

COUNTY OF FAIRFAX, VIRGINIA

SPECIAL PERMIT RESOLUTION OF THE BOARD OF ZONING APPEALS

IFTIKHAR KHAN, SP 2009-MA-097 Appl. under Sect(s). 8-918 of the Zoning Ordinance to permit an accessory dwelling unit. Located at 3321 Wilkins Dr. on approx. 13,274 sq. ft. of land zoned R-3. Mason District. Tax Map 61-1 ((13)) 24. Mr. Smith moved that the Board of Zoning Appeals adopt the following resolution:

WHEREAS, the captioned application has been properly filed in accordance with the requirements of all applicable State and County Codes and with the by-laws of the Fairfax County Board of Zoning Appeals; and

WHEREAS, following proper notice to the public, a public hearing was held by the Board on January 6, 2010; and

WHEREAS, the Board has made the following findings of fact:

1. The applicant is the owner of the property.
2. The present zoning is R-3.
3. The area of the lot is 13,275 square feet.
4. The applicant has presented testimony indicating compliance with the standards for an accessory dwelling unit under Sect. 8-918 of the Zoning Ordinance.

AND WHEREAS, the Board of Zoning Appeals has reached the following conclusions of law:

THAT the applicant has presented testimony indicating compliance with the general standards for Special Permit Uses as set forth in Sect. 8-006 and the additional standards for this use as contained in the Zoning Ordinance.

NOW, THEREFORE, BE IT RESOLVED that the subject application is **APPROVED** with the following limitations:

1. This approval for the accessory dwelling unit is granted to the applicant only, Iftikhar Khan, and is not transferable without further action of this Board, and is for the location indicated on the application, 3321 Wilkins Drive (13,275 square feet), and is not transferable to other land.
2. This special permit is granted only for the purpose(s), structure(s) and/or use(s) indicated on the house location survey plat prepared by Paul A. Garcia, Land Surveyor, dated October 11, 2003, signed September 3, 2009, as qualified by these development conditions.
3. A copy of this special permit SHALL BE POSTED in a conspicuous place on the property of the use and made available to all departments of the County of Fairfax during the hours of operation of the permitted use.
4. The occupant of the accessory dwelling unit shall be limited to the applicant's father, Mr. Abdul Khan.
5. All applicable permits and final inspections for the accessory dwelling unit, including the kitchen and the wood balcony shall be approved prior to occupancy of the unit.

6. The accessory dwelling unit shall contain a maximum of 696 square feet with a maximum of one bedroom as depicted on the floor plan included as Attachment 1 to these conditions.
7. Outside access to the accessory dwelling unit shall be provided through the rear entrance. Within 60 days of approval of this special permit, the existing front entrance shall be removed and the door replaced with materials consistent with the existing unit's exterior. The applicant may provide an entrance on the north side of the accessory dwelling unit.
8. As soon as reasonable based on weather conditions, foundation plantings consisting of evergreen shrubs and evergreen and/or deciduous trees shall be installed along the front foundation of the house, including the accessory unit.
9. Within 60 days of approval of this special permit, the outdoor storage shall be brought into compliance with the Zoning Ordinance as determined by the Zoning Inspector.
10. Provisions shall be made for the inspection of the property by County personnel during reasonable hours upon prior notice and the accessory dwelling unit shall meet the applicable regulation for building, safety, health and sanitation.
11. The accessory dwelling unit shall be approved for a period of five (5) years from the final approval date of the special permit and may be extended for five (5) year periods with prior approval of the Zoning Administrator in accordance with Section 8-012 of the Zoning Ordinance.
12. If the use of the accessory dwelling unit ceases for the applicant's father and/or the property is sold or otherwise conveyed, the accessory structure shall be converted to a use permitted by the Zoning Ordinance or if the property is sold or conveyed, a special permit amendment may be submitted to permit the continued use of an accessory dwelling unit.
13. Parking shall be provided on site as shown on the special permit plat.

