

COMMONWEALTH OF VIRGINIA
COUNTY OF FAIRFAX



September 27, 1990

STAFF REPORT

APPLICATION NUMBER RZ 88-D-005

DRANESVILLE DISTRICT

Applicant: West*Mac Associates Limited Partnership, et. al.

Present Zoning: I-3, I-4

Requested Zoning: C-3

Proposed Use: Office

Acreage: 193.68 acres

Subject Parcels: 29-2 ((15)) 4B, A5, A4; 29-4 ((7)) 1, 2, 3, 4, 5A, 6, 7A1, 7B, 8, 9, 10, 11A, 12, 1A1, 1A2, A5, A2, A3, C1, C2

Application Filed: January 13, 1988
Amended: October 5, 1989
May 14, 1990

Planning Commission Public Hearing: October 4, 1990

Board of Supervisors Public Hearing: October 15, 1990

Staff Recommendation: Staff recommends that RZ 88-D-005 be approved subject to the execution of proffers consistent with those contained in Appendix 1 of the staff report.

Staff recommends approval of the modification of the Transitional Screening and a waiver of the Barrier requirements where the application property is adjacent to R-30 zoned property, to that shown on the GDP and as proffered.

Staff recommends approval of a waiver of the seventy-five (75) foot setback requirement from the Dulles Airport Access Road, to that shown on the GDP and as proffered.

It should be noted that it is not the intent of the staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve that applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Supervisors.

OCP at 246-1290. For Information Call Zoning Evaluation Division,

REZONING APPLICATION

RZ 88-D-005

RZ 88-D-005

Filed 1/13/88

Amended 10/5/89

Amended 5/14/90

WEST*MAC ASSOCIATES LTD. PARTNERSHIP

TO REZONE: 193.68 ACRES OF LAND; DISTRICT - DRANESVILLE

PROPOSED: OFFICE

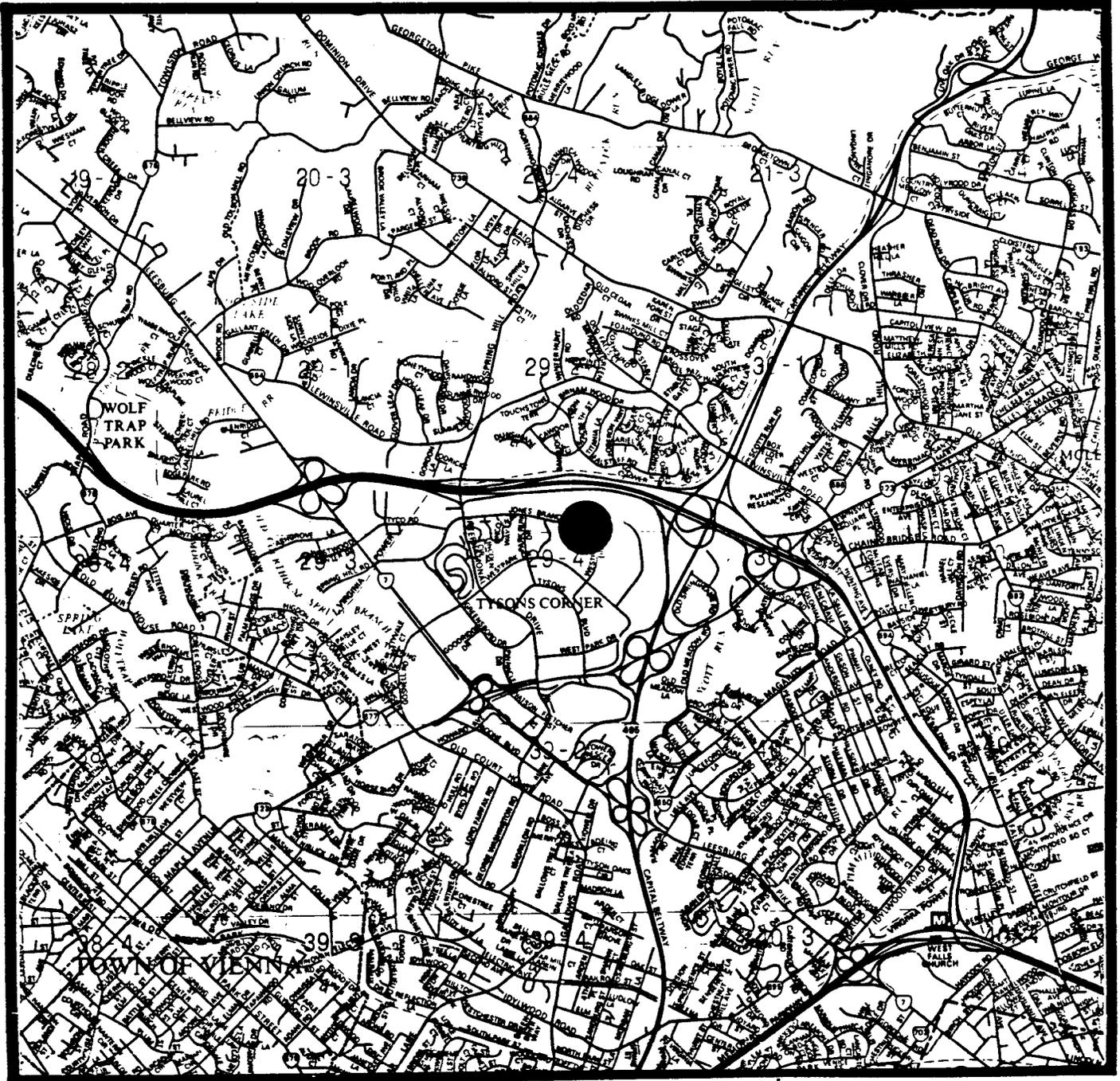
LOCATED: S. OF DULLES AIRPORT ACCESS RD., W. OF RT. 495,
N. OF WESTPARK DR. AND E. OF INTERNATIONAL DR.

ZONING: I-3 and I-4

TO: C-3

OVERLAY DISTRICT(S):

MAP REF: 29-2 ((15)) 4B, A5, A4; 29-4 ((7)) 12, 4, 6, 7B, 7A1, C2, C1,
11A, 8, 1, 2, 3, 9, 5A, 10, 1A1, 1A2, A5, A2, A3



REZONING APPLICATION

RZ 88-D-005

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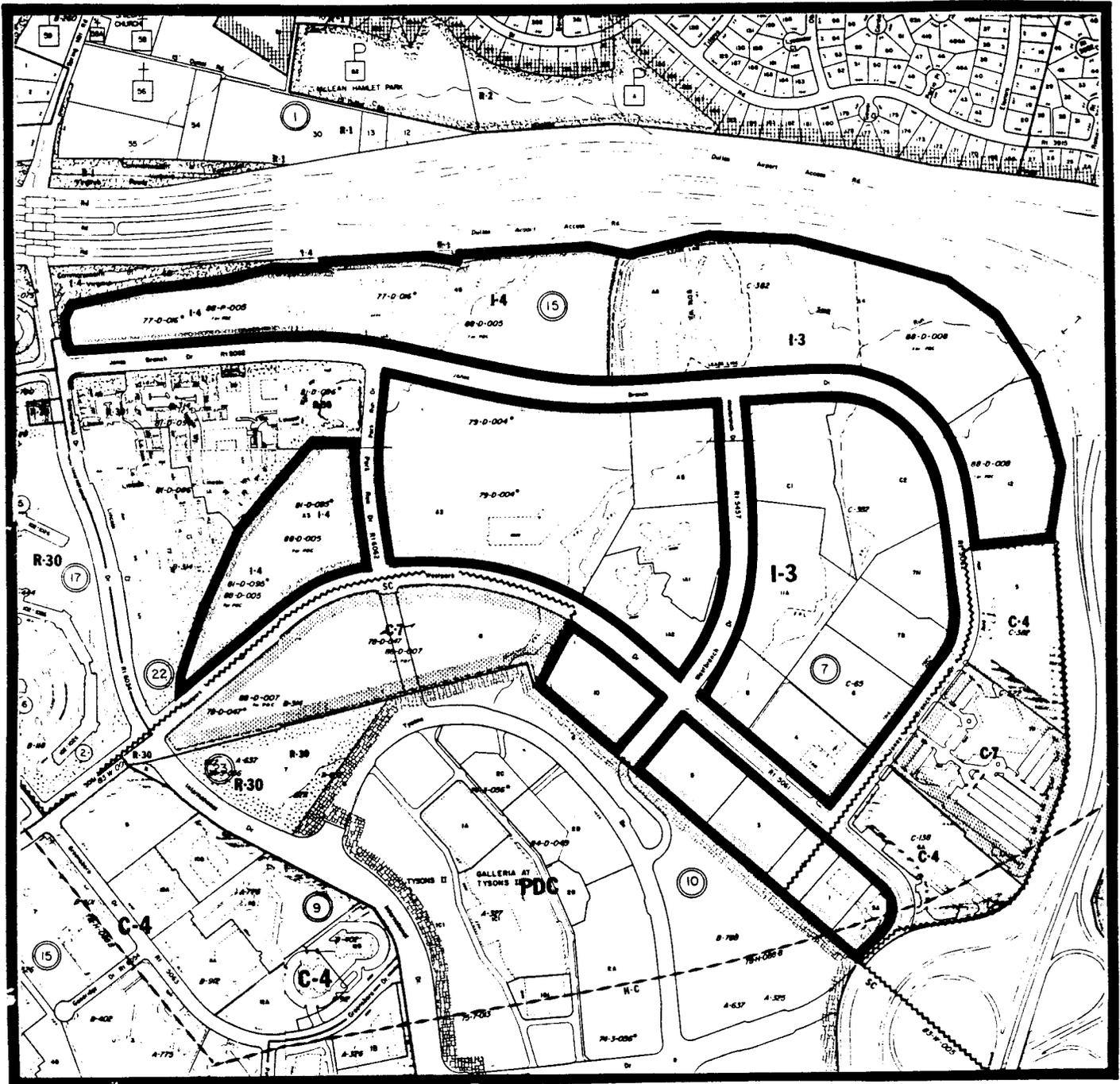
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TO: C-3

OVERLAY DISTRICT(S):

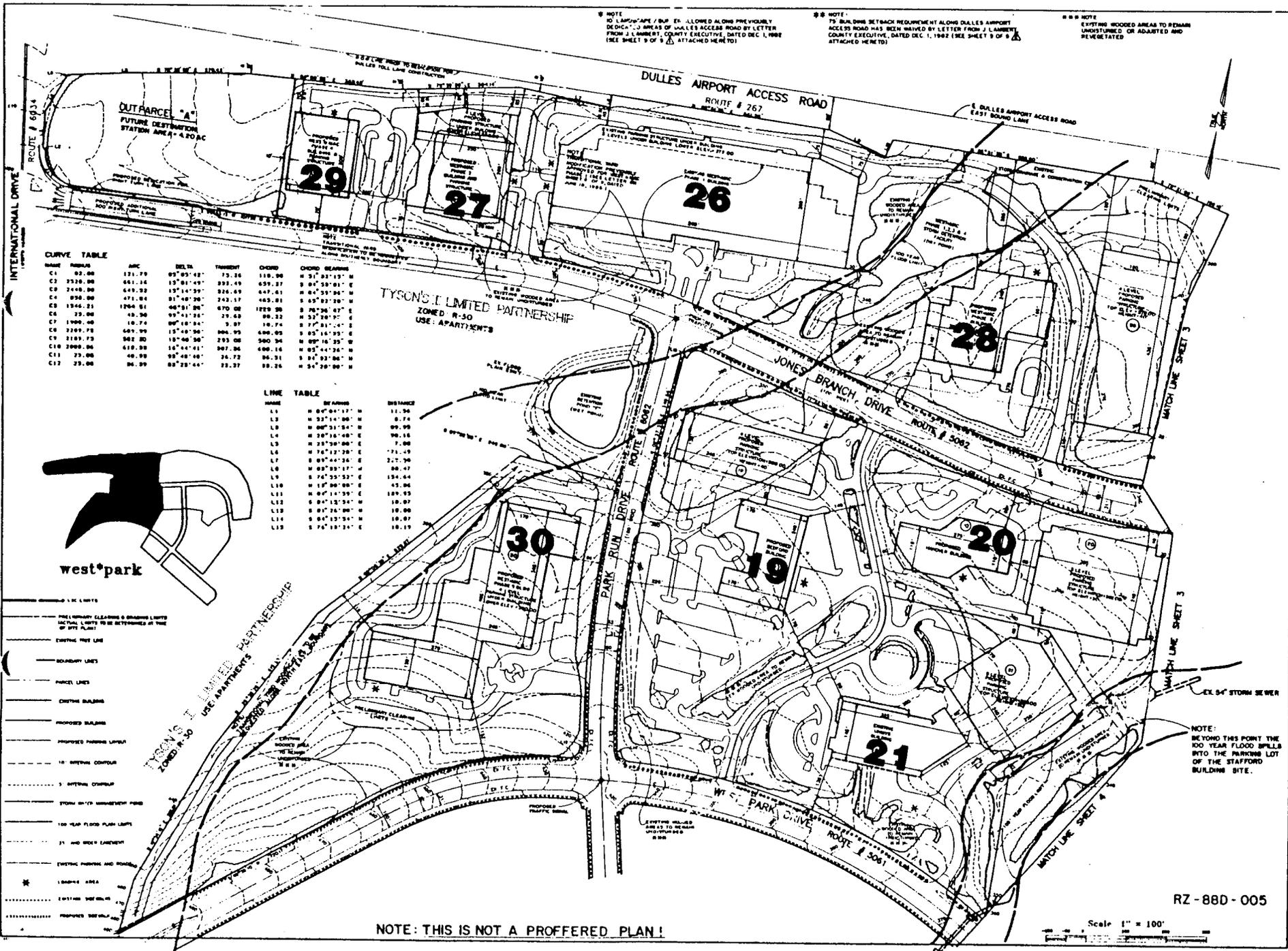
MAP REF: 29-2 ((15)) 4B, A5, A4; 29-4 ((7)) 12, 4, 6, 7B, 7A1, C2, C1,
11A, 8, 1, 2, 3, 9, 5A, 10, 1A1, 1A2, A5, A2, A3



NOTE: TO LANDSCAPE / BUI EX. ALLOWED ALONG PREVIOUSLY DEDICATED AREAS OF DULLES ACCESS ROAD BY LETTER FROM J. LAMBERT, COUNTY EXECUTIVE, DATED DEC. 1, 1998 (SEE SHEET 9 OF 9 ATTACHED HERE TO)

NOTE: TO BUILDING SETBACK REQUIREMENT ALONG DULLES AIRPORT ACCESS ROAD HAS BEEN REVISED BY LETTER FROM J. LAMBERT, COUNTY EXECUTIVE, DATED DEC. 1, 1998 (SEE SHEET 9 OF 9 ATTACHED HERE TO)

NOTE: EXISTING WOODED AREAS TO REMAIN UNDISTURBED OR ADAPTED AND REVEGETATED

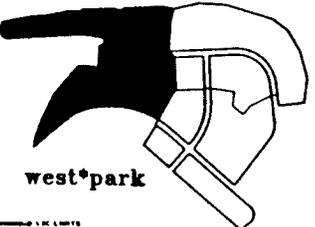


CURVE TABLE

CHAIN	BEARING	ARC	DELTA	TANGENT	CHORD	CHORD BEARING
C1	82.00	121.77	95° 55' 42"	112.96	87.82	87° 51' 57"
C2	2320.00	661.14	15° 01' 49"	832.49	659.27	8° 51' 37"
C3	2440.00	649.32	15° 14' 39"	826.49	647.41	8° 59' 04"
C4	850.00	471.04	31° 40' 00"	242.17	463.81	8° 52' 30"
C5	1946.21	1200.81	66° 51' 00"	470.88	896.32	8° 52' 37"
C6	23.00	10.30	95° 41' 04"	29.62	1220.30	8° 52' 37"
C7	1900.00	10.74	90° 10' 04"	3.87	10.74	7° 31' 24"
C8	2109.72	489.99	15° 49' 00"	806.93	690.60	8° 52' 37"
C9	2109.72	582.80	15° 40' 00"	213.88	500.34	8° 52' 37"
C10	2000.00	610.00	15° 44' 41"	807.36	690.16	8° 52' 37"
C11	23.00	40.98	95° 40' 00"	24.72	96.31	8° 52' 37"
C12	23.00	36.99	85° 29' 46"	22.27	90.26	5° 47' 00"

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 07° 04' 17" E	11.94
L2	N 52° 14' 00" E	0.74
L3	N 00° 31' 54" E	80.99
L4	N 30° 16' 40" E	90.10
L5	N 25° 30' 00" E	7.00
L6	N 74° 27' 30" E	-72.49
L7	N 07° 44' 54" E	21.30
L8	N 02° 33' 17" E	60.47
L9	N 74° 25' 32" E	134.44
L10	N 17° 00' 00" E	61.00
L11	N 00° 17' 00" E	80.99
L12	N 07° 12' 34" E	100.97
L13	N 07° 24' 00" E	10.00
L14	N 04° 13' 54" E	10.07
L15	N 74° 19' 37" E	10.19



NOTE: THIS IS NOT A PROFFERED PLAN!

Scale 1" = 100'

RZ-880-005

Murphy, Ayce & Associates, P.C.
 1115 W. 14th Street, Suite 100
 Arlington, VA 22204
 (703) 241-1100
 FAX (703) 241-1101

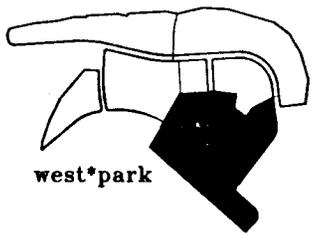
GENERALIZED DEVELOPMENT PLAN TO REZONE THE PROPERTIES OF WEST * PARK ASSOCIATES, WEST * MAC ASSOCIATES, WASHINGTON HALL CORPORATION AND THE NATIONAL MACHINE TOOL BUILDERS ASSOCIATION FROM R-3 AND R-4 TO C-3 DRAKEVILLE DISTRICT FAIRFAX COUNTY VIRGINIA

SCALE 1" = 100'
 DATE 3/5/90
 REVISIONS
 SHEET 2 OF 6
 PL-1800

LEGEND :

KEY :

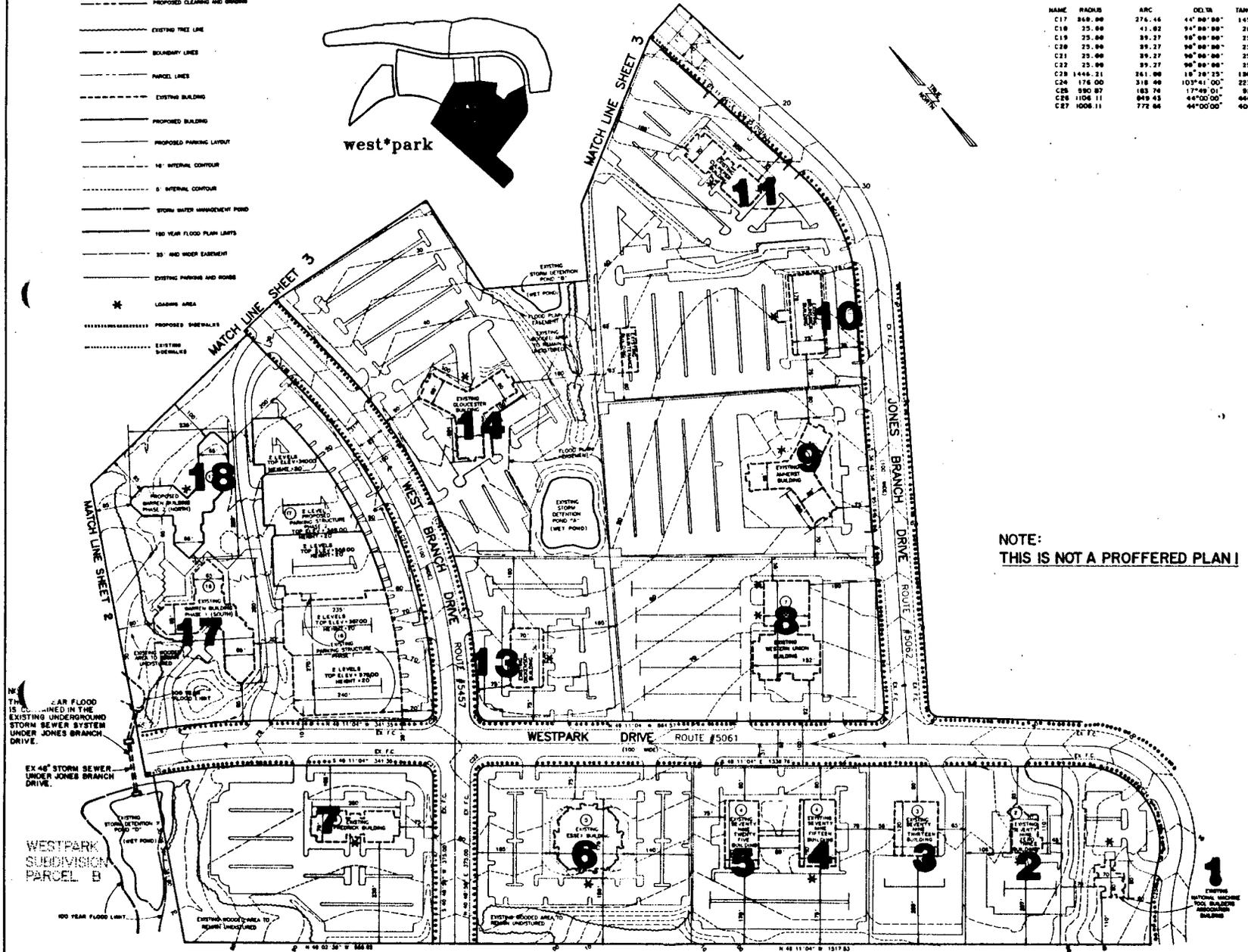
- PROPOSED CLEARING AND GRADING
- EXISTING TREE LINE
- BOUNDARY LINES
- PARCEL LINES
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED PARKING LAYOUT
- 10' INTERNAL CONTOUR
- 5' INTERNAL CONTOUR
- STORM WATER MANAGEMENT POND
- 100 YEAR FLOOD PLAIN LIMITS
- 25' AND WIDER EASEMENT
- EXISTING PARKING AND ROADS
- * LOADING AREA
- PROPOSED SIDEWALKS
- EXISTING SIDEWALKS



CURVE TABLE

NAME	RADIUS	ARC	DELTA	TANGENT	CHORD	CHORD BEARING
C17	248.00	274.46	44°00'00"	145.45	249.72	S 14°48'56" W
C18	25.00	41.02	94°00'00"	26.01	36.57	S 27°48'56" W
C19	25.00	39.27	90°00'00"	25.00	35.36	N 04°11'04" W
C20	25.00	39.27	90°00'00"	25.00	35.36	S 05°48'56" W
C21	25.00	39.27	90°00'00"	25.00	35.36	S 04°11'04" E
C22	25.00	39.27	90°00'00"	25.00	35.36	S 05°48'56" E
C23	1448.21	361.00	19°20'25"	130.05	340.08	S 24°21'11" E
C24	178.00	318.00	103°41'00"	223.90	276.78	S 02°50'26" W
C25	590.87	183.74	17°49'01"	92.62	185.00	S 45°35'25" W
C26	1108.11	849.43	44°00'00"	446.80	829.71	N 18°48'56" W
C27	1008.11	778.84	44°00'00"	408.40	759.79	N 18°48'56" W

NOTE:
THIS IS NOT A PROFFERED PLAN I



THE 100 YEAR FLOOD IS SHOWN IN THE EXISTING UNDERGROUND STORM SEWER SYSTEM UNDER JONES BRANCH DRIVE.

EX 48" STORM SEWER UNDER JONES BRANCH DRIVE.

WESTPARK SUBDIVISION PARCEL B

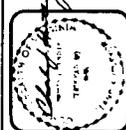
100 YEAR FLOOD LIMIT

TYGONS II, PARCEL 3

Scale 1" = 100'

RZ-88D-005

Huntley, Nyce & Associates, P.C.
 ARCHITECTS
 1115 N. VAUGHAN ST., SUITE 200
 ANNAPOLIS, MARYLAND 21403
 PHONE 410.291.1100 FAX 410.291.1101
 WWW.HUNTLAYNYCE.COM



GENERALIZED DEVELOPMENT PLAN TO REZONE THE PROPERTIES OF WEST * PARK ASSOCIATES, WEST * MAC ASSOCIATES, WASHINGTON HALL CORPORATION AND THE NATIONAL MACHINE TOOL BUILDERS ASSOCIATION FROM E-3 AND I-4 TO C-3
 JOANESVILLE DISTRICT
 FARMEX COUNTY
 VIRGINIA

SCALE 1" = 100'

DATE APR 23, 1980

REVISONS

1/4" X 10" AND PARKING STR DATA

SHEET 4 OF 6
 FILE NO PL-1800

WESTPARK FLOOR AREA RATIO COMPUTATION				
NO.	BUILDING (SITE)	(ACRES)	(EXCLUDING CHILDRN)	F.A.R.
1	WETA SITE	1.1514	21,000	0.2750
2	1903 WESTPARK DR.	2.0000	14,333	0.1645
3	1911 WESTPARK DR.	2.0000	13,000	0.1772
4	1915 WESTPARK DR.	1.0043	33,750	0.4294
5	1915 WESTPARK DR.	1.0045	33,750	0.4296
6	ESSEX	4.6013	71,000	0.4816
7	FREDERICK	5.3020	61,930	0.3717
8	WESTERN UNION	5.0001	100,340	0.4966
9	AMHERST	2.3160	76,000	0.3516
10	BURNSWICK	6.1030	61,030	0.3516
11	CULPEPER	6.8910	65,900	0.3698
12	NORTH HAMPTON	4.6013	71,000	0.4166
13	DICKENSON	2.7712	46,362	0.3087
14	GLOUCESTER	7.4888	111,430	0.3263
15	LANCASTER	5.0001	111,430	0.3516
16	STAFFORD	5.8450	123,492	0.4824
17	WARREN SOUTH (PH. 1)	7.3752 (11)	130,494	0.4317
18	WARREN SOUTH (PH. 2)	5.3983	139,618	0.5933
19	BEDFORD	10.8540	236,400	0.3000
20	HANOVER	7.4666	179,000	0.3000
21	UNION	9.7000	179,000	0.4000
22	FAIRFAX PH. 1	9.9512	216,740	0.5000
23	FAIRFAX PH. 2	10.3660	216,740	0.4700
24	FAIRFAX PH. 3	9.3823	236,400	0.4641
25	WESTPARK PH. 1	11.8782	288,200	0.3000
TOTAL		10.8774 ac.	2,864,792 sq. ft.	0.3500

Unused WESTPARK Density for Future Allocation: 100,000 sq. ft. (0.11 ac.)
 TOTAL WESTPARK: 10.8774 ac. 2,864,792 sq. ft. 0.35

(1) 1.9700 acres for prior dedication of WESTPARK and Woodhatch Drive included in area.

