

GENERAL NOTES

SE 2005-SU-020 WHOLE WORLD FELLOWSHIP AND CHURCH AT NORTHERN VIRGINIA, NV DOMINION CHRISTIAN SCHOOL AND INVISIBLE TOWERS, L.L.C. CONCURRENT WITH 2232-Y05-10 INVISIBLE TOWERS, L.L.C. AT VALE ROAD.

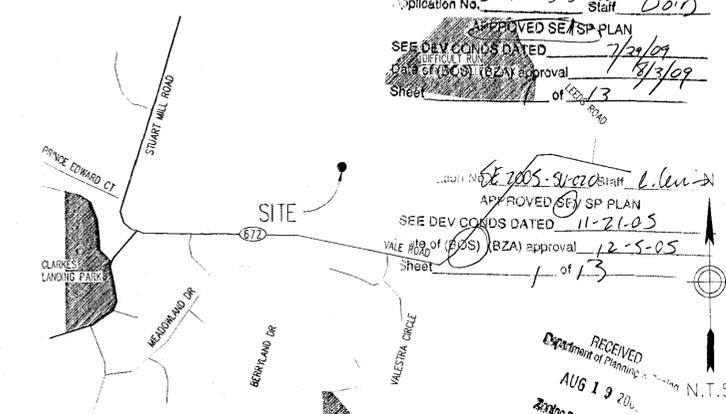
- FOR THE PURPOSE OF THE CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:
OWNER : INVISIBLE TOWERS, LLC
SUBCONTRACTOR : T.B.D. (CONSTRUCTION)
- THE SUBCONTRACTOR WHEN VISITING THE COMMUNICATION SITE SHALL FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND SHALL CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. THE SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS MUST BE VERIFIED. THE SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH CONSTRUCTION. SINCE THE COMMUNICATION SITE IS ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. PERSONAL RF EXPOSURE MONITORS ARE ADVISED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. THE SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
- ALL WORK CARRIED OUT SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE 2000, LATEST EDITION. ALL MECHANICAL AND ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH NFPA-70 THE NATIONAL ELECTRICAL CODE.
- DRAWINGS PROVIDED FOR CONSTRUCTION ARE NOT TO BE SCALED.
- UNLESS OTHERWISE NOTED, THE WORK SHALL INCLUDE FURNISHING MATERIAL, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE PLANS.
- THE SUBCONTRACTOR SHALL INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- THE SUBCONTRACTOR SHALL CONFIRM ACTUAL UTILITY ROUTING WITH THE CONTRACTOR AND REFLECT THE APPROVED ROUTE ON THE REDLINED DRAWINGS.
- THE SUBCONTRACTOR SHALL PROTECT THE EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING, AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT THE SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF SCRAP MATERIALS OR ANY OTHER ITEMS REMOVED FROM THE EXISTING FACILITY.
- THE SUBCONTRACTOR SHALL LEAVE PREMISES CLEAN AND IN IT'S ORIGINAL CONDITION.
- ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE.
- ANY NEW CONCRETE NEEDED FOR CONSTRUCTION SHALL HAVE 3000-PSI STRENGTH AT 28 DAYS OR UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS.
- ALL STRUCTURAL STEEL WORK SHALL BE DONE IN ACCORDANCE WITH AISC (NINTH EDITION).
- THERE WILL BE NO WORK PERFORMED ON SUNDAYS.

INVISIBLE TOWERS, LLC

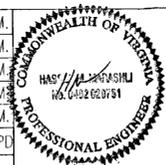
DIFFICULT RUN

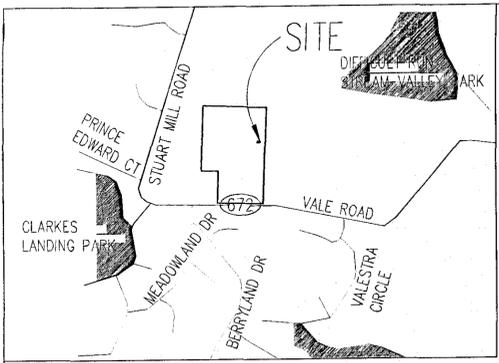
TOTAL DISTURBED AREA PHASE 1 = 2,495 SF

PROJECT INFORMATION	DRAWING INDEX	REV.
<p>SCOPE OF WORK: INSTALLATION OF A TREEPOLE FOUNDATION, STEALTH TREEPOLE WITH ANTENNAS, RETAINING WALL, FENCE, SITE IMPROVEMENTS, LANDSCAPING, ELECTRICAL AND TELEPHONE APPURTENANCES.</p> <p>SITE ADDRESS: 10922 VALE ROAD OAKTON, VA 22124</p> <p>ZONING: RE (RES ESTATE 1DU/2AC) PARCEL ID: 0371 01 0017 TAX DISTRICT: 93000 DISTRICT NAME: SULLY CURRENT USE: CHURCH/SCHOOL PROPOSED USE: CHURCH/SCHOOL/TELECOMMUNICATION FACILITY LAND AREA: 17.59 ACRES</p>	<p>T-1 TITLE SHEET AND GENERAL NOTES 0</p> <p>Z-1 SITE PLAN (SHEET 1 OF 2) 0</p> <p>Z-1A SITE PLAN (SHEET 2 OF 2) 0</p> <p>Z-2 ADJOINERS LIST, PHASING AND GRADING PLAN 0</p> <p>Z-3 COMPOUND PLAN (PHASE 1) AND TREE POLE ELEVATION 0</p> <p>Z-3A PROPERTY NORTH SOUTH CROSS SECTION 0</p> <p>Z-4 CINGULAR SHELTER AND EQUIPMENT DETAILS 0</p> <p>Z-4A SPRINT CABINETS AND EQUIPMENT DETAILS 0</p> <p>Z-4B VERIZON SHELTER AND EQUIPMENT DETAILS 0</p> <p>Z-5 CIVIL MAPS AND NOTES 0</p> <p>Z-6 PRELIMINARY STORM WATER MANAGEMENT PLAN 0</p> <p>Z-7 TREE REMOVAL AND COMPOUND LANDSCAPE PLAN 0</p> <p>Z-7A LANDSCAPE PLAN AND DETAILS 0</p>	

PROJECT DIRECTORY	VICINITY MAP (SCALE: 1" = 2000')
<p>PROPERTY OWNER: WHOLE WORLD FELLOWSHIP AND CHURCH AT NORTHERN VIRGINIA 7708 HARWOOD PL SPRINGFIELD, VA 22152</p> <p>APPLICANT: INVISIBLE TOWERS, LLC 38974 OLD STAGE PLACE WATERFORD, VA 20197 CONTACT: TIM DENNIS PHONE: (301) 651-8400 FAX: (540) 832-3291</p> <p>ARCHITECT / ENGINEER: ENTREX COMMUNICATIONS SERVICES, INC. 1575 EYE ST. NW WASHINGTON, DC 20005 CONTACT: MARC MARZULLO PHONE: (202) 408-0960 FAX: (202) 408-0961</p>	<p>DRIVING DIRECTIONS: FROM BETHESDA, MD TAKE I-495 SOUTH TO I-66 WEST. MERGE ONTO I-66 WEST. PROCEED TO CHAIN BRIDGE ROAD, VA-123N. TURN LEFT ONTO VA-674, HUNTER MILL ROAD AND PROCEED 1.4 MILES TO VALE ROAD. TURN LEFT ONTO VALE ROAD AND PROCEED 1 MILE. SITE IS ON YOUR RIGHT.</p>  <p>Application No. SEA 2005-SU-020 Staff (U.O.) APPROVED SEA/SP PLAN SEE DEV CONDS DATED 7/21/09 Date of (DCS) (BZA) approval 8/3/09 Sheet 1 of 13</p> <p>Application No. SE 2005-SU-020 Staff L. Lewis APPROVED SEA/SP PLAN SEE DEV CONDS DATED 11-21-05 VALE (BZA) (BZA) approval 12-5-05 Sheet 1 of 13</p> <p>RECEIVED Department of Planning & Zoning AUG 19 2009 N.T.S. Zoning Evaluation Division</p>

SPECIAL CONDITIONS	APPLICABLE CODES AND STANDARDS
<ol style="list-style-type: none"> A STRUCTURAL ANALYSIS SHALL BE SUBMITTED FROM LICENSED STRUCTURAL ENGINEER CONFIRMING THE STRUCTURAL ADEQUACY OF THE TREEPOLE AND FOUNDATION. THE TOTAL DISTURBED AREA FOR CONSTRUCTION IS 2,495 SF. 	<p>ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE 2000 INTERNATIONAL BUILDING CODE AND ALL OTHER APPLICABLE STATE CODES, ORDINANCES AND REGULATIONS. IN CASE OF CONFLICT BETWEEN THE CODES, STANDARDS, REGULATIONS, SPECIFICATIONS, GENERAL NOTES AND/OR MANUFACTURER'S REQUIREMENTS, USE THE MOST STRINGENT PROVISION.</p> <p>IN ANY SPECIFIC CASE ON CONFLICTS BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.</p> <p>TIA/EIA-222-F. NEC 2002. 2000 IBC</p>

 <p>1575 Eye Street, N.W. Suite 350 WASHINGTON, D.C. 20005 PHONE: (202)408-0960 X: (202)408-0961</p>	<p>DIFFICULT RUN 10922 VALE ROAD OAKTON, VA 22124</p> 	<table border="1"> <tr> <td>NO.</td> <td>DATE</td> <td>REVISIONS</td> <td>BY</td> <td>CHK</td> <td>APPD</td> </tr> <tr> <td>4</td> <td>08/19/05</td> <td>COUNTY COMMENTS</td> <td>R.S.</td> <td>M.M.</td> <td>M.M.</td> </tr> <tr> <td>3</td> <td>07/29/05</td> <td>COUNTY COMMENTS</td> <td>R.S.</td> <td>M.M.</td> <td>M.M.</td> </tr> <tr> <td>2</td> <td>06/09/05</td> <td>REVISED COMPOUND LAYOUT</td> <td>R.S.</td> <td>M.M.</td> <td>M.M.</td> </tr> <tr> <td>1</td> <td>04-25-05</td> <td>COUNTY COMMENTS</td> <td>R.S.</td> <td>M.M.</td> <td>M.M.</td> </tr> <tr> <td>0</td> <td>03/23/05</td> <td>ZONING</td> <td>TMF</td> <td>M.M.</td> <td>M.M.</td> </tr> </table>	NO.	DATE	REVISIONS	BY	CHK	APPD	4	08/19/05	COUNTY COMMENTS	R.S.	M.M.	M.M.	3	07/29/05	COUNTY COMMENTS	R.S.	M.M.	M.M.	2	06/09/05	REVISED COMPOUND LAYOUT	R.S.	M.M.	M.M.	1	04-25-05	COUNTY COMMENTS	R.S.	M.M.	M.M.	0	03/23/05	ZONING	TMF	M.M.	M.M.		<p>TITLE SHEET AND GENERAL NOTES</p> <p>SPECIAL EXCEPTION PLAT</p> <table border="1"> <tr> <th>JOB NUMBER</th> <th>DRAWING NUMBER</th> <th>REV</th> </tr> <tr> <td>1095.004</td> <td>T-1</td> <td>0</td> </tr> </table>	JOB NUMBER	DRAWING NUMBER	REV	1095.004	T-1	0
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<p>SCALE: AS SHOWN DESIGNED: CG DRAWN: WA</p>																																														



VICINITY MAP
SCALE: 1"=1000'
TRUE NORTH

PROJECT DATA
TELECOMMUNICATIONS COMPOUND AREA = 1,626 SF (PHASE 1)
TELECOMMUNICATIONS COMPOUND AREA = 1,536 SF (PHASE 2)
TOTAL PROJECT DISTURBED AREA = 2,495 SF (PHASE 1)
TOTAL PROJECT DISTURBED AREA = 2,495 SF (PHASE 2)

EXISTING CONDITIONS
ALL EXISTING BUILDINGS AND STRUCTURES ON THE PROPERTY ARE TO REMAIN EXCEPT FOR EXISTING SHED LABELED "TO BE REMOVED."

