** of **13**



PPC DETAILS

SCALE: 3/4"=1'-0"

3
Z-6



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CHECKED BY:	M.M.	
APPROVED BY:		
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06-09-09		ZONING
07-06-09		ZONING

PROJECT NO:
1129.076



**FINAL DEVELOPMENT
PLAN AMENDMENT**

SEARCH RING NAME:

FRANKLIN FARM ROAD

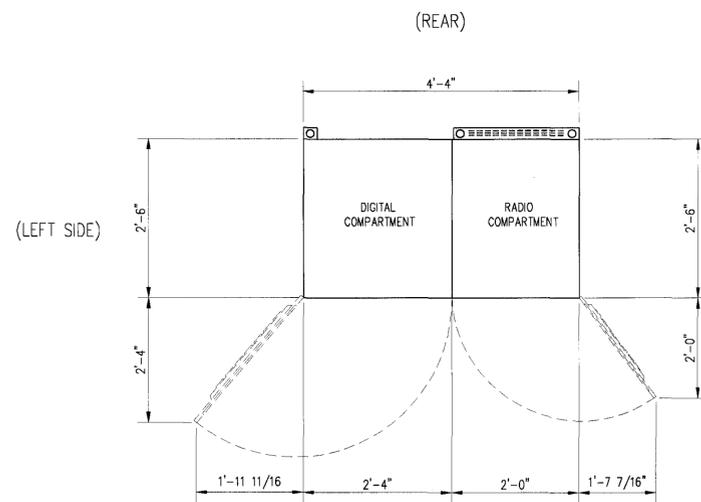
SITE NUMBER:
IAD-335-1

SITE ADDRESS:
**13224 FRANKLIN FARM RD
HERNDON, VA 22071**

DESIGN TYPE:
COLOCATION

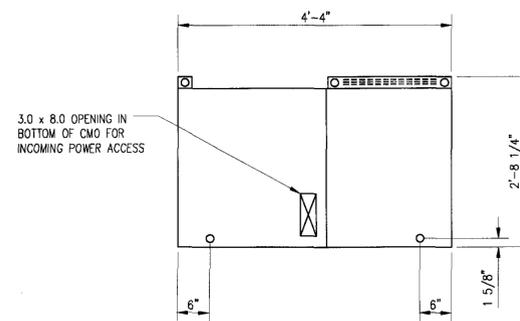
DRAWING TITLE:
**CABINET PLANS
AND ELEVATIONS**

DRAWING No.:
Z-7



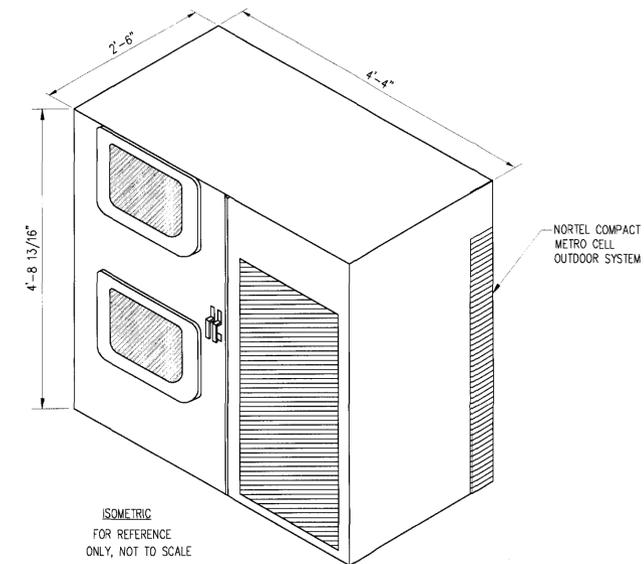
(FRONT)

TOP PLAN



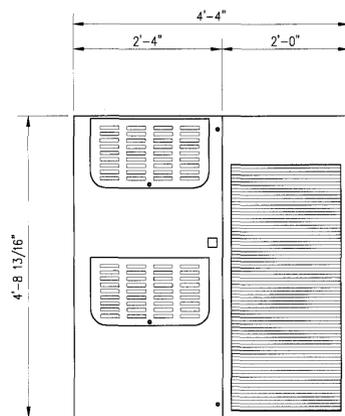
(FRONT)

BASE PLAN

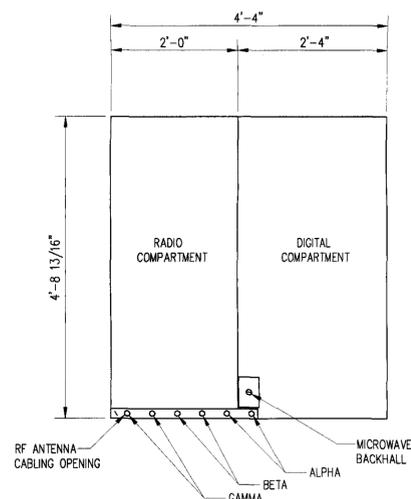


ISOMETRIC VIEW

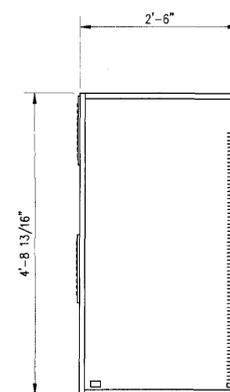
Application No. **1129.076** Staff **D. Hender**
APPROVED DEVELOPMENT PLAN
(DP) (GDP) (ODP) (EDP)
SEE APPROVALS DATED **July 15, 2009**
Date of (BOS) approval **July 29, 2009**
Sheet **9** of **13**



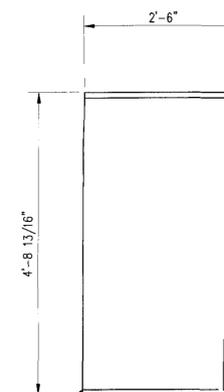
FRONT ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION

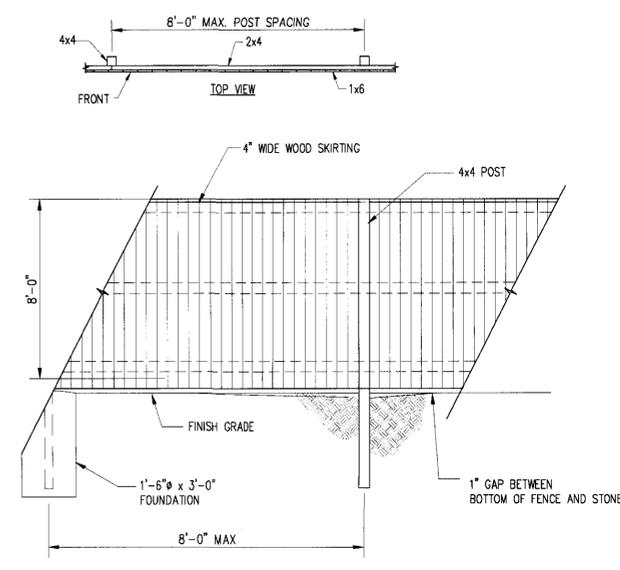


SIDE ELEVATION

OUTDOOR COMPACT METRO CELL OUTDOOR SYSTEM

SCALE: 3/4"=1'-0"

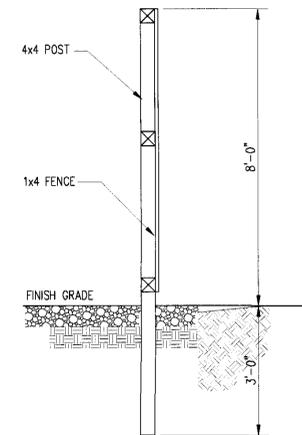




ALL LUMBER SHALL BE PRESSURE TREATED

WOOD FENCE AND GATE DETAIL
SCALE: 1"=1'-0"

1
Z-8



WOOD FENCE POST DETAIL
SCALE: 1"=1'-0"

2
Z-8

Application No. **FD0778-C-118-18** Staff **DeManche**
APPROVED DEVELOPMENT PLAN
(DP) (GDP) (CDP) (FDP)
SEE **APPROVAL** DATED **July 15, 2009**
Date of (BOS) **CD** approval **July 15, 2009**
Sheet **10** of **13**

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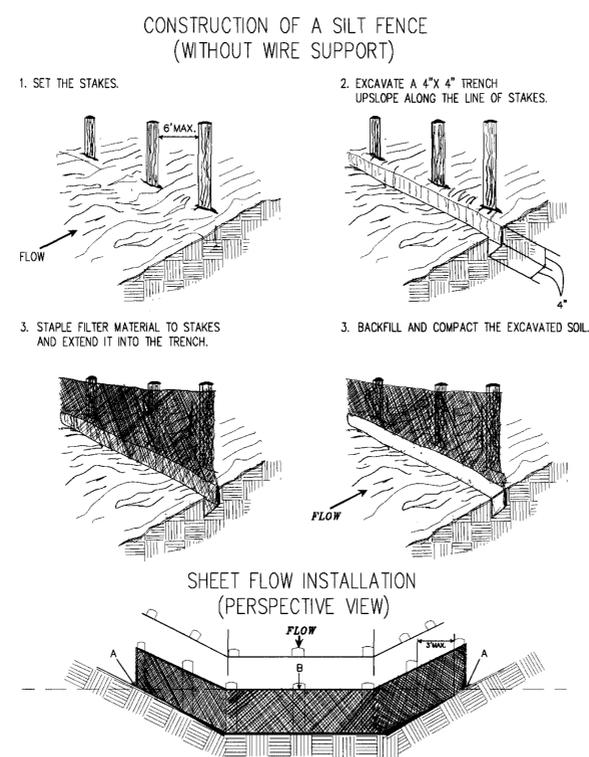
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APPROVED BY:		
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	07-06-09	ZONING

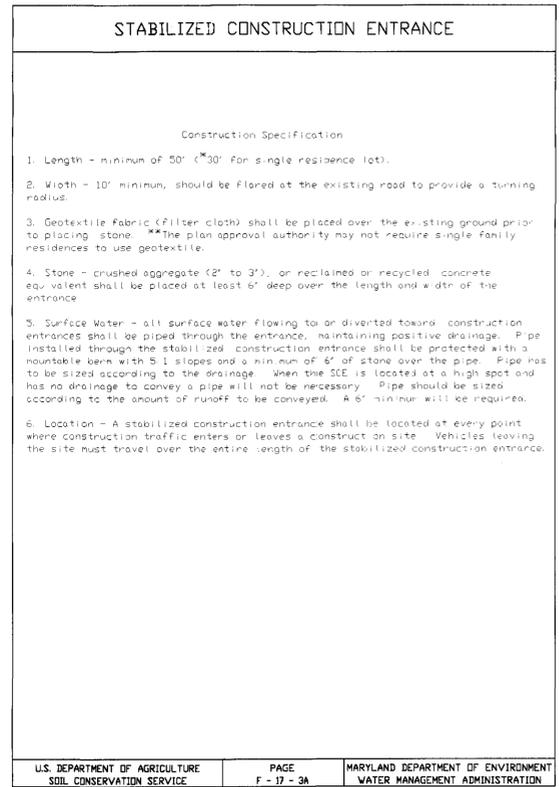
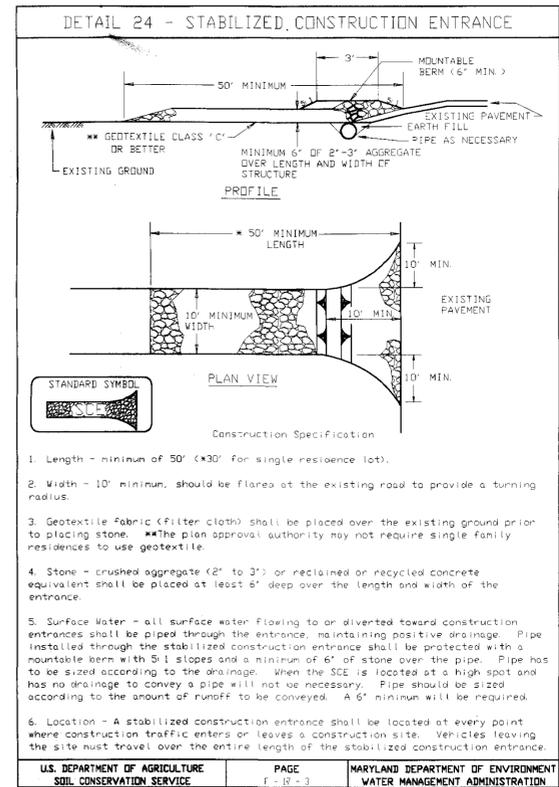
PROJECT NO:
1129.076



- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE RESULTING FROM END RUNS AND UNDERCUTTING.
- SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- *STAKES SPACED @ 6' MAXIMUM. USE 2"x2" WOOD OR EQUIVALENT STEEL STAKES.
- FILTER FABRIC FENCE MUST BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT.
- ANY SECTION OF FILTER FABRIC FENCE WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.

SILT FENCE INSTALLATION
SCALE: N.T.S.

3
Z-8



STABILIZED CONSTRUCTION ENTRANCE INSTALLATION
SCALE: N.T.S.

4
Z-8



FINAL DEVELOPMENT PLAN AMENDMENT

SEARCH RING NAME:

FRANKLIN FARM ROAD

SITE NUMBER:
IAD-335-1

SITE ADDRESS:
**13224 FRANKLIN FARM RD
HERNDON, VA 22071**

DESIGN TYPE:
COLOCATION

DRAWING TITLE:
CIVIL DETAILS

DRAWING No.:
Z-8

SEQUENCE OF CONSTRUCTION

1. NOTIFY SEDIMENT CONTROL INSPECTOR 24 HOURS PRIOR TO START OF CONSTRUCTION.
2. PERFORM CLEARING AND GRUBBING REQUIRED FOR INSTALLATION OF PERIMETER CONTROLS.
3. INSTALL PERIMETER CONTROLS; NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL BEFORE PROCEEDING FURTHER.
4. COMPLETE ALL REQUIRED CLEARING AND GRUBBING.
5. COMPLETE ROUGH GRADING FOR REMAINDER OF SITE.
6. INSTALL UTILITIES UNLESS OTHERWISE NOTED ON THE PLAN.
7. COMPLETE EQUIPMENT INSTALLATION.
8. COMPLETE FINAL GRADING, STABILIZATION, AND LANDSCAPING.
9. NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL TO REMOVE SEDIMENT AND EROSION CONTROL DEVICES.

REQUIRED CONSTRUCTION SCHEDULE					
ACTIVITY	WEEK 1	WEEK 2	WEEK 3	WEEK 4	WEEK 5
SEDIMENT CONTROL INSPECTOR MUST BE CONTACTED 24 HRS BEFORE THE INSTALLATION OF EROSION & SEDIMENT CONTROL MEASURES	█				
SITE WORK		█			
INSTALLATION OF ANTENNAS & EQUIPMENT			█		
ELECTRICAL WORK			█		
PERMANENT GRASSING & LANDSCAPING					█
SEDIMENT CONTROL INSPECTOR MUST BE NOTIFIED PRIOR TO REMOVAL OF EROSION & SEDIMENT CONTROL MEASURES					█

NOTE:

FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:

- (A) SEVEN CALENDER DAYS FOR ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES
- (B) GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND FOURTEEN DAYS AS TO OTHER DISTURBED OR GRADED AREAS IN THE PROJECT SITE.

SITE WORK GENERAL NOTES:

1. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS.
2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE OWNER.
3. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE CONSTRUCTION MANAGER AND UTILITY COMPANY.
4. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION.

SEQUENCE OF CONSTRUCTION

TASK	DESCRIPTION	APPROX. DURATION
1.	INSTALL SILT FENCES	1 DAY
2.	CLEAR COMPOUND AREA	1 DAYS
3.	INSTALL UTILITY CONDUITS	2 DAYS
4.	INSTALL CELLULAR EQUIPMENT	7 DAYS
5.	STABILIZE AND SEED DISTURBED AREAS	2 DAYS
6.	REMOVE SILT FENCES	1 DAY

NOTES:

1. LIMITS OF DISTURBANCE: SET LIMIT 3'-0" FROM OUTSIDE OF ALL PROPOSED GRADE LINES.
2. SILT FENCE: SET SILT FENCE 3'-0" FROM ALL PROPOSED GRADE LINES.
3. SAFETY FENCE: SET SAFETY FENCE 3'-0" FROM ALL PROPOSED GRADE LINES.

EXCAVATION & GRADING NOTES:

1. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO IT'S FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
2. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACT GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
3. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
4. BACKFILLING SHALL:
 - BE STATE DOT APPROVED MATERIALS CONSISTING OF EARTH, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE;
 - BE FREE FROM CLOUDS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS
 - BE PLACED IN 6" LAYERS AND COMPACTED TO 95% STANDARD PROCTOR EXCEPT IN GRASSED/LANDSCAPING AREAS, WHERE 90% STANDARD PROCTOR IS REQUIRED.
5. PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAMAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
6. REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES OF GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPERATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE FILLED AND COMPACTED WITH STATE DOT APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL MAY E USED FOR FILLING DEPRESSIONS IN THE SUBGRADE, SUBJECT TO OWNER'S APPROVAL.
7. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED/REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
8. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
9. ALL CUT AND FILL SLOPES SHALL BE 3 : 1 MAXIMUM, UNLESS OTHERWISE NOTED.
10. ENSURE POSITIVE DRAINAGE FROM SITE AT ALL TIMES. AVOID TRAPPING WATER.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
2. THE CONTRACTOR SHALL APPLY PERMANENT OR TEMPORARY SOIL STABILIZATION TO ALL DENUDED OR DISTURBED AREAS WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MUST ALSO BE APPLIED TO DENUDED OR DISTURBED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WHICH WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. SOIL STABILIZATION MEASURES INCLUDE VEGETATIVE ESTABLISHMENT, MULCHING, AND THE EARLY APPLICATION OF GRAVEL BASE MATERIAL ON AREAS TO BE PAVED.
3. ALL SEDIMENT AND CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN LAND DISTURBANCE.
4. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND CLEANUP OF THE SEDIMENTATION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MADE IMMEDIATELY.
5. THE CONTRACTOR SHALL LIMIT SITE ACCESS BY CONSTRUCTION VEHICLES TO ENTRANCES PROTECTED BY A STONE CONSTRUCTION ENTRANCE (VESH STD. & SPEC. 3.02) OR AND APPROVED) COMPARABLE CONTROL MEASURE. SEDIMENT SHALL BE REMOVED FROM PAVED AREAS ON A DAILY BASIS.
6. STOCKPILES OF SOIL AND OTHER ERODIBLE MATERIALS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION FOR STOCKPILES ON SITE AS WELL AS FOR MATERIALS TRANSPORTED FROM THE PROJECT SITE.
7. THE CONTRACTOR SHALL MONITOR AND TAKE PRECAUTIONS TO CONTROL DUST, INCLUDING (BUT NOT LIMITED TO) USE OF WATER, MULCH, OR CHEMICAL DUST ADHESIVES AND CONTROL OF CONSTRUCTION SITE TRAFFIC.
8. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES, WETLANDS, WATERWAYS OR THE STORM DRAINAGE SYSTEM.
9. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ANY ADDITIONAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED NECESSARY BY THE PLAN APPROVING AUTHORITY.
10. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. AFTER STABILIZATION IS COMPLETE, ALL MEASURES SHALL BE REMOVED WITHIN 30 DAYS. TRAPPED SEDIMENT SHALL BE SPREAD AND SEEDED.

**PERMANENT SEEDING
SITE SPECIFIC SEEDING MIXTURES FOR COASTAL PLAN AREA**

MINIMUM CARE LAWN	TOTAL LBS. PER ACRE
COMMERCIAL OR RESIDENTIAL KENTUCKY 31 OR TURF-TYPE TALL FESCUE OR COMMON BERMUDAGRASS **	175-200 LBS. 75 LBS.
HIGH MAINTENANCE LAWN KENTUCKY 31 OR TURF-TYPE TALL FESCUE OR HYBRID BERMUDAGRASS (SEED) ** OR HYBRID BERMUDAGRASS (BY OTHER VEGETATIVE ESTABLISHMENT METHOD, SEE STD. & SPEC. 3.34)	200-250 LBS. 40 LBS. (UNHULLED) 30 LBS. (HULLED)
GENERAL SLOPE (3:1 OR LESS) KENTUCKY 31 FESCUE RED TOP GRASS SEASONAL NURSE CROP *	128 LBS. 2 LBS. 20 LBS. 150 LBS.
LOW MAINTENANCE SLOPE (STEEPER THAN 3:1) KENTUCKY 31 FESCUE COMMON BERMUDAGRASS **	93-108 LBS. 0-5 LBS. 2 LBS. 20 LBS.

* USE SEASONAL NURSE CROP IN ACCORDANCE WITH SEEDING DATES AS STATED BELOW:

FEBRUARY, MARCH THROUGH APRIL	ANNUAL RYE
MAY 1ST THROUGH AUGUST	FOXTAIL MILLET
SEPTEMBER, OCTOBER THROUGH NOVEMBER 15TH	ANNUAL RYE
NOVEMBER 16TH THROUGH JANUARY	WINTER RYE

** MAY THOUGH OCTOBER, USE HULLED SEED. ALL OTHER SEEDING PERIODS, USE UNHULLED SEED. WEEPING LOVEGRASS MAY BE ADDED TO ANY SLOPE OR LOW-MAINTENANCE MIX DURING WARMER SEEDING PERIODS; ADD 10-20 LBS./ACRE IN MIXES.

1. TOPSOILING

- WHERE TOPSOIL IS REQUIRED ON ADVERSE SOIL CONDITIONS A MINIMUM OF 4" OF TOPSOIL SHOULD THE TOPSOIL SHOULD CONTAIN A MINIMUM OF 35% FINE FRAINED MATERIAL (SILT AND CLAY AND 1.5% PLUS ORGANIC MATTER.)

2. LIME AND FERTILIZERS

- A. LIME - APPLY PULVERIZED AGRICULTURE GRADE LIMESTONE (90 LBS./1000 SF) OR EQUIVALENT AT THE RATE OF 2 TONS PER ACRE.
- B. FERTILIZER - 1000 LBS. PER ACRE OF 10, 20, 10 FERTILIZER OR EQUIVALENT. IF SOILS ARE UNIFORM, IT IS DESIRABLE TO HAVE LIME FERTILIZER RECOMMENDATIONS BASED ON SOIL TESTS.

3. MULCHING

- A. MULCH - MULCH WITH ANY OF THE MATERIALS LISTED BELOW AND AT THE RATE INDICATED. SPREADING SHOULD BE UNIFORM AND AT A RATE THAT PERMITS NO MORE THAN 25/50% OF THE GROUND SHOWING THROUGH THE MULCH.
- B. MULCHING IS REQUIRED ON ALL SLOPES EXCEEDING 25% SLOPE.
 1. STRAW 1 TO 2 TONS DEPENDING ON SEASON AND METHOD OF APPLICATION
 2. WOOD FIBER MATERIALS 1000 LBS. PER ACRE.