WESTPARK FLOOR AREA RATIO COMPUTATION				
NO.	BUILDING (SITE)	(ACRES)	(EXCLUDING CHILDRN)	F.A.R.
26	WESTPARK PH. 1	13.5151 (7.23)	401,724	0.2691
27	WESTPARK PH. 2	6.9197 (2.63)	100,600	0.6065
28	WESTPARK PH. 3	6.9197 (2.63)	221,932	0.6065
29	WESTPARK PH. 4	6.9197 (2.63)	100,000	0.6065
30	WESTPARK PH. 5	13.5852	613,033	0.700
TOTAL		48.8595 ac.	1,446,289 sq. ft.	0.5311

(2) 0.6216 acres for prior dedication of James Branch Drive included in area.
 (3) 3.1957 acres for prior dedication of International Drive and Dulles Access Road included in area.

WESTPARK AND WESTPARK (COMBINED)				
Grand Total for WESTPARK and WESTPARK	(ACRES)	(EXCLUDING CHILDRN)	F.A.R.	
Grand Total for WESTPARK and WESTPARK	199.8816 ac.	4,682,589 sq. ft.	0.34	

TOTAL ACRES FOR F.A.R. COMMISSION OF GRAND TOTAL: 199.8816 ac. (initial) + 5.7941 ac. (prior dedication) = 205.6757 ac. total (0.689,549 sq. ft.) for F.A.R. computation.

OPEN SPACE TABULATION			
NO.	BUILDING (SITE)	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED
1	WETA SITE	13,000	88,150
2	1903 WESTPARK DR.	13,000	60,174
3	1911 WESTPARK DR.	12,000	55,111
4	1915 WESTPARK DR.	12,000	70,255
5	ESSEX	30,751	60,300
6	FREDERICK	30,140	64,436
7	WESTERN UNION	32,010	54,952
8	AMHERST	32,071	60,375
9	BURNSWICK	30,900	71,033
10	CULPEPER	30,330	60,650
11	NORTH HAMPTON	32,467	119,550
12	DICKENSON	10,167	27,000
13	GLOUCESTER	51,323	107,419
14	LANCASTER	46,770	114,030
15	STAFFORD	30,373	60,610
16	WARREN SOUTH (PH. 1)	30,300	53,793
17	WARREN SOUTH (PH. 2)	44,700	64,700
18	BEDFORD	70,230	141,900
19	HANOVER	51,810	100,000
20	UNION	65,000	151,700
21	FAIRFAX PH. 1	69,234	173,000
22	FAIRFAX PH. 2	65,613	161,393
23	FAIRFAX PH. 3	61,061	107,072
24	HALLFAX	23,000	60,300
25	WESTPARK PH. 1	39,313	130,000
26	WESTPARK PH. 2	61,000	200,000
27	WESTPARK PH. 3	39,313	130,000
28	WESTPARK PH. 4	60,000	422,104

FABRICATION AND LOADING SPACE TABULATION							
NO.	BUILDING (SITE)	USE	INCLUDING CELLAR W/ APPLICABLE GROUND FLOOR AREA	FABRICATION REQUIRED	FABRICATION PROVIDED	LOADING SPACE REQUIRED	LOADING SPACE PROVIDED
1	WETA SITE	OFFICE	89,000 sq. ft. @ 2.0	178	78	2	1
2	1903 WESTPARK DR.	OFFICE	13,000 sq. ft. @ 2.0	26	14	1	1
3	1911 WESTPARK DR.	OFFICE	12,000 sq. ft. @ 2.0	24	14	1	1
4	1915 WESTPARK DR.	OFFICE	33,750 sq. ft. @ 2.0	675	146	2	2
5	ESSEX	OFFICE	71,000 sq. ft. @ 2.0	142	370	1	1
6	FREDERICK	OFFICE	61,930 sq. ft. @ 2.0	124	324	1	1
7	WESTERN UNION	OFFICE	100,340 sq. ft. @ 2.0	201	531	1	1
8	AMHERST	OFFICE	76,000 sq. ft. @ 2.0	152	380	1	1
9	BURNSWICK	OFFICE	61,030 sq. ft. @ 2.0	122	305	1	1
10	CULPEPER	OFFICE	65,900 sq. ft. @ 2.0	132	326	1	1
11	NORTH HAMPTON	OFFICE	71,000 sq. ft. @ 2.0	142	355	1	1
12	DICKENSON	OFFICE	46,362 sq. ft. @ 2.0	93	232	1	1
13	GLOUCESTER	OFFICE	111,430 sq. ft. @ 2.0	223	558	1	1
14	LANCASTER	OFFICE	111,430 sq. ft. @ 2.0	223	558	1	1
15	STAFFORD	OFFICE	123,492 sq. ft. @ 2.0	247	617	1	1
16	WARREN SOUTH (PH. 1)	OFFICE	130,494 sq. ft. @ 2.0	261	652	1	1
17	WARREN SOUTH (PH. 2)	OFFICE	139,618 sq. ft. @ 2.0	279	698	1	1
18	BEDFORD	OFFICE	236,400 sq. ft. @ 2.0	473	1182	1	1
19	HANOVER	OFFICE	179,000 sq. ft. @ 2.0	358	895	1	1
20	UNION	OFFICE	179,000 sq. ft. @ 2.0	358	895	1	1
21	FAIRFAX PH. 1	OFFICE	216,740 sq. ft. @ 2.0	433	1082	1	1
22	FAIRFAX PH. 2	OFFICE	216,740 sq. ft. @ 2.0	433	1082	1	1
23	FAIRFAX PH. 3	OFFICE	236,400 sq. ft. @ 2.0	473	1182	1	1
24	HALLFAX	OFFICE	60,300 sq. ft. @ 2.0	121	302	1	1
25	WESTPARK PH. 1	OFFICE	130,000 sq. ft. @ 2.0	260	650	1	1
26	WESTPARK PH. 2	OFFICE	200,000 sq. ft. @ 2.0	400	1000	1	1
27	WESTPARK PH. 3	OFFICE	130,000 sq. ft. @ 2.0	260	650	1	1
28	WESTPARK PH. 4	OFFICE	422,104 sq. ft. @ 2.0	844	2110	1	1

0.00 DOLLAR 0.00 FAIRFAX BLDG. PHASE 3 CONTAINS 40,000 sq. ft. OF CELLAR AREA 2.00 DOLLAR BLDG. CONTAINS 200,000 sq. ft. OF CELLAR AREA.
 0.00 WESTPARK PHASE 3 CONTAINS 30,000 sq. ft. OF CELLAR AREA.

- See 1.0000 ac. of development, "as attached herewith."
- Applicant agrees to limit all building heights to 75' and 45' built plane in lieu of 80' height and 25' built plane as allowed in the C-3 zoning except WestPARK Ph. 1, Hanover & Union buildings which heights are limited to 80' and 25' built plane.
- The building data tabulation, the sheet, a traffic study for WESTPARK by Street Traffic Studies, Ltd. dated 2-22-80 has been submitted, reviewed and approved by the Office of Transportation. Applicant requests a waiver of all county wide traffic as shown in the 1980 for extended thru October 31, 1981 (comprehensive Plan. Four (4) foot wide Virginia Department of Transportation standard sidewalks parallel to all streets are existing or will be provided in the Virginia Department of Transportation right-of-way as a means of accommodating pedestrian traffic.
- All major open space areas which are to remain are indicated on the attached Generalized Development Plan. The Development Station (as proposed, site located at the intersection of James Branch Drive and International Drive, is shown on the attached Generalized Development Plan.
- All major secondary green improvement, trash lines, to serve these sites are in place and existing. All stormwater management facilities required for these sites are in place and existing for locations on the attached Generalized Development Plan.
- All utility easements greater than 15' in width are shown on the attached Generalized Development Plan.
- See tabulation (line sheet) for required and provided parking spaces.
- See attached Generalized Development Plan for five (5) foot setbacks which were established by controlled aerial topography.
- The existing conservation easement area to the east of WestPARK Phase 1 is to remain undisturbed, no clearing or grading is anticipated within this area.
- See attached Generalized Development Plan which indicates a 25' wide buffer of existing trees to remain along James Branch Drive at the northern side of the building footprint. Any additional trees to be removed to less than 100 feet the 10' buffer area/buffer should be previously dedicated area of Dulles Access Road by letter from J. Lambert, Deputy Executive, dated December 1, 1987. (See sheet 6 of 9 attached hereto.) All proposed clearing limits are indicated on the attached Generalized Development Plan.
- Existing Buildings are to remain see "Building Data Tabulation" attached hereto for proposed buildings.
- The tabulation (line sheet) for gross floor areas and floor area ratios.
- Does not apply to this application.
- The proposed Development Station (constructed by others) located at the intersection of International Drive and James Branch Drive.
- (1) A traffic study for WESTPARK by Street Traffic Studies, Ltd. dated 2-22-80, has been submitted, reviewed and approved by the Office of Transportation. (2) Applicant requests a waiver of all county wide traffic as shown in the 1980 for extended thru October 31, 1981 (comprehensive Plan. Four (4) foot wide Virginia Department of Transportation standard sidewalks parallel to all streets are existing or will be provided in the Virginia Department of Transportation right-of-way as a means of accommodating pedestrian traffic.
- Development of the WESTPARK project has been ongoing since 1973. The anticipated build out will occur in an phased, orderly fashion over the next 15 to 20 years depending on market and economic conditions.
- All existing flood plain limits are indicated on the attached Generalized Development Plan. The 100' are delineated on sheets 7, 8, and 9 attached herewith.
- Provide a traffic signal at the intersection of Westpark Drive and Park Run Drive when warranted and provide improvements at the intersection of James Branch Drive and International Drive as specified in item 10" above.
- See attached Generalized Development Plan for specific data.
- See attached Generalized Development Plan for location of existing vegetation, wooded areas to be retained and screening areas, and proposed clearing limits. A water has been requested for all "proposed landscaping" (see sheet 6 of 9 for typical landscaping) at the time this requirement will be addressed with the submission of a site plan.
- There are no grade differences within the limits of the property.
- The properties contained in this application are owned by WestPark Associates, WestPARK Associates, Washington Hall Corporation and the National Machine Tool Builders Association. For ownership of specific parcels, see site data tabulation attached hereto.

BUILDING DATA					
NO.	BUILDING (SITE)	ADDRESS	BUILDING STATUS	DAYS COMPT.	BUILDING BY
1	WETA Site	1901 West Park Drive	Existing (to remain)	1971	20 (12 story)
2	1903 West Park Drive	1903 West Park Drive	Existing (to remain)	1971	20 (12 story)
3	1911 West Park Drive	1911 West Park Drive	Existing (to remain)	1971	20 (12 story)
4	1915 West Park Drive	1915 West Park Drive	Existing (to remain)	1971	20 (12 story)
5	Essex	1929 West Park Drive	Existing (to remain)	1973	20 (12 story)
6	Fredrick	1929 West Park Drive	Existing (to remain)	1973	20 (12 story)
7	Western Union	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
8	Amherst	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
9	Burnswick	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
10	Culpeper	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
11	North Hampton	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
12	Dickenson	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
13	Glooucester	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
14	Lancaster	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
15	Stafford	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
16	Warren South (Ph. 1)	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
17	Warren South (Ph. 2)	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
18	Bedford	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
19	Hanover	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
20	Union	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
21	Fairfax (Ph. 1)	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
22	Fairfax (Ph. 2)	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
23	Fairfax (Ph. 3)	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
24	Hallfax	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
25	West P. Mac (Ph. 1)	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
26	West P. Mac (Ph. 2)	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
27	West P. Mac (Ph. 3)	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
28	West P. Mac (Ph. 4)	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)
29	West P. Mac (Ph. 5)	1915 James Branch Drive	Existing (to remain)	1971	18 (10 story)

SITE DATA					
NO.	BUILDING (SITE)	TAX MAP	OWNER/DEVELOPER	DEED BOOK AND PAGE	
1	WETA SITE	20-4-007-5A	National Machine Tool Builders Ass.	2980/473	
2	1903 WESTPARK DR.	20-4-007-1	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
3	1911 WESTPARK DR.	20-4-007-2	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
4	1915 WESTPARK DR.	20-4-007-3	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
5	ESSEX	20-4-007-4	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
6	FREDERICK	20-4-007-5	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
7	WESTERN UNION	20-4-007-6	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
8	AMHERST	20-4-007-7	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
9	BURNSWICK	20-4-007-8	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
10	CULPEPER	20-4-007-9A	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
11	NORTH HAMPTON	20-4-007-C1	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
12	DICKENSON	20-4-007-6	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
13	GLOUCESTER	20-4-007-11A	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
14	LANCASTER	20-4-007-C1	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
15	STAFFORD	20-4-007-10	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
16	WARREN SOUTH (PH. 1)	20-4-007-1A1	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
17	WARREN SOUTH (PH. 2)	20-4-007-1A2	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
18	BEDFORD	20-4-007-Part of A1	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
19	HANOVER	20-4-007-Part of A1	WestPark Associates, A Ve. Ltd. Pump.	2980/473	
20	UNION	20-4-007-Part of A1	Washington Hall Corporation	2980/480	
21	FAIRFAX PH. 1	20-1-0015-Part of A1	WestPark Associates, A Ve. Ltd. Pump.	3350/100	
22	FAIRFAX PH. 2	20-1-0015-Part of A1	WestPark Associates, A Ve. Ltd. Pump.	3350/100	
23	FAIRFAX PH. 3	20-1-0015-Part of A1	WestPark Associates, A Ve. Ltd. Pump.	3350/100	
24	HALLFAX	20-1-0015-Part of A1	WestPark Associates, A Ve. Ltd. Pump.	3350/100	
25	WESTPARK PH. 1	20-1-0015-4B	WestPark Associates, A Ve. Ltd. Pump.	0047/000	
26	WESTPARK PH. 2	20-1-0015-4B	WestPark Associates, A Ve. Ltd. Pump.	0047/000	
27	WESTPARK PH. 3	20-1-0015-4B	WestPark Associates, A Ve. Ltd. Pump.	0047/000	
28	WESTPARK PH. 4	20-1-0015-4B	WestPark Associates, A Ve. Ltd. Pump.	0047/000	
29	WESTPARK PH. 5	20-1-0015-4B	WestPark Associates, A Ve. Ltd. Pump.	0047/000	

RZ-88D-005

NOTE: THIS IS NOT A PROFFERED PLAN!

GENERALIZED DEVELOPMENT PLAN TO REZONE THE PROPERTIES OF WESTPARK ASSOCIATES, WESTPARK MAC ASSOCIATES, WASHINGTON HALL CORPORATION AND THE NATIONAL MACHINE TOOL BUILDERS ASSOCIATION FROM E-3 AND E-4 TO C-3 DUNSMVILLE DISTRICT FARMVILLE COUNTY VIRGINIA

SCALE N/A
 DATE 9/8/90
 REVISIONS
 SHEET 5 OF 6
 FILE NO. PL-8800

Hurdley, Myce & Associates, P.C.
 10000 WOODBRIDGE DRIVE, SUITE 100
 FARMVILLE, VIRGINIA 22430
 PHONE (804) 853-1111
 FAX (804) 853-1112

A GLOSSARY OF TERMS FREQUENTLY
USED IN STAFF REPORTS WILL BE
FOUND AT THE BACK OF THIS REPORT

DESCRIPTION OF THE APPLICATION

The applicants, West*Mac Associates Limited Partnership, WEST*PARK Associates Limited Partnership, Washington Hall Corporation and National Machine Tool Builders Association, request approval to rezone 193.68 acres of land from the I-3 (Light Intensity Industrial) and I-4 (Medium Intensity Industrial) Districts to the C-3 (Office) District. Approximately 107 acres of the application property are presently zoned I-3 and the remaining 86 acres are zoned I-4. The application property is located in the northeastern portion of the Tysons Corner area, and is generally south of the Dulles Airport Access Road, west of I-495, north of Westpark Drive and east of International Drive.

The total proposed gross floor area on the entire application property is 4,682,689 square feet, for an FAR of 0.54. This proposed 0.54 FAR is calculated on a total land area of 199.48 acres which includes previously approved advanced density credits of 5.79 acres for public street dedications. Twenty (20) buildings, containing a total of 2,048,458 square feet and accessory parking structures, have been constructed or are presently under construction on the application property. Proposed new development totaling 2,634,231 square feet is to be contained in ten (10) new buildings; of this total, 1,917,352 square feet are the subject of site plans previously filed with Fairfax County

The Generalized Development Plan (GDP) submitted with this application is not proffered as to building size, location and footprint or limits of clearing and grading. Certain elements of the GDP are proffered, including floor area ratio (FAR) on the gross tract area, maximum building height and minimum angle of bulk plane, building setbacks from the Dulles Airport Access Road (DAAR), a typical landscape plan, a Best Management Practices (BMP) facility, an Environmental Quality Corridor (EQC), a 4.2 acre transit destination site to be dedicated and conveyed to Fairfax County, two (2) traffic signals and an additional travel lane on Jones Branch Drive. The applicants have proffered to submit all site plans to the Dranesville District Planning Commissioner for review for conformance with the proffers.

The application also includes the following requests: 1) a waiver of the 75 foot setback requirement from the Dulles Airport Access Road (DAAR) in accordance with Par. 3 of Section 2-414 of the Zoning Ordinance; 2) a modification of the transitional screening and a waiver of the barrier requirement along the north side of Jones Branch Drive adjacent to R-30 zoned property in accordance with Par. 3 of Section 13-304 of the Zoning Ordinance; and 3) a modification of the transitional screening and a waiver of the barrier requirement along the western boundary of the application property adjacent to R-30 zoned property in accordance with Par. 3 of Section 13-304 of the Zoning Ordinance.

The applicants' Draft Proffers, Affidavit and Statement of Justification are attached as Appendices 1, 2, and 3, of this report, respectively.

LOCATION AND CHARACTER OF THE AREA

The application property is a consolidation of twenty-three (23) parcels of land which are generally located south of the Dulles Airport Access Road (DAAR), west of I-495, north of Westpark Drive and east of International Drive. Nineteen (19) office buildings and accessory parking structures are currently built and one (1) additional office building is under construction. The floor area ratio (FAR) of each existing building is presented in Table 1. Existing buildings are numbered on this table as 1-17, 21, and 22; Building 26 is under construction. According to Table 1, the FAR of these existing buildings ranges from 0.14 to 0.69.

The application property comprises the northeastern portion of the Tysons Quadrangle which is identified on page II-76 of the adopted Comprehensive Plan as that area bounded by the Dulles Airport Access Road (DAAR), I-495, Route 123 and Route 7. Retail uses predominant along Route 7 and Route 123, with the remainder of the quadrangle generally devoted to office and hotel uses. The DAAR forms the northern boundary of the application property. Across the DAAR is residential development zoned R-1 and R-2, (McLean Hamlet Subdivision) and the McLean Hamlet Park. To the south of the application property is the Tysons II development, zoned PDC, which was approved for 675,000 square feet (sq. ft.) of retail use, 3,220,000 sq. ft. of office use and 900 hotel rooms. Also to the south is a vacant parcel zoned C-7 which is proffered (RZ 78-D-047) for retail/office development at an FAR of 0.74. Three (3) parcels, zoned C-4 and C-7, are located between the application property and Route 123. Two (2) office buildings and a hotel at FARs of 0.74, 0.74 and 1.69, respectively, occupy these parcels. The Lincoln Apartments, zoned and developed at R-30, are located between the application property and International Drive. To the west of International Drive is the Rotunda Condominium development, zoned and developed at R-30, and existing office buildings which range in FAR from 0.65 to 0.90.

BACKGROUND

The application property is affected by several previous zoning actions approved by the Board of Supervisors. Appendix 4 contains a location map of each of these rezonings and executed proffers, when applicable.

On November 26, 1969, rezoning application C-65 was approved to rezone 31 acres to the I-P District (now the I-4 District). This rezoning predated the proffer system.

On December 21, 1971, rezoning application C-382 was approved to rezone 128 acres to the I-P District (now the I-4 District). This rezoning predated the proffer system.

On September 12, 1977, RZ 77-D-016 was approved to rezone 32 acres to the I-P District (now the I-4 District). The GDP submitted with the application was not proffered. The proffers committed the applicant to: 1) provide a

WEST*PARK
FLOOR AREA RATIO COMPUTATION

Table 1

NO.	BUILDING (SITE)	(ACRES) SITE AREA	(EXCLUDING CELLARS) GROSS FLOOR AREA	F.A.R.
1	NMTBA SITE	1.8366	21,908	0.2738
2	7903 WESTPARK DR.	2.0000	14,333	0.1645
3	7913 WESTPARK DR.	2.0083	12,000	0.1372
4	7915 WESTPARK DR.	1.8045	33,750	0.4294
5	7925 WESTPARK DR.	1.8045	33,750	0.4294
6	ESSEX	4.4012	77,000	0.4016
7	FREDERICK	5.3820	63,930	0.2727
8	WESTERN UNION	5.0001	108,563	0.4984
9	AMHERST	5.0002	76,800	0.3526
10	BRUNSWICK	4.1030	63,020	0.3526
11	CULPEPER	4.0910	65,900	0.3698
12	NORTH HAMPTON	8.3360	157,800	0.4346
13	DICKENSON	2.7712	46,562	0.3857
14	GLOUCESTER	7.8868	111,430	0.3243
15	LANCASTER	7.0056	111,430	0.3651
16	STAFFORD	5.8650	123,492	0.4834
17	WARREN SOUTH (PH.1)	7.3753 (1)	138,694	0.4317
18	WARREN NORTH (PH.2)	5.3965	139,474	0.5933
19	BEDFORD	10.8540	236,400	0.5000
20	HANOVER	7.9460	173,064	0.5000
21	UNISYS	8.7000	175,940	0.4643
22	FAIRFAX (PH.1)	9.9532	216,780	0.5000
23	FAIRFAX (PH.2)	10.5468	216,348	0.4709
24	FAIRFAX (PH.3)	9.3452	230,430	0.5661
25	HALIFAX	11.4784	250,000	0.5000
	TOTAL	150.9731 ac.	2,898,798 sq.ft. (GFA)	0.4408
	Unused WEST*PARK Density for future Allocation		323,632 sq.ft.	
	TOTAL WEST*PARK	150.9731 ac.	3,222,430 sq.ft.	0.49

(1) 1.9788 acres for prior dedication of WEST*PARK and Westbranch Drive included in area.

WEST*MAC
FLOOR AREA RATIO COMPUTATION

NO.	BUILDING (SITE)	(ACRES) SITE AREA	(EXCLUDING CELLARS) GROSS FLOOR AREA	F.A.R.
26	WEST*MAC (PH.1)	13.5151 (2&3)	405,284	0.6884
27	WEST*MAC (PH.2)	6.0197 (2&3)	180,000	0.6865
28	WEST*MAC (PH.3)	9.4117 (2&3)	281,952	0.6877
29	WEST*MAC (PH.4)	6.0197 (2&3)	180,000	0.6865
30	WEST*MAC (PH.5)	13.5453	413,023	0.700
	TOTAL	48.5115 ac.	1,460,259 sq.f. (GFA)	0.691

(2) 0.6216 acres for prior dedication of Jones Branch Drive included in area.

(3) 3.1957 acres for prior dedication of International Drive and Dulles Access Road included in area.

WEST*PARK AND WEST*MAC (COMBINED)

Grand Total for WEST*PARK and WEST*MAC	199.4846 ac.	4,682,689 sq.ft.	F.A.R. 0.54
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Total Acreage For F.A.R. Computation of Grand Total
193.6885 ac. (sites) + 5.7961 ac. (prior dedication) = 199.4846 acres total
(8,689,549 sq.ft.) for F.A.R. computation.

twenty-five (25) foot wide buffer strip between the DAAR right-of-way and any building or parking lot; 2) construct roadway and sidewalk improvements; 3) construct an on-ramp to the DAAR from Springhill Road; 4) contribute \$7,500 per acre, at the time of site plan approval, towards transportation improvements in the vicinity of the application property; 5) reserve land for a transit facility until June 30, 1978; and 6) preserve the Scotts Run floodplain.

On December 6, 1982, PCA 77-D-016 was approved. The purpose of this PCA was to add Proffer Number 10 which supplemented the proffers accepted with RZ 77-D-016. This additional proffer committed the applicant to: 1) dedicate right-of-way for the Dulles Toll Road; 2) provide a ten (10) foot wide buffer, instead of the previously approved twenty-five (25) foot wide buffer, where property was dedicated for the Dulles Toll Road; and 3) provide a 45 degree angle of bulk plane on all buildings from the DAAR right-of-way in lieu of the 75 foot Zoning Ordinance setback requirement.

On May 14, 1979, RZ 79-D-004 was approved to rezone 30 acres to the I-3 District. The GDP submitted with the application was not proffered. The proffers committed the applicant to: 1) a building height of 75 feet and a 0.5 FAR; 2) construct roadway and stormwater management improvements; and 3) contribute \$7,500 per acre, at the time of the site plan approval, towards transportation improvements in the vicinity of the application property.

On May 3, 1982, RZ 81-D-095 was approved to rezone 13.5 acres to the I-4 District. The GDP submitted with the application was not proffered. The proffers committed the applicant to: 1) contribute \$7,500 per acre, at the time of site plan approval, towards transportation improvements in the vicinity of the application property; 2) preserve the Scotts Run floodplain; and 3) preserve a natural buffer equal to at least 12.5 percent of the total application property, to include a 25 foot wide buffer along the western property boundary adjacent to land zoned R-30 in lieu of transitional screening and barrier requirements.

On January 13, 1988, applications RZ 88-D-005 and RZ 88-D-008 were filed to rezone a total of 65 acres of land from the I-4 District to the PDC District. On October 15, 1989, the applicants filed an amended application to the C-4 District. The applicants subsequently consolidated these applications and filed an amended rezoning application on May 14, 1990 to increase land area to a total of 193.68 acres and to change the requested zoning district to C-3.

COMPREHENSIVE PLAN PROVISIONS

The 193.68-acre property is located in The Tysons Corner Area of the McLean Planning District in Area II. An assessment of the proposal for conformance with the Comprehensive Plan should be guided by the following citations from the Plan (Complete citations from the Comprehensive Plan are contained in Appendices 5A and 7 of this report: the following represents an abbreviation of these citations):

On page II 68 under "Land Use Recommendations," the Plan states:

"Sub-Tract A2: Research and Development Industry, Multifamily Residential and Motel

The 289-acre Westpark tract has existing research and development and office uses concentrated primarily in the eastern portion. The remaining vacant acreage is zoned for industrial park and commercial designed shopping center and motels.

It is recommended that approximately 150 acres of land, all the vacant land north of Jones Branch Drive and east of the proposed right-of-way for Park Run Drive except the parcel zoned C-7, type industry [sic]. The land north of Jones Branch Drive, visible from the Dulles Airport Access Road should be limited to uses permitted under the I-2 zoning district in order to assure the high-quality development image of this area as a gateway to the Nation's capital. Such uses should also be designed to provide an appropriate landscaped transition to the planned residential area south of Jones Branch Drive...

Research and development industry is recommended for the 15+/-acres east of the stream valley. The residential section should incorporate recreational facilities and the entire 47-acre portion should include open space, a pedestrian system and other urban design and environmental features emphasized in this plan. The topography in this location would lend itself to a molding of development to the land forms as well as permitting some of the steep slopes to be retained in open space. Nothing in the foregoing should be interpreted to preclude a mixed or multi-use development on the entire 47 acres provided at least 1150 residential units are included in the land use mix at this location or elsewhere within the Sub-Tract A2. A multi-use development on the eastern 15+/-acres including industry, office, motel, housing or limited retail commercial could also be appropriate.