ORDINANCE DATA
OWNER: WHOLE WORLD FELLOWSHIP AND CHURCH AT NORTHERN VIRGINIA
PARCEL ID: 0371.01.0017
ZONING: RE
EXISTING USE: CHURCH/SCHOOL (GENERAL EDUCATION)
SPECIAL PERMIT #SPA 78-C-055-3
PROPOSED USE: CHURCH/SCHOOL/TELECOMMUNICATION
OPEN SPACE:
REQUIRED: 153,244 SF OR 20%
PROVIDED: 655,203 SF OR 86%

BUILDING INFORMATION
MAXIMUM BUILDING HEIGHT: 60'
EXISTING CHURCH: 42' HIGH - CONSTRUCTION DATE 1972
CHURCH EDUCATION BUILDING: CONSTRUCTION DATE 1978
GARAGE: 12' HIGH - CONSTRUCTION DATE 1972
EXISTING ORIGINAL BUILDING: 29.3' HIGH - CONSTRUCTION DATE 1976
TOTAL EXISTING GROSS BUILDING FLOOR AREA: +/-32,768 SF
TOTAL PROPOSED GROSS TELECOMMUNICATIONS FLOOR AREA: +/-44,968 SF
TOTAL FLOOR AREA: +/-77,736 SF
EXISTING CHURCH SEATING CAPACITY: 430 SEATS
MAXIMUM FLOOR AREA RATIO: 0.15
TOTAL FLOOR AREA RATIO: 0.58

SET BACK INFORMATION
FRONT YARD REQUIRED: 550 ANGLE OF BULK PLANE BUT NOT LESS THAN 50'
EXISTING CHURCH: 277.7'
EXISTING ORIGINAL BUILDING: 406.0'
TELECOMMUNICATIONS TREE POLE: 703.0'
TELECOMMUNICATIONS COMPOUND: 680.0'
SIDE YARD REQUIRED: 450 ANGLE OF BULK PLANE BUT NOT LESS THAN 20'
EXISTING CHURCH: 74.5'
EXISTING ORIGINAL BUILDING: 138.0'
TELECOMMUNICATIONS TREE POLE: 50.0'
TELECOMMUNICATIONS COMPOUND: 40.0'
REAR YARD REQUIRED: 450 ANGLE OF BULK PLANE BUT NOT LESS THAN 25'
EXISTING CHURCH: 685.0'
EXISTING ORIGINAL BUILDING: 615.0'
TELECOMMUNICATIONS TREE POLE: 425.0'
TELECOMMUNICATIONS COMPOUND: 408.0'

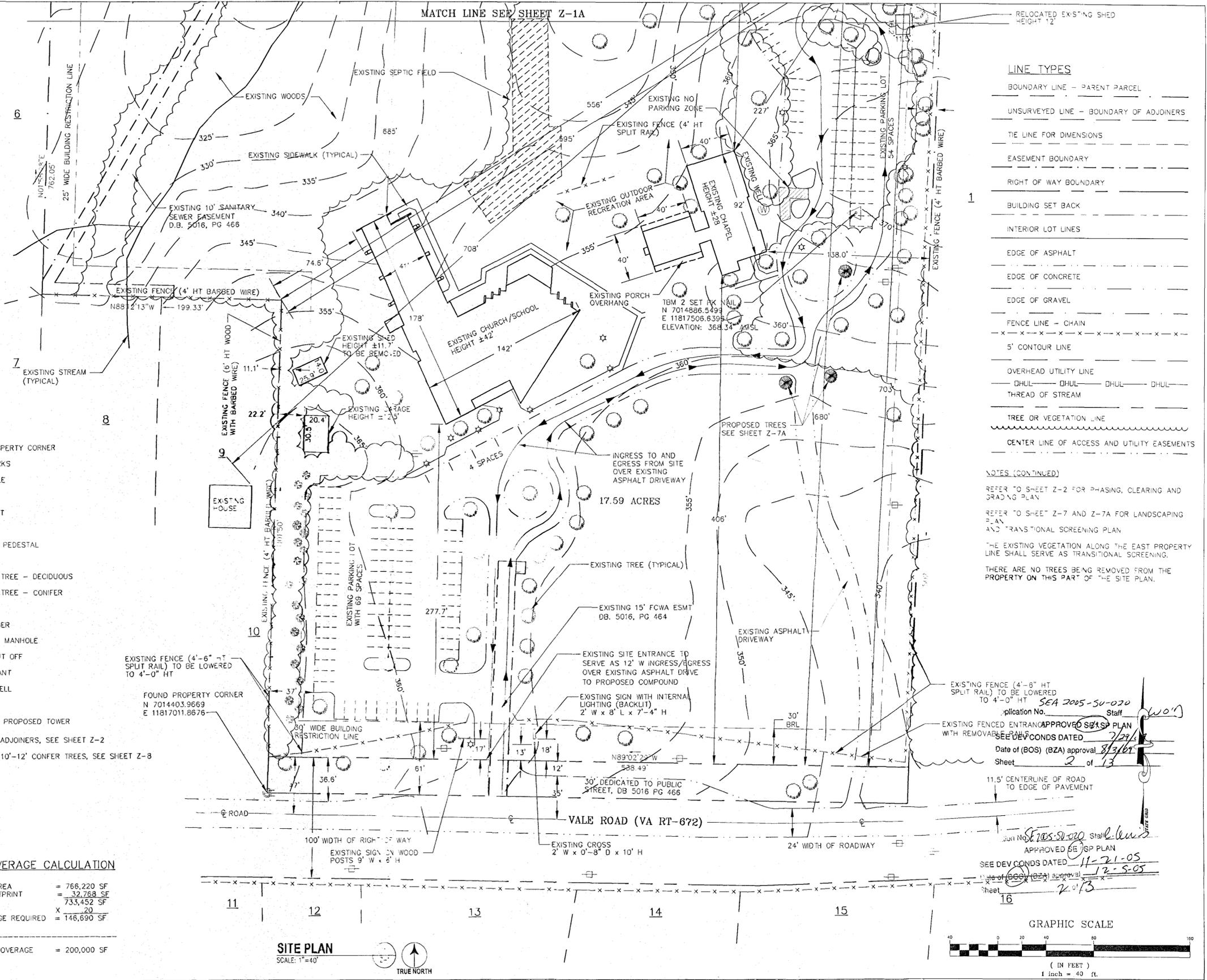
PARKING SCHEDULE
CHURCH:
1 SPACE PER 4 SEATS IN PRINCIPAL PLACE OF WORSHIP
430 SEATS/4 = 108 PARKING SPACES
SCHOOL OF GENERAL EDUCATION - ELEMENTARY/INTERMEDIATE:
1 SPACE PER FULL TIME EMPLOYEE (12 FACULTY/STAFF) = 2 PARKING SPACES
4 SPACES FOR VISITORS = 4 PARKING SPACES
TOTAL REQUIRED PARKING = 108+12+4 = 124 SPACES
NOTE: THE TELECOMMUNICATIONS FACILITY GENERATES APPROXIMATELY 1 TRIP PER MONTH PER CARRIER, HENCE, NO DEDICATED PARKING IS REQUIRED.
EXISTING PARKING PROVIDED = 127 SPACES

NOTES
THE PROPERTY IS SERVED BY PUBLIC WATER.
THERE IS AN EXISTING SEPTIC FIELD ON THE PROPERTY.
THE PROPERTY IS NOT LOCATED IN THE FEMA 100 YEAR FLOOD PLANE.
THERE ARE NO PROPOSED STORM WATER MANAGEMENT FACILITIES FOR THIS PROJECT.
THERE ARE NO GRAVES, OBJECTS OR STRUCTURES MARKING A PLACE OF BURIAL ON THE PROPERTY PER THE FAIRFAX COUNTY CEMETERY MAP.
THERE ARE NO TRAILS REQUIRED BY THE FAIRFAX COUNTY ADOPTED COMPREHENSIVE PLAN ON THIS PROPERTY.
THERE ARE NO PROPOSED SIGNS FOR THIS PROJECT.
TOPOGRAPHY FOR THIS PROPERTY WAS DETERMINED FROM A FIELD RUN SURVEY AND EXISTING SITE PLANS.
EXISTING VEGETATION MAPPING IS NOT REQUIRED SINCE THE TOTAL DISTURBED AREA IS LESS THAN 2,500 SF.

- LEGEND**
- FOUND PROPERTY CORNER
 - △ BENCH MARKS
 - UTILITY POLE
 - SIGN
 - FLOOD LIGHT
 - ★ LIGHT POLE
 - TELEPHONE PEDESTAL
 - CULVERT
 - INDIVIDUAL TREE - DECIDUOUS
 - INDIVIDUAL TREE - CONIFER
 - BUSH
 - ◇ TRANSFORMER
 - ⊕ ELECTRICAL MANHOLE
 - ⊖ WATER SHUT OFF
 - ⊕ FIRE HYDRANT
 - ⊕ MONITOR WELL
 - ⊕ WELL
 - ⊕ CENTER OF PROPOSED TOWER
 - 8 PROPERTY ADJOINERS, SEE SHEET Z-3
 - ⊕ PROPOSED 10'-12' CONIFER TREES, SEE SHEET Z-8

TREE COVERAGE CALCULATION

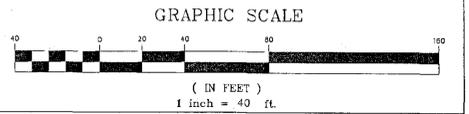
TOTAL SITE AREA	= 766,220 SF
BUILDING FOOTPRINT	= 32,768 SF
TOTAL DISTURBED AREA	= 733,452 SF
TREE COVERAGE REQUIRED	= 146,690 SF
TOTAL TREE COVERAGE	= 200,000 SF



- LINE TYPES**
- BOUNDARY LINE - PARENT PARCEL
 - - - UNSURVEYED LINE - BOUNDARY OF ADJOINERS
 - TIE LINE FOR DIMENSIONS
 - - - EASEMENT BOUNDARY
 - - - RIGHT OF WAY BOUNDARY
 - BUILDING SET BACK
 - - - INTERIOR LOT LINES
 - - - EDGE OF ASPHALT
 - - - EDGE OF CONCRETE
 - - - EDGE OF GRAVEL
 - - - FENCE LINE - CHAIN
 - - - 5' CONTOUR LINE
 - - - OVERHEAD UTILITY LINE
 - - - DHUL - DHUL - DHUL - DHUL
 - - - THREAD OF STREAM
 - - - TREE OR VEGETATION LINE
 - - - CENTER LINE OF ACCESS AND UTILITY EASEMENTS

NOTES (CONTINUED)
REFER TO SHEET Z-2 FOR PHASING, CLEARING AND GRADING PLAN
REFER TO SHEET Z-7 AND Z-7A FOR LANDSCAPING PLAN AND TRANSITIONAL SCREENING PLAN
THE EXISTING VEGETATION ALONG THE EAST PROPERTY LINE SHALL SERVE AS TRANSITIONAL SCREENING.
THERE ARE NO TREES BEING REMOVED FROM THE PROPERTY ON THIS PART OF THE SITE PLAN.

Application No. **SEA 2005-50-070**
Staff **W.O.**
APPROVED SEAS PLAN
DATE OF (BOS) (BZA) APPROVAL **7/29/05**
Sheet **2** of **13**
APPROVED SEAS PLAN
DATE OF (BOS) (BZA) APPROVAL **11-21-05**
Sheet **2** of **13**



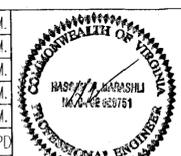
SITE PLAN
SCALE: 1"=40'
TRUE NORTH



DIFFICULT RUN
10922 VALE ROAD
OAKTON, VA 22124



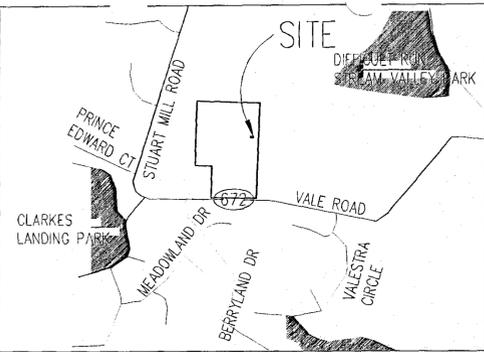
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NO.	DATE	REVISIONS	BY	CHK	APPD
SCALE: AS SHOWN		DESIGNED: M.M.	DRAWN: R.S.		