4. MAINTENANCE

- A. IRRIGATION - IF SOIL MOISTURE IS DEFICIENT. SUPPLY NEW SEEDING AND PLANTINGS WITH ADEQUATE WATER FOR PLANT GROWTH UNTIL THEY ARE FIRMLY ESTABLISHED.
- B. REPAIR - INSPECT ALL AREAS FOR PLANTING FAILURES AND MAKE NECESSARY REPAIRS. REPLACEMENTS AND RESEEDING WITHIN THE PLANTING SEASON IF POSSIBLE
- C. LIME AND FERTILIZER SHALL BE APPLIED UNDER A REGULAR PROGRAM THAT IS BASED ON SOIL FERTILITY TESTS AND ON THE USE AND GENERAL APPEARANCE OF THE VEGETATIVE COVER DURING SUBSEQUENT GROWING SEASONS.

PLANTING DATES	SPECIES	SEEDING RATE (LBS./ACRE)
SEPT. 1 - FEB. 15	50/50 MIX OF ANNUAL RYEGRASS (LILIUM MULTI-FLORUM) & CEREAK (WINTER) RYE (SECALE CEREALE)	50 - 100
FEB. 16 - APR. 30	ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM)	60 - 100
MAY 16 - AUG. 31	GERMAN MILLET (SETARIA ITALICA)	50

MULCHING

- A. SEEDING MADE IN FALL FOR WINTER COVER AND DURING HOT DRY SUMMER MONTHS SHALL BE MULCHED IN ACCORDANCE WITH MULCHING, STD. & SPEC. 3.35 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION 1992.
- B. REPAIR - INSPECT ALL AREA FOR PLANTING FAILURES AND MAKE NECESSARY REPAIRS.

MAINTENANCE

- A. IRRIGATION - IF SOIL MOISTURE IS DEFICIENT. SUPPLY NEW SEEDINGS AND PLANTINGS WITH ADEQUATE WATER FOR PLANT GROWTH UNTIL THEY ARE FIRMLY ESTABLISHED.
- B. REPAIR - INSPECT ALL AREA FOR PLANTING FAILURES AND MAKE NECESSARY REPAIRS.

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REVISIONS

DESIGNED BY:	J.D.S.	
CHECKED BY:	M.V.	
APPROVED BY:		
NO	DATE	DESCRIPTION
	11-12-08	C/D/P REVIEW
	12-25-08	C/D/P REVIEW
	02-18-09	ZONING
	05-20-09	ZONING
	06-09-09	ZONING
	07-06-09	ZONING

Application No. **PM 78-018-R** Staff **Deborah**
APPROVED DEVELOPMENT PLAN
(DP) (GDP) (CDP) (DUP)
SEE **REVISIONS** DATED **July 19, 2009**
Date of (BOS) approval **July 27, 2009**
Sheet **11** of **18**

PROJECT NO:
1129.076



**FINAL DEVELOPMENT
PLAN AMENDMENT**

SEARCH RING NAME:

FRANKLIN FARM ROAD

SITE NUMBER:
IAD-335-1

SITE ADDRESS:
**13224 FRANKLIN FARM RD
HERNDON, VA 22071**

DESIGN TYPE:
COLOCATION

DRAWING TITLE:
CIVIL NOTES

DRAWING No.:
Z-9

Application No. **1129-076** Staff **Delmas**
 APPROVED DEVELOPMENT PLAN
 (DP) (GDP) (CDP) (CP)
 SEE **1129-076** DATED **July 19, 2009**
 Date of (BOS) **CP** approval **July 29, 2009**
 Sheet **12** of **13**

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CHECKED BY:	M.M.	
APPROVED BY:		
NO	DATE	DESCRIPTION
11-12-08		C/D/P REVIEW
12-25-08		C/D/P REVIEW
02-18-09		ZONING
05-20-09		ZONING
06-09-09		ZONING
07-06-09		ZONING

PROJECT NO:
1129.076



**FINAL DEVELOPMENT
 PLAN AMENDMENT**

SEARCH RING NAME:

FRANKLIN FARM ROAD

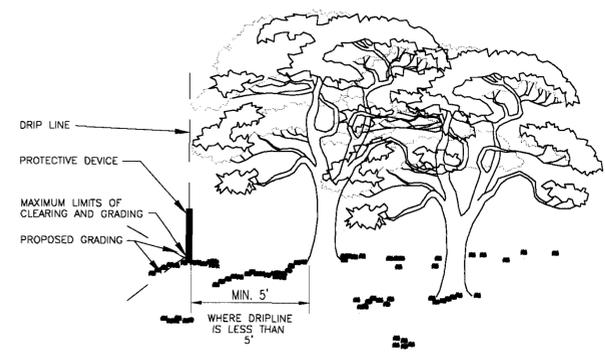
SITE NUMBER:
IA0-335-1

SITE ADDRESS:
**13224 FRANKLIN FARM RD
 HERNDON, VA 22071**

DESIGN TYPE:
COLOCATION

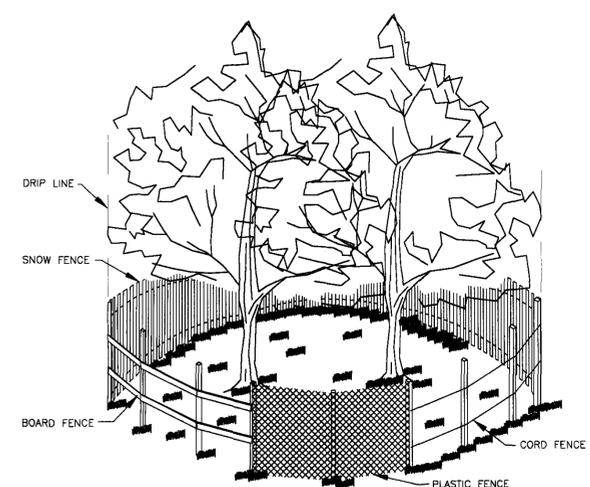
DRAWING TITLE:
**TREE PROTECTION
 DETAILS**
 (FOR INFORMATION PURPOSES ONLY)