A location in the quadrangle at the intersection of International Drive and the Dulles Airport Access Road parallel lanes would also be a logical terminus for an express bus service to Washington although the cost of land would probably necessitate a decked parking facility rather than open parking. Although no public agency is currently empowered to acquire land in the quadrangle for any future public transportation facilities, it is recommended that Westpark include the possibility for such facilities in its long range plans..."

The Comprehensive Plan Map shows that the application property is planned for industrial and private open space uses. Map 28 of the Tysons Corner Area Plan Text, page II-68, shows that the application property is planned for research and major flood plain uses.

ANALYSIS

Generalized Development Plan Description

Reductions of the Generalized Development Plan (GDP), Sheets 1-6, submitted with this rezoning application are attached to the front of this report. The plan depicts existing conditions on the application property, including buildings (numbered 1-17, 21, 22 and 26), parking garages and surface parking lots, public streets, stormwater management ponds, and easements. Proposed buildings and parking garages, as have previously been submitted for site plan review, are labeled 18-20, 23-25 and 27-30.

The GDP is not proffered as to the size and location of these proposed buildings. Elements of the GDP that are proffered include: 1) a FAR of 0.54 on the gross tract acreage; 2) building height of ninety (90) feet and a twenty-five degree angle of bulk plane (ABP) on buildings 19, 20 and 30 and a seventy-five (75) foot height and forty-five (45) degree ABP on the remaining buildings; 3) building setbacks ranging from ten (10) to twenty-five (25) feet from the DAAR right-of-way; 4) a typical landscape plan; 5) a BMP facility at existing Pond "C"; 6) an Environmental Quality Corridor; 7) a 4.2 acre transit destination station site to be dedicated and conveyed to Fairfax County; 8) two (2) traffic signals; and 9) an additional lane on Jones Branch Drive. In addition, the applicant has proffered to submit all site plans to the Dranesville District Planning Commissioner for review for conformance with the proffers.

Environmental Analysis

The Environmental Analysis and Addendum prepared for this application are contained in Appendices 5A and 5B of this report. Environmental issues which have been identified include the presence of an Environmental Quality Corridor (EQC) and a 100-year floodplain, potential wetlands, problem soils, stormwater management and water quality, highway noise and tree preservation.

The application property is located in the Scotts Run Watershed and several of the application parcels contain tributaries which form the headwaters of Scotts Run. These tributaries consist of a 100-year floodplain and slopes in excess of fifteen (15) per cent. The Comprehensive Plan definition of "Sensitive Lands EQCs", was used by staff to delineate the EQC that is graphically depicted in Appendix 5A. This EQC is similarly identified on Map 27, page II-66 of the Comprehensive Plan, and Plan text states that the natural drainageway of Scotts Run should "be respected to the greatest extent possible".

Two (2) conditions should be noted regarding the EQC as delineated by staff: 1) the natural 100-year floodplain has been redefined on the application property as the result of a previously implemented drainage study; and 2) existing parking lots, public streets and stormwater management ponds are presently located within portions of the EQC which have been filled and graded. Particularly given the fact that the area delineated by staff as EQC has been compromised due to previous construction activities, it is staff's recommendation that those areas within the EQC that are currently vegetated should remain undisturbed.

These areas are generally surrounding and adjacent to Pond "C", the West*Mac Phases 1-4 detention facility, and at the southeastern corner of the intersection of Jones Branch Drive and Park Run Drive. These three (3) areas are designated as EQC on the GDP and the applicant has proffered, Number 1 par. H1, to minimize disturbance and re-vegetate any area if disturbed due to the installation of utilities and roadways, thus resolving the issue to staff's satisfaction.

On the basis of a site investigation, Fairfax County soils maps and 1986 aerial photographs, it is staff's preliminary opinion that parcel A4, generally around Pond C, may contain the remnants of a nontidal wetland community. The applicants have submitted a letter (Refer to Appendix 5C) which addresses the issue of wetlands. McCarthy & Associates, Inc., the applicants' consulting engineer, has identified two (2) wetland areas on the application property. These include the existing stormwater management Pond "C" and associated drainage channel, and an isolated wetland located in the graded area west of the pond. Two (2) activities are proposed within these areas: 1) Pond "C" is to be maintained, or excavated, to allow for additional stormwater storage and BMPs; and 2) the isolated wetland is proposed to be filled in conjunction with site development.

The maintenance of existing Pond "C" by excavation is an unregulated activity pursuant to Section 404 of the Clean Water Act. The proposed fill of the isolated wetland is authorized by Nationwide Permit since the area to be disturbed is less than one (1) acre in size. Based on the information submitted by the applicants' consulting engineer, McCarthy & Associates, the activities proposed within the two (2) identified wetlands areas are either exempt from Federal regulation or are authorized by existing Nationwide Permit.

In general, most of the soils on the currently undeveloped portions of the application property are poorly drained and provide poor foundation support. These soils are located along low lying areas and drainageways. The remaining soils are good but erodible when found in conjunction with steep slopes. Staff recommends that the applicant make every effort to improve erosion and sediment controls during the construction process. Staff recommends that temporary sediment traps or sediment detention basins or redundant and/or 100% oversized siltation fencing be installed during all grading and construction activities. At the time of site plan submission, the applicant will be required to submit information to DEM regarding compliance with the County's erosion and sediment control requirements.

All of the application property drains, in a northeasterly direction, into Scotts Run. A series of stormwater management facilities, including wet and dry ponds which are labeled on the GDP, have been constructed on the application property. With this rezoning, the applicant proposes to retain the existing stormwater management system including the existing ponds. However, as discussed in the following paragraphs, the applicant proposes to retrofit Pond "C" as a wet pond to provide for increased stormwater detention and water quality improvements. At the time of site plan submittal for additional buildings on the application property, the applicant will be required to provide information to the satisfaction of DEM and DPW that the stormwater management system is

adequate to detain runoff in accordance with Public Facilities Manual (PFM) requirements. The applicant has proffered, Number 1 par. G1, to provide both existing and future stormwater management facilities "in conformance with PFM standards to serve the entire Subject Property, as approved by DEM and DPW".

Scotts Run drains into the Potomac River above a water supply intake. Staff recommends, that in order to improve water quality in the watershed, Best Management Practices (BMPs) which are designed both to reduce nutrient and phosphorous loadings and hydrocarbon pollutants be implemented. Specifically, staff recommends that: 1) Pond "C" be redesigned as a wet pond BMP equivalent to WSPOD standards with an oil/grit separator; and 2) additional oil/grit separators be installed to treat runoff from parking lots prior to discharge into existing stormwater management ponds.

The applicant has proffered, Number 1 pars. G2 and G3, to design Pond "C" as a wet pond BMP and stormwater detention facility equivalent to WSPOD standards; to preserve existing vegetation around the perimeter of the pond, as depicted on the GDP; to adjust the existing stormdrainage easement to accommodate Pond "C"; and to modify or replace the existing riser structure to provide an oil/grit separator. To address hydrocarbon removal for parking structures that do not drain into Pond "C", the applicant has proffered, Number 1 par. G4, to provide oil/grit separators for parking structures for Buildings 19, 20, 23, 24 and 25. As such, the applicant has satisfactorily addressed the issue of water quality.

Due to its proximity to the Dulles Airport Access Road (DAAR) and International Drive, the northern portion of the application property is impacted by the 70 to 75 dBA Ldn highway noise impact zone. In order to reduce interior noise levels to the standard of 50 dBA Ldn, staff recommends that the applicant provide acoustical treatment for all new structures located within 940 feet from the centerline of the DAAR and within 210 feet from the centerline of International Drive. Proffer Number 2 states that the applicant will provide noise attenuation as recommended by staff.

The Comprehensive Plan, pages II-65 through 66, states that existing vegetation within the Tysons Corner area should be preserved for aesthetic and air quality benefits. Several of the undeveloped parcels of the application property contain a variety of trees such as oak, maple, sweetgum, beech, hickory and poplar, which, in staff's opinion, have preservation value. Since the GDP is not proffered, the limits of clearing and grading indicated on the plan are conceptual. The applicant has proffered, Number 1 par. I, to determine limits of clearing and grading at the time of site plan review. Any significant variance to the limits of clearing and grading from that shown on the GDP is subject to approval by the County Arborist. In the absence of a proffered GDP, it is staff's opinion that the above referenced proffer in conjunction with the applicants' proffer to submit all site plans to the Dranesville District Planning Commissioner for review, provides adequate assurance that limits of clearing and grading will be established that maximize tree preservation on individual building sites.

The applicant has addressed the three (3) issues discussed in the Addendum to the Environmental Assessment, Appendix 5B: 1) the applicant has proffered, Number 1 Par. G1, to provide existing and future stormwater management facilities in accordance with PFM requirements; 2) the applicant has proffered, Number 1 Par. G2, to adjust the existing stormdrainage easement to accommodate Pond "C"; and 3) the existing stormdrainage easement requires maintenance of Pond "C" by the applicant.

Transportation Analysis

The applicant has submitted a traffic study, entitled "Traffic Impact Study WEST*PARK Tysons Corner, Virginia", prepared by Street Traffic Studies, LTD as revised February 21, 1989. Copies of the report have been distributed to each member of the Planning Commission and are available for public review in the Zoning Evaluation Division office.

The Office of Transportation's analysis of this application is attached as Appendix 6 of this report. It is the recommendation of the office that approval of additional development on the application property which would add to the peak hour traffic congestion currently experienced in the Tysons Corner area should be offset through contributions to transportation programs and projects which ameliorate these conditions. On the basis of the applicants' traffic study and the Office of Transportation's recommendations the applicant has proffered the following:

Transit Destination Station The Comprehensive Plan recommends that a transit station be provided near the International Drive/Springhill Road/DAAR intersection. This transit facility appeared as a Metrorail Station on the 1975 Plus Plan, and was reaffirmed as a Transit Transfer Station and possible rail station in the recently adopted Policy Plan. A detailed study of transit alternatives in the Dulles Corridor, which considered and evaluated several potential sites as public transportation stations and/or transfer points, reaffirmed this site as a transit facility. This analysis determined that a site in the International Drive/Spring Hill Road/DAAR area represented the most feasible location for such a facility in the general Tysons Corner area.

The County is currently actively pursuing funding through an Urban Mass Transportation Administration (UMTA) grant to implement enhanced public transportation service in the Dulles Corridor. It is currently anticipated that provision of a public transportation station on the south side of the DAAR near International Drive would allow for the convenient discharge of passengers destined to the Tysons area from transit vehicles operating in the Dulles Corridor (hence the term "destination station"). Initially, such service would be comprised of an enhanced bus system; however, such a station could be converted to rail usage in the future at such time as demand and costs warrant it. The dedication of land for such a transit facility will benefit the general public by addressing both the transportation impact of the proposed application, as well as overall transportation issues in the Tysons Corner area.

The applicant has proffered, Number 3 par. A, to dedicate and convey in fee simple to the Board of Supervisors, prior to December 31, 1990 and subject to County approval of a subdivision plat, 4.2 acres of land located at the northeast corner of the intersection of International Drive/Spring Hill Road and the DAAR. This 4.2 acre parcel is designated on the GDP as outparcel "A". The proffer further states that dedication and conveyance of the site is subject to, among other conditions: 1) recordation of a restrictive covenant (Exhibit A), between West*Mac Associates Limited Partnership and Fairfax County, which limits the use of outparcel "A" to a "bus destination station, kiss and ride lot, or mass transit facility" and permits West*Mac "review and approval, not to be unreasonably withheld, of the design of the proposed facility" and 2) advanced density dedication of 128,065 square feet to be included in the FAR calculations for any building on the 199.48 acre application property.

While the dedication of the transit station site is recognized as an important contribution, it would also be desirable for the applicant to commit to the design and construction of the facility. The applicant has proffered, Number 3 par. A7, to provide Fairfax County with funds, not to exceed \$100,000, for an architectural and engineering design of the facility. Construction of the facility by the applicant has not been committed to; however, the applicant has proffered, Number 3 pars. B1 and B2, to provide contributions of \$2.85 per new gross square foot (as described below) and \$101,625, at the time of building permit, to be utilized for the aforementioned construction if the County so desires. This proffered contribution, when considered as a total amount, should be adequate to complete construction of the transit facility. However, the nature of the timing of the proffered contribution is such that it will be contributed to the County over the entire build-out of the development, which could reasonably extend over 10 to 20 years, and would not necessarily be available at the time the County needs to go ahead with construction of the facility.

Transportation Contribution

The applicant has proffered, Number 3 par. B1, to contribute \$2.85 per square foot of new gross floor area, at the time of building permit, to Fairfax County. This \$2.85 contribution is subject to an adjustment clause, tied to the Construction Cost Index from the Engineering News Record, in order to ensure that the contribution remains constant with respect to inflation. As proffered, "new gross floor area" does not include: 1) all existing buildings (2,048,458 square feet as defined on Table 1); 2) Building 18 which is the subject of an approved site plan; and 3) West*Mac Buildings 26-30. The amount of \$7500 per acre, or \$232,500, has been pre-paid to the County for West*Mac Buildings 26-29 and on the 4.2 acre Outparcel "A" in accordance with previous proffered commitments. The applicant has proffered, Number 3 par B2, to contribute \$7500 per acre on West*Mac Building 30 in accordance with proffered commitments pursuant to RZ 81-D-095. With a building site of 13.5 acres, this contribution will be \$101,625.

The potential new gross floor area which is subject to the \$2.85 contribution is 1,832,502 square feet; an additional \$101,625 is proffered to be contributed on West*Mac building 30. These proffered transportation funds are to be utilized, in order of priority, as determined by the Board of Supervisors, the destination station on Outparcel "A", additional toll booths on the DAAR and Metrorail or Dartrail design and development. In the opinion of staff, a contribution of \$2.85 towards transportation improvements is commensurate with that proffered by other applicants in the Tysons Corner area.

Transportation System Management

The Policy Plan provides strong encouragement to achieve significant reductions in the usage of single-occupant automobiles for travel to the Tysons Corner area. This document establishes a goal that 20% of the commuters to the Tysons Corner Area should use public transportation (rail, bus, carpooling, and vanpooling). Therefore, the applicant should provide a commitment to achieve significant usage of these alternative travel modes, and to correspondingly reduce reliance on low-occupancy vehicle commuting.

While the dedication of a destination station site will improve public transportation in the area, it is the recommendation of the Office of Transportation that the applicant prepare a "Transportation System Management Plan" (TSM). The applicant is encouraged to consider the following additional TSM commitments towards conforming to the spirit and letter of the revised Policy Plan:

- Provision of an annual contribution to either the County or a local Transportation Management Association such as Tytran, to offset some of the costs associated with the creation and operation of local programs to encourage public transportation utilization in the area. Some of the activities that could be funded with such a program include the provision of transit subsidies and provision of a shuttle bus to the transit destination station.
- Development of a TSM program designed to achieve a specific modal split target and provision of commitments to regularly monitor the performance of the program and to periodically adjust it to achieve the Plan goal.

The applicant has proffered, Number 3 par. E, to prepare, a TSM Program that attempts to reduce vehicular trips by twenty (20) per cent in the Tysons Quadrangle. As part of this TSM Program, the applicant has proffered to the following actions each in coordination with the Office of Transportation: 1) prepare a draft TSM Program within six (6) months of rezoning approval; 2) prepare a final TSM Program and commence implementation within eighteen (18) months of rezoning approval; 3) contribute \$270,000 towards implementing the TSM Program; and 4) evaluate the TSM Program at the end of the third and sixth calendar year to determine if any adjustments in the Program are necessary.

This proffer commits the applicants to prepare and implement, in coordination with the Office of Transportation, a TSM Program that establishes the parameters for trip reductions in the overall Tysons Quadrangle. Pursuant to the Policy Plan guidance, this establishes the nucleus of a program that can be joined into by others in a cooperative effort to reduce vehicle trips. Staff is in agreement with this TSM approach and feels that it is appropriate, in this case. Given the number of buildings (30), the diversity of tenants involved in this application, the fact that access is not consolidated and a significant number of trips are thru trips, the TSM Program, in order to be effective, must be tailored to the particular needs of the area.

Traffic signals The applicant has proffered, Number 2 par. C, to design and install traffic signals at the Park Run Drive/Jones Branch Drive and Park Run Drive/Westpark Drive intersections, subject to the approval of VDOT. This proffer which states that the applicant shall design and install each signal, or escrow sufficient funds for the same, upon demand by VDOT or within the timeframe specified, whichever occurs earlier, is acceptable to staff.

Additional travel lane on Jones Branch Drive The applicant has proffered, Number 2 par. D, to dedicate right-of-way and construct an additional travel lane on the northside of the westbound approach of existing Jones Branch Drive at its intersection with International Drive/Spring Hill Road. This proffer states that the applicant shall submit plans for the additional lane no later than December 31, 1991 and shall construct the lane within six (6) months of approval of said plans and issuance of permits. The proffer further states that if the travel lane is constructed by Fairfax County, the applicant will contribute up to \$30,000, the estimated cost of construction of the lane, to the Tysons Corner Area Wide Transportation Fund. This proffer language regarding construction of the additional travel lane on Jones Branch Drive is acceptable to staff.

Comprehensive Plan Analysis

The application property is located within the northeastern portion of Sub-Tract A2 of the Tysons Quadrangle. A map of the Quadrangle and recommended land-uses, as contained on page II-68 of the Comprehensive Plan, is included in Appendix 7 of this report. The Plan acknowledges that the 289-acre Westpark tract contains existing research and development and office uses and is zoned for "industrial park and commercial designed shopping center and motels". The Plan gives no specific FAR recommendation for Sub-Tract A2 but does contain land-use guidance. The Plan recommends that the portion of the application property located north of Jones Branch Drive be limited to "uses permitted under the I-2 Zoning District in order to assure the high quality development image of this area as a gateway to the Nation's capital". At the time when this Plan language was adopted, I-2 uses included both office and research and development, among other uses. Thus, in the opinion of staff, the applicants' proposed office development is consistent with the Plan land-use recommendation and with existing development on the application property and in the area. Approximately one-half (1/2) of the application property is currently developed as an office park.

The Sub-Tract A2 Plan Text, page II-68, further states that a location in the Quadrangle at the intersection of International Drive and the Dulles Airport Access Road would be "a logical terminus for an express bus service to Washington". As discussed in the Transportation Analysis section of this report, the applicant has proffered to dedicate 4.2 acres of land, at the location recommended in the Plan, for use as a transit destination station.

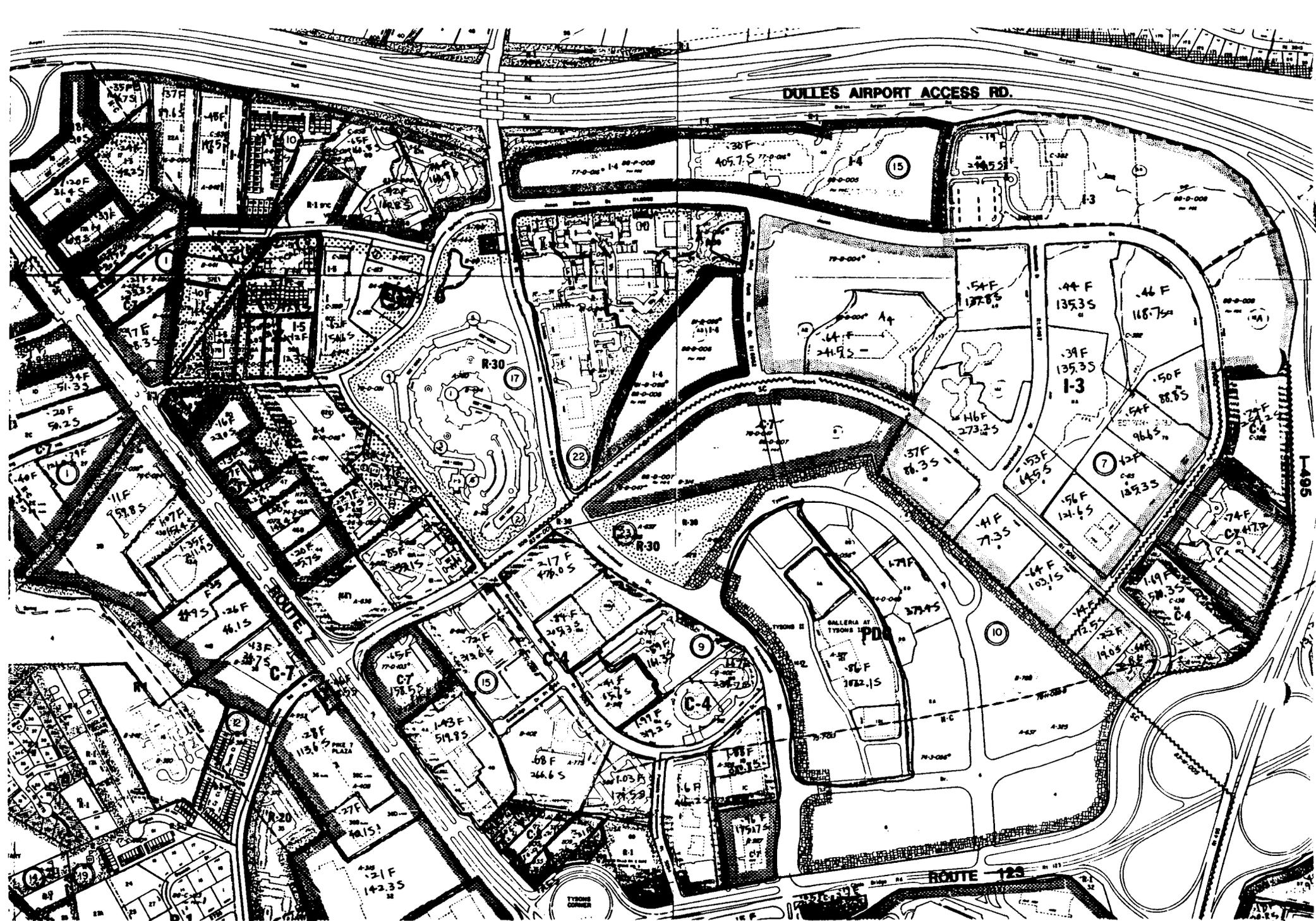
As stated previously, the Comprehensive Plan contains no FAR recommendation for the Tysons Quadrangle. The applicant has proffered to a 0.54 FAR on the gross tract area with the ability to exceed the 0.54 FAR on an individual building basis as long as the cumulative FAR does not exceed 0.54 at any point in time. The C-3 Zoning District cap of a 1.0 FAR is the maximum FAR which could be achieved on any individual building within the application property.

Staff has reviewed the requested 0.54 FAR in terms of the existing and proffered FAR of buildings located both within the application property and the Tysons Quadrangle. As presented on Table 1, the FAR of existing buildings (buildings numbered 1-17, 21, 22 and 26) within the application property ranges from 0.14 to 0.69; the FAR of buildings submitted for site plan review (buildings 18-20, 23-25, and 27-30) ranges from 0.5 to 0.7. As presented on Table 2, the FAR of existing and proffered non-retail development within the Tysons Quadrangle ranges from 0.3 to 1.9. It is staff's opinion, after reviewing this FAR information, that the requested 0.54 FAR is compatible with existing development both within the application property and within the Tysons Quadrangle.

The application property is located in Districts "H" and "L" as depicted on Map 4 (refer to Appendix 7) of the Tysons Corner Height Study, page II-57 of the Comprehensive Plan. Recommended building height for both Districts is a maximum of seventy-five (75) feet. The "Height Limit Determination Guidelines", also found on page II-75, provide additional guidance on building height within the Tysons Quadrangle: Guideline Number 10 states that visual intrusion into residential communities along the DAAR should be minimized; Guideline Number 11 states that the existing scale of the WEST*PARK development should be maintained.

Existing buildings on the application property range in height from twenty (20) to seventy-five (75) feet. The applicants have proffered to observe a ninety (90) foot height limit on buildings 19, 20 and 30, with a seventy-five (75) foot building height limit on the remaining buildings. The ninety (90) foot tall buildings are to be located on the western portion of the application property and more specifically on the west side of Park Run Drive and the south side of Jones Branch Drive.

At the request of staff the applicant has submitted a height study, prepared by Huntley Nyce & Associates, which analyzes the visual impact of the three (3) proposed ninety (90) foot tall buildings on the McLean Hamlet subdivision. The existing Lincoln Apartments site, located between the application property and International Drive, is recommended in the Tysons Height Study (Map 4) for a maximum building height of ninety (90) feet. Lincoln Property Company has submitted a letter, Appendix 8, which states that the proposed 90 foot height on



EXISTING DEVELOPMENT - TYSONS QUADRANGLE

the buildings as proffered is acceptable. The applicants' height analysis, a reduction of which is attached as Appendix 9, uses building rooftop elevation as the standard of measurement. The rooftop elevations of the three (3) proposed ninety (90) foot tall buildings are 510 feet for building 30, 472 feet for building 19, and 454 feet for building 20. The "Height Limit Determination Guidelines" state that the rooftop elevation of 730 feet above sea level is the maximum to be permitted in the Tysons Area.

The height analysis shows that when a person is standing at the lowest point on Falstaff Road in the McLean Hamlet subdivision, ground elevation 326, the existing DAAR sound barrier will obscure the view of the three (3) proposed ninety (90) foot tall buildings. Standing at this location, it is the Tysons II Galleria building, rooftop elevation of 525 feet, that will first be visible to the viewer. When standing at the high point on Falstaff Road, ground elevation 332, the view of the proposed buildings is similarly obscured. Standing at this location, it is the Equitable Life building, rooftop elevation of 669 feet, that will first be visible to the viewer.

Staff has reviewed the applicants' height analysis and concurs with the results. The proposed buildings, due to a viewing distance of over 2400 feet from the McLean Hamlet subdivision will yield viewing angles of less than four (4) degrees. A fourteen (14) degree viewing angle is generally considered the point at which the view of a building becomes imposing. As recommended by Guidelines 10 and 11, the three (3) proposed ninety (90) foot tall buildings should not visually impact the McLean Hamlet subdivision nor disrupt the existing scale of the WEST*PARK development.

The text included for District "H", page II-76 of the Comprehensive Plan, states that a 125 foot setback from the DAAR be provided and that a buffer of existing trees be provided along the DAAR. When the applicant dedicated land for the construction of the Dulles Toll Road, pursuant to PCA 77-D-016, the County waived this 125 foot setback recommendation. Proffer Number 10 (PCA 77-D-005) states that the setback requirement, where land had been dedicated for the Toll Road was to be ten (10) feet and twenty-five (25) feet on the remainder of the property. The Proffer further states that the setbacks of all buildings was to be governed by a forty-five (45) degree angle of bulk plane rather than a seventy-five (75) foot setback. The West*Mac phase 1 and Fairfax phase 1 buildings have been constructed according to these setback and angle of bulk plane requirements. The applicant proposes to continue these setback and angle of bulk plane requirements on future buildings and has proffered, Number 1 par. C, to either preserve existing trees or plant trees along the Dulles Toll Road frontage in conjunction with building construction.