This approval, contingent on the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

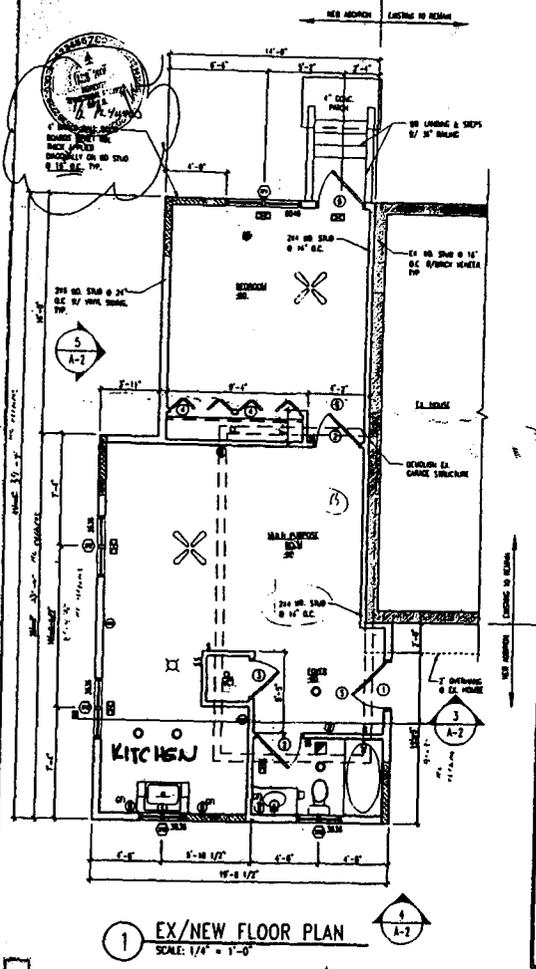
Pursuant to Sect.8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, six (6) months after the date of approval unless the use has been established as outlined above. The Board of Zoning Appeals may grant additional time to establish the use if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

Mr. Beard seconded the motion, which carried by a vote of 5-0. Mr. Hammack and Ms. Gibb were absent from the meeting.

NOV 9 2009

SPECIAL PERMIT &
VARIANCE BRANCH

PROJECT:
ADDITION TO MR. IFTIKHAR RESIDENCE



SYMBOLS

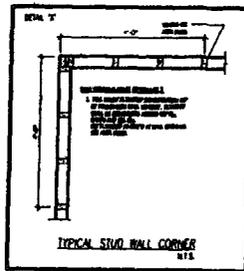
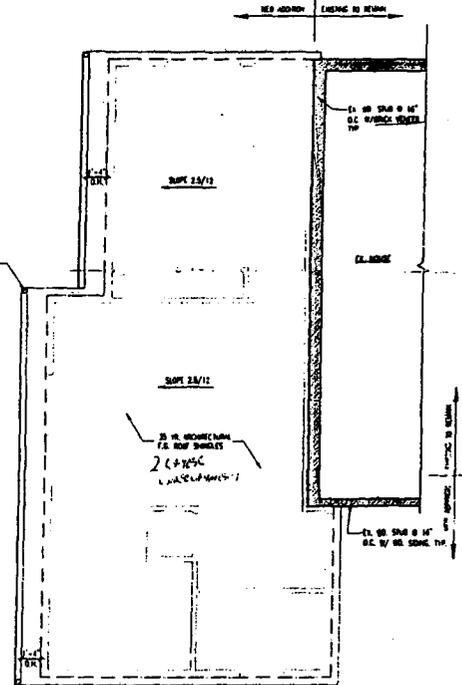
○	EXISTING WALL TO REMAIN
○	NEW 1/2" STUD WALL
○	RECESSED LIGHT
○	POWER OUTLET
○	SWITCH
○	SMOKE DETECTOR
○	WALL MOUNT LIGHTING
○	PENDANT LIGHTING
○	SUPPLY AIR REGISTER
○	RETURN AIR REGISTER

CONSTRUCTION NOTES

- COORDINATE ORDERS PRIOR TO FABRICATION AND CONSTRUCTION
- PROVIDE WEATHERSTRIPPING SEALS AT EXTERIOR DOORS AS REQUIRED
- COORDINATE DOOR FRAMES SIZE WITH DOOR SIZES AND WITH WALL/PARTITION THICKNESSES
- PROVIDE A MINIMUM OF 3 ANCHORS PER JAMB, PROVIDE 4 ANCHORS PER JAMB FOR DOORS OVER 7'-0" HIGH
- APPLY SEALERS AROUND THE ENTIRE FRAME PERIPHERY OF ALL EXTERIOR AND INTERIOR DOOR FRAMES. SEALANT APPLICATION AT INTERIOR DOOR FRAMES SHOULD CLOSE THE GAP BETWEEN THE WALL SURFACE AND THE FRAME AND SHOULD NOT CREATE GAPS AT THE JAMBING
- ALL DOORS SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS. ALL DOORS SHALL COMPLY WITH IRC 2003