SITE PLAN SHEET 1 OF 2

SPECIAL EXCEPTION PLAT

JOB NUMBER	DRAWING NUMBER	REV
1095.004	Z-1	0



VICINITY MAP
SCALE: 1"=1000'
TRUE NORTH

- LEGEND**
- FOUND PROPERTY CORNER
 - △ BENCH MARKS
 - UTILITY POLE
 - SIGN
 - ▲ FLOOD LIGHT
 - ☆ LIGHT POLE
 - TELEPHONE PEDESTAL
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 - ⊕ MONITOR WELL
 - ⊕ WELL
 - CENTER OF PROPOSED TOWER

SETBACK TABLES

TREE POLE SETBACKS	
FRONT YARD	703'
REAR YARD	425'
SIDE YARD (E)	50'
SIDE YARD (W)	595'

COMPOUND SETBACKS	
FRONT YARD	680'
REAR YARD	371'
SIDE YARD (E)	40'
SIDE YARD (W)	558'

TREEPOLE TO BUILDING SETBACK TABLE

TO CHAPEL	227'
TO HOUSE	708'

PARKING SPACE SCHEDULE

PARKING SPACES PROVIDED	127
PARKING SPACES REQUIRED	124
NO ADDITIONAL PARKING PER ARTICLE 11 IS REQUIRED	

- LINE TYPES**
- BOUNDARY LINE - PARENT PARCEL
 - - - UNSURVEYED LINE - BOUNDARY OF ADJACERS
 - TIE LINE FOR DIMENSIONS
 - - - EASEMENT BOUNDARY
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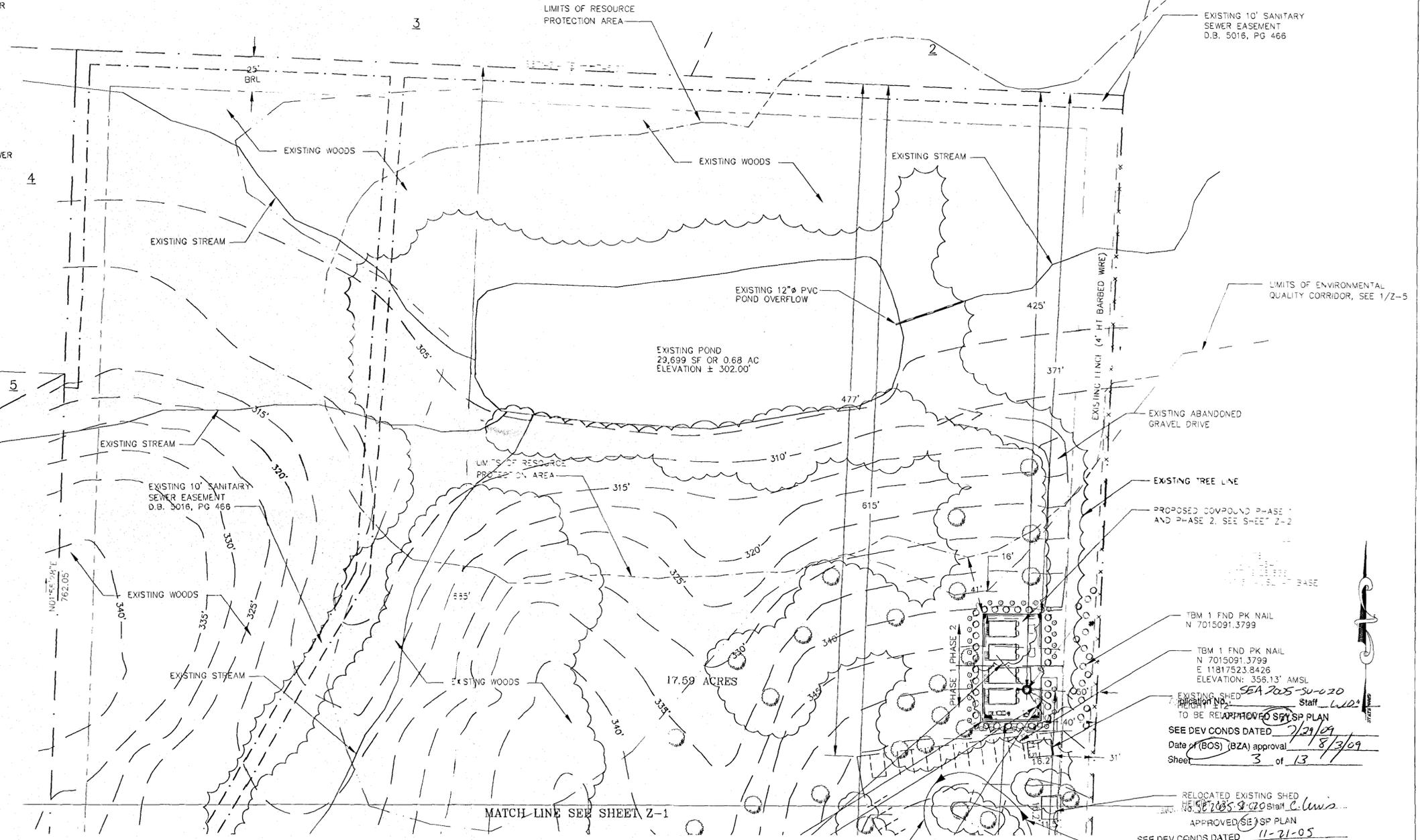
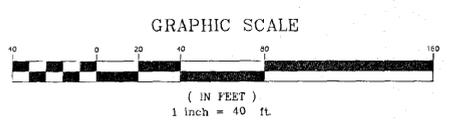
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REFER TO SHEET Z-7 FOR LANDSCAPING PLAN AND TRANSITIONAL SCREENING PLAN

THE EXISTING VEGETATION ALONG THE EAST PROPERTY LINE SHALL SERVE AS TRANSITIONAL SCREENING.

CONSTRUCTION ACCESS TO THE SITE FROM VALE ROAD OVER THE EXISTING ASPHALT DRIVEWAY.



SITE PLAN
SCALE: 1"=40'
TRUE NORTH

TBM 1 FND PK NAIL
N 7015091.3799

TBM 1 FND PK NAIL
N 7015091.3799
E 11817523.8426
ELEVATION: 358.13' AMSL

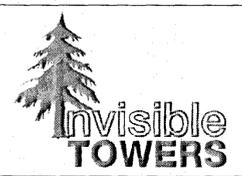
SEA 7025-SU-020
Staff: WLD
APPROVED SITE PLAN
TO BE RELIANT
SEE DEV CONDS DATED 7/21/09
Date of (BOS) (BZA) approval 8/3/09
Sheet 3 of 13

RELOCATED EXISTING SHED
NO. 50205-9-020 Staff: C. Lewis
APPROVED SITE PLAN
SEE DEV CONDS DATED 11-21-05
Date of (BOS) (BZA) approval 12-5-05

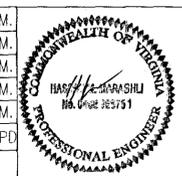
INGRESS TO SITE OVER EXISTING ASPHALT DRIVEWAY FROM VALE ROAD

entrex
communication services, inc.
1575 Eye Street, N.W. Suite 350
WASHINGTON, D.C. 20005
PHONE: (202)408-0960
FAX: (202)408-0961

DIFFICULT RUN
10922 VALE ROAD
OAKTON, VA 22124



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NO.	DATE	REVISIONS	BY	CHK	APPD
SCALE: AS SHOWN		DESIGNED: M.M.	DRAWN: R.S.		