DRAWING No.:
Z-10

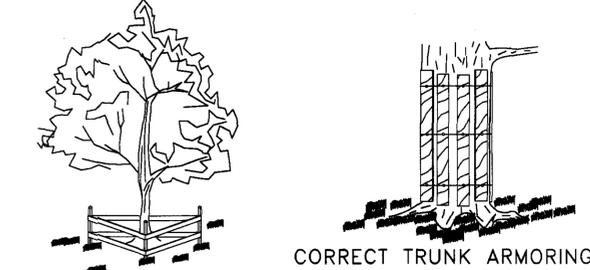


CONSTRUCTION OPERATIONS RELATIVE TO THE LOCATION OF PROTECTED TREES

TREE FENCE DETAIL
 SCALE: N.T.S. 1 Z-10



CORRECT METHODS OF TREE FENCING



CORRECT TRUNK ARMORING
 TRIANGULAR BOARD FENCE

FENCING AND ARMORING DETAIL
 SCALE: N.T.S. 2 Z-10



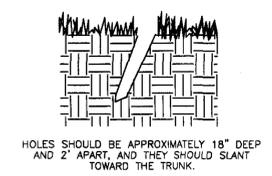
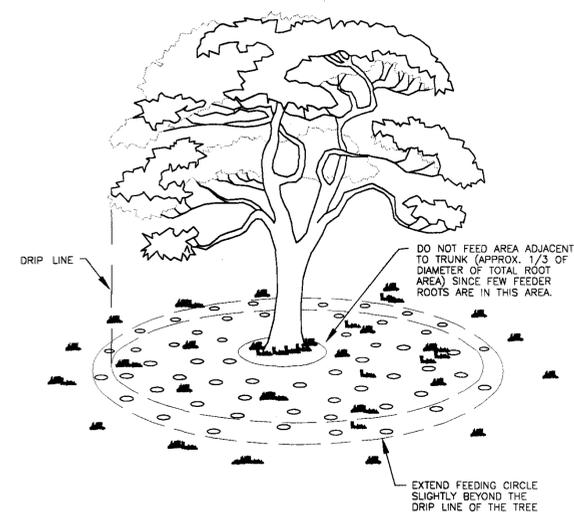
DESTRUCTION OF FEEDER ROOTS WILL PROBABLY KILL THE TREE
 TUNNELING UNDER THE TREE WILL PRESERVE IMPORTANT FEEDER ROOTS

TRENCHING VS. TUNNELING DETAIL
 SCALE: N.T.S. 3 Z-10

TREE PROTECTION NOTES

- TREES WITHIN 25' OF CONSTRUCTION SITE AND ASSOCIATED GRADING, PARKING, AND UTILITY EXTENSIONS SHALL BE BOXED IN TO PREVENT MECHANICAL INJURY. THE BOX SHOULD BE AS CLOSE TO THE DRIP LINE OF THE TREE AS POSSIBLE.
- BOARDS SHALL NOT BE NAILED TO TREES DURING CONSTRUCTION OPERATIONS.
- HEAVY EQUIPMENT OPERATORS SHALL AVOID DAMAGE TO EXISTING TREE TRUNKS AND ROOTS DURING LAND LEVELING OPERATIONS. TUNNEL UNDER ROOT SYSTEM WHEN INSTALLING UTILITY LINES, IF POSSIBLE.
- TREE TRUNKS AND EXPOSED ROOTS AND LIMBS DAMAGED DURING EQUIPMENT OPERATIONS WILL BE CARED FOR AS PRESCRIBED BY A FORESTER OR LICENSED TREE EXPERT.
- WOOD CHIPS SHALL BE SPREAD TO A 4" DEPTH IN WOODED SITES TO HELP PREVENT SOIL COMPACTION AND DAMAGE TO TREES.
- THE USE OF HEAVY EQUIPMENT ON ROOT SYSTEMS OF DESIRABLE TREES SHALL BE AVOIDED TO PREVENT SOIL COMPACTION. ALL CONSTRUCTION SHOULD BE KEPT OUT OF THE DRIP LINE OF PROTECTED TREES. PROTECTIVE FENCING SHALL BE UTILIZED FOR TREES BEING RETAINED AND SHALL BE LOCATED AT THE DRIP LINE.
- BROAD LEAF TREES SHALL RECEIVE A HEAVY APPLICATION OF COMPLETE FERTILIZER TO AID THEIR RECOVERY FROM POSSIBLE DAMAGE CAUSED BY CONSTRUCTION OPERATIONS. FERTILIZATION SHALL BE APPLIED DURING WINTER AND/OR EARLY SPRING FOLLOWING COMPLETION OF CONSTRUCTION. IT SHALL BE APPLIED AT THE GROUND LINE. FERTILIZER SHALL BE APPLIED IN HOLES 1" IN DIAMETER 18" DEEP. SPACED ABOUT 2' APART AT THE DRIP LINE OF THE TREE.
- FERTILIZER SHALL BE APPLIED AT THE RATE OF 2-4 LBS PER INCH OF TREE DIAMETER AT BREAST HEIGHT. FERTILIZER FORMULATION SHALL BE:

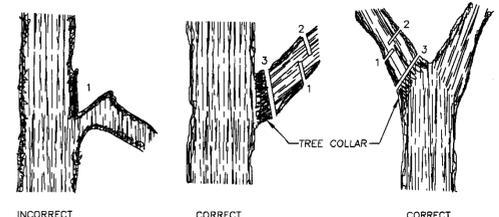
DECIDUOUS TREES	COMMERCIAL	10-6-4
NARROW LEAF EVERGREEN	COMMERCIAL	10-6-4
GREATER THAN 6"Ø		
BROAD LEAF EVERGREEN	TANKAGE OR COTTONSEED MIX	
- DURING THE FIRST TWO SUMMERS FOLLOWING CONSTRUCTION, IT IS DESIRABLE THAT THE TREES RECEIVE ADEQUATE AMOUNTS OF WATER.