DEMOLITION NOTES

- CONTRACTOR SHALL DISCONNECT AND CAP ALL EXISTING UTILITIES AT THE EXISTING GARAGE
- ALL DEMO MATERIAL AND CONSTRUCTION DEBRIS SHOULD BE HAULED AWAY FROM THE SITE



CODE ANALYSIS:

PROPERTY LOCATION	5920 WILKINS DR. FALLS CHURCH, VA 22041
LEGAL DESCRIPTION	ALMA HEIGHTS LOT 24
EXTENT OF WORK	DEMOLISHED EX. GARAGE & 1 STORY WEST SIDE ADDITION TO EX. HOUSE
USE GROUP	R3
APPLICABLE CODES	IRC 2006
ADDITION AREA	700 SF.

DRAWING INDEX:

- A-1 COVER SHEET, EX/NEW FLOOR PLAN
- A-2 DEMOLITION & SECTION SHEETS/DETAILS

GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE AREA OF WORK TO OBTAIN A SUFFICIENT UNDERSTANDING OF THE CONDITIONS PRIOR TO SUBMITTING HIS BID. IN SUBMITTING A BID FOR THE PROJECT, THE CONTRACTOR WARRANTS THAT HE HAS SHARED THE BID DOCUMENTS, HAS VIEWED THE SITE, AND IS FAMILIAR WITH THE SCOPE OF WORK AND EXISTING CONDITIONS.
- THE PROJECT CONSISTS OF LABOR AND MATERIALS NECESSARY AND ADEQUATE TO THE CONSTRUCTION SHOWN ON THESE DRAWINGS.
- REFUSE AND DEBRIS SHALL BE PLACED ONLY IN OWNER-DESIGNATED AREA. CONTRACTOR TO CLEAN AND SHEEP AREA ON A DAILY BASIS. ALL SITE DEBRIS SHALL BE PLACED IN TRUCKS FOR REMOVAL.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL AND NATIONAL CODES AND REGULATIONS.
- BEFORE ANY CURBING, UTILITY WORK IN MONROE COUNTY SHALL PERFORM ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK. THIS WORK SHALL FULLY COMPLY WITH APPLICABLE CODES AND REGULATIONS.
- ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING APPROPRIATE INSPECTIONS AND OBTAINING NECESSARY APPROVALS AS REQUIRED BY THE PARTN IN COUNTY.
- ALL DIMENSIONS GIVEN ARE NOMINAL. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING MATERIAL DIMENSIONS WHERE NECESSARY TO REFLECT AS-BUILT DIMENSIONS. NOTIFY ARCHITECT OF SUCH CASES AND ANY DISCREPANCIES PRIOR TO WORK.
- FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION OF THE FABRICATED PRODUCTS.
- MANUFACTURER'S SPECIFICATIONS AND LITERATURE ON PRODUCT WARRANTY DOES NOT RELIEVE CONTRACTOR OF THE WARRANTY ON THE WORK. ALWAYS INCORPORATES THE PRODUCTS.
- GENERAL CONTRACTOR SHALL COORDINATE ALL ABOVE-GROUND WORK WITH MECHANICAL, ELECTRICAL, PLUMBING, MECHANICAL EQUIPMENTS, AND OTHER DATA BEFORE ANY DISCREPANCIES TO ARCHITECT PRIOR TO FINAL BID AND CONSTRUCTION.
- THE PROJECT CONSISTS OF LABOR AND MATERIALS NECESSARY AND ADEQUATE TO THE DEMOLITION AND CONSTRUCTION SHOWN ON THESE DRAWINGS.

A&I
Design

Professional Engineer

5920 Wilkins Dr., Falls Church, VA 22041

Phone: 703-261-1111

Fax: 703-261-1112

ADDITION TO
MR. IFTIKHAR
RESIDENCE

5920 WILKINS DR.
FALLS CHURCH, VA 22041

DESIGNER

Name:

Address:

Supplier:

Address:

Date:

Sheet:

08/30/08 PERMIT SET

ATTACHMENT 1

Drawn:

MCC

Checked:

Print Title:

FLOOR

Sheet #

A-01