The Planning Division (Refer to Appendix 7) raised a number of site design issues with this application. A number of these concerns are due in part to the fact that the GDP is not proffered as to building size, location and footprint and limits of clearing and grading. As stated previously in this report, the applicant has not proffered to the GDP but has proffered to a number of elements on an application property wide basis including, FAR, building height, setback and a typical landscape plan. In lieu of a proffered GDP, it is staff's opinion that the

applicants' proffer to return all site plans for review to the Dranesville District Planning Commissioner will permit review on a site by site basis of specific design elements regarding building and parking structures and tree preservation.

Public Facilities Analysis

Public Facilities Analyses, including fire and rescue and water and sewer services are attached as Appendices 10-12. No deficiencies are noted in these analyses.

Zoning Ordinance Provisions

The application addresses the provisions of the C-3 District as follows:

Maximum Building Height As presented on Table 3 existing buildings range from twenty (20) to seventy five (75) feet in height. Proffer Number 1 Par. B states that buildings 19, 20 and 30 are to be ninety (90) feet in height, the remaining buildings are to be seventy-five (75) feet in height. The C-3 Zoning District requirement for building height is ninety (90) feet with increases in height permitted by the Board as a special exception.

Minimum Yard Proffer Number 1, Par. B, states that buildings 19, 20, and 30 will observe a 25 degree angle of bulk plane (ABP); remaining buildings will observe a 45 degree ABP which results in a greater setback than the twenty-five degree ABP. The C-3 Zoning District requirement for front yards (the most restrictive yard requirement) is a 25 degree ABP, but not less than 40 feet.

Maximum Floor Area Ratio (FAR) As presented on Table 1 the FAR of existing buildings ranges from 0.14 to 0.69. Proffer Number 1, Par. A, states that the total FAR on the gross tract area shall not exceed 0.54. Individual subareas may exceed the 0.54 FAR but the cumulative FAR on the gross tract area is to be 0.54. The maximum FAR permitted in the C-3 District is 1.0.

Open Space As presented on Table 4 open space has been provided in excess of Zoning Ordinance requirements. New buildings will be subject to the C-3 Zoning District requirement of a minimum of fifteen (15) percent of open space. Further, the applicants have proffered to provide landscaping as generally illustrated on sheet 6 of the GDP.

Parking As presented on Table 5 parking has been provided in excess of Zoning Ordinance requirements. This excess parking is the result of parking requirements, typically 4.5 spaces per 1,000 square feet, at the time the building was constructed. New buildings will be subject to the off-street parking (2.6-3.6 parking spaces per 1,000 square feet of gross floor area depending on building size) and loading requirements of Article 11 of the Zoning Ordinance.

Transitional Screening and Barrier Sections 13-302 and 13-303 of the Zoning Ordinance require a twenty-five (25) foot wide Transitional Screening Yard

BUILDING DATA

NO.	BUILDING (SITE)	ADDRESS	BUILDING STATUS	DATE CONST.	BUILDING HT.
1	NMTBA Site	7901 West Park Drive	Existing (to remain)	1971	35' (3 story)
2	7903 West Park Drive	7903 West Park Drive	Existing (to remain)	1971	25' (2 story)
3	7913 West Park Drive	7913 West Park Drive	Existing (to remain)	1971	20' (1 story)
4	7915 West Park Drive	7915 West Park Drive	Existing (to remain)	1974	35' (3 story)
5	7925 West Park Drive	7925 West Park Drive	Existing (to remain)	1974	35' (3 story)
6	Essex	7929 West Park Drive	Existing (to remain)	1975	75' (6 story)
7	Frederick	8003 West Park Drive	Existing (to remain)	1977	75' (6 story)
8	Western Union	7916 Jones Branch Drive	Existing (to remain)	1971	75' (6 story)
9	Amherst	7915 Jones Branch Drive	Existing (to remain)	1977	75' (6 story)
10	Brunswick	7921 Jones Branch Drive	Existing (to remain)	1977	75' (6 story)
11	Culpeper	7923 Jones Branch Drive	Existing (to remain)	1978	75' (6 story)
12	North Hampton	7925 Jones Branch Drive	Existing (to remain)	1981	75' (6 story)
13	Dickenson	1521 West Branch Drive	Existing (to remain)	1983	75' (6 story)
14	Gloucester	1517 West Branch Drive	Existing (to remain)	1979	75' (6 story)
15	Lancaster	7927 West Branch Drive	Existing (to remain)	1979	75' (6 story)
16	Stafford	1500 West Branch Drive	Existing (to remain)	1982	75' (6 story)
17	Warren South (ph.1)	8000 West Branch Drive	Existing (to remain)	1985	75' (6 story)
18	Warren North (ph.2)	8002 West Branch Drive	Proposed (Future)		75 (max)
19	Bedford	1525 Park Run Drive	Proposed (Future)		90(max)
20	Hanover	8075 West Park Drive	Proposed (Future)		90(max)
21	Unisys	8008 West Park Drive	Existing (to remain)	1981	74 (6 story)
22	Fairfax (ph.1)	7980 Jones Branch Drive	Existing (to remain)	1989	40 (3 story)
23	Fairfax (ph.2)	7960 Jones Branch Drive	Proposed (Future)		75 (max)
24	Fairfax (ph.3)	7900 Jones Branch Drive	Proposed (Future)		75 (max)
25	Halifax	7930 Jones Branch Drive	Proposed (Future)		75 (max)
26	West * Mac (ph.1)	8200 Jones Branch Drive	Presently Under Const.		75 (max)
27	West * Mac (ph. 2)	8200 Jones Branch Drive	Proposed (Future)		75 (Max)
28	West * Mac (ph.3)	8200 Jones Branch Drive	Proposed (Future)		75 (max)
29	West * Mac (ph.4)	8200 Jones Branch Drive	Proposed (Future)		75 (max)
30	West * Mac (ph.5)	1550 Park Run Drive	Proposed (future)		90(max)

OPEN SPACE TABULATION

NO.	BUILDING (SITE)	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED
1	NMTBA Site	12,000	53,123
2	7903 WEST PARK DR.	13,068	46,174
3	7913 WEST PARK DR.	13,122	29,870
4	7915 WEST PARK DR.	12,057	20,355
5	7925 WEST PARK DR.	12,057	20,355
6	ESSEX.	28,757	68,380
7	FREDERICK	35,166	94,430
8	WESTERN UNION	32,670	24,052
9	AMHERST	32,671	40,122
10	BRUNSWICK	26,809	32,822
11	CULPEPER	26,730	26,856
12	NORTH HAMPTON	54,467	128,059
13	DICKENSON	18,107	27,806
14	GLOUCESTER	51,532	127,420
15	LANCASTER	45,775	114,630
16	STAFFORD	38,322	80,476
17	WARREN SOUTH (PH.1)	35,260	53,793
18	WARREN NORTH (PH.2)	35,260	48,750
19	BEDFORD	70,920	242,900
20	HANOVER	51,919	198,682
21	UNISYS	56,846	152,767
22	FAIRFAX PH. 1	65,034	173,695
23	FAIRFAX PH. 2	68,913	253,392
24	FAIRFAX PH.3	61,061	147,572
25	HALIFAX	75,000	345,412
26	WEST MAC PH. 1	88,308	293,812
27	WEST MAC PH.2	39,333	130,866
28	WEST MAC PH. 3	61,496	204,606
29	WEST MAC PH.4	39,333	130,866
30	WEST MAC PH.5	88,505	433,184

ARKING AND LOADING SPACE TABULATIO.

Table 5

NO.	BUILDING (SITE)	USE	INCLUDING CELLAR IF APPLICABLE) GROSS FLOOR AREA	PARKING REQUIRED	PARKING PROVIDED	LOADING SPACES REQUIRED	LOADING SPACES PROVIDED
1	NMTBA SITE	OFFICE	31,490 sq. ft. @ 3.6	114	72	2	1
2	7903 WESTPARK DR.	OFFICE	21,500 sq. ft. @ 3.6	78	86	2	2
3	7913 WESTPARK DR.	OFFICE	*12,000 sq. ft. @ 3.6	44	44	2	2
4	7915 WESTPARK DR.	OFFICE	*33,750 sq. ft. @ 3.6	122	145	2	2
5	7925 WESTPARK DR.	OFFICE	*33,750 sq. ft. @ 3.6	122	146	2	2
6	ESSEX	OFFICE	*77,000 sq. ft. @ 3.0	231	277	5	5
7	FREDERICK	OFFICE	74,584 sq. ft. @ 3.0	224	323	5	4
8	WESTERN UNION	OFFICE	126,657 sq. ft. @ 2.6	330	531	5	5
9	AMHERST	OFFICE	89,600 sq. ft. @ 3.0	269	500	5	5
10	BRUNSWICK	OFFICE	73,520 sq. ft. @ 3.0	221	355	5	1
11	CULPEPER	OFFICE	74,548 sq. ft. @ 3.0	224	328	5	1
12	NORTH HAMPTON	OFFICE	*157,800 sq. ft. @ 2.6	411	605	5	6
13	DICKENSON	OFFICE	54,322 sq. ft. @ 3.0	163	255	4	2
14	GLOUCESTER	OFFICE	130,000 sq. ft. @ 2.6	338	533	5	5
15	LANCASTER	OFFICE	130,000 sq. ft. @ 2.6	338	500	5	5
16	STAFFORD	OFFICE	135,492 sq. ft. @ 2.6	353	499	5	5
17	WARREN SOUTH (PH.1)	OFFICE	551,798 sq. ft. @ 2.6	381	523	5	2
18	WARREN NORTH (PH.2)	OFFICE	147,104 sq. ft. @ 2.6	383	479	5	5
19	BEDFORD	OFFICE	275,800 sq. ft. @ 2.6	727	970	5	5
20	HANOVER	OFFICE	202,800 sq. ft. @ 2.6	528	726	5	5
21	UNISYS	OFFICE	*175,940 sq. ft. @ 2.6	458	869	5	9
22	FAIRFAX PH. 1	OFFICE	*216,780 sq. ft. @ 2.6	564	792	5	5
23	FAIRFAX PH. 2	OFFICE	*216,348 sq. ft. @ 2.6	563	931		
24	FAIRFAX PH. 3	OFFICE	**272,075 sq. ft. @ 2.6	708	966	10	10
25	HALIFAX	OFFICE	**279,722 sq. ft. @ 2.6	728	1,115	5	9
26	WEST * MAC PH. 1	OFFICE	405,284 sq. ft. @ 2.6	1054	1,474	5	6
27	WEST * MAC PH. 2	OFFICE	180,000 sq. ft. @ 2.6	468	654	5	5
28	WEST * MAC PH. 3	OFFICE	***311,952 sq. ft. @ 2.6	811	1094	5	5
29	WEST * MAC PH. 4	OFFICE	180,000 sq. ft. @ 2.6	468	665	5	5
30	WEST * MAC PH. 5	OFFICE	*413,023 sq. ft. @ 2.6	1074	1531	5	5

* NO CELLAR

* * FAIRFAX BLDG, PHASE 3 CONTAINS 41,646 sq.ft. OF CELLAR AREA AND HALIFAX BLDG. CONTAINS 29,076 sq.ft. OF CELLAR AREA.

* * * WEST * MAC, PHASE 3 CONTAINS 30,000 sq.ft. OF CELLAR AREA.

(#1) and a Barrier (D, E or F) along the north side of Jones Branch Drive where the application property is adjacent to R-30 zoned and development property (proposed West*Mac Buildings 27 & 29). The applicants propose, in lieu of the transitional screening requirement, to provide a row of white and scotch pines 6-8 feet in height planted ten (10) feet on center and a row of junipers 18-24 inches in diameter planted five (5) feet on center, and to delete the barrier requirement. A schematic of this proposed planting design is on page 6 of the GDP. This proposed planting scheme is consistent with existing landscaping provided with the West*Mac Phase 1 building.

The same Transitional Screening Yard and Barrier requirements apply to Parcel 29-4 ((7)) A3 which is also adjacent to the R-30 zoned and developed property. The applicant is requesting to utilize existing vegetation, within a minimum buffer of twenty-five (25) feet in width, in lieu of the required transitional screening yard requirement and to waive the barrier requirement. The existing vegetation, in staff's opinion, provides a buffer of similar quality as would the required transitional screening yard.

Staff supports both of these transitional screening modifications and barrier waivers pursuant to Par. 3, of Sect. 13-304 which states that such actions may be approved where landscaping and/or existing vegetation is provided that will minimize adverse impact on adjacent properties.

75 Foot Setback from DAAR Sect. 2-414 of the Zoning Ordinance requires a seventy-five (75) foot setback from the DAAR to any building or parking lot. This requirement was previously waived pursuant to PCA 77-D-016. Staff continues to support the waiver as appropriate noise mitigation and tree preservation or revegetation is proffered and such waiver is consistent with the development as a whole.

CONCLUSIONS AND RECOMMENDATIONS

Conclusions

This is an application to rezone 193.68 acres of land from the I-3 and I-4 Districts to the C-3 District to permit office development at a maximum FAR of 0.54. The total office development that may be realized on the application property, at a 0.54 FAR, is 4,682,689 square feet; of this total, 2,048,458 square feet is existing or under construction and 1,917,352 square feet is the subject of site plans previously filed with Fairfax County but which would have to be diligently prosecuted in order to be implemented.

The Generalized Development Plan submitted with this rezoning application is not proffered as to building size, location and footprint or limits of clearing and grading. Elements of the Plan which are proffered include: 1) a 0.54 FAR on the gross tract area; 2) building height of ninety (90) feet and a twenty-five (25) degree angle of bulk plane (ABP) on buildings 19, 20 and 30 with a seventy-five (75) foot building height and forty-five (45) degree ABP on the remaining buildings; 3) building setbacks ranging from ten (10) to twenty-five (25) feet from the DAAR; 4) a typical landscape plan; 5) a BMP facility at existing Pond "C"; 6) an

Environmental Quality Corridor; 7) a 4.2 acre transit destination station site to be dedicated and conveyed to the County; 8) two (2) traffic signals; and 9) an additional lane on Jones Branch Drive.

It is staff's opinion that the WEST*PARK/West*Mac properties have been developed, to date, in a quality manner with attention to tree preservation and landscaping, open space and building design. However, in the absence of a proffered GDP, it is staff's opinion that the applicants' proffer to return all site plans to the Dranesville District Planning Commission for review for conformance with the proffers will permit review of site specific design elements such as building footprint and location, landscaping and tree preservation.

As discussed in this report, the application is in conformance with the land-use recommendations contained in the Comprehensive Plan. At a proposed FAR of 0.54, the application is compatible with existing FARs both within the application property and the Tysons Quadrangle. In the opinion of staff, the proposed ninety (90) foot tall buildings are in harmony with the goals and objectives of the Tysons Corner Height Study. Transportation issues identified in this report have been resolved to the satisfaction of staff, including the dedication and conveyance of a 4.2 acre transit destination site, the contribution towards transportation improvements in the Tysons Corner area of \$2.85 on all new gross floor area (excluding West*Mac Buildings 26-30 and Building 18) and a contribution of \$7500 per acre on building 30, the installation of two (2) traffic signals, construction of an additional lane on Jones Branch Drive, and preparation of a TSM Program. Environmental issues identified in this report have been resolved to the satisfaction of staff, including delineation of an EQC, provision of water quality improvements, provision of noise attenuation measures, and a commitment to delineate limits of clearing and grading at site plan submittal. The application is in conformance with the provisions of the C-3 Zoning District, with the exception of transitional screening, barrier and seventy-five (75) foot setback from the DAAR. Staff is recommending approval of modifications and/or waivers to these Zoning Ordinance requirements.

Recommendations

Staff recommends that RZ 88-D-005 be approved subject to the to the execution of proffers consistent with those contained in Appendix 1.

Staff recommends approval of the modification of transitional screening and waiver of barrier requirements where the application property is adjacent to R-30 zoned property, to that shown on the GDP and as proffered.

Staff recommends approval of a waiver of the seventy-five (75) foot setback requirement from the Dulles Airport Access Road, to that shown on the GDP and as proffered.

It should be noted that it is not the intent of the staff to recommend that the Board, in adopting any conditions, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be noted that the content of this report reflect the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

APPENDICES

1. Draft Proffers
2. Affidavit
3. Statement of Justification
4. Location Map of Rezoning Cases & Executed Proffers
- 5A. Environmental Analysis
- 5B. Environmental Analysis Addendum
- 5C. Letter to Mr. Thomas D. Fleury from McCarthy & Associates, Inc., dated September 12, 1990
- 5D. Northern Virginia Soil and Water Conservation District Comments
- 5E. Department of Public Works Comments
6. Office of Transportation Analysis
7. Planning Division Analysis
8. Letter from Lincoln Property Company, dated September 19, 1990
9. Height Analysis prepared by Huntley & Nyce
10. Fire and Rescue Analysis
11. Water Service Analysis
12. Sewer Service Analysis
13. Glossary

PROFFERS**RZ 88-D-005**

September 21, 1990

Pursuant to 15.1-491(a) of the Code of Virginia, 1950 as amended, and Section 18-203 of the Zoning Ordinance of the County of Fairfax (1978 as amended) ("ZO"), subject to the Board of Supervisors' approval of the requested rezoning to the C-3 zoning district, Applicants (West*Mac Associates Limited Partnership, WEST*PARK Associates Limited Partnership, Washington Hall Corporation, and NMTBA) and their successors and assigns (hereinafter "Applicants") hereby proffer to the following conditions. If this rezoning application is approved, the proffered conditions described below supersede all previously approved proffered conditions applicable to the property. The property (hereinafter referred to as the "Subject Property") consists of approximately 199.48 acres. The word "Applicants" shall be used when proffers relate to the Subject Property in its entirety. Any future modification(s) to these proffers which affect only a specific building or land area may be approved by the Board of Supervisors upon application for a proffered condition amendment by the individual owner of the specific building or land area without amending this entire proffer statement.

I. Generalized Development Plan ("GDP"). The location of buildings shown on the GDP dated September 5, 1990 shall be considered for illustrative purposes only. Specific tabulations for floor area ratios, green space, parking, and final location

of proposed buildings and parking structures shall be determined at the time of site plan review and approval. At time of each site plan submission, a copy of the site plan shall be submitted to the Dranesville District Planning Commissioner for review for conformance with these proffers. The GDP is not proffered in its entirety, but certain elements of the GDP as specifically described below are proffered.

A. Floor Area Ratios ("FAR"). The total FAR on the 199.48 acre Subject Property for office and accessory uses (as defined in the Z0) shall not exceed 0.54 FAR. Individual sites within the gross tract area may exceed 0.54 FAR, but under no circumstances will the cumulative FAR of the Subject Property exceed 0.54 FAR.

B. Building Height. All buildings, with the exception of those Buildings 19, 20, and 30 as shown on the GDP, shall not exceed 75 feet in height and 45 degree angle of bulk plane as defined in the Fairfax County Zoning Ordinance. Buildings 19, 20, and 30 shall not exceed 90 feet in height and 25 degree angle of bulk plane as defined in the Fairfax County Zoning Ordinance.

C. Setbacks from the Dulles Access Road. Applicants shall adhere to the building and parking structure setbacks shown on the GDP in that area abutting the Dulles Access Road access ramp right-of-way and along the remainder of the property line east of the ramp right-of-way and abutting the Dulles Access Road. After the final location of the on-site roadway for Buildings 26, 27,

28 and 29 is determined, the buffer area within the setback shall consist of existing trees when possible or plantings of native trees, at a minimum size of 4"-6" in caliper at a minimum density of one per 20 linear feet of Dulles Access Road frontage. This proffer is not applicable to Outparcel A, as defined in subsequent paragraph H.

D. Landscaping. Future building sites shall be landscaped using a mix of shade, ornamental and evergreen trees (6 to 8 feet in height at time of planting) of a quantity and species consistent with existing WEST*PARK landscaping and as generally illustrated on sheet 6 of 6 of the GDP. All landscaping plans submitted at time of site plan submission shall be reviewed and approved by the County Arborist.

E. Transitional Screening and Barrier. Applicants shall provide transitional screening and barrier along north side of Jones Branch Drive from the centerline of Park Run Drive west to the east side of the Springhill/International/Jones Branch Drive intersection consistent with Transitional Screening and Barrier Modification No. 9055 dated November 23, 1987 and its referenced landscape plan dated November 18, 1987 by Huntley, Nyce and Associates, but excluding the frontage of Outparcel A. The said modification amends the barrier and yard width to 10 - 15 feet and provides for a combination of save area and supplemental planting. Transitional screening and barrier for Building 30 shall be in conformance with Proffer H.2 on Page 6.

F. Trail Systems. In lieu of the trail system as shown on the County-wide trails plan, continuous four-foot wide concrete sidewalks along all public street frontages shall be provided with each site plan submittal and installed prior to issuance of the first non-residential use permit for any building subject to an approved site plan showing sidewalk within the Subject Property. Applicants shall coordinate trail/sidewalk connections with adjacent properties in the locations as shown on the GDP.

G. Storm Water Management.

1. Applicants shall provide both existing and future storm water management facilities in conformance with Public Facilities Manual standards to serve the entire Subject Property, as approved by Department of Environmental Management ("DEM") and Department of Public Works ("DPW").

2. Water Quality. Subject to the approval of DPW and DEM and unless otherwise waived, Pond C as shown on the GDP shall be designed as a wet pond Best Management Practice ("BMP") and storm water detention facility equivalent to Water Supply Protection Overlay District ("WSPOD") standards. Applicants shall preserve (i.e. leave in its natural state) the area contiguous to Pond C shown as "SAVE" area on the GDP. An additional buffer area contiguous to the "SAVE" area shall be provided as shown and noted on the GDP. The existing storm drainage easement shall be adjusted to accommodate Pond C.

3. Oil/Grit Separators. The existing riser structure within Pond C as shown on the GDP shall be modified or replaced

to provide an oil/grit separator. The location, design and type of such device shall be at the sole discretion of the Applicants, but subject to reasonable review and approved by DEM and/or DPW.

4. Oil/grit separators shall also be provided in conjunction with future parking structures for Buildings 18, 19, 20, 23, 24 and 25.

5. Oil/grit separators as defined in 3 and 4 above shall be designed in harmony with the methods recommended in Chapter 8 of the 1987 Metropolitan Washington Council of Governments (COG) document entitled Controlling Urban Runoff: A Practical Manual for Planning and Designing Urban BMP's or with other methods approved by DEM. The oil/grit separator(s) shall be cleaned via vacuum pumping in accord with Section 8.8 of the aforementioned COG documents, at least two (2) times per year or as requested by DEM not to exceed four (4) times per year. The qualifications of the maintenance operator shall be reviewed and approved by the appropriate Fairfax County agency as determined by DEM. Oil/grit separator maintenance records shall be kept on-site and shall be made available to County officials upon request. In order to facilitate a possible County study of the effectiveness and maintenance needs of oil/grit separators, access to the property shall be provided upon request from the County.

H. Environmental Quality Corridor (EQC).

1. Applicants shall preserve in an undisturbed state the EQC as generally depicted on the GDP subject to the

following. The EQC may be crossed by utilities, roadways, and trails in a manner that will minimize disturbance in the EQC. Any disturbed areas will be re-vegetated as approved by the County Arborist. In the event that clearing and grading is required within the EQC area, the disturbed area shall be re-vegetated by ground cover and re-forested by trees pursuant to Section 12-04037A of the Public Facilities Manual. The area preserved as the EQC buffer shall be deemed to satisfy transitional screening and barrier requirements in the areas where the EQC and transitional screening yards coincide.

2. EQC west of West*Mac Phase V (Building 30). Applicants will provide, subject to these proffers, by easement or dedication not later than the time of site plan approval for Building 30, an area equal to at least twelve and one-half percent (12.5%) of the Building 30 property (consisting of 13.5453 acres), consisting of a natural buffer strip extending at least 25 feet in width from the common property line between the Lincoln property and the Building 30 property commencing at the property corner immediately north of the Westpark Drive right-of-way and ending at the property corner immediately west of the Park Run Drive right-of-way conditioned upon the waiver of any transitional yard, barrier, and screening requirements between the two parcels.

3. EQC between Building 26 and Building 28. Applicants shall prohibit any construction within the conservation/storm drainage easement recorded at Deed Book 6927 at page 249 and

generally shown on the GDP, except minor construction as provided for in the easement document (utility crossing, trails, maintenance, etc.) shall be installed so as to minimize disturbance. Applicants agree to identify and mark archaeological site 44FX1348 contained within the Conservation Easement. If site is to be impacted by any future construction, Applicants shall contact the Environmental and Heritage Resources Branch of the Office of Comprehensive Planning 30 days prior to commencement of construction activity to determine whether a Phase II archaeological study is necessary.

I. Limits of Clearing and Grading. Applicants shall use best efforts to adhere to the general limits of clearing and grading as shown on the GDP. Actual limits of clearing and grading shall be determined at time of site plan review and approval. Any major difference between limits of clearing and grading on the GDP and site plan is subject to approval by County Arborist.

II. Noise Attenuation. Applicants agree to limit interior noise level to 50 dBA Ldn in all future buildings located within the area impacted by highway noise having levels between 70 dBA Ldn and 75 dBA Ldn. Applicants agree to provide acoustical treatment for all new structures located within 940 feet from the centerline of Dulles Access Road and within 210 feet from the centerline of International Drive. Applicants agree to treat all new buildings, other than parking structures and unoccupied accessory buildings (i.e. generator enclosures, mechanical

equipment buildings, etc.), with the following acoustical attributes:

- o Exterior walls shall have a laboratory sound transmission class (STC) of at least 39.

- o Doors and windows shall have an STC rating of at least 28. If windows are fixed and serve as walls, they shall have same rating as specified for exterior walls.

- o Adequate measures to seal and caulk surfaces will be provided.

III. Transportation Proffers.

A. Destination Station. Prior to December 31, 1990, subject to County approval of a subdivision plat, Applicants agree to dedicate and convey in fee simple to the Board of Supervisors a 4.2 acre parcel of land (hereinafter referred to as "Outparcel A") as depicted on the GDP subject to the following conditions:

1. Recordation of a restrictive covenant in a form similar to Exhibit A for Outparcel A. Said covenant shall limit the use of Outparcel A to a bus destination station, kiss and ride lot, or mass transit facility. Further, covenant shall specifically preclude the use of the site as a general or commercial parking lot.

2. The Applicants shall provide post-development storm water detention for Outparcel A up to but not exceeding the volume of the original design computation level as indicated on

6796-DS-01-1 as approved on March 25, 1988 associated with Outparcel A.

3. Upon conveyance of Outparcel A to the Board of Supervisors, any necessary approvals for Outparcel A for uses described in I.1 above shall not require Applicants to file a special exception or proffered condition amendment on Subject Property.

4. Dedication of Outparcel A shall be deemed to be subject to an advanced dedication and reservation of density pursuant to Paragraph 5 of Article 2-308 for 128,065 square feet (4.2 acres x 43,560 x 0.69 FAR) and such density credit will be included and may be used in FAR calculations for any buildings or sites within the 199.48 acre application.

5. Provision of a 25-foot wide transitional screening yard and barrier situated entirely upon Outparcel A along the eastern side of Outparcel A to buffer the Destination Station from the West*Mac project.

6. The extent of this obligation extends solely to the 4.2 acre site shown on the GDP inclusive of any future right-of-way or easement dedications.

7. At dedication of Outparcel A, Applicants shall provide Fairfax County funds for an architectural and engineering design of the Destination Station, which design costs shall not exceed \$100,000.00.