SITE PLAN SHEET 2 OF 2

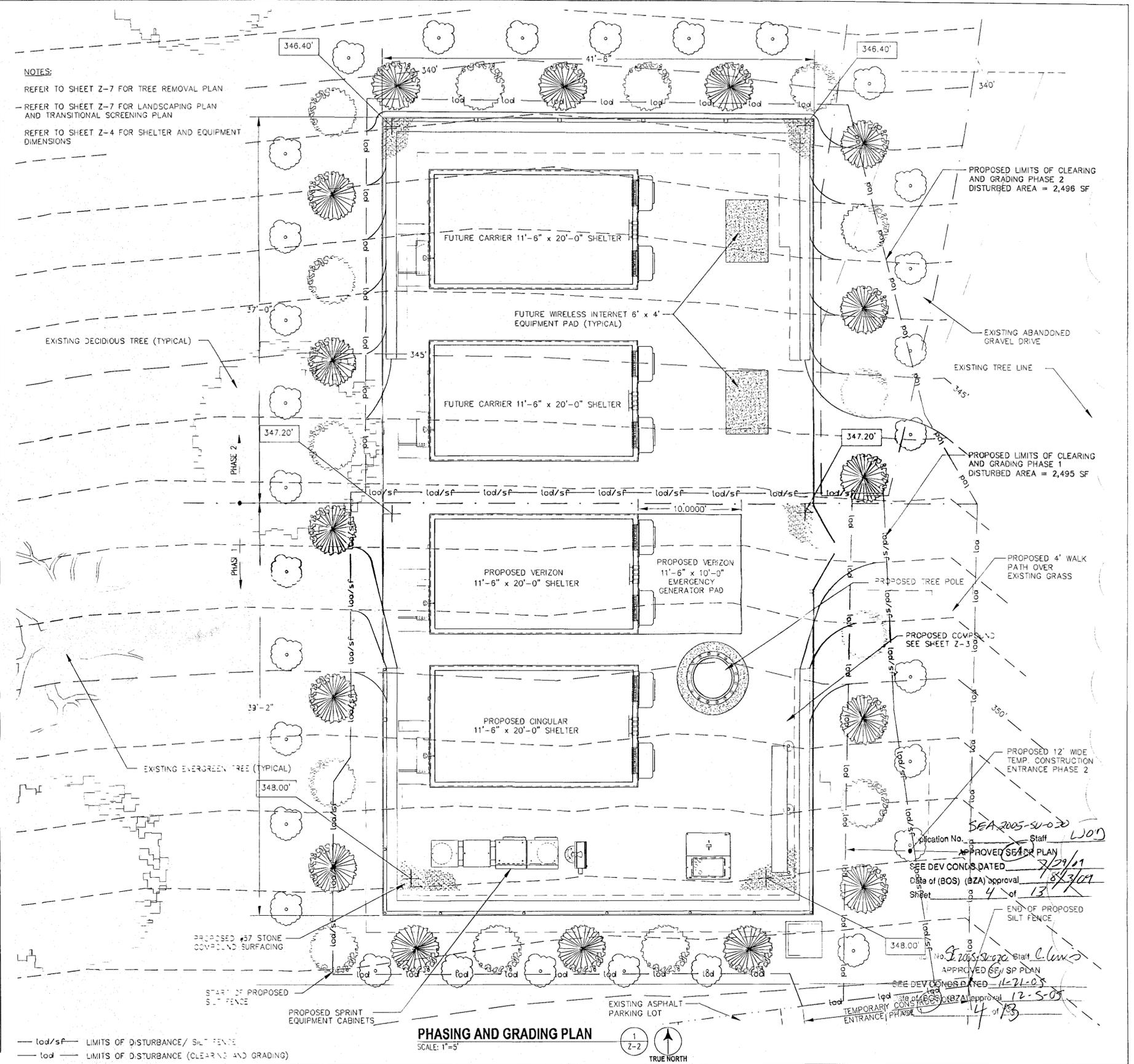
SPECIAL EXCEPTION PLAT

JOB NUMBER	DRAWING NUMBER	REV
1095.004	Z-1A	0

ADJOINERS LIST

1. PARCEL ID: 0371 01 0040
 PARCEL OWNER: FAIRFAX COUNCIL OF GIRL SCOUTS
 SITE ADDRESS: 10900 VALE ROAD
 OAKTON, VA 22124
 MAILING ADDRESS: POB 9155
 ARLINGTON, VA 22219
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 42.3274 AC
 ZONING: RE USE: RECREATION CAMP
 DEED: BOOK 6039 PAGE 4739
2. PARCEL ID: 0371 01 0025A
 PARCEL OWNER: GIRL SCOUTS OF THE NATIONS CAPITAL
 SITE ADDRESS: OAKTON, VA 22124
 MAILING ADDRESS: POB 9155
 ARLINGTON, VA 22219
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 2.389 AC
 ZONING: RE USE: RECREATION CAMP
 DEED: BOOK N/A PAGE N/A
3. PARCEL ID: 0371 01 0025
 PARCEL OWNER: ROONEY DANIEL D AND GRACE M
 SITE ADDRESS: 10948 STUART MILL ROAD
 OAKTON, VA 22124
 MAILING ADDRESS: SAME
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 3.1967 AC
 ZONING: RE USE: RESIDENTIAL
 DEED: BOOK 055833 PAGE 0233
4. PARCEL ID: 0371 01 0023A
 PARCEL OWNER: HULLUNG G LORA A
 SITE ADDRESS: 10934 STUART MILL RD
 OAKTON, VA 22124
 MAILING ADDRESS: SAME
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 2.337 AC
 ZONING: RE USE: RESIDENTIAL
 DEED: BOOK 08420 PAGE 0480
5. PARCEL ID: 0371 07 0001
 PARCEL OWNER: NOEL DONNA K, NOEL WILLIAM M III
 SITE ADDRESS: 10932 STUART MILL RD
 OAKTON, VA 22124
 MAILING ADDRESS: SAME
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 2.172 AC
 ZONING: RE USE: RESIDENTIAL
 DEED: BOOK 11639 PAGE 0172
6. PARCEL ID: 0371 01 0023B
 PARCEL OWNER: PARIS ROBERT E
 SITE ADDRESS: 10930 STUART MILL RD
 OAKTON, VA 22124
 MAILING ADDRESS: SAME
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 2.145 AC
 ZONING: RE USE: RESIDENTIAL
 DEED: BOOK 3088 PAGE 0616
7. PARCEL ID: 0371 01 0021
 PARCEL OWNER: LAREZ MAX R
 SITE ADDRESS: 11006 VALE RD
 OAKTON, VA 22124
 MAILING ADDRESS: 3406 KEISLER CT
 HERNDON, VA 20170
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 1.7522 AC
 ZONING: RE USE: RESIDENTIAL
 DEED: BOOK 16453 PAGE 0209
8. PARCEL ID: 0371 01 0020
 PARCEL OWNER: HAHN JULIE A
 SITE ADDRESS: 11004 VALE RD
 OAKTON, VA 22124
 MAILING ADDRESS: SAME
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 9.102 AC
 ZONING: RE USE: RESIDENTIAL
 DEED: BOOK 15950 PAGE 1125
9. PARCEL ID: 0371 01 0018
 PARCEL OWNER: JACKSON PAUL K W
 SITE ADDRESS: 11002 VALE RD
 OAKTON, VA 22124
 MAILING ADDRESS: SAME
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: .5 AC
 ZONING: RE USE: RESIDENTIAL
 DEED: BOOK 16415 PAGE 0275
10. PARCEL ID: 0371 01 0019
 PARCEL OWNER: DOLVIN CHARLES A, DOLVIN SUSAN J
 SITE ADDRESS: 11000 VALE RD
 OAKTON, VA 22124
 MAILING ADDRESS: SAME
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: .5 AC
 ZONING: RE USE: RESIDENTIAL
 DEED: BOOK 07945 PAGE 0441
11. PARCEL ID: 0371 17 0001A
 PARCEL OWNER: MUHS CHARLES T, ANDSERON-MUHS SUSAN B
 SITE ADDRESS: 2701 BERRYLAND DR
 OAKTON, VA 22124
 MAILING ADDRESS: SAME
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 44122 SF
 ZONING: R-1C USE: RESIDENTIAL
 DEED: BOOK 09829 PAGE 0210
12. PARCEL ID: 0371 17 0001
 PARCEL OWNER: UGAST JOSEPH, UGAST SUZANNE
 SITE ADDRESS: 10856 MEADOWLAND DR
 OAKTON, VA 22124
 MAILING ADDRESS: SAME
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 55044 SF
 ZONING: R-1C USE: RESIDENTIAL
 DEED: BOOK 11035 PAGE 1261
13. PARCEL ID: 0371 17 0002
 PARCEL OWNER: FAUX WILLIAM H JR TR
 SITE ADDRESS: 10854 MEADOWLAND DR
 OAKTON, VA 22124
 MAILING ADDRESS: SAME
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 33528 SF
 ZONING: R-1C USE: RESIDENTIAL
 DEED: BOOK 16073 PAGE 0878
14. PARCEL ID: 0371 17 0003
 PARCEL OWNER: MARDER CAREY M AN EILEEN M
 SITE ADDRESS: 10852 MEADOWLAND DR
 OAKTON, VA 22124
 MAILING ADDRESS: SAME
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 26079 SF
 ZONING: R-1C USE: RESIDENTIAL
 DEED: BOOK 07114 PAGE 1667
15. PARCEL ID: 0371 17 0004
 PARCEL OWNER: CHADWICK CHARLES D JR AND PATSY T
 SITE ADDRESS: 10850 MEADOWLAND DR
 OAKTON, VA 22124
 MAILING ADDRESS: SAME
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 48392 SF
 ZONING: R-1C USE: RESIDENTIAL
 DEED: BOOK 06735 PAGE 1245
16. PARCEL ID: 0371 17 0005
 PARCEL OWNER: WADE JACK WARREN J AND LINDA G
 SITE ADDRESS: 10862 WEISIGER LA
 OAKTON, VA 22124
 MAILING ADDRESS: SAME
 TAX DISTRICT: 90000
 DISTRICT NAME: SULLY
 LAND AREA: 25922 SF
 ZONING: R-1C USE: RESIDENTIAL
 DEED: BOOK 06104 PAGE 0691

NOTES:
 REFER TO SHEET Z-7 FOR TREE REMOVAL PLAN
 REFER TO SHEET Z-7 FOR LANDSCAPING PLAN AND TRANSITIONAL SCREENING PLAN
 REFER TO SHEET Z-4 FOR SHELTER AND EQUIPMENT DIMENSIONS

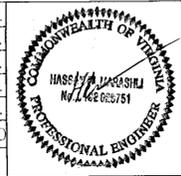


DIFFICULT RUN
 10922 VALE ROAD
 OAKTON, VA 22124

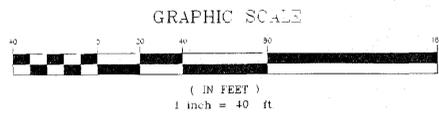
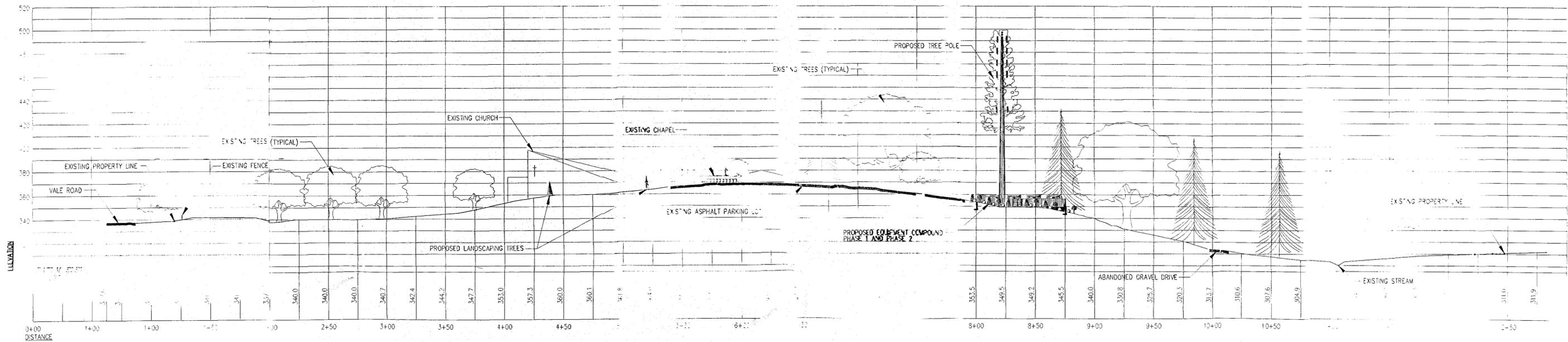


NO.	DATE	REVISIONS	BY	CHK	APPD
4	08/19/05	COUNTY COMMENTS	R.S.	M.M.	M.M.
3	07/29/05	COUNTY COMMENTS	R.S.	M.M.	M.M.
2	06/09/05	REVISED COMPOUND LAYOUT	R.S.	M.M.	M.M.
1	04-25-05	COUNTY COMMENTS	R.S.	M.M.	M.M.
0	03/23/05	ZONING	TMF	M.M.	M.M.

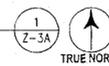
SCALE: AS SHOWN DESIGNED: C.T. DRAWN: R.S.



ADJOINERS LIST, PHASING AND GRADING PLAN		
SPECIAL EXCEPTION PLAT		
JOB NUMBER	DRAWING NUMBER	REV
1095.004	Z-2	0



SOUTH - NORTH CROSS SECTION
 SCALE: 1"=40' HORIZONTAL
 1"=40' VERTICAL



Application No. SEA 2005-SU-070
 Staff W.D.
 APPROVED SEAS PLAN
 SEE DEV CONDS DATED 7/29/09
 Date of (BOS) (BZA) approval 8/3/09
 Sheet 6 of 13

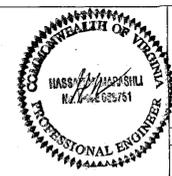
Application No. SEA 2005-SU-070 Staff C. Lewis
 APPROVED SEAS PLAN
 SEE DEV CONDS DATED 11-21-05
 Date of (BOS) (BZA) approval 12-5-05
 Sheet 6 of 13

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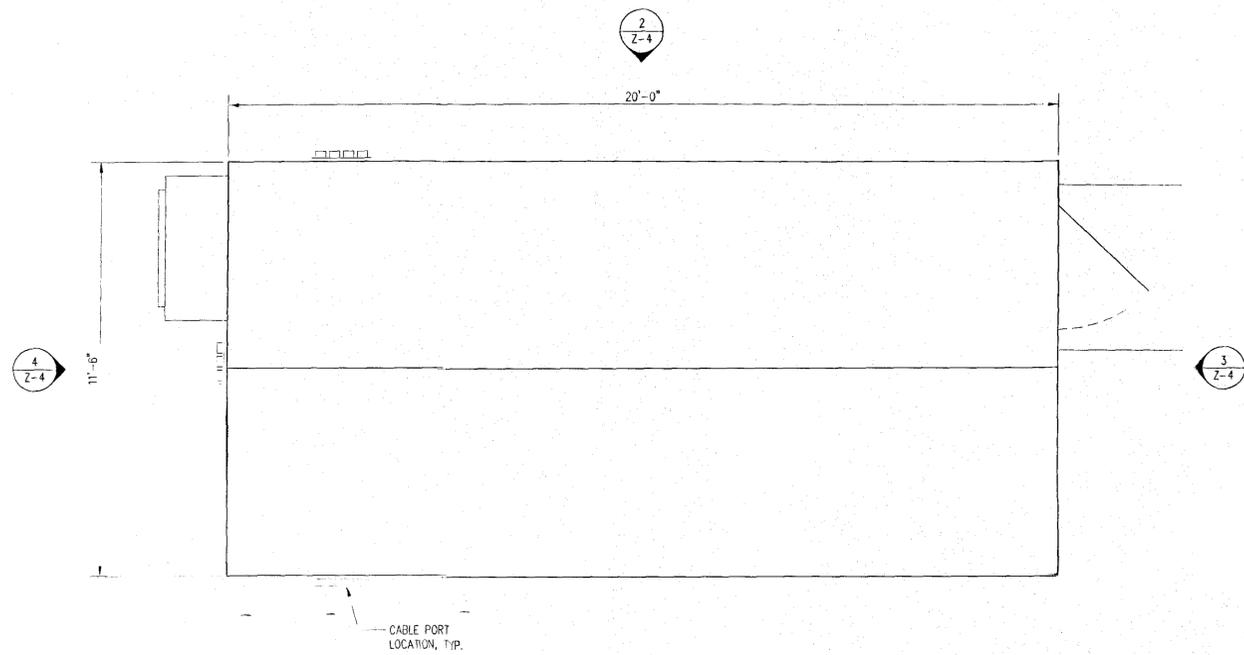
DIFFICULT RUN
 10922 VALE ROAD
 OAKTON, VA 22124

INVISIBLE TOWERS, LLC

3	07/29/05	COUNTY COMMENTS	R.S.	M.M.	M.M.
2	06/09/05	REVISED COMPOUND LAYOUT	R.S.	M.M.	M.M.
1	04-25-05	COUNTY COMMENTS	R.S.	M.M.	M.M.
0	03/23/05	ZONING	TMF	M.M.	M.M.
NO.	DATE	REVISIONS	BY	CHK	APPD
SCALE: AS SHOWN		DESIGNED: M.M.	DRAWN: R.S.		