TREE FERTILIZATION DETAIL
 SCALE: N.T.S. 5 Z-10



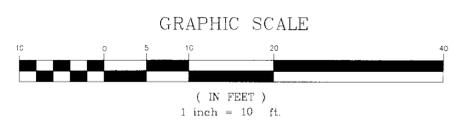
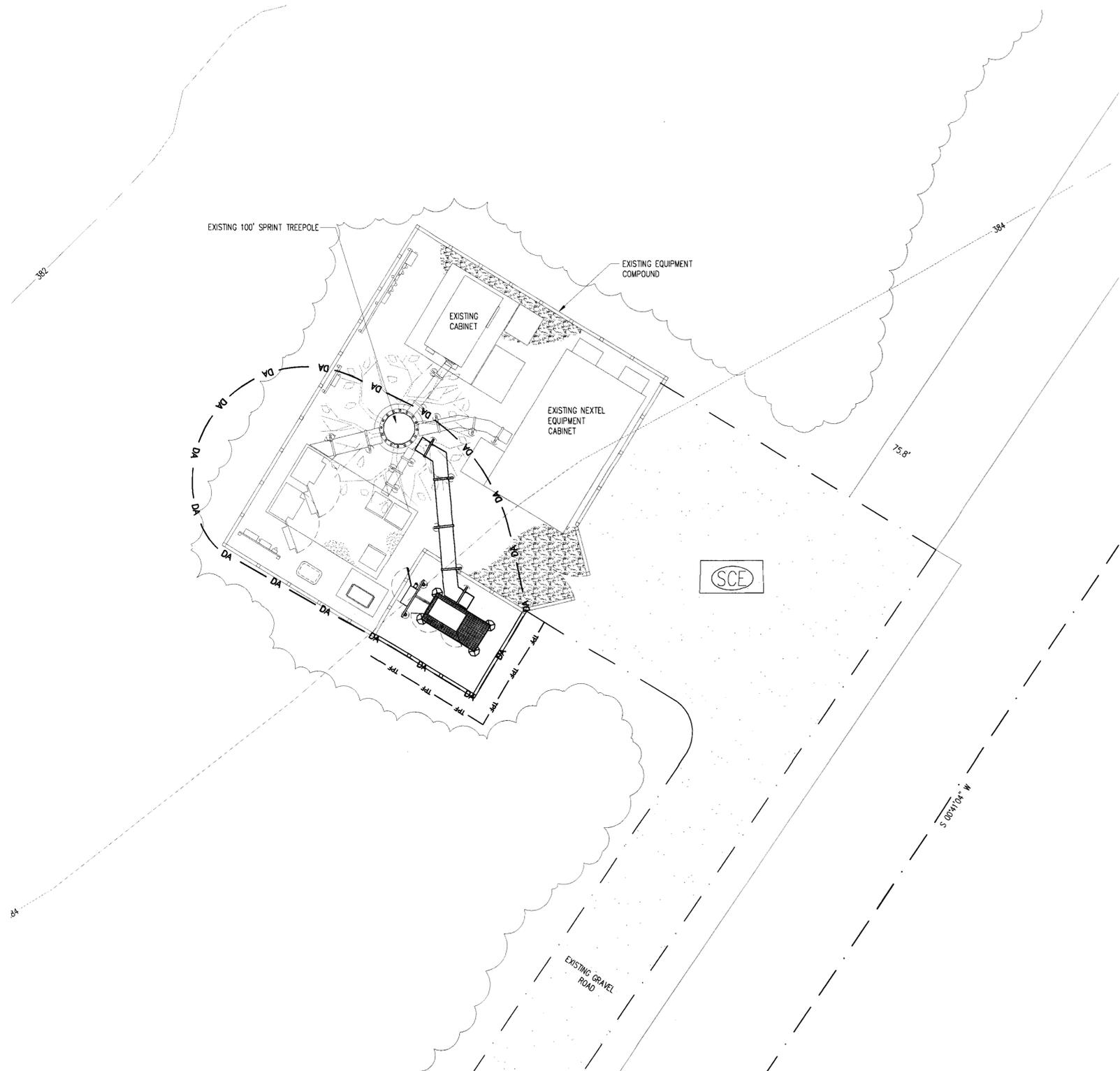
TREATING BARK WOUNDS



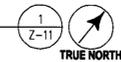
PRUNING DAMAGED BRANCHES

TREE CARE DETAIL
 SCALE: N.T.S. 4 Z-10

LINETYPES



STORMWATER MANAGEMENT PLAN
SCALE: 1"=10'-0"



DRAINAGE AREA: 1,972 SF

STORMWATER MANAGEMENT AND OUTFALL NARRATIVE SUMMARY

OVERALL DRAINAGE AREA

THE PROPOSED SITE WILL NOT HAVE A SIGNIFICANT IMPACT TO THE EXISTING SITE. THE PROPOSED SITE RUNOFF WILL BE DISCHARGED AS SHEET FLOW TOWARDS EXISTING WOODS AND WE DO NOT RECOMMEND ANY STORMWATER MANAGEMENT FOR THIS DEVELOPED SITE.

PROJECT SIZE < 2500 SF DISTURBED AREA

WATER QUALITY:

THIS PROJECT HAS A TOTAL DISTURBED AREA OF 250 SF AND DOES NOT REQUIRE STORMWATER MANAGEMENT IN ACCORDANCE WITH CHESAPEAKE BAY PRESERVATION ORDINANCE 118.

WATER DETENTION:

THIS PROJECT HAS MINIMAL INCREASE IN RUN OFF AND THE APPLICANT SHALL REQUEST A STORM WATER DETENTION WAIVER PER PUBLIC FACILITIES MANUAL 6-0301.3.

STORMWATER CALCULATIONS

ANALYSIS:

ANALYZE USING TR-55 SOFTWARE "URBAN HYDROLOGY FOR SMALL WATERSHEDS"

RESULTS:

FOR 10 YR-24 HR STORM EVENT

	PRE DEVELOPMENT	POST DEVELOPMENT	NET INCREASE
PEAK DISCHARGE (Qp10)	0.11 CFS	0.12 CFS	0.01 CFS

CONCLUSION:

THE NET INCREASE FOR THE 10 YR-24HR PEAK DISCHARGE Qp10 IS REPORTED AS LESS THAN 1 CFS OR BELOW CALCULATION LIMITS BY TR-55. THE NET INCREASE IN TOTAL RUNOFF FOR THE 10 YR-24HR STORM DUE TO THE PROPOSED GRAVEL COMPOUND IS 0.01 CFS. THESE CALCULATIONS SHOW THAT THERE IS NO SIGNIFICANT INCREASE IN THE WATER QUANTITY VOLUME FOR THE PURPOSES OF VIRGINIA STORM WATER MANAGEMENT.