B. Tysons Corner Area Wide Transportation Contribution.

1. Applicants shall contribute to Fairfax County \$2.85

per FAR square foot (gross floor area, excluding cellar) with the following exceptions:

- o All existing buildings shall be exempt from \$2.85 payment to the extent that there is no increase in FAR square feet (gross floor area, excluding cellar) above the area shown in "Floor Area Computation" Table appearing on sheet 5 of 6 in the GDP dated September 5, 1990.

- o Building 18 as shown on the GDP which is 139,474 FAR square feet.

- o West*Mac Buildings 26, 27, 28, 29, and 30 inclusive comprising 1,460,259 gross square feet on 48.5115 acres of land area.

The \$2.85 per square foot, as increased by escalations to the Engineering News Record, Consumer Cost Index from the date of rezoning approval, shall be paid directly to the County of Fairfax at issuance of building permits for the applicable building area and shall be used for Tysons Corner Area Wide Transportation Improvements in order of the following priorities as determined by the Board of Supervisors:

- o Destination Station on Outparcel A.
- o Additional toll lanes and toll booths on the Dulles Access Road.
- o Metrorail or Dartrail design and development.

2. Applicants shall contribute \$7,500.00 per acre in lieu of \$2.85 square feet described in III.B.1 above for Tysons Corner Area Wide Transportation Fund improvements upon issuance

of building permit for Building 30 or within five (5) years of the date of the Board's approval of this rezoning application, whichever first occurs. Said contribution shall not exceed \$101,625.00 (\$7,500.00 x 13.5 acres).

Applicants have previously paid \$232,500.00 (\$7,500.00 x 31 acres) for Buildings 26, 27, 28, 29 and Outparcel A. Therefore, Buildings 26, 27, 28, 29 and any density credit for Outparcel A (Destination Station 4.2 acres) shall be exempt from \$2.85 per square foot contribution as outlined in paragraph III.B.1 above.

C. Signalization. Applicants shall design and escrow funds, as determined by Virginia Department of Transportation ("VDOT"), for traffic signal equipment and installation at the intersection of Park Run Drive and Jones Branch Drive and at the intersection of Park Run Drive and Westpark Drive, subject to the approval of VDOT. The traffic signal design and escrow at the intersection of Park Run Drive and Jones Branch Drive shall be provided when necessary warrants are met as determined by VDOT, or by December 31, 1993, or at time of issuance of non-residential use permits for Building 27, 28 or 29, whichever is earlier. The traffic signal design and escrow at Park Run Drive and Westpark Drive shall be provided when necessary warrants are met as determined by VDOT or at time of issuance of non-residential use permit for Building 30, or December 31, 1995, whichever is earlier.

D. Jones Branch Drive Improvements. Upon request from Fairfax County or at time of site plan submission for Building 27 or 29, whichever is earlier, Applicants shall dedicate and convey

in fee simple to the Board of Supervisors right-of-way along the property's Jones Branch Drive frontage of a sufficient width to provide an additional lane on the north side of the westbound approach of existing Jones Branch Drive from Park Run Drive to the east side of Springhill Road/International Drive intersection. Any dedication of land associated with this proffer shall be deemed to constitute an advance dedication with reservation of density pursuant to Article 2-308, Paragraph 5 of the Zoning Ordinance. Applicants shall construct the additional lane within the dedicated right-of-way as above described as follows: Applicants shall submit plans for the additional lane at the time of site plan submission for Building 27, 28 or 29, but no later than December 31, 1991. Applicants shall substantially complete construction sufficient to open for traffic within six months of approval of plans and issuance of permits and shall open roadway to traffic upon receipt of appropriate DEM and VDOT approvals to do so. In the event that Fairfax County elects to construct the additional lane, Applicants shall reimburse the County for the cost of construction not to exceed \$30,000.00 and payable to the Tysons Corner Area Wide Transportation Fund within six months of VDOT acceptance of the road for maintenance.

E. Transportation System Management.

1. Within six months of approval of this rezoning, Applicants shall prepare in coordination with the Office of Transportation ("OT") a Draft Transportation Management Program

("TSM Program") that attempts to reduce vehicular trips by 20% in the Tysons Quadrangle. After mutual agreement of the Draft TSM Program by OT and Applicants, Applicants shall prepare and OT and Applicants shall mutually agree on a Final TSM program consistent with Draft TSM Program. The Final TSM Program shall be implemented on a schedule mutually acceptable to Applicants and OT, but commence no later than eighteen months of the date of approval of this rezoning.

2. Applicants shall contribute \$270,000.00 to implement the Final TSM Program and said funds shall be distributed by the Applicants in accordance with a mutually agreed to Funds Distribution Program that shall be an integral part of the Final TSM Program.

3. Applicants shall provide OT with an evaluation of the Final TSM Program at the end of the third and sixth calendar years of the program to determine whether adjustments are necessary to the TSM Program. If OT and/or Applicants determine adjustments are necessary, Applicants shall implement adjustments subject to the limitations of the \$270,000.00 fund.

Proffers
RZ 88-D-005
Page 14

West*Mac Associates Limited Partnership

By: Federal Home Loan Mortgage Corporation
General Partner

By: _____
Maxine B. Stokes
Vice President, Administration
and Corporate Properties

WEST*PARK Associates Limited Partnership

By: Eagle Management Corporation
General Partner

By: _____
G. T. Halpin
President

Washington Hall Corporation

By: _____
Anthony B. Kuklin
Vice President

NMTBA

By: _____
Albert W. Moore
President

THIS DEED, made this _____ day of _____, 1990, by and between WEST*MAC ASSOCIATES LIMITED PARTNERSHIP, a Virginia limited partnership, party of the first part hereinafter referred to as Grantor, and THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY, VIRGINIA, party of the second part, hereinafter referred to as Grantee.

* * * W I T N E S S E T H * * *

That for and in consideration of the sum of Ten Dollars and No/100 (\$10.00) in hand paid, the receipt of which is hereby acknowledged, the Grantor herein does grant and convey with General Warranty of Title unto the Grantee the following described property situate and being in the County of Fairfax:

Outparcel A, _____, consisting of 4.2 acres as outlined on the attached plat prepared by _____ dated _____.

The above property is conveyed subject to the following restriction which is a covenant running with the land:

1. Use of the property shall be limited to a bus destination station, "Kiss and Ride" lot or mass transit facility.
2. Use of the property as a general or commercial parking facility is prohibited.
3. Grantor review and approval, not to be unreasonably withheld, of the design of the proposed facility.

TO HAVE AND TO HOLD the said property unto the Grantee;

SUBJECT TO restrictions and conditions contained in the deeds forming the chain of title to the above-described property.

The Grantor covenants that they have the right to convey the aforesaid property unto the Grantee; that the Grantee shall have quiet possession thereof; that the Grantor has done no act to encumber said land; and that they will execute such further assurances of the land as may be requisite.

WITNESS the following signatures and seals.

WEST*MAC ASSOCIATES LIMITED
PARTNERSHIP

By: Federal Home Loan Mortgage
Corporation, General Partner

By: _____
Maxine B. Stokes
Vice President Administration
and Corporate Properties

THE BOARD OF SUPERVISORS OF FAIRFAX
COUNTY, VIRGINIA

By: _____
J. Hamilton Lambert
County Executive

State of Virginia :
: To-wit:
County of Fairfax :

The foregoing instrument was acknowledged before me this ____ day of _____, 1990, by Maxine B. Stokes, Vice President Administration and Corporate Properties of Federal Home Loan Mortgage Corporation, on behalf of West*Mac Associates Limited Partnership.

Notary Public

My Commission Expires: _____

State of Virginia :
: To-wit:
County of Fairfax :

The foregoing instrument was acknowledged before me this ____ day of _____, 1990, by J. Hamilton Lambert, County Executive, on behalf of The Board of Supervisors of Fairfax County, Virginia.

Notary Public

My Commission Expires: _____

WestMac.001

REZONING AFFIDAVIT

DATE: September 18, 1990
(enter date affidavit is notarized)

88-120g

I, West*Mac Associates Limited Partnership, do hereby state that I am an
(enter name of applicant or authorized agent)

(check one) [X] applicant
[] applicant's authorized agent listed in Par. 1(a) below

in Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s), e.g. RZ 88-V-001)

and that to the best of my knowledge and belief, the following information is true:

1. (a). The following constitutes a listing of the names and addresses of all APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS and LESSEES of the land described in the application, and if any of the foregoing is a TRUSTEE*, each BENEFICIARY of such trust, and all ATTORNEYS and REAL ESTATE BROKERS, and all AGENTS who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in BOLD print are to be disclosed. Multiple relationships may be listed together, e.g., Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner.)

Table with 3 columns: NAME, ADDRESS, RELATIONSHIP(S). Lists various entities like West*Mac Associates L.P., WEST*PARK Associates L.P., Washington Hall Corp., NMTBA, WEST*GROUP, Inc., Hellmuth, Obata & Kassabaum, Huntley, Nyce & Associates, Federal Home Loan Mortgage Corp., Gerald T. Halpin, Maxine B. Stokes, Thomas D. Fleury, Margaret F. Howell, Larry A. Sauer, Charles J. Huntley, Paul, Weiss, Rifkind, Wharton & Garrison.

(check if applicable) [X] There are more relationships to be listed and Par. 1(a) is continued on a "Rezoning Attachment to Par. 1(a)" form.

* List as follows: (name of trustee), Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Handwritten signature/initials.

NOTE: This form is also for Final Development Plans not submitted in conjunction with Conceptual Development Plans.

DATE: September 18, 1990
(enter date affidavit is notarized)

88-120g

for Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s))

1. (b). The following constitutes a listing** of the SHAREHOLDERS of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders, and if the corporation is an owner of the subject land, all of the OFFICERS and DIRECTORS of such corporation:

(NOTE: Include sole proprietorships herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
WEST*GROUP, Inc. (2)
1600 Anderson Road
McLean, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)
[x] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
Gerald T. Halpin
Charles B. Ewing, Jr.
Thomas F. Nicholson
Martha U. Seeley, John N. Seeley, Margaret Ruth Seeley, Julie Ann Seeley, and Samuel S. Dennis, 3d, Co-Trustees of the Martha U. Seeley Family Trust f/b/o Martha U. Seeley

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
N/A

(check if applicable) [x] There is more corporation information and Par. 1(b) is continued on a "Rezoning Attachment to Par. 1(b)" form.

** All listings which include partnerships or corporations must be broken down successively until (a) only individual persons are listed, or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of the stock. Use footnote numbers to designate partnerships or corporations which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

[Handwritten signature]

REZONING AFFIDAVIT

DATE: September 18, 1990
(enter date affidavit is notarized)

88-120g

for Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s))

1. (c). The following constitutes a listing** of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

West*Mac Associates Limited Partnership, A Virginia Limited Partnership (1)
1600 Anderson Road
McLean, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

Table with 2 columns: Name and Title. Includes entries for Federal Home Loan Mortgage Company (10) - General Partner, Westpark Management Company (5) - Limited Partner, and WEST*PARK Associates Limited Partnership (11) - Limited Partner.

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued on a "Rezoning Attachment to Par. 1(c)" form.

** All listings which include partnerships or corporations must be broken down successively until (a) only individual persons are listed, or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of the stock. Use footnote numbers to designate partnerships or corporations which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

REZONING AFFIDAVIT

DATE: September 18, 1990
(enter date affidavit is notarized)

88-1209

for Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s))

2. That no member of the Fairfax County Board of Supervisors or Planning Commission or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

NONE

(check if applicable) [] There are more interests to be listed and Par. 2 is continued on a "Rezoning Attachment to Par. 2" form.

3. That within the twelve-month period prior to the filing of this application, no member of the Fairfax County Board of Supervisors or Planning Commission or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of \$200 or more, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

NONE

(check if applicable) [] There are more disclosures to be listed and Par. 3 is continued on a "Rezoning Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature: West*Mac Associates Limited Partnership
By: Westpark Management Company, General Partner

By: G. T. Halpin

(check one) [X] Applicant [] Applicant's Authorized Agent

Gerald T. Halpin, Chairman/CEO

(type or print first name, middle initial, last name & title of signer)

Subscribed and sworn to before me this 18th day of September, 1990, in the state of VIRGINIA.

My commission expires: May 31, 1994

Elihu Y. Beckman
Notary Public

DATE: September 18, 1990
(enter date affidavit is notarized)

881209

for Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s))

(NOTE: All relationships to the application are to be disclosed. Multiple relationships may be listed together, e.g., Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner.)

NAME (enter first name, middle initial & last name)	ADDRESS (enter number, street, city, state & zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD in Par. 1(a))
Gerald T. Halpin	1600 Anderson Rd., McLean, VA 22102	Agent for Washington Hall Corp. and NMTBA
Walsh, Colucci, Stackhouse, Emrich & Lubely, P.C. (19)	2200 Clarendon Boulevard, Thirteenth Floor Arlington, VA 22201	Agent for Applicants
Richard J. Grillo	101 East 52nd St., New York, NY 10022	Agent for Washington Hall Corporation
Fumiyo Okuda	122 E. 55th St., New York, NY 10022	Agent for Washington Hall Corporation
Thomas D. Fleury	1600 Anderson Rd., McLean, VA 22102	Agent for Washington Hall Corporation and NMTBA

(check if applicable) [] There are more relationships to be listed and Par. 1(a) is continued further on a "Rezoning Attachment to Par. 1(a)" form.

DATE: September 18, 1990
(enter date affidavit is notarized)

88-120g

for Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
Westpark Management Company (5)
1600 Anderson Road
McLean, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)
[] There are 10 or less shareholders, and all of the shareholders are listed below.
[x] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
Gerald T. Halpin
Charles B. Ewing, Jr.
Thomas F. Nicholson
Martha U. Seeley, John N. Seeley, Margaret Ruth Seeley, Julie Ann Seeley, and Samuel S. Dennis, 3d, Co-Trustees of the Martha U. Seeley Family Trust u/d/d 11/20/87 f/b/o Martha U. Seeley

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
N/A

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
Eagle Management Corporation (6)
7979 East Boulevard Drive
Alexandria, VA 22308

DESCRIPTION OF CORPORATION: (check one statement)
[x] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
Gerald T. Halpin

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
N/A

(check if applicable) [x] There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

[Handwritten signature]

DATE: September 18, 1990
(enter date affidavit is notarized)

88-1209

for Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
Southfork Corporation (7)
1322 Merchant Lane
McLean, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)
[X] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
Charles B. Ewing, Jr.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
N/A

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
Fairfax Road Corporation (8)
400 Chain Bridge Road
McLean, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)
[X] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
Thomas F. Nicholson

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
N/A

(check if applicable) [X] There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: September 18, 1990
(enter date affidavit is notarized)

88-120g

for Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
The Seeley Family Corporation (9)
1441 Kirby Road
McLean, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)
[X] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
Martha U. Seeley

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
N/A

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
Federal Home Loan Mortgage Corporation (10)
1759 Business Center Drive
Reston, VA 22090

DESCRIPTION OF CORPORATION: (check one statement)
[] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[X] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
N/A

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
N/A

(check if applicable) [X] There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: September 18, 1990
(enter date affidavit is notarized)

SS-120g

for Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

Hellmuth, Obata & Kassabaum (3)
1110 Vermont Avenue, N.W.
Washington, D.C. 20005

DESCRIPTION OF CORPORATION: (check one statement)

- [] There are 10 or less shareholders, and all of the shareholders are listed below.
[x] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

Gyo Obabta
[Blank lines for additional names]

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

N/A
[Blank lines for additional officer names and titles]

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

Huntley, Nyce & Associates (4)
7202 Poplar Street
Annandale, VA 22003

DESCRIPTION OF CORPORATION: (check one statement)

- [x] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

Charles J. Huntley
Lester O. Nyce
Robert L. Sproles
John W. Lanier
Charles A. Lupino

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

N/A
[Blank lines for additional officer names and titles]

(check if applicable) [X] There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: September 18, 1990
(enter date affidavit is notarized)

88-1209

for Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

Washington Hall Corporation, a Delaware Corporation (15)
c/o Paul, Weiss, Rifkind, Wharton & Garrison, 1285 Avenue of the Americas
New York, New York 10019 Attention: Anthony B. Kuklin, Esq.

DESCRIPTION OF CORPORATION: (check one statement)

- [X] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

Washington Hall Corporation (17)
a corporation organized under the laws of Japan

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

Kenichi Nomura, Director, President & Treasurer
Motoaki Nishimiya, Director & Vice President & Secretary
Anthony B. Kuklin, Vice President
Alisa Alpert Kaplan, Assistant Secretary
Fumiyo Okuda, Vice President

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

NMTBA (16)
7901 Westpark Drive
McLean, Virginia 22101

DESCRIPTION OF CORPORATION: (check one statement)

- [] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.
[X] n/a

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

Non Profit Corporation with no Shareholders

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

Raymond H. Blakeman, Chairman
Albert W. Moore, President
Morrow B. Garrison, Treasurer
C. Christopher Kelly, Asst. Treasurer
S. E. Huffman, Secretary
Harold J. Wagner, Director
Ted F. Brolunc, Director
Howard Fark, Director
James N. Farley, Director
Bruce L. Moore, Director
Richard P. Bodine, Sr., Director William J. Saul, Director Norman J. Ryker, Director

(check if applicable) [X] There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

Handwritten initials

DATE: September 18, 1990
(enter date affidavit is notarized)

88-120g

for Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
Washington Hall Corporation, organized under the laws of Japan (17)
3-13-13 Nishishinjuku, Shinjuku-ku
Tokyo, Japan

DESCRIPTION OF CORPORATION: (check one statement)
[X] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
Mr. Senichiro Nomura
Mr. Kenichi Nomura
Ms. Masu Nomura
Ms. Jonku Nomura

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
N/A

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
Walsh, Colucci, Stackhouse, Emrich & Lubeley, P.C. (19)
2200 Clarendon Boulevard, Thirteenth Floor
Arlington, Virginia 22201

DESCRIPTION OF CORPORATION: (check one statement)
[X] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
Martin D. Walsh
Thomas J. Colucci
Nicholas Malinchak
Peter K. Stackhouse
Jerry K. Emrich
Michael D. Lubeley
Charles L. Shumate
Keith C. Martin
Nan E. Terpak (effective August 1990)

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
N/A

(check if applicable) [] There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

Handwritten initials

DATE: September 18, 1990
(enter date affidavit is notarized)

88-1209

for Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)
WEST*PARK Associates Limited Partnership (11)
1600 Anderson Road
McLean, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

Table with 2 columns: Partner Name and Title. Includes entries like Eagle Management Corporation (6) General Partner, Southfork Corporation (7) General Partner, etc.

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

Handwritten initials/signature

DATE: September 18, 1990
(enter date affidavit is notarized)

88-1209

for Application No(s): RZ 88-D-005 - Amende
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)
WEST*PARK Associates Limited Partnership (11) continued
1600 Anderson Road
McLean, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

Howard Ulfelder, Ruth Ulfelder Covo, Martha Ulfelder	
Seeley and Samuel S. Dennis 3d, Trustees of	
Sidney Ulfelder Irrevocable Trusts u/d/d 12/15/70	
f/b/o Sandra Ulfelder Wallick	Limited Partner
John Carlton Ulfelder, James A. Brink and Thomas	
Huse Ulfelder, Trustees of Howard Ulfelder	
Irrevocable Trusts u/d/d 12/15/70 f/b/o Howard	
Ulfelder, Jr., John C. Ulfelder, Thomas H. Ulfelder	Limited Partner
The 1985 Group (12)	Limited Partner
Westequities Associates (13)	Limited Partner
WEST*GROUP, Inc. (2)	Limited Partner

(check if applicable) [x] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: September 18, 1990
(enter date affidavit is notarized)

88-120g

for Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)
Westequities Associates (13)
1600 Anderson Road
McLean, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

Gerald T. Halpin	General Partner
Charles B. Ewing, Jr.	General Partner
Thomas F. Nicholson	General Partner
G. T. Halpin, Trustee of the Martha U. Seeley Grantor Retained Income Trust u/d/d 7/24/89 f/b/o Martha U. Seeley	Limited Partner
Westequities Investors (14)	Limited Partner

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: September 18, 1990

(enter date affidavit is notarized)

88-1209

for Application No(s): RZ - 88-D-005 - Amended
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)
Westequities Investors (14)
1600 Anderson Road
McLean, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

Table with 2 columns: Name and Title. Lists 30 partners with their names and titles such as 'Linda P. Beale Limited Partner' and 'Clarence P. Blaisdell General and Limited Partner'.

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

Handwritten initials/signature.

DATE: September 18, 1990
(enter date affidavit is notarized)

88-120g

for Application No(s): RZ 88-D-005-Amended
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)
Paul, Weiss, Rifkind, Wharton & Garrison
1285 Avenue of the Americas
New York, New York 10019

(check if applicable) [x] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

Table with 2 columns: Name and Title. Lists 30 names, all with the title 'General Partner'.

(check if applicable) [x] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

Handwritten initials 'CB' in a circle.

DATE: September 18, 1990
(enter date affidavit is notarized)

88-1209

for Application No(s): RZ 88-D-005 - Amended
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)
Paul, Weiss, Rifkind, Wharton & Garrison (16)
1285 Avenue of the Americas
New York, New York 10019

(check if applicable) [*] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

Table with 2 columns: Name and Title. Lists 30 partners, all titled 'General Partner'.

(check if applicable) [*] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

Handwritten initials/signature

WEST  **GROUP**

September 12, 1990

Jane W. Gwinn, Division Director
County of Fairfax
Office of Comprehensive Planning
Zoning Administration Division
4050 Legato Road
Fairfax, VA 22033

Re: Rezoning Application RZ 88-D-005
Statement of Justification
for existing I-3/I-4 to C-3

Dear Ms. Gwinn:

On behalf of the Applicants of the above mentioned rezoning application, we request the Board of Supervisors approve the request for a 199.4846 acre rezoning from I-3 and I-4 districts to the C-3 zoning district based on the following facts.

1. The application, proffers, and generalized development plan are in conformance with the current Comprehensive Plan for Fairfax County, Virginia (1989 Edition).
2. The proffers offer significant local and area transportation improvements including dedication and design of a 4.2 acre parcel for the Destination Station indicated in the current Comprehensive Plan and Phase I of the new Policy Plan.
3. The approval of the application insures the Federal Home Loan Mortgage Corporation (Freddie Mac) can proceed with the long term development of their corporate office complex as envisioned when they elected to move to Fairfax County from Washington, D.C.
4. The approval of the application will confirm the WEST*PARK area is as it has always been, a corporate office park, and will allow the applicant to conclude the development as originally planned.

RECEIVED
OFFICE OF COMPREHENSIVE PLANNING

SEP 20 1990

ZONING EVALUATION DIVISION

Jane Gwinn, Director
September 12, 1990
Page 2

We have worked with the Staff, the Planning Commission, and the citizens on this application for nearly two years and feel we have satisfactorily addressed all development issues set forth. The Board's approval would be a fitting conclusion to this hard work and spirit of cooperation.

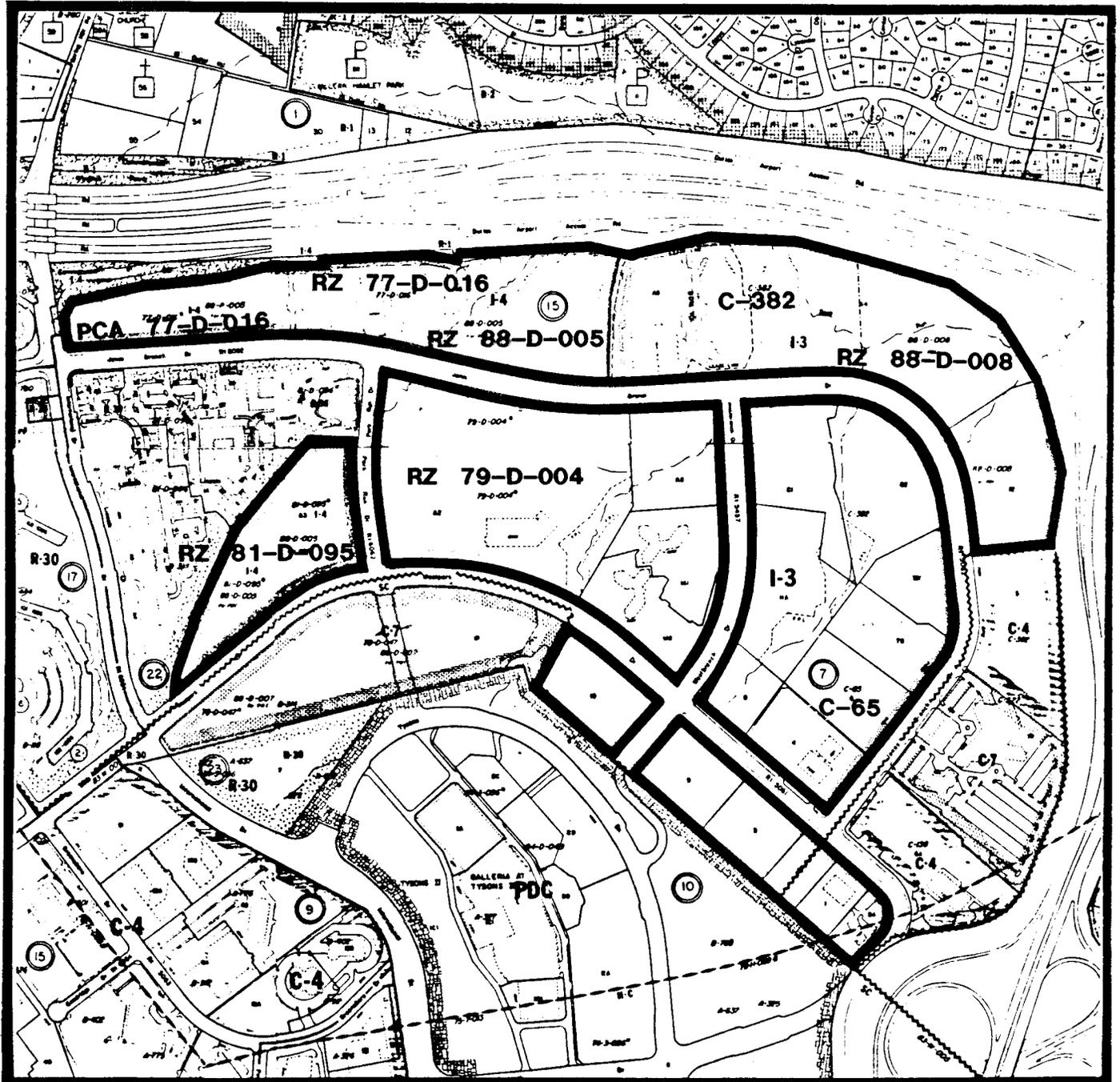
Very truly yours,

WEST*GROUP, Inc.

A handwritten signature in black ink, appearing to read 'Thomas D. Fleury', written over a horizontal line.