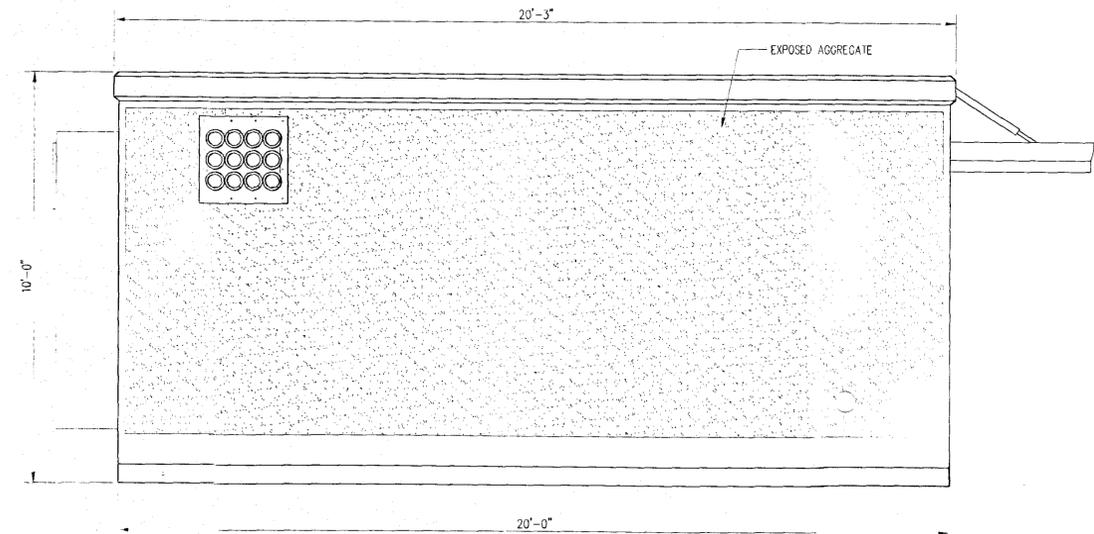


PROPERTY NORTH - SOUTH CROSS SECTION		
SPECIAL EXCEPTION PLAN		
JOB NUMBER	DRAWING NUMBER	REV
1095.004	Z-3A	0



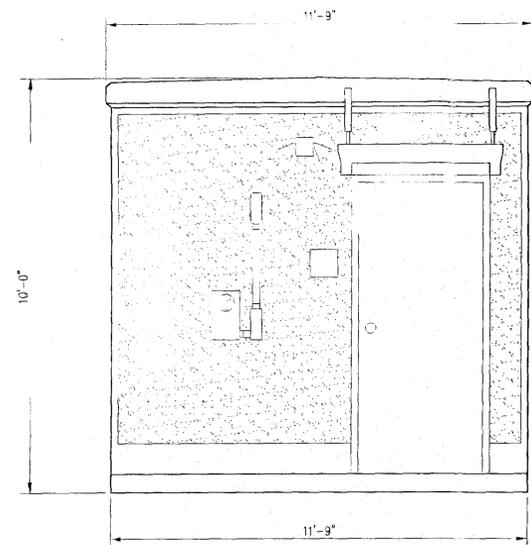
SHELTER PLAN
SCALE: 1/2"=1'-0"

1
Z-4



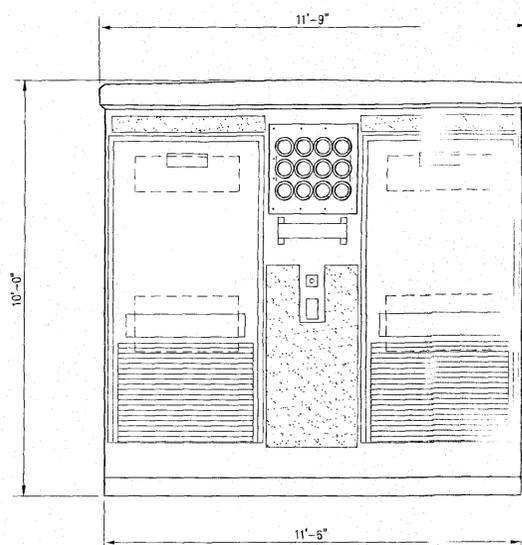
SIDE SHELTER ELEVATION
SCALE: 1/2"=1'-0"

2
Z-4



FRONT SHELTER ELEVATION
SCALE: 1/2"=1'-0"

3
Z-4



REAR SHELTER ELEVATION
SCALE: 1/2"=1'-0"

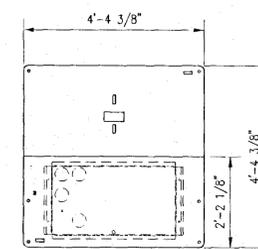
4
Z-4



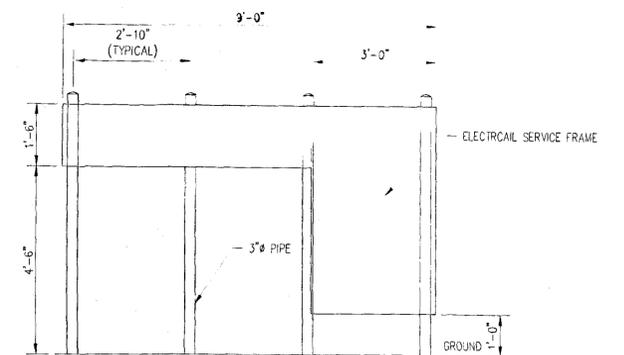
PROPOSED ANTENNA

NOTES:

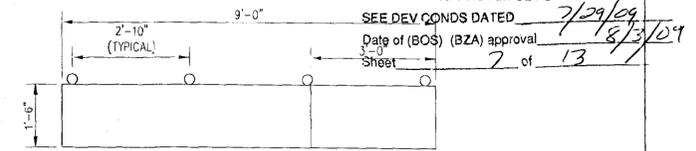
- ANTENNA SHALL NOT EXCEED 6'-0" L x 2'-0" W
- THERE WILL BE ONLY ONE CSC CABINET AND ONE ELECTRICAL BACKBOARD AT THE SITE INSTALLED WITH THE CINGULAR EQUIPMENT.



CSC CABINET AND HANDHOLE PLAN
CSC CABINET HEIGHT: 60 INCHES



PROPOSED ELECTRICAL BACKBOARD ELEVATION
BACKBOARD FRAME HEIGHT: 5'



APPROVED SE / SP PLAN
SEE DEV CONDS DATED 7/29/09
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Sheet 7 of 13

DETAILS
SCALE: 1/2"=1'-0"

5
Z-4

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DIFFICULT RUN
10922 VALE ROAD
CAKTON, VA 22124



NO.	DATE	REVISIONS	BY	CHK	APP
4	08/19/05	COUNTY COMMENTS	R.S.	M.M.	M.M.
3	07/29/05	COUNTY COMMENTS	R.S.	M.M.	M.M.
2	06/09/05	REVISED COMPOUND LAYOUT	R.S.	M.M.	M.M.
1	04-25-05	COUNTY COMMENTS	R.S.	M.M.	M.M.
0	03/23/05	ZONING	TMF	M.M.	M.M.
		REVISIONS			

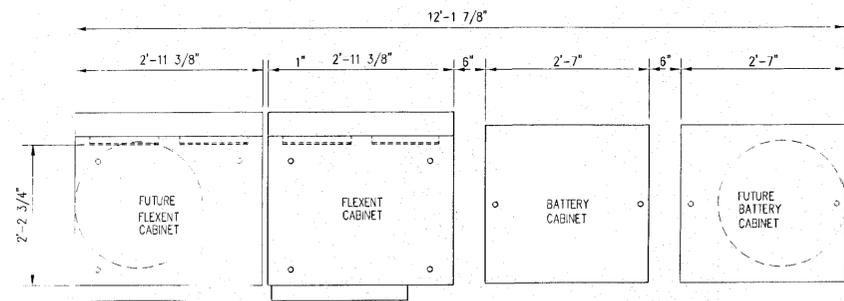
DESIGNED: C.T. DRAWN: R.S.



CINGULAR SHELTER AND EQUIPMENT DETAILS

SPECIAL EXCEPTION PLAT

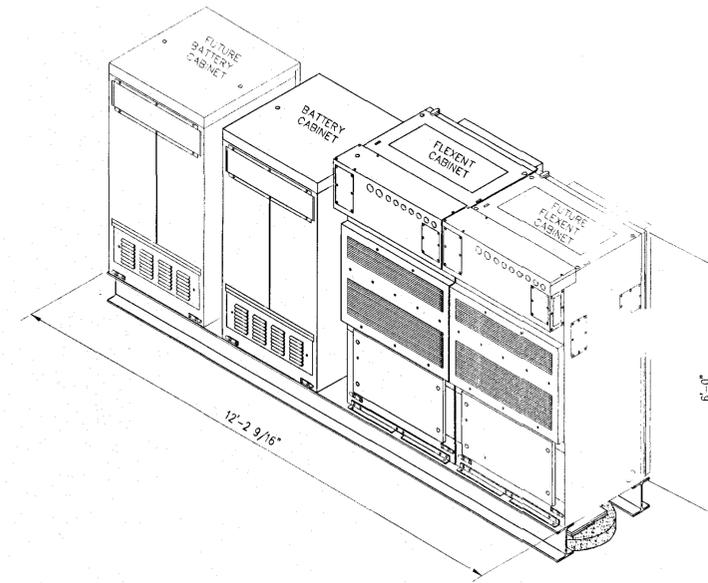
JOB NUMBER	DRAWING NUMBER	REV
1095.004	Z-4	0



PCS EQUIPMENT LAYOUT

SCALE: 3/4"=1'-0"

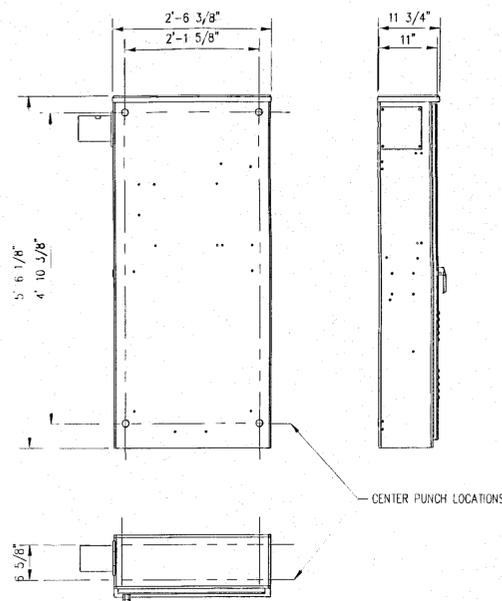
1
Z-4A



ISOMETRIC MODEL EQUIPMENT LAYOUT

SCALE: 1/2"=1'-0"

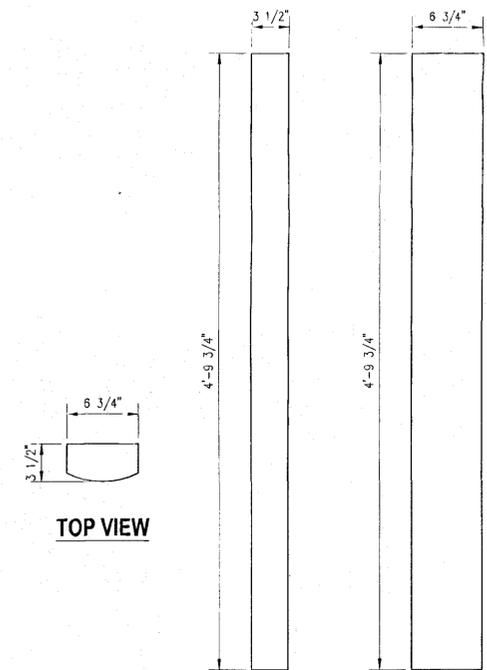
2
Z-4A



EQUIPMENT DETAILS

SCALE: 3/4"=1'-0"

3
Z-4A



ANTENNA DETAILS

SCALE: 1-1/2"=1'-0"

4
Z-4A

Application No. SEA 2005-50-070 Staff W.O.D
 APPROVED SEA SP PLAN
 SEE DEV CONDS DATED 7/29/09
 Date of (BOS) (BZA) approval 8/9/09
 Sheet 8 of 13

Application No. SEA 2005-91-000 Staff Clews
 APPROVED SEA SP PLAN
 SEE DEV CONDS DATED 11-21-05
 Date of (BOS) (BZA) approval 12-5-05
 Sheet 8 of 13

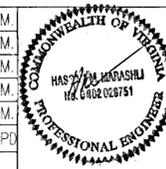
NOTE:
 ANTENNA SHALL NOT EXCEED 6'-0" L x 2'-0" W

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DIFFICULT RUN
 10922 VALE ROAD
 OAKTON, VA 22124



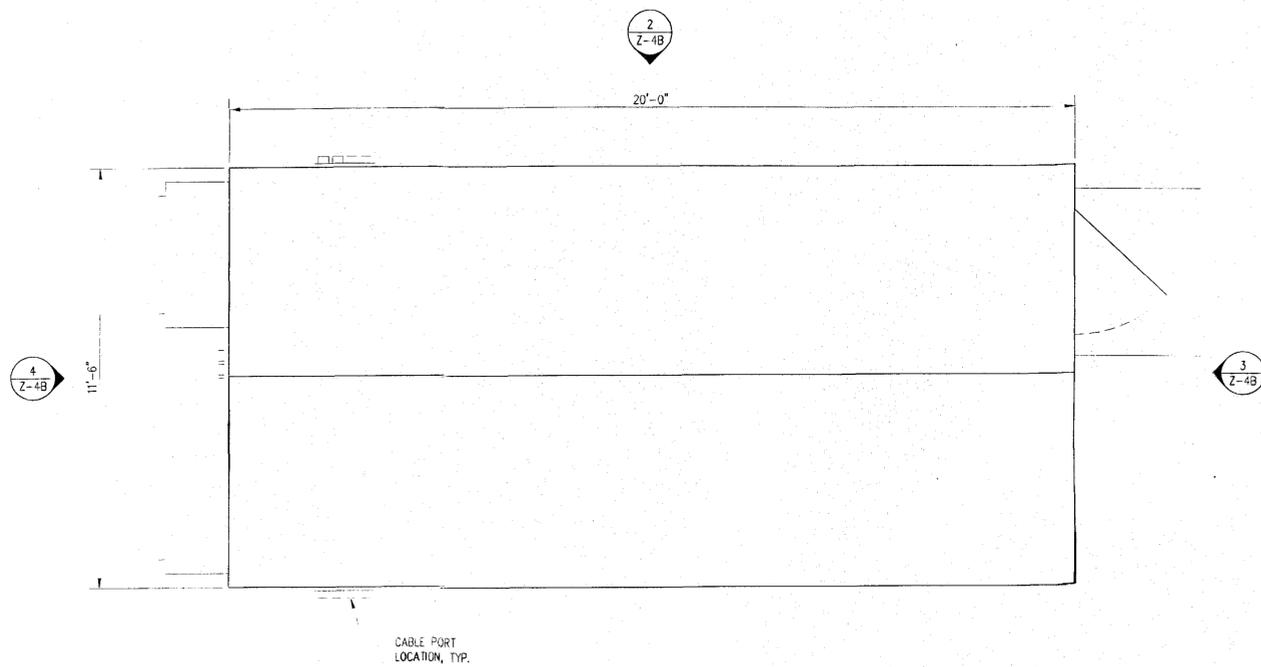
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3	07/29/05	COUNTY COMMENTS	R.S.	M.M.	M.M.
2	06/09/05	REVISED COMPOUND LAYOUT	R.S.	M.M.	M.M.
1	04-25-05	COUNTY COMMENTS	R.S.	M.M.	M.M.
0	03/23/05	ZONING	TMF	M.M.	M.M.
NO.	DATE	REVISIONS	BY	CHK	APPO
SCALE: AS SHOWN		DESIGNED: M.M.	DRAWN: R.S.		