STORM WATER MANAGEMENT AND BEST MANAGEMENT PRACTICE NARRATIVE (STORM WATER MANAGEMENT WAIVER REQUEST)

A STORMWATER MANAGEMENT WAIVER IS REQUESTED FOR THIS PROJECT.

THIS PROJECT QUALIFIES FOR AN EXEMPTION FROM STORMWATER MANAGEMENT. THE SW RUNOFF DOES NOT SIGNIFICANTLY INCREASE THE WATER QUANTITY VOLUME.

THE WATER QUALITY VOLUME CRITERIA QUALIFIES FOR A WAIVER ON THE BASIS THAT THE UNCOMPACTED GRAVEL COMPOUND ACTS TO AID INFILTRATION. IN ADDITION EXCESS SURFACE RUNOFF IS TRANSPORTED FROM THE SITE AS SHEET FLOW TO A VEGETATED BUFFER, WHICH IMPROVES WATER QUALITY THROUGH ABSORPTION AND INFILTRATION. THE DRAINAGE OUTFALL FOR THIS COMPOUND DEVELOPMENT AND PAVED AREAS WILL BE RUNOFF DISCHARGED AS A SHEET FLOW.

STORM WATER MANAGEMENT NARRATIVE SUMMARY

DRAINAGE AREA:

THE DRAINAGE AREA FOR THE SITE IS 1,972 SF (0.045 AC.) THE PRE-DEVELOPMENT DRAINAGE AREA FOR THE PROPOSED SITE AREA CONSISTS OF WOODED AREA AROUND THE COMPOUND AND A GRAVEL ACCESS DRIVE. THE POST-DEVELOPMENT DRAINAGE AREA FOR THE PROPOSED SITE AREA CONSISTS OF AN INCREASED GRAVEL COMPOUND AREA OF APPROXIMATELY 200 SF, TOTAL IMPERVIOUS AREA 1750 SF (0.04 AC.) THE AVERAGE SLOPE NEAR THE PROPOSED SITE IS APPROXIMATELY 1%. THE NET INCREASE OF PEAK DISCHARGE FOR 10 YR - 24 HR STORM WAS FOUND TO BE INCREASED BY 0.01 CFS BY TR-55 SOFTWARE PROGRAM, WHICH IS NOT SIGNIFICANT. THE OVERALL DRAINAGE AREA ANALYSIS SHOWS THAT THERE IS NO SIGNIFICANT INCREASE IN WATER QUANTITY VOLUME FOR THE SITE.

application.

This information is required under the following Zoning Ordinance paragraphs:

- Special Permits (8-011 2J & 2L)
- Cluster Subdivision (9-615 1G & 1N)
- Development Plans PRC District (16-302 3 & 4L)
- FDP P Districts (except PRC) (16-502 1F & 1Q)
- Special Exceptions (9-011 2J & 2L)
- Commercial Revitalization Districts (9-622 2A (12) & (14)
- PRC Plan (16-303 1E & 1O)
- Amendments (18-202 10F & 10I)

1. Plat is at a minimum scale of 1"=50' (unless it is depicted on one sheet with a minimum scale of 1"=100')
2. A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillway access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet Z-B.
3. Provide:

Facility Name/ Type & No.	On-site area served (acres)	Off-site area served (acres)	Drainage area (acres)	Footprint area (sf)	Storage Volume (cf)	If pond, height (f)
N/A						
Totals						
4. Onsite drainage channels, outfalls and pipe systems are shown on Sheet N/A. Pond inlet and outlet pipe systems are shown on Sheet N/A.
5. Maintenance access (road) to stormwater management facility(ies) are shown on Sheet N/A. Type of maintenance access road surface noted on the plat is N/A (asphalt, geoblock, gravel, etc.).
6. Landscaping and tree preservation shown in and near the stormwater management facility is shown on Sheet N/A.
7. A 'stormwater management narrative' which contains a description of how detention and best management practices requirements will be met is provided on Sheet Z-11.
8. A description of the existing conditions of each numbered site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet N/A.
9. A description of how the outfall requirements, including known changes to contributing drainage areas (i.e. drainage diversions), of the Public Facilities Manual will be satisfied is provided on Sheet Z-11.
10. Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheets Z-1, Z-2 & Z-11.
11. A submission waiver is requested for PROPOSED SITE DEVELOPMENT.
12. Stormwater management is not required because the project does not qualify under "substantial". Revised 2-21-2006

Application No. **FD078-C-14-B** Staff **DeMichele**
 APPROVED DEVELOPMENT PLAN
 (DP) (GDP) (CDP) (FDP)
 SEE **DATE** DATED **July 15, 2009**
 Date of (BOS) approval **July 21, 2009**
 Sheet **15** of **18**



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REVISIONS

DESIGNED BY:	J.D.S.	
CHECKED BY:	M.M.	
APPROVED BY:		
NO	DATE	DESCRIPTION
	11-12-08	C/D/P REVIEW
	12-25-08	C/D/P REVIEW
	02-18-09	ZONING
	05-20-09	ZONING
	06-09-09	ZONING
	07-06-09	ZONING

PROJECT NO:
1129.076



FINAL DEVELOPMENT PLAN AMENDMENT

SEARCH RING NAME:

FRANKLIN FARM ROAD

SITE NUMBER:
IAD-335-1

SITE ADDRESS:
**13224 FRANKLIN FARM RD
HERNDON, VA 22071**

DESIGN TYPE:
COLOCATION

DRAWING TITLE:
PRELIMINARY STORMWATER EVALUATION

DRAWING No.:
Z-11