Thomas D. Fleury
Vice President
Development Services

PREVIOUS REZONING CASES



PROFFER

RZ 77-D-016

September 8, 1977

The undersigned hereby proffer that in the event the subject application is granted and the 37.4736 acres of real property (hereinafter referred to as the subject property) is rezoned to I-P District by the Board of Supervisors at the hearing scheduled for September 12, 1977, the development of this property will be subject to the following specific terms and conditions:

1. Applicant will provide a continuation of the 25 foot buffer strip between the Dulles Airport Access Road right-of-way and any construction of buildings or parking lots in the same manner as the parcel immediately east.
2. Applicant will dedicate and construct a 62' curb and gutter street section extension of Jones Branch Drive from Westbranch Drive to Springhill Road.
3. Applicant will dedicate the necessary land and construct, at its expense, an on-ramp to the Washington bound lane of the Dulles Airport Access Road from Springhill Road provided necessary permissions are granted from Federal, State and County agencies concerned.

The Applicant agrees to establish and contribute to an escrow fund at the rate of \$7,500 per acre at the time of site plan approval of such acreage (not including property dedicated for public use). This fund will be available for the construction of the aforesaid ramp. In the event that construction of the ramp has not been approved by June 30, 1987, Applicant's obligation to construct the on-ramp shall terminate and the escrow fund shall be disbursed at the discretion of appropriate County officials for expenditures relating to the following specific traffic improvements:

- a. Continued reservation for the construction of the aforesaid access ramp.
- b. Construction of off-ramp to Tyson's Quadrangle from present Capital Beltway exit ramp "11S" (southbound I-495 to westbound 123).
- c. Improved signalization or traffic flow at the intersections of Westpark Drive and Route 7, International Drive or Route 123.
- d. Construction of an off-ramp from westbound Dulles Airport Access Road to Springhill Road.

- e. Construction of a grade separated interchange at the intersection of International Drive and Route 123.

The above items reflect the Applicant's priorities of road improvements and requests the County to make best efforts to expend the escrow fund in the order listed.

The Applicant anticipates making a comparable proffer on the balance of its property at the time of rezoning of such property.

The escrow fund will be maintained at a qualified local bank selected by Applicant and any interest earned thereon shall be added to the fund.

4. The Applicant will dedicate and construct one-half of the Springhill Road improvement to the standards required by the County, concurrent with the construction of the on-ramp to Dulles Airport Access Road or the development of the adjacent tract, whichever first occurs.

5. Applicant will reserve the land designated on Exhibit A until the completion of the METRO Alternative Study (scheduled for Fall 1977) or June 30, 1978, whichever first occurs.

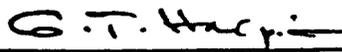
6. On-site clearing, building, progressive storm water management and sidewalk installation shall continue to be provided at the time of site plan approval in accordance with the Applicant's development program and current Fairfax County policy.

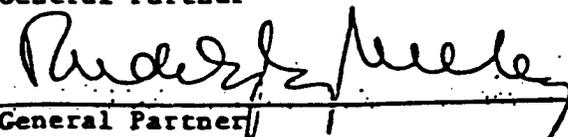
7. Applicant will not alter the existing natural conditions within the floor plain of laterals off of Scotts Run, except as may be required for the installation of bridge culverts, public utilities and storm water retention facilities by the appropriate governmental agencies.

8. Applicant will construct or arrange for the construction of a trail or sidewalk along Springhill Road in accordance with the Countywide Trails Plan and will provide or arrange for the provision of adequate signing, buffering, landscaping, drainage and bridge/crossing structures wherever appropriate along said pedestrian facility.

9. All references to Applicant shall include successors in interest and/or assigns of the undersigned.

WESTPARK ASSOCIATES


General Partner


General Partner

Proffered Condition Amendment
December 6, 1982
Westpark Associates

Appendix 4

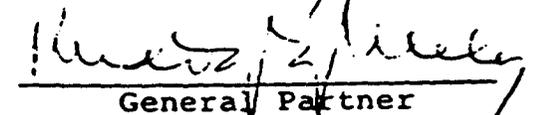
PCA 77-D-016

This proffered condition amendment adds Condition 10, hereby proffered by the undersigned, which supplements and amends the proffered conditions (dated September 8, 1977) accepted by the Board of Supervisors September 12, 1977 (Rezoning Application 77-D-016 to I-4 District):

10. If the Commonwealth of Virginia proceeds to construct the proposed Dulles Airport Access Road parallel lane project, on or before January 1, 1984, the following indivisible provisions, constituting one proffered condition, shall supersede paragraph 1 above and amend paragraphs 3 and 4 above:
 - a. Applicant agrees to create a tree buffer strip to a depth of at least ten (10) feet from the property line abutting the Dulles Airport Highway access ramp right of way by retaining existing trees or by planting trees, minimum size of 3 inch caliper at a minimum average density one per ten lineal feet of Dulles Airport Access Road frontage and to create a similar tree buffer strip to a depth of at least twenty-five (25) feet from the remainder of the property line abutting the Dulles Airport Access Road provided that the Board of Supervisors waive the transitional screening requirements.
 - b. Applicant agrees to dedicate or otherwise convey necessary additional rights of way and temporary construction easements for the construction by the Commonwealth of Virginia of the parallel lane toll road to include the Springhill Road access ramp and toll plaza to eastbound Dulles Airport Access Road provided that the Board of Supervisors grant FAR credit for the area so dedicated or conveyed.
 - c. Applicant agrees to a 45 degree angle bulk plane setback from the Dulles Airport Access Road provided that the Board of Supervisors waive the 75 foot setback from the Dulles Airport Access Road.
 - d. Nothing in this paragraph 10 shall be construed to release Applicant's obligation to contribute funds to an escrow fund as described in paragraph 3, but no such funds shall be used for the construction of either the ramp described in paragraph 3 or the Springhill Road improvements described in paragraph 4, nor shall Applicant have any other obligation to fund such improvements.

WESTPARK ASSOCIATES


General Partner


General Partner

Rezoning Application 79-D-004
WESTPARK ASSOCIATES

PROFFER
May 14, 1979

The undersigned hereby proffer that in the event the subject application is granted and the 29.9032 acres of real property (hereinafter referred to as the subject property) is rezoned to I-3 District by the Board of Supervisors at the hearing scheduled for May 14, 1979, the development of this property will be subject to the following specific terms and conditions:

1. The final site plan for this tract will provide for as much open space in the general areas indicated on the generalized development plan although the configuration may vary from that shown. Building height will not exceed 75 feet and the gross floor area will not exceed .5 FAR.
2. The storm water management of this tract will incorporate the progressive storm water management practices of Westpark and will be integrated with the comprehensive Westpark on-site detention-retention storm water management system.

Attention is invited to the fact that the existing Westpark Storm Water Management System achieves all volume control objectives of the County policy on storm water detenting as set forth in the latest adopted Public Facilities Manual (26 June 1978) by use of on-site detention ponds specifically sized to obviate the need for rooftop, storage parking lot filters and similar expedient detention measures. An added benefit of the multi-pond Westpark system is the enhancement of water quality and groundwater recharge since most of the watershed runoff is intercepted by two or more ponds.

3. The development of this tract envisions two entrances to the property from Westpark Drive in the approximate location shown. The exact location of these entrances will be determined at the time of site plan approval.

4. Park Run Drive and Jones Branch Drive will be constructed with cross section approved by DEM and dedicated as public streets.

5. Development of facilities on this tract will be in accordance with the active energy conservation program of Sperry Rand Corporation.

6. Westpark Associates has previously agreed (Rezoning Application 77-D-016) to dedicate necessary land and construct, at its expense an on-ramp to the Washington bound lane of the Dulles Airport Access Road from Springhill Road, provided necessary permissions are granted from Federal State and County agencies concerned, and indicated at that time that it would make a comparable proffer on future zoning applications.

Westpark Associates agrees to contribute to the escrow fund to be established under the terms of Application 77-D-016 an amount equal to \$7,500 per acre at the time of site plan approval of such acreage covered by this application (not including property dedicated for public use). In the event that the subject property is developed in phases, Westpark shall have the right to post a bond, or letter or credit, for the amount not due until the future phases have received site plan approval. This fund will be available for the construction of the aforesaid ramp. In the event that construction of the ramp has not been approved by June 30, 1987, Applicant's obligation to construct the on-ramp shall terminate and the escrow fund shall be disbursed at the discretion of appropriate County officials

for expenditures relating to the following specific traffic improvements:

- a. Continued reservation for the construction of the aforesaid access ramp.
- b. Construction of off-ramp to Tyson's Quadrangle from present Capital Beltway exit ramp "11S" (southbound I-495 to westbound 123).
- c. Improved signalization or traffic flow at the intersections of Westpark Drive and Route 7, International Drive or Route 123.
- d. Construction of an off-ramp from westbound Dulles Airport Access Road to Springhill Road. *DN*
- e. Construction of a grade separated interchange at the intersection of International Drive and Route 123.

The above items reflect the Applicant's priorities of road improvements and requests the County to make best efforts to expend the escrow fund in the order listed.

The escrow fund will be maintained at a qualified local bank selected by Applicant and any interest earned thereon shall be added to the fund.

7. All references to Applicant shall include successors in interest and or assigns of the undersigned.

WESTPARK ASSOCIATES

Thomas J. ...
General Partner

Thomas ...
General Partner

PROFFER STATEMENT

Rezoning Application 81-D-095

Westpark Associates

May 3, 1982

(Revised)

April 20, 1982

The undersigned hereby proffer that in the event the subject application is granted and the 13.5433 acres of real property (hereinafter referred to as the subject property) is rezoned to I-4 District by the Board of Supervisors at the hearing scheduled for May 3, 1982, the development of this property will be subject to the following specific terms and conditions:

1. The applicant will request approval by the Board of Supervisors prior to development of the uses set forth in Paragraphs 7 and 8 of Section 5-402 of the Zoning Ordinance (Motor Freight terminals and Motor Vehicle storage and impoundment yards), and will abide by the decision of the Board rendered within ninety (90) days from the receipt of such request.
2. Applicant has previously agreed (Rezoning Application 77-D-016) to dedicate the necessary land and construct, at its expense, an on-ramp to the Washington bound lane of the Dulles Airport Access Road from Spring Hill Road provided necessary permissions are granted from Federal, State, and County agencies concerned.

Applicant agrees to contribute to the escrow fund established under the terms of Application 77-D-016, an amount equal to \$7,500 per acre at the time of site plan approval of such acreage (not including property dedicated for public use). In the event that the subject property is developed in phases, Applicant shall have the right to post a bond, or letter of credit, for the amount not due until the future phases have received site plan approval. This fund will be available for the construction of the aforesaid ramp. In the event that construction of the ramp has not been approved by June 30, 1987, Applicant's obligation to construct the on-ramp shall terminate and the escrow fund shall be disbursed at the discretion of appropriate County officials for expenditures relating to the following specific traffic improvements:

- a. Continued reservation for the construction of the aforesaid access ramp.
- b. Construction of off-ramp to Tyson's Quadrangle from present Capital Beltway exit ramp "11S" (southbound I-495 to westbound 123).

PROFFER STATEMENT

Rezoning Application 81-D-095

May 3, 1982 (Revised April 20, 1982)

- c. Improved signalization or traffic flow at the intersection of Westpark Drive and Route 7, International Drive or Route 123.
- d. Construction of a grade separation interchange at the intersection of International Drive and Route 123.

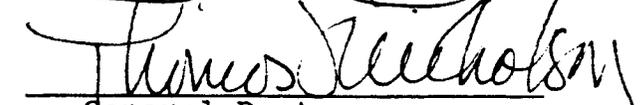
The above items reflect the Applicant's priorities of road improvements and request the County to make best efforts to expend the escrow fund in the order listed.

The escrow fund will be maintained at a qualified local bank selected by Applicant and any interest earned thereon shall be added to the fund.

- 3. On-site clearing, building, progressive storm water management and sidewalk installation shall continue to be provided at the time of site plan approval in accordance with the Applicant's development program and current Fairfax County policy.
- 4. Applicant will not alter the existing natural condition within the flood plain of laterals off of Scotts Run except as may be required for the installation of bridge culverts, public utilities and storm water detention facilities by the appropriate governmental agencies.
- 5. Applicant will provide, subject to these proffers, by easement or dedication not later than the time of site plan approval, a natural corridor equal to at least twelve and one-half percent (12.5%) of the total subject property, consisting of a natural buffer strip extending at least 25 feet in width on the common property line between the proposed R-30 and I-4 parcels commencing at the property corner immediately north of the Westpark Drive R.O.W. and ending at the property corner immediately west of the Park Run Drive R.O.W. conditioned upon the waiver of any traditional yard, barrier, and screening requirements between the two parcels.
- 6. All reference to Applicant shall include successors in interest and/or assigns of the undersigned.

WESTPARK ASSOCIATES


General Partner


General Partner

FAIRFAX COUNTY, VIRGINIA

MEMORANDUM

TO: Barbara A. Byron, Director
Zoning Evaluation Division, OCP

DATE: 19 SEP 1990

THRU: *Bruce G. Douglas*
Bruce G. Douglas, Chief
Environmental and Heritage Resources Branch, OCP

FROM: Connie Chitwood Crawford, Environmental Planner
Environmental and Heritage Resources Branch, OCP

FILE NO.: CRAWFORD (182)

SUBJECT: ENVIRONMENTAL ASSESSMENT for: RZ 88-D-005
West*Mac
29-2 ((15)) 4B,A5,A4
29-4 ((7)) 12,4,6,7B
7A1,C2,C1,11A,8,1,2,3,9
5A,10,1A1,1A2,A5,A2,A3

This environmental assessment includes the following elements:

- citations from the Comprehensive Plan that describe environmental policy for this property;
- a discussion of the environmental constraints and opportunities inherent to the property including a description of potential impacts that may result from the proposed development and the identification of possible solutions to remedy identified environmental issues; and
- a judgment concerning the acceptability of the proposal from the perspective of adopted environmental policy.

COMPREHENSIVE PLAN CITATIONS:

Comprehensive Plan guidance is the basis for the evaluation of this application. The following citations have been determined to have relevance to the application property and the development proposal.

On pages 100-103 of the Policy Plan for Fairfax County (revised June, 1990), the Comprehensive Plan States the following:

"Objective 2: Prevent and reduce nonpoint source pollution of surface waters.

Policy c. Minimize the amount of impervious surface created as a result of development consistent with planned land uses.

Policy e. Preserve the integrity and the scenic and recreational value of stream valleys when locating and designing storm water detention and BMP facilities.

Policy g. Encourage, where practical and feasible, the retrofitting of storm water management ponds to become BMPs.

Policy h. Monitor the performance of BMPs.

Development proposals should implement best management practices to reduce runoff pollution. Preferred practices include; those which recharge groundwater when such recharge will not degrade groundwater quality, those which preserve as much natural open space as possible, and those which contribute to ecological diversity by the creation of wetlands. Regional solutions to stormwater management are preferable to small drainage area, on-site controls."

NOISE

On page 103 to 104 of the Policy Plan for Fairfax County (revised June, 1990), the Comprehensive Plan states the following:

"Transportation generated noise impacts the lives of many who live in the County. Some County residents are subjected to unhealthful levels of noise from highway traffic, aircraft operations and railroads, including WMATA's metrorail. (See Figure 10) Federal agencies with noise mitigation planning responsibilities have worked with the health community to establish maximum acceptable levels of exposure (Guidelines for Considering Noise in Land Use Planning and Control). These guidelines expressed in terms of sound pressure levels are; 65 dBA Ldn for outdoor activity areas, 50 dBA Ldn for office environments, and 45dBA Ldn for residences, schools, theaters and other noise sensitive uses.

Objective 5: Minimize human exposure to unhealthful levels of transportation generated noise.

Policy a: Regulate new development to ensure that people are protected from unhealthful levels of transportation noise."

On page 105 to 108 of the Policy Plan for Fairfax County (revised June, 1990), the Comprehensive Plan states the following:

"Objective 7: Ensure that new development either avoids problem soil areas, or implements appropriate engineering measures to protect existing and new structures from unstable soils.

Policy a: Limit densities on slippage soils, and cluster development away from slopes and potential problem areas.

Policy b: Require new development on problem soils to provide appropriate engineering measures to ensure against geotechnical hazards."

On pages 109 to 112 of the Policy Plan for Fairfax County (revised June, 1990), the Comprehensive Plan states the following:

"The third category of environmental issues addresses the protection, preservation, and restoration of environmental resources. These issues reflect a need to conserve or restore appropriate examples of the County's rapidly disappearing natural landscape, to protect and manage its ecological resources, and to provide visual relief in the form of natural vegetation between adjacent and sometimes incompatible land uses."

On page II-13, under the section entitled "Environment" under the M1 Tysons Corner Community Planning Sector discussion, the Comprehensive Plan states the following:

"Scott Run, which flows north to the Potomac River, has flooding problems near its mouth which are aggravated by intensive development along its course. The Scott Run watershed lies within the watershed protection area designated to protect the Potomac River water source above the Little Falls pumping station. This water quality problem is complicated by highly erodible soils and soils which are not well-suited to septic tank construction. The floodplains, stream influence zones and parks associated with Scott Run and Difficult Run comprise the major elements of the environmental quality corridors in this area.

Location of the sector at the junction of several heavily traveled highway routes has created an adverse air quality impact which demands a concerted effort to resolve current traffic congestion problems. Concentrations of photochemical oxidants have been measured near this sector and have been found to be substantially in excess of air quality standards."

On page II-14, under the section entitled "Environment" in the M1 Tysons Corner Community Planning Sector Recommendations, the Comprehensive Plan states the following:

- "A. Most urgent is completion of proposed transportation improvements to alleviate existing and projected traffic congestion problems on principal arterials to reduce adverse impact on air quality and energy consumption.
- B. Acquire privately-owned portions of Scott Run stream valley between Scott Run Park and the Potomac to preserve the stream valley and facilitate completion of the trail system."

On page II-61, under the section entitled "Area Opportunities and Constraints" in the Tysons Corner Area discussion, the Comprehensive Plan States the following:

- "• Innovative and imaginative development plans can preserve and capitalize on environmental features in a manner which might prove too costly for less intensive development.
- Potential adverse downstream effects on the three watersheds with headwaters in the Tysons Corner Area must be minimized.
- Environmental assets such as high quality vegetation, natural landforms, and unique geologic features should be preserved."

On page II-62 under the section entitled "Plan Flexibility" in the Tysons Corner Area discussion, the Comprehensive Plan states the following:

"In accordance with the policies adopted by the Board of Supervisors that growth should be held at a level consistent with available accessible and adequate public facilities and that land uses should be consistent with the need to preserve natural resources and meet water and ambient air quality standards, the further development of Tysons Corner must be made contingent upon the provision of adequate facilities, especially transportation and must not be permitted to adversely impact the water and air quality in the area. Wherever new ordinances or policies are necessary to implementation, these should be undertaken by the County."

On page II-65 through II-66, under the section entitled "Environmental Recommendations" in the Tysons Corner Area, the Comprehensive Plan states the following:

"A unique opportunity exists within the Tysons Corner Area to enhance the overall environment. It can be accomplished, but will require the cooperation of the business interests, landowners, residents, and governmental agencies. Individual property owners and developers, particularly the larger ones, will have the greatest opportunities. It is hoped that as development occurs, innovative and sensitive site design and architecture will be accomplished. Also, the coordination of projects that are adjacent or in groups is important. For example, buildings can be clustered to preserve open space."

- The existing vegetation south of the Dulles Airport Access Road must be analyzed (in subsequent rezoning applications) not only with respect to retaining vegetative cover in steep slopes and floodplains but also relative to the role it plays in screening and view direction and it should be preserved accordingly.
- The outward views and vistas offered by the Tysons Corner location should be utilized. However they should be selected (when they involve vegetative clearing) on the basis of sensitivity to those residential areas which surround and must view Tysons Corner.

Within the Tysons Corner Area boundaries, areas are designated on the Plan map for private recreation or open space. These include primarily floodplain, existing and planned detention/retention ponds, buffering of streams and minor drainage systems, and highly erodible soils with high quality woodlands on slopes in excess of 15 percent. These areas should be retained in open space unless development plans satisfactorily solve inherent stormwater management and erosion control problems resulting from such development.

Further environmentally sensitive areas have been identified in the Tysons Corner Area, based on:

- slopes in excess of 15 percent;
- an allocation of space for detention/retention ponds to serve future development;
- avoidance of high water table and highly erodible soils;
- retention of high quality woodland;
- avoidance of potential noise impact area;
- preservation of unique geologic features; and
- retention of visual and aesthetic features.

These areas are identified on Map 27.

The natural drainage ways--Scott Run, Rocky Run, Pimmit Run, Old Courthouse Spring Branch and Wolf Trap Run-- should be respected to the greatest extent possible. The existing tree cover while not spectacular in size, is significant and would take years to replace in quality should unnecessary clearing be permitted or encouraged. The existing vegetation, supplemented by drainage structures where absolutely essential, will be infinitely more desirable and effective than pipes or concrete ditches. Design objectives should include the assurance of flood protection for downstream property, respect for the 100-year floodplain and the preservation of natural stream bank characteristics where they exist.

Current air quality at Tysons Corner can be classified as generally poor. The air pollution monitoring station at the McLean Governmental Center regularly registers levels of photochemical oxidants exceeding standards and levels of carbon monoxide approaching standards. New development with attendant removal of vegetative cover inducing an increase in suspended particulates and increased local traffic inducing increased emissions of carbon monoxide could precipitate contributions to both short range and long range air quality problems. The management of this potential problem requires careful coordination between the County, Virginia Air Pollution Control Board, and prospective developers to:

- limit the amount of clearing of trees and other vegetation;
- assure that cleared land is stabilized as soon as possible to reduce the amount of wind-borne dust
- Provisions for inducing public transit usage, such as bus shelters and priority bus lanes could help to reduce auto dependency and the area's incremental contribution to the Washington metropolitan region's photochemical oxidant problem.

Crossed by several major limited access and arterial highways, the Tysons Corner Area is subjected to a great deal of motor vehicle traffic noise. This can have a significant and deleterious impact on noise-sensitive land uses. particularly residential development.

- . . . Where setbacks are not feasible or desirable, a combination of site design, noise attenuation via berms or other appropriate barriers and acoustical insulation of structures should be used.
- Trees and other vegetative cover should be retained and augmented in order to maintain the small margin of noise attenuation benefit which may accrue."

ENVIRONMENTAL ISSUES AND PROPOSED SOLUTIONS:

This section characterizes the environmental constraints and opportunities inherent to the site that would effect and/or be affected by any significant development proposal. Particular emphasis is given to the identification of potentially harmful environmental impacts. Proposed solutions are acceptable remedies to the issues that have been identified. There may be other acceptable solutions that have not been identified by staff.

EQC

Issue:

All of the properties associated with this plan are located in the Scotts Run watershed and several parcels contain one or more tributaries forming the headwaters of Scotts Run. These tributaries consist of a 100 year floodplain, steep slopes, and poorly drained soils. Several parcels contain steep slopes which drain toward Scotts Run. Other parcels have more level or gently sloping topography with extensive floodplains. Several of the undeveloped parcels contain a variety of trees such as oak, maple, sweetgum, beech, hickory and poplar. The mixed hardwood trees range from 10 to 24 inches in diameter at breast height (DBH) with tree heights ranging from 60 to 80 feet. The vegetative overstory on north facing slopes is predominantly oak with an american beech understory. The western slopes and ridgelines contain a mix of tulip poplar and sweetgum trees. Wetland species are present along the floodplains of all undeveloped parcels. Comprehensive Plan language for the Tysons Corner Area discusses the need to preserve sensitive lands. Similarly, the Comprehensive Plan map identifies this tributary as private open space. A majority of the environmental quality corridor is appropriately delineated on the General Development Plan. However, existing storm drainage and conservation easements do not include all 15% slopes contiguous to the stream and are therefore excluded from the EQC identified on this development plan.

Proposed Solution:

The applicant has not delineated the EQC in conformance with the current environmental objectives of the Comprehensive Plan. A majority of the EQC on these parcels has been protected, but not all 15% slopes have been included within the limits of clearing and grading. For the parcel which has an existing conservation and storm drainage easement on it, the applicant should provide a re-vegetation plan depicting how the loss of vegetation on slopes of 15% or greater, will be mitigated. For the parcel which depicts parking lot structures located within the EQC, the plan should be re-designed to remove all structures from the EQC. For the parcel containing lands which would have been delineated as a broader EQC, but which is now partially filled, the applicant should ensure the minimization of additional Disturbance to the vegetated portions of the EQC and retain all portions of 15% slopes.

Floodplain

Issue:

Direct observation of the stream channels indicated the streambeds have experienced bank overflow resulting in changes of the stream channel. A 100 year floodplain is mapped along stream channels located on all parcels. The applicant does not show the natural 100 year floodplain on the development plan, but depicts the 100 year floodplain as defined by a previously implemented drainage study. The undeveloped parcels located on the eastern most side near the interchange of Dulles Access Road and 495, contain an extensive amount of hydric soil. The presence of these soils as identified in February of 1988 according to the County Soil Science Office report which suggested that these soils may extend beyond what is currently mapped by Fairfax County soil maps. The development plan shows the boundaries of existing storm drainage easements located within the area depicted on the County Map as 100 year floodplain. The remaining portion of natural floodplain which is larger than the area depicted on the map as a detention pond, appears to contain the vegetative, soil and hydrologic characteristics typical of a wetland. Due to lack of updated information, a determination of alterations to the floodplain resulting from the proposed development and stormwater management ponds is not possible.

Proposed Solution

The applicant should provide information to the Department of Environmental Management which addresses the effects of this development on the natural floodplain. An updated drainage study should be undertaken to determine the change in drainage since the original study for the eastern most segments of Scotts Run. The applicant should ensure that this development will not contribute to drainage problems down stream from this site.

Wetlands

Issue:

Parcel A4 may contain the vegetative, soil and hydrologic characteristics of a nontidal wetland community. No wetland delineation has been provided for the proposed development plan. If more than one acre of wetlands will be filled as a result of the proposed development plan, Section 404 of the Clean Water Act requires an application to be filed with the Army Corps of Engineers.

Proposed Solution:

The applicant should conduct a wetlands delineation within the general area containing hydric soils as depicted on the County Soil Maps. Upon finalization of the study, the applicant should file the appropriate permits with the Army Corps of Engineers prior to the approval of the site plans by DEM.

Soils

Issue:

In general, most of the soils on the currently undeveloped portions of these parcels are poorly drained and provide poor foundation support. These soils are located along low lying areas and drainage ways. The remaining soils are good but severely erodible particularly on steep slopes. A site visit revealed current construction has produced a substantial amount of siltation particularly within rip rapped areas. Because a large portion of these parcels are steeply sloped and contain highly erodible soils, erosion will be considered an impact of the proposed development.

Proposed Solution:

A drainage study and a geotechnical report has apparently been completed. The applicant should provide information to DEM which demonstrates that development in the poorly drained and hydric soils outside of the 100 year floodplain, or any development proposed for special exceptions allowed in the floodplain are addressed in the geotechnical report and that the geotechnical recommendations will be followed.

The applicant should make every effort to improve erosion and sediment controls on the construction sites. Temporary sediment traps should be installed on the construction site prior to the start of major clearing and grading. In order to protect nearby streams and storm sewers from excessive erosion and sedimentation, the applicant shall provide sediment detention basins or redundant and/or 100% oversized siltation fencing during all grading and construction activities. Such measures shall achieve sediment trapping efficiencies of at least 80% and shall be designed in substantial accordance with the methods recommended by the Virginia Soil and Water Conservation Commission in the 1980 Virginia Erosion and Sediment Control Handbook. All such activities shall be coordinated with the Department of Environmental Management.