SPRINT CABINETS AND EQUIPMENT DETAILS

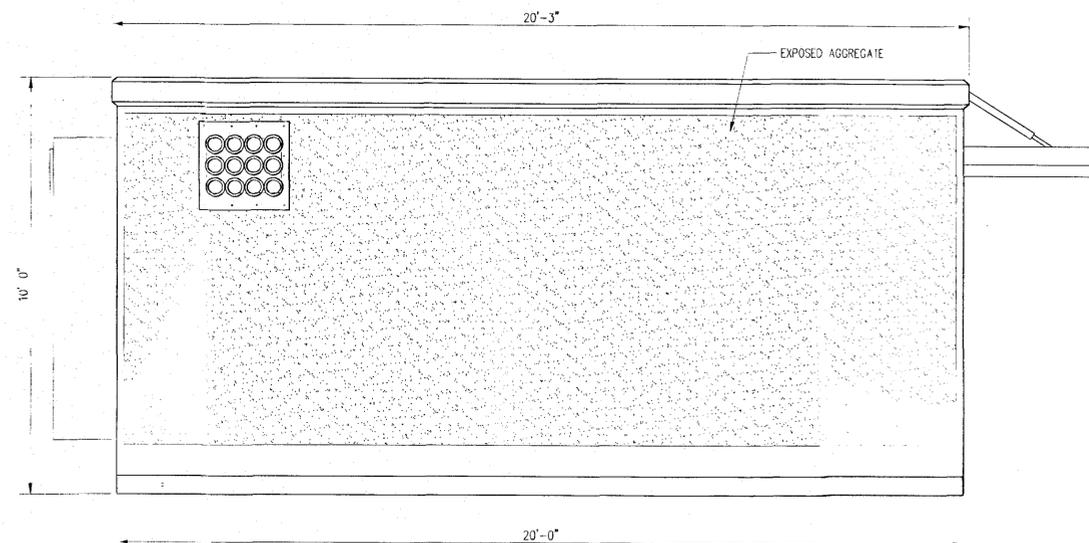
SPECIAL EXCEPTION PLAT

JOB NUMBER	DRAWING NUMBER	REV
1095.004	Z-4A	0



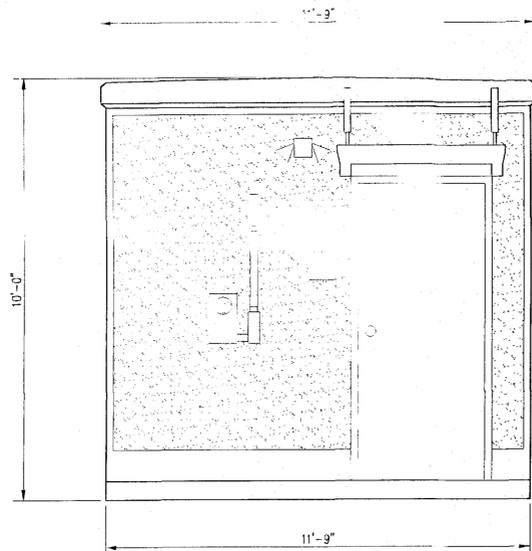
SHELTER PLAN
SCALE: 1/2"=1'-0"

1
Z-48



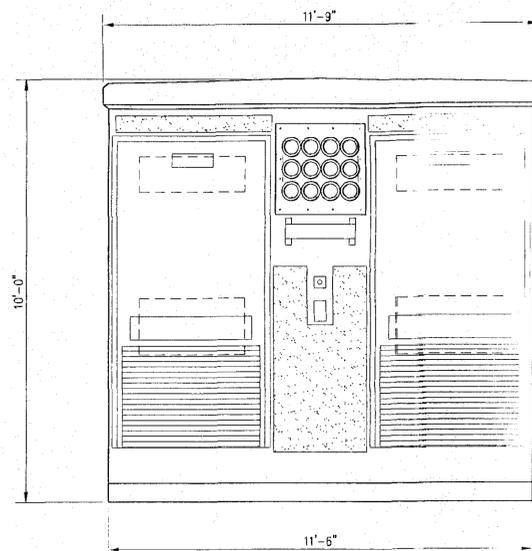
SIDE SHELTER ELEVATION
SCALE: 1/2"=1'-0"

2
Z-48



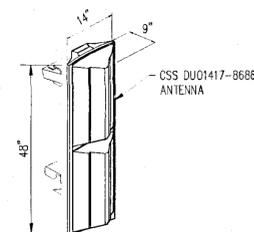
FRONT SHELTER ELEVATION
SCALE: 1/2"=1'-0"

3
Z-48



REAR SHELTER ELEVATION
SCALE: 1/2"=1'-0"

4
Z-48



PROPOSED ANTENNA

NOTE:
ANTENNA SHALL NOT EXCEED 6'-0" L x 2'-0" W

ANTENNA DETAIL
SCALE: 1/2"=1'-0"

5
Z-48

Application No. SEA 2005-SU-020 Staff W.O.N.
APPROVED SEASP PLAN
SEE DEV CONDS DATED 7/24/09
Date of (BOS) (BZA) approval 8/13/09
Sheet 9 of 13

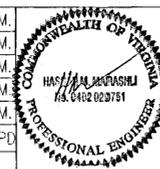
Application No. SEA 2005-SU-020 Staff C. Lewis
APPROVED SEASP PLAN
SEE DEV CONDS DATED 11-21-05
Date of (BOS) (BZA) approval 12-5-05
Sheet 9 of 13

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DIFFICULT RUN
10922 VALE ROAD
OAKTON, VA 22124

Invisible TOWERS

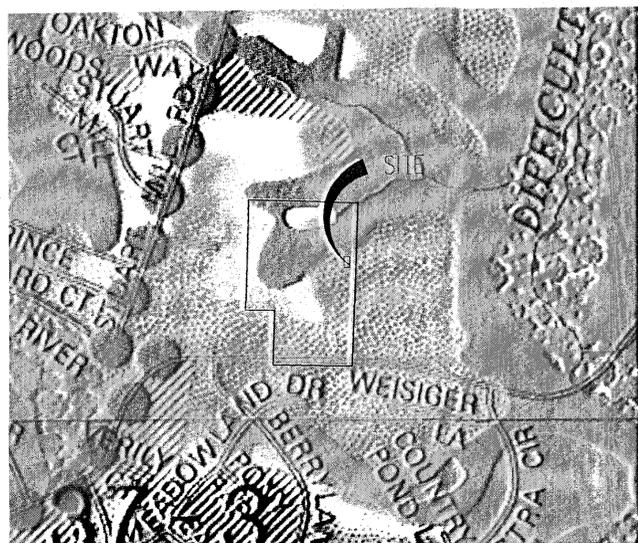
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3	07/29/05	COUNTY COMMENTS	R.S.	M.M.	M.M.
2	06/09/05	REVISED COMPOUND LAYOUT	R.S.	M.M.	M.M.
1	04-25-05	COUNTY COMMENTS	R.S.	M.M.	M.M.
0	03/23/05	ZONING	TMF	M.M.	M.M.
NO.	DATE	REVISIONS	BY	CHK	APPD
SCALE: AS SHOWN		DESIGNED: C.T.	DRAWN: R.S.		



VERIZON SHELTER AND EQUIPMENT DETAILS

SPECIAL EXCEPTION PLAT

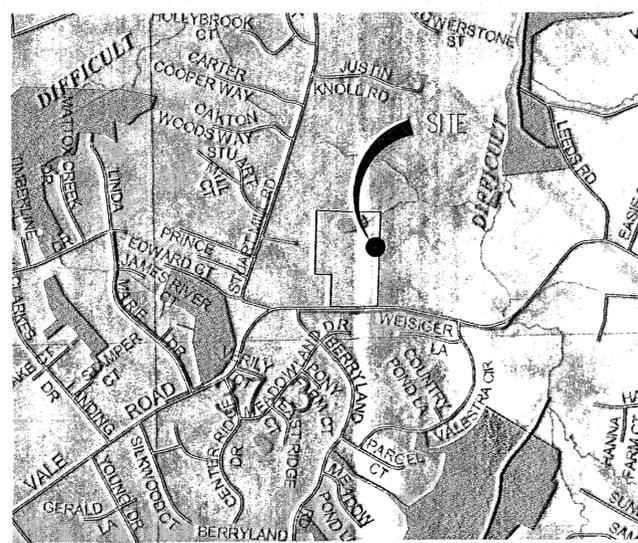
JOB NUMBER	DRAWING NUMBER	REV
1095.004	Z-48	0



ENVIRONMENTAL QUALITY MAP
SCALE: 1" = 1000'
1
2-5
TRUE NORTH

SOURCE:
FAIRFAX COUNTY COMPREHENSIVE PLAN

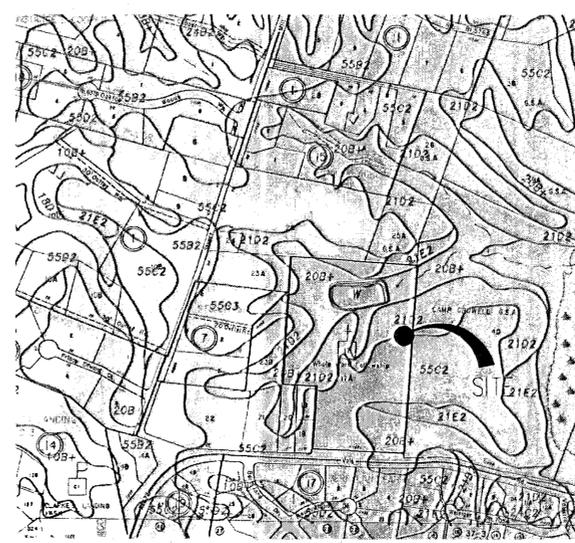
NOTES:
THE PROJECT SITE IS LOCATED APPROXIMATELY 52 FT FROM THE NEAREST ENVIRONMENTAL QUALITY CORRIDOR.



TRAIL MAP
SCALE: 1" = 1000'
2
2-5
TRUE NORTH

SOURCE:
FAIRFAX COUNTY COMPREHENSIVE PLAN

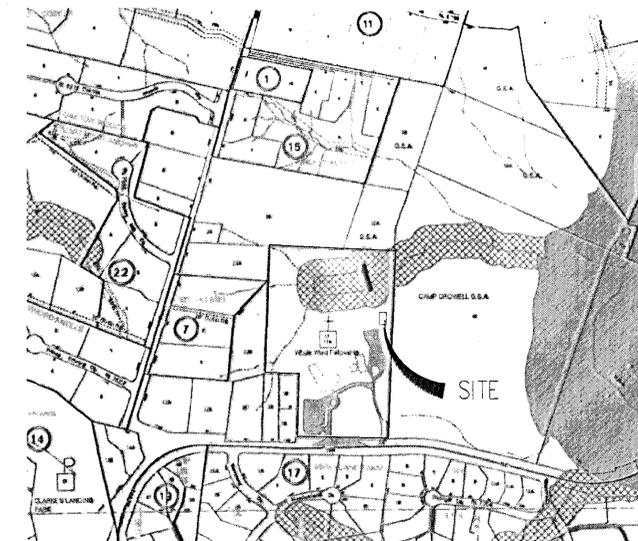
NOTES:
THERE ARE NO EXISTING OR PLANNED COUNTY TRAILS ON THE PROPERTY. THERE IS A PLANNED TRAIL ON THE SOUTH SIDE OF VALE ROAD.