Stormwater Management

Issue:

The stormwater management facilities on these parcels are already developed and/or have an associated storm drainage or conservation easement. Although the applicant has indicated the original drainage study completed for this general area justifies the location of Pond C, it is not clear when the study was complete and if a revision should be undertaken to determine if the original calculations for post developed peak flows are sufficient. Because existing conditions upstream from this site have changed since the original drainage study was implemented, it cannot be determined if the proposed ponds will provide adequate water quality protection to Scotts Run.

All of the parcels associated with the proposed development plan drain into Scotts Run. In general, the runoff flows in a northeasterly direction. Steep slopes, topography, and increased imperviousness have changed natural drainage patterns and have increased the velocity and volume of runoff across these parcels. On several of the undeveloped parcels the impact from this increase in runoff has been delayed because these parcels are vegetated. The implementation of this development plan will substantially increase the runoff which presently impacts Scotts Run. However, on other parcels, severe erosion is evident and undercutting of the streambank has taken place because of increased runoff.

The stormwater management system on one parcel has been designed as a conservation and storm drainage easement to preserve the natural characteristics and existing vegetation. The applicant has entered into a conservation easement agreement with the county for this pond. An existing stormwater management pond upstream from the above mentioned pond detains runoff from another site and acts in series with the conservation easement pond. An initial site visit revealed that the pond was heavily silted and that wetland vegetation had invaded the most silted portion of the pond located on the northern rim where the intake to the outfall device is located.

Proposed Solution:

The applicant should implement a new drainage study which will provide information to the satisfaction of DEM and DPW that the ponds proposed for currently undeveloped sites will be adequate to detain the runoff required by DPW and approved by DEM in accordance with the Public Facilities Manual.

DPW has asked that the applicant establish a stormwater management maintenance agreement with the County prior to the approval of this plan.

The Department of Public Works recommended that the northernmost pond be designed as a regional dry extended detention pond in order to retain its natural detention capacity and existing vegetation. The applicant should prove to the satisfaction of the Department of Environmental Management that this pond will remain in accordance with the agreements set forth in the conservation and storm drainage easement already established with the County.

The applicant should prove to the satisfaction of the Department of Environmental Management and the Department of Public Works, that all existing stormwater management ponds are functioning as designed. If any of the existing ponds are not functioning properly because of heavy siltation, the applicant should renovate and improve the pond to the satisfaction of DPW and DEM.

Water Quality

Issue:

Scotts Run drains into the Potomac River above a water supply intake. To maintain water quality in this watershed, Best Management Practices (BMP's), which are designed to reduce nutrient and phosphorus loadings should be implemented. This development may not cause the same amount of phosphorous pollution as compared to a residential development. However, the number of parking spaces proposed for this development is substantial, and will cause increased automobile trips resulting in higher concentrations of hydrocarbons. These concentrations will affect water quality in Scotts Run.

Proposed Solution:

In order to provide both BMP and ecological values, the applicant should design the pond located in the northeastern corner to preserve portions of the existing wetland marsh area and incorporate them into the design of the pond. In order to increase the ecological value of this stormwater detention pond, the pond should contain a shallow marsh area that is designed in substantial accordance with Chapter 9 of the Metropolitan Washington Council of Governments (COG) document entitled Controlling Urban Runoff: A Practical Manual for Planning and Designing Urban BMPs, with the Maryland Department of Natural Resources document entitled Guidelines for Constructing Wetland Stormwater Basins, or with other methods approved by Department of Environmental Management (DEM).

The applicant should ensure that any ponds not currently built or requiring renovation which are located on the parcels associated with the proposed development will be designed to provide water quality control measures which reduce by one-half the projected phosphorus runoff pollution for all flow originating on or upstream of the subject property, to exclude any flow that has already been detained upstream of the subject property should be provided.

The ponds should also be designed to reduce the hydrocarbon pollutants entering Scotts Run as a result of this development. Information should be provided to the satisfaction of the Department of Environmental Management (DEM), that the ponds are designed as BMP's which will reduce hydrocarbon pollutant loads. If the ponds are not designed for extended detention or as BMP's designed to remove hydrocarbons, the applicant should install one or more oil/grit separators to treat the runoff from the impervious surfaces in the proposed plan prior to discharge into the pond. Please refer to the attached hydrocarbon removal guidelines.

Highway Noise

Issue:

Due to its proximity to the Dulles Access Road and International Drive, the northern most parcel is impacted by the 70 to 75 dBA Ldn noise impact zone. A noise model was run for Dulles Access Road and International Drive. The result of the noise model is as follows:

Dulles Access Road

70 dBA Ldn	940 feet from centerline
75 dBA Ldn	300 feet from centerline

International Drive

70 dBA Ldn	210 feet from centerline
------------	--------------------------

Highway noise will be considered an environmental impact of this development plan.

Proposed Solution:

In order to reduce interior noise levels to the standard of 50 dBA Ldn, the applicant should provide acoustical treatment for all new structures located within 940 feet from the centerline of Dulles Access Road and within 210 feet from the centerline of International Drive. The applicant should provide information to DEM which demonstrates how noise mitigation will be achieved for all buildings. The applicant should use the attached guidelines.

Air Quality:

Issue:

The automobile trips generated as a result of this development plan will impact the County's ambient air quality. Travel corridors which cause high concentrations of commuters create temporary air quality impacts in the Tysons Corner Area. Air quality at Tysons Corner occasionally fails to meet standards. The applicant proposes that this development will accommodate over 3,000 cars. In the first submission, the applicant did not intend to mitigate potential air quality impacts. However, the applicant has submitted an alternative plan to provide the County with land for the purpose of developing commuter or transportation facilities. The applicant has not defined how the proposed commercial construction will tie in with a transportation management plan. Because the proposed development plan will substantially increase trip generation to and from this general area, the lack of a commuter plan for the commercial buildings on this site will be considered an environmental impact of the plan.

Proposed Solution:

The applicant should consider developing a transportation management plan which encourages the future owners and/or tenants of the commercial portions of this development plan to use public transit such as bus shelters and car or van pools to help reduce auto dependency and the area's incremental contribution to photochemical oxidant and carbon monoxide problems. This plan should include design elements such as trail connectivity and walkways to accommodate access from mass transportation depots to and from the commercial buildings.

Tree Preservation

Issue:

The Comprehensive Plan discusses the need to minimize the clearing of trees in the Tysons Corner Area. Vegetation on this site will be removed as a result of the proposed development. The development design does not provide adequate protection for all steep slopes adjacent to the EQC and portions of these slopes will be denuded. Although the design considers tree preservation outside sensitive areas, these tree save areas need improvement. The proposed limits of clearing and grading on the southern parcel are not always complete and do not tie in with the buffer located on the western boundary. Limits of clearing and grading are not depicted along Park Run Drive for the Phase III building. This portion of the property contains more high quality trees than any other.

The vegetation remaining within the limits of clearing and grading depicted in front of the Phase I building currently under construction is not adequate enough to provide the type of quality tree save area intended for a design such as this. Similarly, the limits of clearing and grading depicted on the development plan as the EQC's western boundary, is inadequate and fails to tie the limits of grading together so that the stream valley would not suffer from environmental impacts. A road culvert and stormwater outfall structure was installed on the southern and northern end of the stream which passes under Jones Branch and Park Run Drive. The construction requirements necessary to install these structures disturbed the vegetation previously existing on slopes leading to the stream bank.

The woodland portion surrounding the wetland on parcel A4 and other wetland vegetation contributes some open space value to this site. The proposed development plan does not show tree preservation in this area. The scenic and habitat value provided by this diverse tree cover and habitat type is uncommon in the Tysons Corner Area. The implementation of the present plan will eliminate this type of vegetation.

Proposed Solution:

The applicant should improve the proposed limits of clearing and grading to demonstrate a clear relationship between the tree save area and the grading necessary to implement the development plan for both the northern and southern parcels. The applicant should provide a re-vegetation plan to protect existing slopes exceeding 15% which are located outside the building envelope. The applicant should submit a landscape plan focusing on the re-vitalization of sensitive areas impacted by clearing and grading activity. The plan should replace the existing vegetation with species of reasonable and equitable quantity and quality. The tree save areas in front of the Phase I building currently under construction should be supplemented with native hardwood species. Finally, the slopes disturbed as a result of the installation of outfall and road culverts should be re-planted to complement and blend with the neighboring tree save areas.

The applicant should ensure that the most sensitive segments of the wooded wetlands are preserved by delineating limits of clearing and grading to incorporate some of these cover types in the development design. The proposed wet pond should incorporate a bench or vegetative filter area which utilizes the existing wetland habitat as a marsh to encourage the natural filtering function.

The applicant should provide the computations necessary to verify that the proposed development will meet the tree canopy regulations in accordance with the Public Facilities Manual, effective July, 1, 1990.

CONCLUSION:

The environmental issues and/or constraints identified above should be addressed by the applicant. The Environmental and Heritage Resources Branch of OCP finds this application to be in conformance with the environmental policies of the Comprehensive Plan if suitable mitigation measures are identified, adopted, and implemented. It is recommended that the applicant accept each of the suggested solutions to the issues or propose alternatives that are agreed to by staff prior to the anticipated publication date of the staff report.

BGD:CCC

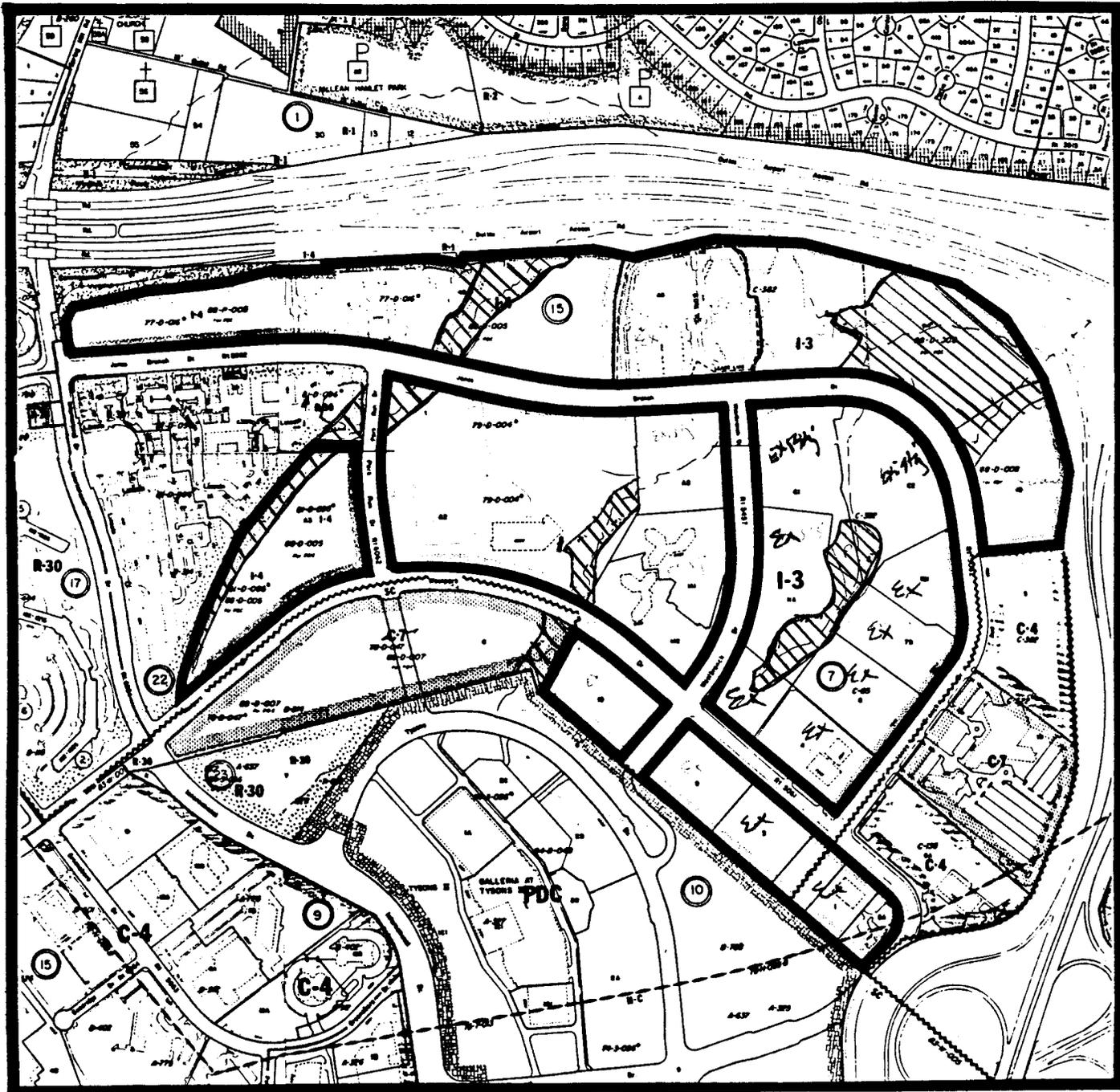
APPROXIMATE AREA
OF ENVIRONMENTAL
QUALITY CORRIDOR



TO: C-3

OVERLAY DISTRICT(S):

MAP REF: 29-2 ((15)) 4E, A5, A4; 29-4 ((7)) 12, 4, 6, 7B, 7A1, C2, C1,
11A, 8, 1, 2, 3, 9, 5A, 10, 1A1, 1A2, A5, A2, A3



FAIRFAX COUNTY, VIRGINIA

MEMORANDUM

TO: Barbara A. Byron, Director
Zoning Evaluation Division, OCP

DATE: 19 SEP 1990

THRU: *Bruce G. Douglas*
Bruce G. Douglas, Chief
Environmental and Heritage Resources Branch, OCP

FROM: Connie Chitwood Crawford, Environmental Planner
Environmental and Heritage Resources Branch, OCP

FILE NO.: CRAWFORD (182)

SUBJECT: ADDENDUM TO THE
ENVIRONMENTAL ASSESSMENT for: RZ 88-D-005
West*Mac
29-2 ((15)) 4B,A5,A4
29-4 ((7)) 12,4,6,7B
7A1,C2,C1,11A,8,1,2,3,9
5A,10,1A1,1A2,A5,A2,A3

This Addendum addresses the resolution of environmental issues in the Environmental Assessment dated August 31, 1990. The applicant has provided information to the Environmental and Heritage Resource Branch, OCP which indicates that most of the environmental issues originally associated with this plan have been resolved. One issue remains to be clarified.

The applicant should ensure that the stormwater management facilities on all parcels associated with the proposed development plan function as designed in accordance with the standards set forth in the Public Facilities Manual.

Because the proposed wet pond (Pond C) should be designed as a BMP equivalent to WSPOD standards, and based on preliminary information provided to OCP by the applicants engineers, the present pond design will need to be altered. Therefore, the applicant should commit to the necessary re-alignment of the existing storm drainage easement in order to preserve portions of the existing wetlands shown as the "save area" and incorporate them into the pond design.

Although DPW has asked that the applicant establish a maintenance agreement with the County on all of the existing ponds, the applicant should at minimum, provide a maintenance agreement for Pond C.

BGD:CCC

REGULATORY and ENVIRONMENTAL
CONSULTANTS

September 12, 1990

Mr. Tom Fleury, V.P.
Development Services
West Group, Inc.
1600 Anderson Road
McLean, Virginia 22102

RECEIVED
OFFICE OF COMPREHENSIVE PLANNING

SEP 24 1990

ZONING EVALUATION DIVISION

RE: Pond C, Fairfax Building Phases II & III
and Halifax Building

Dear Mr. Fleury;

We have completed our review of the jurisdictional wetlands on the subject property. The areas examined include the area north of Jones Branch Drive to the existing stormwater management pond; and from the property line to the south to the Dulle Access Road to the north.

The technical methodology used to evaluate the property for wetlands is that described in the Federal Manual for Identification and Delineation of Jurisdictional Wetlands. This methodology requires positive indications of hydric soils, hydrophytic vegetation, and the positive presence of a surface or groundwater hydrologic regime for an area to be considered wetlands subject to Federal jurisdiction. There are two basic exceptions to these criteria: First, when undrained hydric soils are encountered on the site, the vegetation parameter need not be evaluated since it is presumed that hydrophytic vegetation would exist. Second, in areas dominated with obligate wetland plant species, there is no need to examine the soil since the plant community has been established in saturated or super saturated soil or substrate conditions. The two wetland areas located on the subject property fall into the latter category.

The property bordering the pond has been mass graded and/or filled in the past. This is evidenced by several factors, including the condition of the land surface, the plant community structure, and the lack of a true soil on the property. The condition of the land shows cut slopes, fill stock pile, and past construction activities that reflect past grading activities. The plant community supported by the land is dominated with early successional grasses and wildflowers that are normally associated with recently disturbed land. Interspersed within the field are scattered hardwood and evergreen shrub species such as

14458 Old Mill Road #201
Upper Marlboro, MD 20772

(301) 627-7505

Virginia pine, eastern red cedar, and black locust. The substrate supporting this plant community is clearly compacted fill. The site was augered with a 2 1/2" bucket auger to a depth of 24" throughout the site. The results of the test holes indicate that the substrate has no structure one normally encounters with a true soil. The substrate has no organic surface or soil horizon at all. The material encountered is a mixture of fine (silts) to coarse (cobble) textured material with uniform distribution on the property. Sample colors are also uniform, with Munsell Color Chart readings of 7.5YR 4/6. This indicates that not only is the area fill, but even in depressional areas it is well drained since no hydric characteristics are observed.

There are two wetland areas located on the property. These include the existing stormwater management pond with its associated drainage channel, and an isolated wetland located in the graded area west of the pond. The stormwater management pond is a mixture of Palustrine open water, Palustrine emergent, Palustrine aquatic bed, and Palustrine forested wetland. Hydrologically, this area is influenced by storm drainage from the surrounding development that is discharged into the pond during storm events. The pond outfalls into Scotts Run via twin 72" culvert pipes under the eastern embankment. The wetlands associated with the pond extend along the berm to an elevation of approximately +284. This has formed a narrow fringe of emergent and scrub/shrub wetlands at the toe of the embankment slope bordering the pond.

The second wetland is an isolated Palustrine emergent area west of the pond. This area appears to have developed by past grading activities. It is associated with a shallow depression in the fill area and appears to trap some surface water and direct rainfall. This area has no surface outlet other than sheet flow. This pocket is dominated by broadleaf cattail (*Typha latifolia*) and woolgrass (*Scirpus cyperinus*), and is approximately 500 feet square in area.

It is our understanding that two activities are proposed within these areas. First, to accommodate the proposed development, the stormwater management pond must be maintained (excavated) to allow for additional stormwater storage. Second, the isolated wetland is proposed for fill to develop the property.

Regulatory Analysis

The maintenance of the existing stormwater management pond by excavation is an unregulated activity pursuant to Section 404 of the Clean Water Act (33 CFR 320-330). Section 404 regulates the discharge of dredge or fill material into "Waters of the United States", including wetlands that satisfy section 33 CFR 328.3 (a) (b). If the material

excavated from the pond is placed in non-wetland areas, no authorization from the Norfolk District Corps of Engineers is required since there is no discharge of dredge or fill material into "Waters of the United States". This was confirmed in a telephone conversation between myself and Mr. John Evans of the Norfolk District Corps of Engineers on August 30, 1990. Confirmation of this can be obtained by contacting Mr. Evans at (804) 441-7794.

The proposed fill of the isolated Palustrine emergent wetland is authorized by Nationwide Permit #26 #33 CFR 330.5 (a) (26)A. Fills in isolated wetlands of less than one acre of total area are authorized by this Nationwide Permit without notification to the Corps of Engineers prior to the discharge occurring. Thus, no written notification by your office or written authorization by the Corps is required for this fill.

In summary, the activities proposed for the referenced development within wetlands are either exempt from Federal regulation, or are authorized by existing Nationwide Permit.

If you have any questions, or need clarification on this analysis, please do not hesitate to call.

Sincerely,

A handwritten signature in cursive script, appearing to read "JM for:", is written above the typed name.

Milton L. McCarthy

BOARD OF DIRECTORS

Appendix 5-D

Norman T. Jeffries, Jr.
Executive Director

TELEPHONE
(703) 591-6660



COMMONWEALTH of VIRGINIA

NORTHERN VIRGINIA SOIL AND WATER CONSERVATION DISTRICT

11216 WAPLES MILL ROAD • FAIRFAX, VIRGINIA 22030

May 21, 1990

RECEIVED
OFFICE OF COMPREHENSIVE PLANNING

MAY 22 1990

ZONING EVALUATION DIVISION

TO: Barbara Byron, Director
Zoning Evaluation Division, OCP

FROM: Wilfred Woode, Conservation Specialist

RE: Conservation Report on Rezoning Application RZ 88-D-005

These sites total 193.68 acres in the Scotts Run Watershed, located south of Dulles Airport Road, west of Rt. 495, north of Westpark Drive and east of International Drive. (Map reference is 29-2 ((15)) 4B, A5, A4; 29-4 ((7)) 12, 4, 6, 7B, 7A1, C2, C1, 11A, 8, 1, 2, 3, 9, 5A, 10, 1A1, 1A2, A5, A2, A3). Proposed rezoning is from I-3 and I-4 to C-3. 44.69 acres had been reported on, in RZ 88-D-005 of June 27, 1988 (Copy attached).

The property is mostly developed. A few areas have been left undisturbed. Developed areas have office buildings with parking lots all around. There are well maintained grass and trees in the office vicinities. Offices like MCI, UNYSIS, IMC, occupy some of the buildings.

Parcel 12 has been kept in a totally undisturbed state. It is slightly hilly, with slopes of about 8-10%. Vegetation is dense and consists of hard-woods and creepers.

Parcel A2, which has the Unysis office building on its southern side, also has an undisturbed zone on its northern half.

Parcel A4 has some work being done on it at the time of the visit. It had been denuded, and levelled out; pipes of about 3ft. in diameter were being buried at 8-10ft. below ground.

Soil types within the zone delineated are:-
Worsham Silt Loam - 8B+ (hydric)
Glenelg Silt Loam - 10B+
Wehadkee Silt Loam- 5A+ (hydric)
Meadowville Silt Loam- 20B+
Manor Silt Loam - 21C2/D2
Glenelg Silt Loam - 55 B2/C2/D2

A copy of the soils map is attached.

cc: Bruce Douglas, Chief
Environmental and Heritage Resources Branch. OCP

MEMORANDUM

TO: Barbara Byron, Director
Zoning Evaluation Division
Office of Comprehensive Planning

DATE: 6-8-90

FROM: John W. Koenig, Director *JWK*
Utilities Planning and Design Division
Department of Public Works

SUBJECT: Rezoning Application Review

Name of Applicant/Application: WEST + MAC ASSOCIATES
Application Number: 88-D-005
Type of Application: REZONING

Information Provided

Application: YES
Development Plan: YES
Other: NO

Date Received in UP&DD: 5-15-90
Date Due Back to OCP: A.S.A.P

Site Information

29-2 (15) 4B, A5, A4; 29-4(7) 12, 4, 6, 7B, 7A1, C2, C1
o Location: TAX MAP 29-4(7) 11A, 8, 1, 2, 3, 9, 5A, 10, 1A1, 1A2, A5, A2, A3
o Area of Site: 193.68 ACRES
o Rezoned from: I-3 I-4 to C-3
o Watershed/Segment: Scotts Run / Dulles

I. Drainage

o Master Drainage Plans: SWT 4 install gabion bank protection near Swinks Mill Rd. 2 miles downstream of site. SWT-1, SWT-2, SWT-3 install various flood walls in the vicinity of Swinks Mill Rd. 2 miles downstream of site.

o UP&DD Ongoing County Drainage Projects: Project X00050 Swinks Mill Rd, bank stabilization / channelization has been completed.

o UP&DD Drainage Complaint Files: Yes No Any downstream drainage complaints on file pertaining to the outfall for this property?
If yes, Describe: _____

o Other Drainage Information: This site has existing detention ponds.

MEMORANDUM

TO: Barbara Byron, Director
Zoning Evaluation Division
Office of Comprehensive Planning

DATE: 6-8-90

FROM: John W. Koenig, Director *JWK*
Utilities Planning and Design Division
Department of Public Works

SUBJECT: Rezoning Application Review

Name of Applicant/Application: WEST + MAC ASSOCIATES

Application Number: 88-D-005

Type of Application: REZONING

Information Provided

Application: YES

Development Plan: YES

Other: NO

Date Received in UP&DD: 5-15-90

Date Due Back to OCP: A.S.A.P

Site Information

- o Location: 29-2 (15) 4B, A5, A4; 29-4(7) 12, 4, 6, 7B, 7A1, C2, C1
TAX MAP 29-4(7) 11A, 8, 1, 2, 3, 9, 5A, 10, 1A1, 1A2, A5, A2, A3
- o Area of Site: 193.68 ACRES
- o Rezoned from: I-3 I-4 to C-3
- o Watershed/Segment: Scotts Run / Dulles

I. Drainage

- o Master Drainage Plans: SW#4 Install gabion bank protection near Swinks Mill Rd. 2 miles downstream of site.
SW#1, SW#2, SW#3 Install various flood walls in the vicinity of Swinks Mill Rd. 2 miles downstream of site.
- o UP&DD Ongoing County Drainage Projects: Project X00050 Swinks Mill Rd, bank stabilization / channelization has been completed.
- o UP&DD Drainage Complaint Files:
 Yes No Any downstream drainage complaints on file pertaining to the outfall for this property?
 If yes, Describe: _____

- o Other Drainage Information: This site has existing detention ponds.

II. Trails:

Yes No

Any Trail projects pending funding approval on this property?

If yes, Describe: _____

Yes No

Any funded trail projects affected by this rezoning?

If yes, Describe: _____

III. School Sidewalk Program:

Yes No

Any sidewalk projects pending funding approval or on the School Sidewalk Program priority list for this property?

If yes, Describe: _____

Yes No

Any funded sidewalk projects affected by this rezoning?

If yes, Describe: _____

IV. Sanitary Sewer Extension and Improvement (E&I) Program:

Yes No

Any existing residential properties adjacent to or draining through this property that are without sanitary sewer facilities?

If yes, Describe: _____

Yes No

Any ongoing E&I projects affected by this rezoning?

If yes, Describe: _____

V. Other UP&DD Projects or Programs:

Yes No

Any Board of Road Viewers (BORV) or Fairfax County Road Maintenance Improvement Projects (FCRMIP) affected by this rezoning?

If yes, Describe: _____

Other Program Information: _____

Application Name/Number: WEST & MAC ASSOCIATES / RZ 88-D-005

***** UTILITIES PLANNING AND DESIGN DIVISION, DPW, RECOMMENDATIONS *****

Note: The UP&DD recommendations are based on the UP&DD involvement in the below listed programs and are not intended to constitute total County input for these general topics.

DRAINAGE RECOMMENDATIONS: None

TRAILS RECOMMENDATIONS: NONE

SCHOOL SIDEWALK RECOMMENDATIONS: NONE

SANITARY SEWER E&I RECOMMENDATIONS:

 YES NOT REQUIRED

Extend sanitary sewer lines to the development boundaries on the _____ sides for future sewer service to the existing residential units adjacent to or upstream from this rezoning. Final alignment of the sanitary extension to be approved by Department of Public Works during the normal Department of Environmental Management plan review and approval process.