SOILS MAP
SCALE: 1" = 500'
3
2-5
TRUE NORTH

SOURCE:
FAIRFAX COUNTY
MAP SECTION 37-1

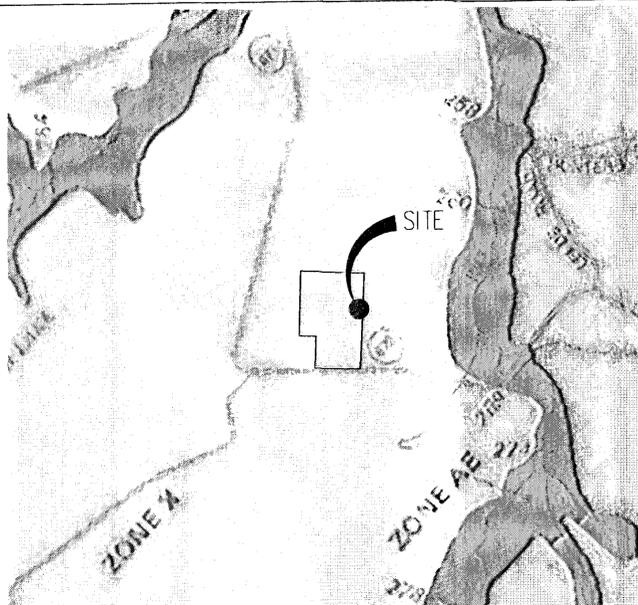
SOIL TYPE: 5502 GLENELG
--S SOIL OCCURS ON HILTOPS AND SIDE SLOPES UNDERLAIN BY MICACEOUS SCHIST. SILTS AND CLAYS OVERLIE SLTY AND SANDY DECOMPOSED ROCK. DEPTH TO HARD BEDROCK RANGES FROM 5 TO 100 FEET. PERMEABILITY IS MODERATE TO MODERATELY RAPID. FOUNDATION SUPPORT FOR SMALL BUILDINGS (THREE STORES OR LESS) IS TYPICALLY SUITABLE. BECAUSE OF A HIGH MICA CONTENT, THE SOIL TENDS TO "FLUFF" UP WHEN DISTURBED AND IS DIFFICULT TO COMPACT, REQUIRING ENGINEERING DESIGNS FOR USE AS STRUCTURAL FILL. THIS SOIL IS SUITABLE FOR SEPTIC DRAINFIELDS AND INFILTRATION TRENCHES. GLENELG IS HIGHLY SUSCEPTIBLE TO EROSION.



RESOURCE MANAGEMENT MAP
SCALE: 1" = 500'
4
2-5
TRUE NORTH

SOURCE:
FAIRFAX COUNTY COMPREHENSIVE PLANS

NOTES:
THE PROJECT SITE (PHASE 1) IS LOCATED APPROXIMATELY 77 FT FROM THE NEAREST RESOURCE PROTECTION AREA.
THE PROJECT SITE IS LOCATED WITHIN THE RESOURCE MANAGEMENT AREA DEFINED AS ALL LAND OUTSIDE THE RESOURCE PROTECTION AREA.



FLOOD ZONE MAP
SCALE: 1" = 1000'
5
2-5
TRUE NORTH

SOURCE:
FEMA FLOOD MAP FOR FAIRFAX COUNTY, VA.
COMMUNITY PANEL NUMBER 515525 00500, MARCH 5, 1990.

NOTES:
THE PROJECT SITE IS LOCATED IN FLOOD ZONE X, AREA OF 500 YR FLOOD.

GENERAL NOTES:

- 1) THERE ARE NO PROPOSED IMPROVEMENTS TO THE PUBLIC RIGHT(S) OF WAY.
- 2) THE PROPERTY IS SERVED BY PUBLIC WATER AND ON SITE SEPTIC FIELD.
- 3) THERE ARE NO PROPOSED STORM WATER MANAGEMENT FACILITIES.
- 4) TWO (2) EXISTING TREES WILL BE REMOVED FOR CONSTRUCTION PURPOSES.

SEA 2005-SU-070
Application No. Staff LWO
APPROVED SEAS PLAN
SEE DEV CONDS DATED 7/29/05
Date of (BOS) (BZA) approval 8/3/05
Sheet 10 of 13

SEA 2005-SU-070
APPROVED SP PLAN
SEE DEV CONDS DATED 11-21-05
Date of (BOS) (BZA) approval 12-5-05
Sheet 10 of 13

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DIFFICULT RUN
10922 VALE ROAD
OAKTON, VA 22124



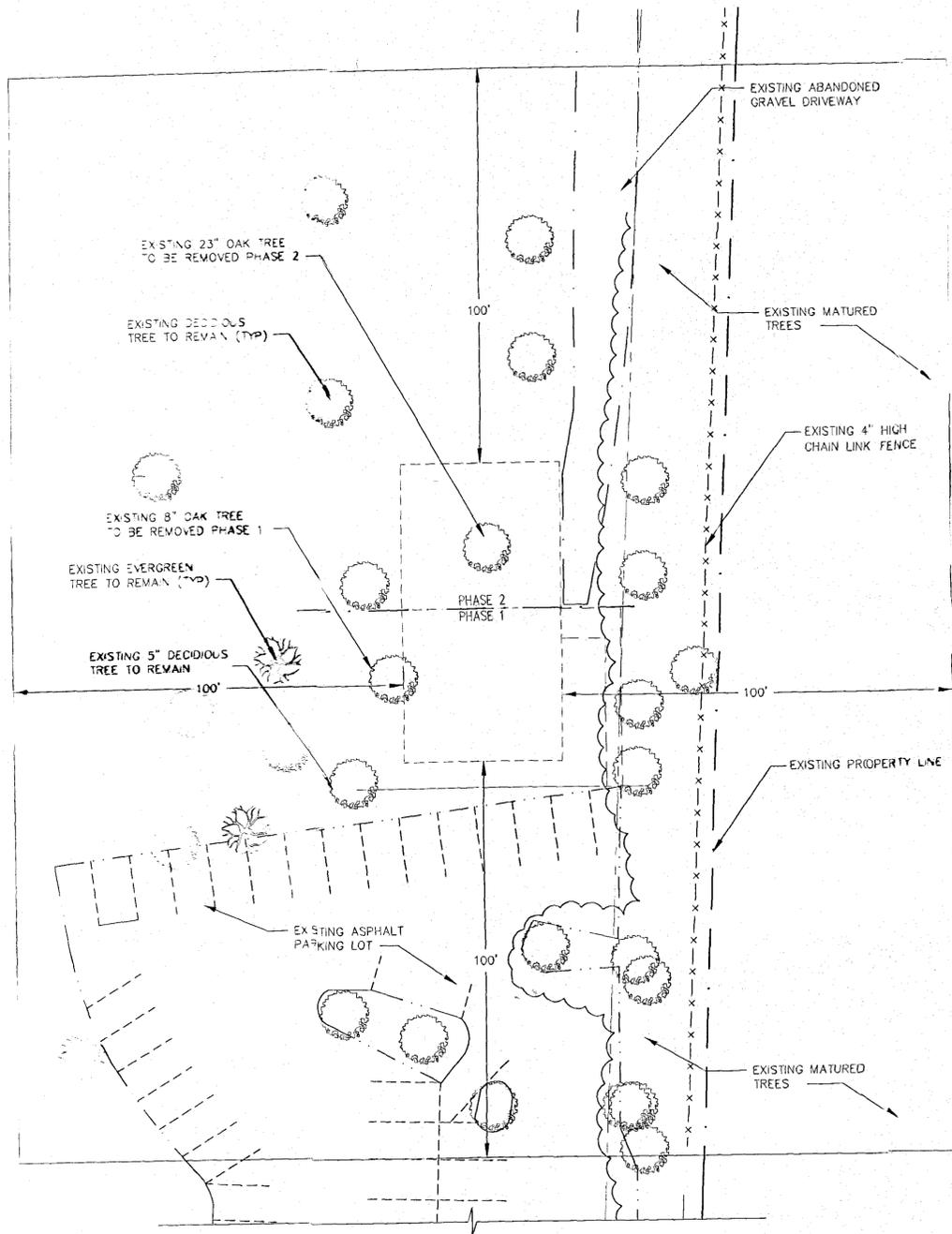
4	08/19/05	COUNTY COMMENTS	R.S.	M.M.	M.M.
3	07/29/05	COUNTY COMMENTS	R.S.	M.M.	M.M.
2	06/09/05	REVISED COMPOUND LAYOUT	R.S.	M.M.	M.M.
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0	03/23/05	ZONING	TMF	M.M.	M.M.
NO.	DATE	REVISIONS	BY	CHK	APPD
SCALE: AS SHOWN		DESIGNED: C.T.	DRAWN: R.S.		



CIVIL MAPS AND NOTES

SPECIAL EXCEPTION PLAT

JOB NUMBER	DRAWING NUMBER	REV
1095.004	Z-5	0



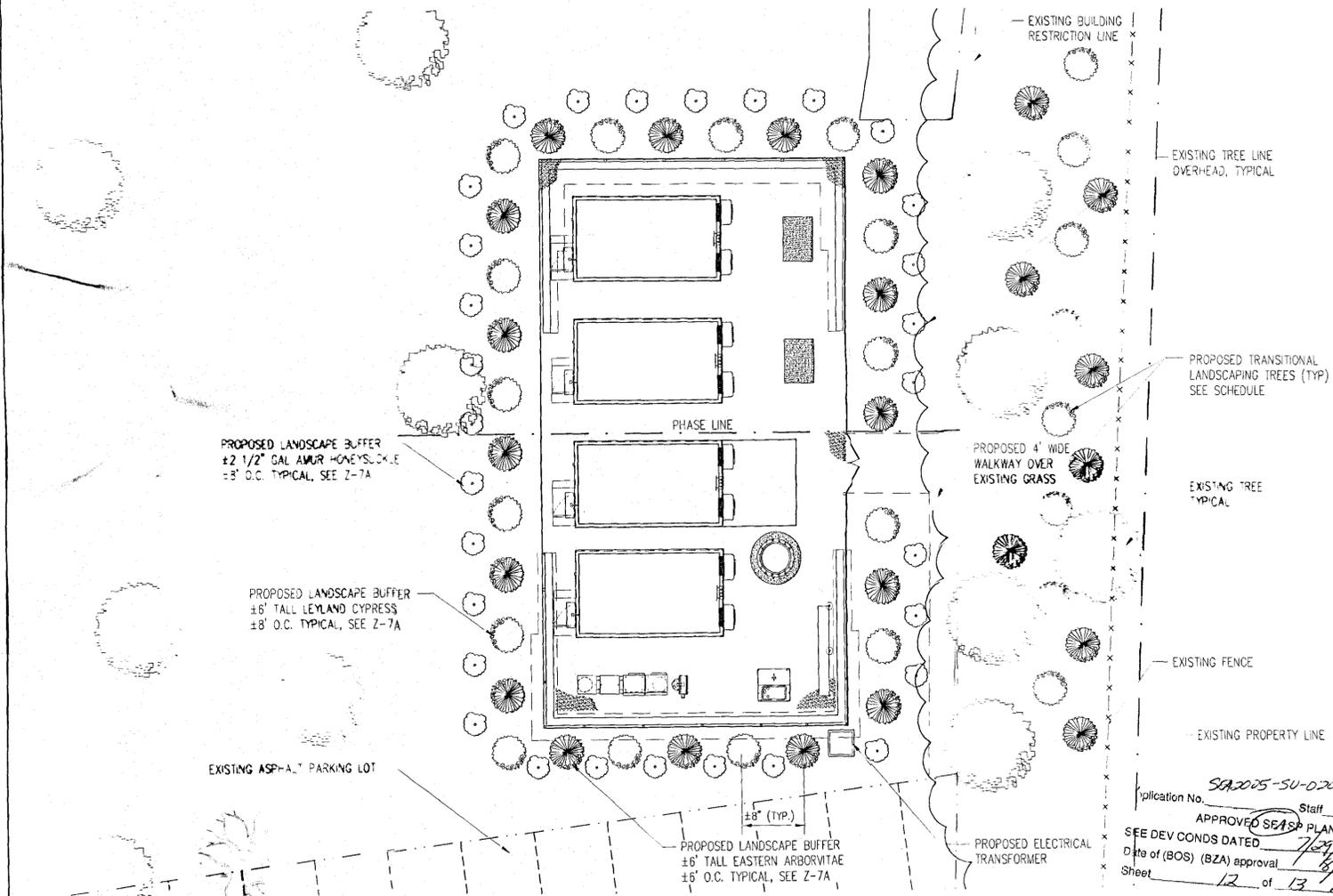
EXISTING VEGETATION AND TREE REMOVAL PLAN
SCALE: 1"=20'-0"



TREE PLANTING SCHEDULE			
QTY.	COMMON NAME	SIZE/REMARKS	MATURE HEIGHT
23	LEYLAND CYPRESS	6'-0" MIN. HEIGHT AT PLANTING, FULL, HEALTHY STRAIGHT TRUNK, WELL BRANCHED SEE DETAIL Z-7A	60 - 70'
24	EASTERN ARBORVITAE	6'-0" MIN. HEIGHT AT PLANTING, FULL, HEALTHY STRAIGHT TRUNK, WELL BRANCHED SEE DETAIL Z-7A	20 - 40'
29	AMUR HONEYSUCKLE	2 1/2" GAL MIN. AT PLANTING, ALIGN FOR SCREENING	±15'

NOTES

THE FINAL SPECIES AND SIGHTING OF TREES AND SHRUBS SHALL BE DETERMINED IN CONSULTATION WITH THE URBAN PLANNER.



COMPOUND LANDSCAPE AND TRANSITIONAL SCREENING PLAN
SCALE: 1"=10'-0"



Application No. SEA2005-SU-020 Staff W.D.
APPROVED SEA/SP PLAN
SEE DEV CONDS DATED 7/24/09
Date of (BOS) (BZA) approval 6/3/09
Sheet 12 of 13

SEA2005-SU-020 Staff Clavin
APPROVED SEA/SP PLAN
SEE DEV CONDS DATED 11-21-05
Date of (BOS) (BZA) approval 12-5-05
Sheet 12 of 13



DIFFICULT RUN
10922 VALE ROAD
OAKTON, VA 22124

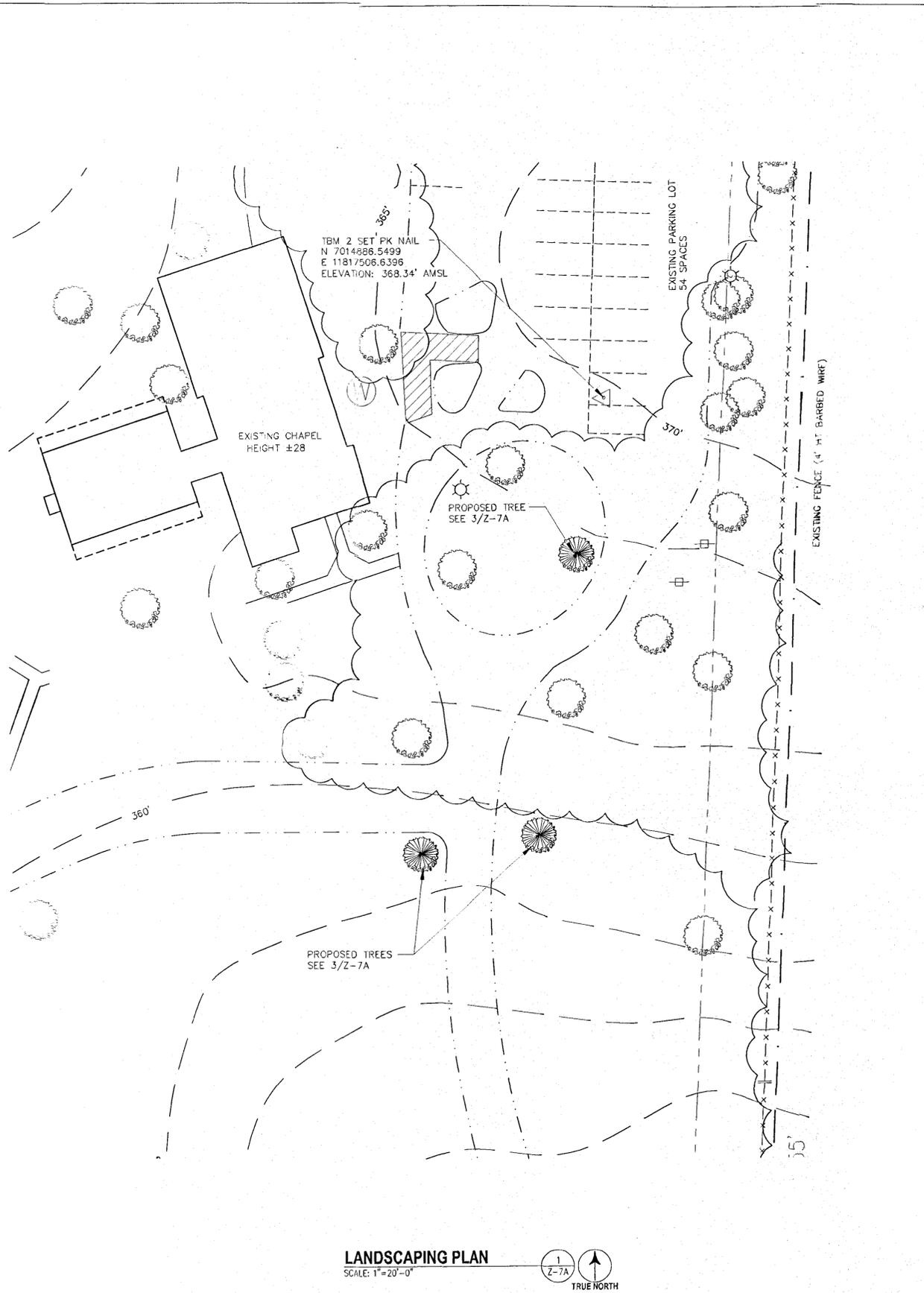


NO.	DATE	REVISIONS	BY	CHK	APPD
4	08/19/05	COUNTY COMMENTS	R.S.	M.M.	M.M.
3	07/29/05	COUNTY COMMENTS	R.S.	M.M.	M.M.
2	06/09/05	REVISED COMPOUND LAYOUT	R.S.	M.M.	M.M.
1	04-25-05	COUNTY COMMENTS	R.S.	M.M.	M.M.
0	03/23/05	ZONING	TMF	M.M.	M.M.

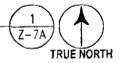
SCALE: AS SHOWN DESIGNED: M.M. DRAWN: R.S.



TREE REMOVAL AND COMPOUND LANDSCAPE PLAN		
SPECIAL EXCEPTION PLAT		
JOB NUMBER	DRAWING NUMBER	REV
1095.004	Z-7	0

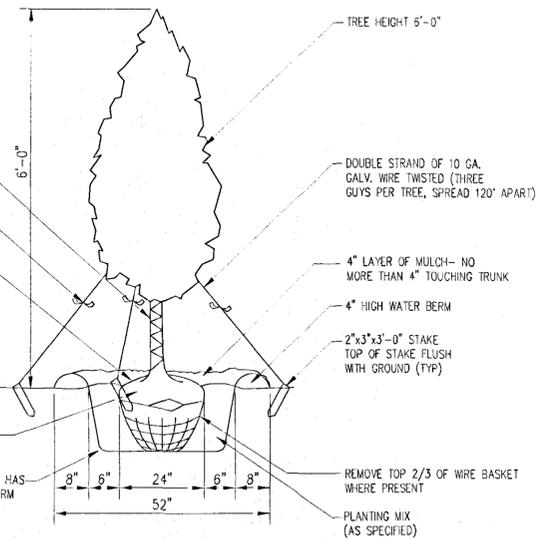


LANDSCAPING PLAN
SCALE: 1"=20'-0"



- NOTES:**
1. REMOVE WIRE OR NYLON TWINE FROM BALL
 2. INSTALL TOP OF BALL 2" ABOVE FINISH GRADE
 3. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY
 4. SAUCER WILL BE OUTSIDE OF BACKFILL.

ALL TREES LARGER THAN 1" CAL. SHALL BE WRAPPED WITH WATERPROOF TREE WRAP AND SECURED WITH TWINE

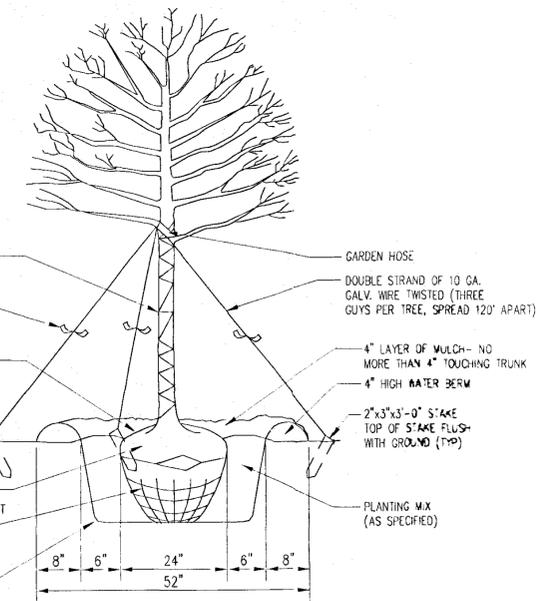


STAKING AND PLANTING TREE DETAIL
SCALE: 1/4"=1'-0"

2
Z-7A

- NOTES:**
1. REMOVE WIRE OR NYLON TWINE FROM BALL
 2. INSTALL TOP OF BALL 2" ABOVE FINISH GRADE
 3. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY
 4. SAUCER WILL BE OUTSIDE OF BACKFILL.

ALL TREES LARGER THAN 1" CAL. SHALL BE WRAPPED WITH WATERPROOF TREE WRAP & SECURED WITH TWINE



STAKING AND PLANTING TREE DETAIL
SCALE: 1/4"=1'-0"

3
Z-7A

SEA 2005-SU-020
Application No. Staff W.O.D.
APPROVED SE/SP PLAN
SEE DEV CONDS DATED 7/29/09
Date of (BOS) (BZA) approval 8/3/09
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TREE PLANTING NOTES:

- EXCAVATE 'PLANTING PIT' TWICE THE DIAMETER OF BALL & 6" GREATER IN DEPTH.
- LOOSEN SUBSOIL W/POCK TO ENSURE POROSITY
- PLACE 6" PEAT MOSS IN 'PLANTING PIT' & TAM
- SELECT BEST VIEWING ANGLE, LIFT STOCK BY BALL & PLACE IN 'PLANTING PIT'
- UNWRAP TOP 1/3 OF BALL BACK
- FILL W/MIXTURE 1/3 PEAT MOSS-2/3 TOP- SOIL & TAMP
- WRAP TRUNK W/PAPER TAPE TO FIRST BRANCH
- SECURE TO STAKE W/RUBBER HOSE OR WIRE
- LAY-IN (POROUS) FABRIC WEED BARRIER FORV 3" SAUCER TO ENDOROLE STOCK
- FILL W/3" PINE STRAW MULCH
- FLOOD IMMEDIATELY & WATER FREQUENTLY

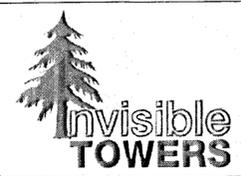
- NOTES:**
1. TOTAL OF 2 TREES ARE TO BE REMOVED AS PART OF THIS PROJECT.
 2. NO EXISTING TREE VEGETATION MAPPING IS REQUIRED SINCE THE TOTAL DISTURBED AREA IS LESS THAN 2,500 SF.
 3. LANDSCAPE SCREENING IS IN ACCORDANCE WITH ARTICLE 13.

TREE PLANTING SCHEDULE				
QTY.	COMMON NAME	SIZE/REMARKS	MATURE HEIGHT	
20	EASTERN WHITE PINE	12'-0" MIN. HEIGHT AT PLANTING, FULL HEALTHY STRAIGHT TRUNK, WELL BRANCHED SEE DETAIL Z/7-7	80 - 100'	

SEA 2005-SU-020 Staff C. Lewis
APPROVED SE/SP PLAN
SEE DEV CONDS DATED 11-21-05
Date of (BOS) (BZA) approval 12-5-05
Sheet 13 of 13



DIFFICULT RUN
10922 VALE ROAD
OAKTON, VA 22124



4	08/19/05	COUNTY COMMENTS	R.S.	M.M.	M.M.
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NO.	DATE	REVISIONS	BY	CHK	APPD
SCALE: AS SHOWN		DESIGNED: M.M.	DRAWN: R.S.		



LANDSCAPE PLAN, DETAILS AND NOTES		
SPECIAL EXCEPTION PLAT		
JOB NUMBER	DRAWING NUMBER	REV
1095.004	Z-7A	0