Other E&I recommendations: NONE

OTHER UP&DD PROJECT/PROGRAM RECOMMENDATIONS: NONE

UP&DD Internal Sign Off by:
FOR Planning Support Branch (Ron Kirkpatrick)
Public Improvements Branch (Walt Wozniak)
Stormwater Management Branch (Bill Henry)



JWK/crt(1631E)

- cc: Gordon Lawrence, Coordinator, Office of Safety, Fx. Co. Public Schools (cc only if SW Recommendation made)
- cc: Jerry Jackson, Chief, System Analysis Section, Office of Waste Management, DPW
- cc: Richard Little, Director, Plan Division, Office of Comprehensive Planning
- cc: Diane Rowe, Trails Planner, Office of Comprehensive Planning

FAIRFAX COUNTY, VIRGINIA

MEMORANDUM

TO: Barbara A. Byron, Director
Zoning Evaluation Division, OCP

DATE: September 6, 1990

FROM: Robert L. Moore, Chief *RLM*
Transportation Planning Division, OT

FILE: 3-4 (RZ 88-D-005)/SITE1 830

SUBJECT: Transportation Impact Addendum

REFERENCE: RZ 88-D-005; West*Mac Associates
Traffic Zone: 1087
Land Identification Map: 29-2 ((15)) A4, 4B
29-4 ((7)) 1-4, 5A, 6, 7A1, 7B, 8-10,
11A, 12, A2, A3, A5, 1A1, 1A2, C1

Transmitted herewith are the comments of the Office of Transportation with respect to the subject application. These comments are based on plans made available to this Office dated June 4, 1990 and proffers dated September 11, 1990. This application raises several transportation issues. The comments of this Office with respect to these issues are as follows:

Traffic Generation and Highway Performance

The majority of the development on the above-referenced parcels, with the exception of parcel number 29-4 ((7)) A3, is existing or either is currently existing or the subject of submitted site plans which are in various stages of the review process.

However, development under these site plans is predicated upon site plan approval and whether development is diligently pursued. If the site plans lapse, then the current zoning ordinance would allow a far lesser amount of office development on these parcels than is proposed with this application. Under the aforementioned condition, the applicant would retain the 2,048,458 gross square feet of office space existing or currently under construction and an additional 1,485,022 gross square feet of industrial space rather than the 4,682,689 square feet of total office development existing and proposed pursuant to this rezoning.

The general Tysons area currently experiences significant traffic congestion in peak periods; consequently, the approval of additional development which would add to this congestion problem should be offset through contributions to transportation programs and projects which ameliorate these conditions. Moreover, as discussed below, such development should make significant commitments to develop and implement Transportation System Management (TSM) and/or Transportation Demand Management (TDM) programs, and desirably to achieve specified traffic reduction targets.

The traffic generated by the alternative industrial uses would be less than that associated with the proposed office development as shown on the attached Table.

Barbara A. Byron, Director
September 6, 1990
Page Two

It is not possible to forecast at this time the extent to which these approved and pending site plans will be pursued. Current market conditions suggest that this may not be likely, and that therefore the applicant should provide significant contributions towards ameliorating local transportation problems. At this time, the applicant has committed to the following:

- Design, equipment and installation of a signal at the intersections of both Park Run and Jones Branch Drives and Park Run and Westpark Drives.
- Dedication and construction of an additional lane on the westbound approach of Jones Branch Drive at its intersection with Spring Hill Road.

Transit Compatibility

The County Plan provides for a transit facility near the Spring Hill Road/Dulles Toll Road interchange. This facility appeared as a Metrorail Station on the 1975 PLUS plan, and was reaffirmed as a Transit Transfer Station and possible rail station in the recently adopted Phase I Plan Update. This reaffirmation also resulted from a detailed study of transit alternatives in the Dulles Corridor, which considered and evaluated several potential sites as public transportation stations and/or transfer points. This analysis determined that a site in the Spring Hill Road/Dulles Road area represented the most feasible location for such a facility in the general Tysons area.

The County is currently actively pursuing funding through an Urban Mass Transportation Administration (UMTA) grant to implement enhanced public transportation service in the Dulles corridor. It is currently anticipated that provision of a public transportation station near Spring Hill Road would allow for convenient discharge of passengers destined to the Tysons area from transit vehicles operating in the Dulles corridor (hence the term "destination station"). Initially, such service would be comprised of an enhanced express bus system; however, such a station could be converted to rail usage in the future at such time as demand and costs warranted. The applicant has agreed to provide a site for a "destination" station for enhanced public transportation in the vicinity of Spring Hill Road. Thus, provision of this station is a significant element in addressing both the impact of the proposed application, as well as overall transportation deficiencies in the Tysons area.

While the provision of the station site is a desirable contribution, a more significant benefit would include the design and construction of this facility as well as its dedication. The applicant has committed to the design of this facility in draft proffers dated September 11, 1990. Construction of the "station" by the applicant has not been committed to; however, the applicant has agreed to provide funding of \$2.00 per square foot to be utilized for the aforementioned construction if the County so desires.

In considering this \$2.00/foot contributions; however, the following points should be noted:

- The proffers refer to "new" square feet of development. Given the existence of occupied buildings and active site plans on much of the application property, it is not clear exactly how much funding will be generated by this commitment. It is possible under certain interpretations that the amount generated by such a formula would be relatively small.
- The County has developed off-site road contribution funds in both the Fairfax Center and Centreville areas. The current contribution rates for these areas are \$3.88 and \$4.19 per square foot, respectively. Thus, the acceptability of a \$2.00/foot amount in the Tysons area appears to be inconsistent with these other formulas.

Transportation System Management

The Phase I Plan provides strong encouragement to achieve significant reductions in the usage of single-occupant automobiles for travel to the Tysons area. This document establishes a goal that 20% of the commuters to the Tysons Corner Urban Center should use public transportation (rail, bus, carpooling, and vanpooling). Therefore, the applicant should provide a commitment to achieve significant usage of these alternative travel modes, and to correspondingly reduce reliance on low-occupancy vehicle commuting.

While the dedication of a destination station site is a major contribution towards improving public transportation in the area, this action does not ensure that the target mode split will be achieved. The applicant is strongly encouraged to consider the following additional TSM commitments towards conforming to the spirit and letter of the revised Plan:

- Provision of an annual contribution to either the County or a local Transportation Management Association such as Tytran, to offset some of the costs associated with the creation and operation of local programs to encourage public transportation utilization in the area. Some of the activities that could be funded with such a program include funding the salaries associated with ridesharing coordinators and provision of transit subsidies.
- Development of a TSM program designed to achieve the 20% mode split target and provision of commitments to regularly monitor the performance of the program and to periodically adjust it to achieve the Plan goal.

Given the minimal traffic increase associated with this application, this Office would not object to approval of the application, provided the proffers are revised to clarify various ambiguities and the contribution issue discussed herein is satisfactorily resolved.

Barbara A. Byron, Director
September 6, 1990
Page Four

With the provision of a site for the "destination" station and the funding for its design and construction, the applicant has a unique opportunity to achieve the reduction in single occupant commuting envisioned in the Fairfax County Policy Plan. To achieve this goal, the applicant is encouraged to develop and implement a TSM program capable of achieving this goal. The Office of Transportation will work closely with the applicant to realize the full potential of the "destination" station.

RLM:tsb

cc: Shiva K. Pant, Director, Office of Transportation
Gary Erenrich, Deputy Director, Office of Transportation
Andy Szakos, Transit Operations Division, Office of Transportation
Cathy Chianese, Zoning Evaluation Division, Office of Comprehensive
Planning

Site Trip Generation

	<u>Development (1,000 ft²)</u>		<u>Trips/day (hourly)</u>		Total
	office	industrial	office ¹	industrial ²	
Per application (0.54 FAR overall)	4,682.689	—————	24,556(4,793)	—————	24,556(4,793)
*Existing development plus remainder zoned I-3 and I-4	2,048.458	1,485.022	13,209(2,413)	9,677(1,508)	22,886(3,921)

* This scenario would occur if the site plans currently in review are not diligently pursued.

Footnotes

- 1 These trip generation estimates are based on data from the Institute of Transportation Engineers for general office uses.
- 2 These trip generation estimates are based on data from the Institute of Transportation Engineers for general light industrial uses and research centers.

MEMORANDUM

TO: Barbara A. Byron, Director
Zoning Evaluation Division, OCP

FROM: Lynda L. Stanley, Chief ^{LS}
Plan Development Branch, OCP

FILE NO: 510 (Zoning)

SUBJECT: Planning Analysis for: RZ 88-D-005

DATE: JUL 05 1990

This memorandum provides guidance from the Comprehensive Plan and a planning analysis of application RZ 88-D-005 which requests rezoning from I-3 and I-4 to C-3 for office use with a maximum overall FAR of 0.54 and building height limitations of 75 and 90 feet. The issues identified in this analysis should be satisfactorily addressed before this application is considered favorably.

COMPREHENSIVE PLAN CITATIONS:

The 193.68-acre property is located in The Tysons Corner Area of the McLean Planning District in Area II. An assessment of the proposal for conformance with the Comprehensive Plan should be guided by the following citations from the Plan:

On page II 68 under "Land Use Recommendations," the Plan states:

"Sub-Tract A2: Research and Development Industry,
Multifamily Residential and Motel

The 289-acre Westpark tract has existing research and development and office uses concentrated primarily in the eastern portion. The remaining vacant acreage is zoned for industrial park and commercial designed shopping center and motels.

It is recommended that approximately 150 acres of land, all the vacant land north of Jones Branch Drive and east of the proposed right-of-way for Park Run Drive except the parcel zoned C-7, type industry [sic]. The land north of Jones Branch Drive, visible from the Dulles Airport Access Road should be limited to uses permitted under the I-2 zoning district in order to assure the high-quality development image of this area as a gateway to the Nation's capital. Such uses should also be designed to provide an appropriate landscaped transition to the planned residential area south of Jones Branch Drive...

Research and development industry is recommended for the 15+/-acres east of the stream valley. The residential section should incorporate recreational facilities and the entire 47-acre portion should include open space, a pedestrian system and other urban design and environmental features emphasized in this plan. The topography in this location would lend itself to a molding of development to the land forms as well as permitting some of the steep slopes to be retained in open space. Nothing in the foregoing should be interpreted to preclude a mixed or multi-use development on the entire 47 acres provided at least 1150 residential units are included in the land use mix at this location or elsewhere within the Sub-Tract A2. A multi-use development on the eastern 15+/-acres including industry, office, motel, housing or limited retail commercial could also be appropriate.

A location in the quadrangle at the intersection of International Drive and the Dulles Airport Access Road parallel lanes would also be a logical terminus for an express bus service to Washington although the cost of land

would probably necessitate a decked parking facility rather than open parking. Although no public agency is currently empowered to acquire land in the quadrangle for any future public transportation facilities, it is recommended that Westpark include the possibility for such facilities in its long range plans..."

On pages II 75 and 76 under "Building Height Limit Recommendations," the Plan states:

"8. District H

a. Location

District H is essentially defined by the frontage along the DAAR between Route 7/DAAR and I-495/DAAR interchanges on Tax Map No. 29-1 and 2. It is bounded by the DAAR, Route 7, Tysons Road, Springhill Road, Jones Branch Drive and the northern boundary of Tax Map No. 29-4((7))12 parcel...

c. Recommendations

- (1) Keep the current I-3, I-4 and I-5 height limit of 75 feet for all developments within this district with the following exceptions...
- (2) Provide appropriate landscaping and signage, as described under "Urban Design Objectives", along Route 7 and Springhill Road.

- (3) Provide a 125-foot setback from the DAAR as recommended by the National Capital Planning Commission.
- (4) Mark and retain mature trees, including a buffer of mature trees along DAAR during the development process.

"12. District L

a. Location

This district is located east of District K on Tax Map No. 29-2, 3 and 4. It is bounded by the Scott Run tributary on the west, Jones Branch Drive on the north, I-495 on the east, and the rear property lines of lots located south of Westpark Drive on the south...

c. Recommendations

- (1) Keep the current height limits of 75 feet and 90 feet for I-3, I-4 and C-7 zonings for developments on the similarly zoned parcels.
- (2) Recognize the existing development pattern east of Jones Branch Drive...
- (3) Provide appropriate landscaping as described under "Urban Design Objectives", along Springhill Road and International Drive."

PLANNING ANALYSIS:

The following analysis identifies and discusses pertinent planning issues that relate to the proposed use on the application property.

Character of the Surrounding Area:

The site comprises a substantial portion (193+ acres) of the Tysons Quadrangle. Almost all the adjacent land in the quadrant is developed and the majority of the FAR of office use in the area is .50. There are major retail and residential tracts developed, however, including the Tysons II/Galleria at Tysons II Shopping Center and the Rotunda and Lincoln Apartments, which are residential developments with a density of 34 and 32 dwelling units per acre, respectively.

There is already development on this site and development on this tract is essentially a matter of infill.

Planning Issues:

The proposed use and height are similar to and compatible with the existing office development on site and in the immediate vicinity. The proposed overall FAR is lower than that of adjacent development.

One issue raised by this application is the request for a waiver of transitional screening requirements adjacent to the Lincoln Apartments along Jones Branch Drive near International Drive. Given the character of the proposed transportation depot, the full screening requirements should be met.

Also, the pedestrian links between structures are not shown as indicated in the Plan for this type of highly urban setting.

The street landscaping shown on the proposed development plan is not always adequate, especially where there is a substantial parking garage close to West Branch Drive.

It is difficult to determine the full visual impact of the proposed parking structures on existing buildings and the surrounding area because the height and elevation of these structures is not provided.

The existing West Mac phase 1 building exceeds 45° bulk plane restrictions (the NW corner approaches 31°). The proposed phase 4 buildings are also not in conformance with 45° bulk plane restrictions (near the intersection of International Drive and Jones Branch Drive).

The Plan specifically indicates the desirability of high quality design, including landscaping. The design submitted does not have a specific and comprehensive landscaping plan for the entire project.

Suggested Measures to Address Planning Issues:

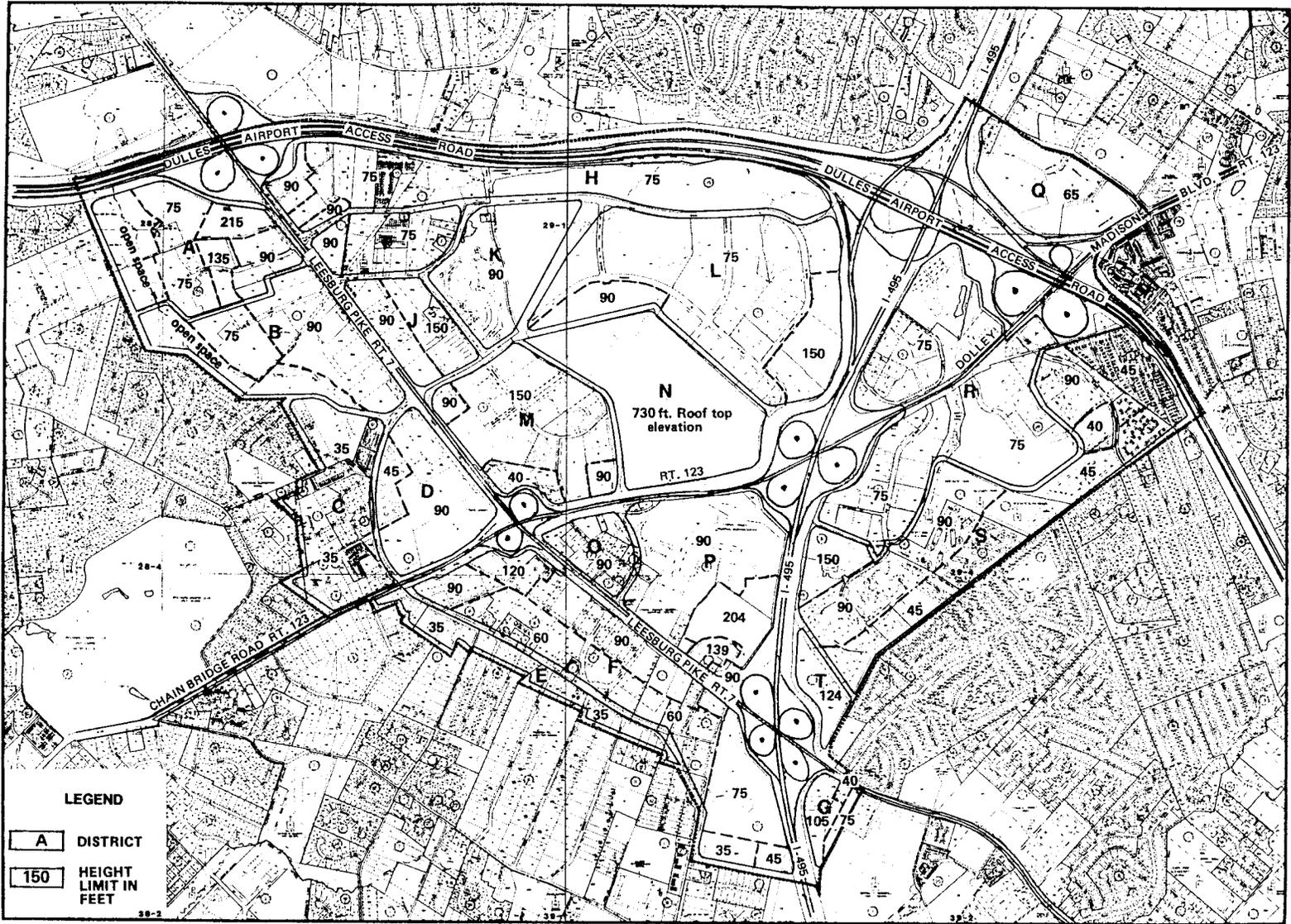
- Provide adequate transitional screening along the periphery of the site adjacent to the Lincoln Apartments.
- Provide specific pedestrian links between structures.
- Provide a comprehensive landscaping plan, including streetscaping.
- Provide heights and elevations for all structures, including parking structures.

Barbara A. Byron
RZ 88-D-005
Page Five

- The applicant is encouraged to provide ancillary retail, institutional and recreation uses, such as health clubs, restaurants and child care facilities within this project to create a mix of uses.
- Ensure that all structures lie within the 45° bulk plane restriction.

LLS:SHL:kf

II 74D



TYSONS CORNER HEIGHT STUDY

FAIRFAX COUNTY, VIRGINIA

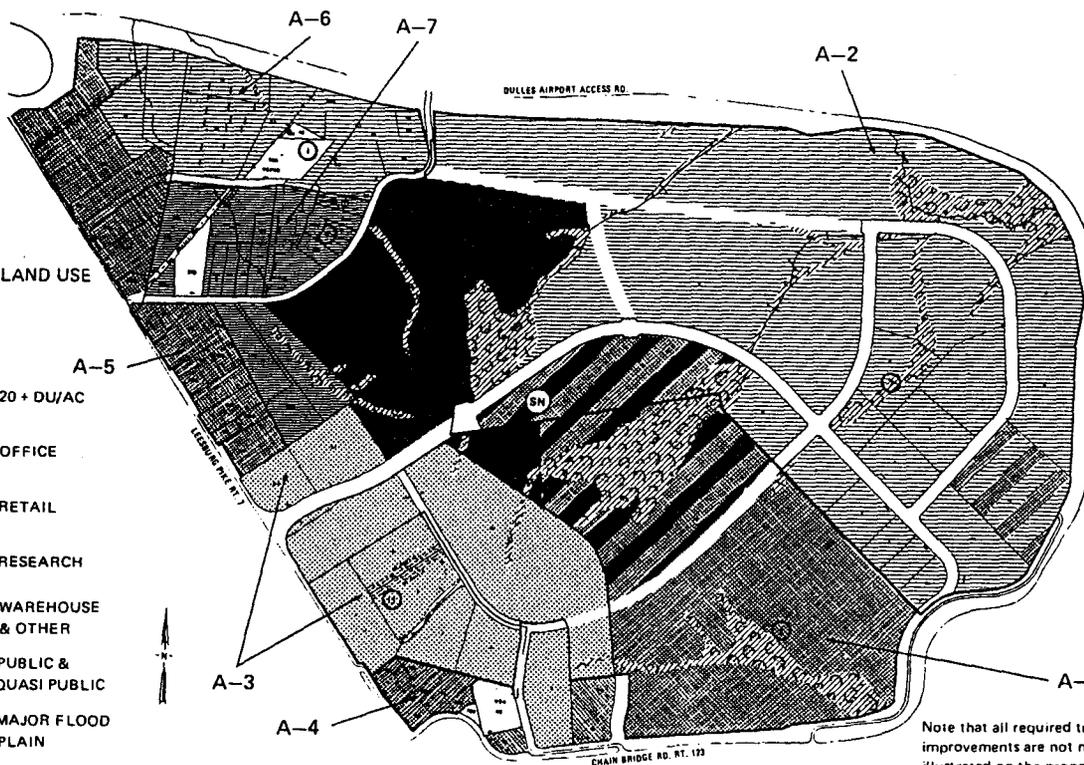
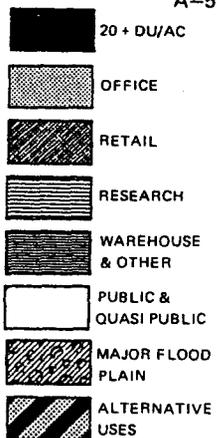
STUDY AREA BOUNDARY



MAP 4 HEIGHT LIMIT

PROPOSED LAND USE
TRACT A

MAP 28



Note that all required transportation improvements are not necessarily illustrated on the proposed land use map. All transportation improvements are shown on Map 26 and 33

SEP 19 1990

LINCOLN PROPERTY COMPANY

ZONING EVALUATION DIVISION

September 19, 1990

County of Fairfax
Department of Environmental Management
Zoning Evaluation Division
4050 Legato Road
Fairfax, VA 22030

ATTN: Catherine Chianese

Re: RZ 88-D-005

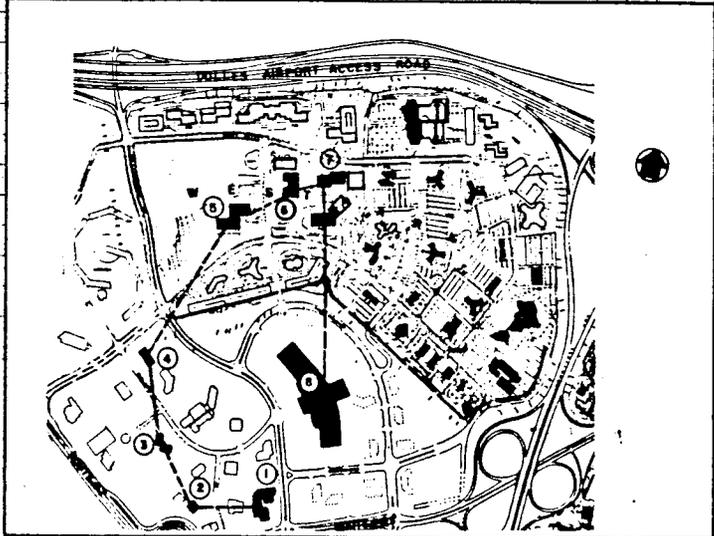
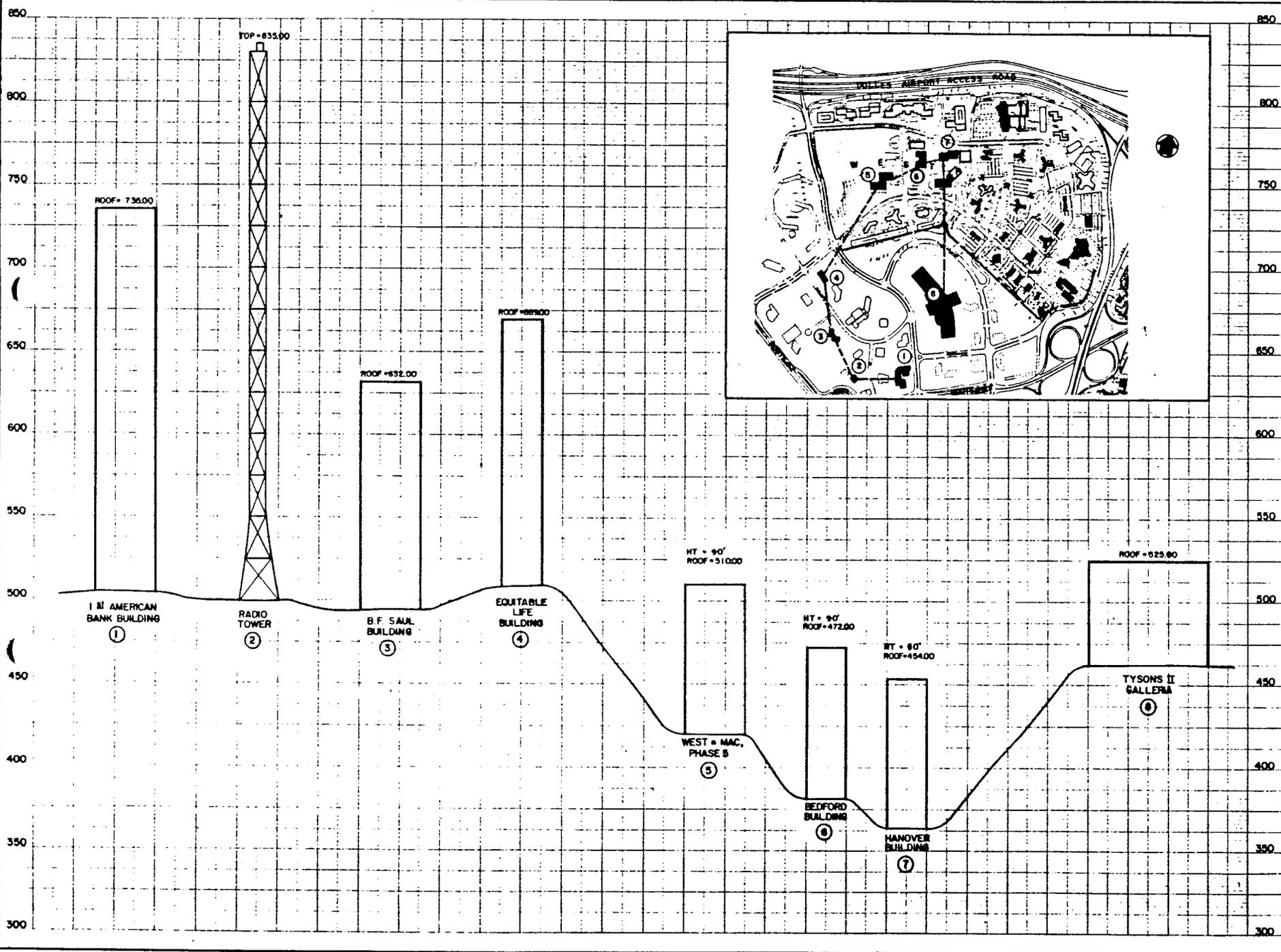
Dear Ms. Chianese:

We have reviewed the Application, Proffers, Generalized Development Plan and Height Study for the above mentioned WEST*PARK rezoning case. We have focused on transitional screening and barrier between our residential property and the proposed office use to the southeast and north. We have also reviewed the 90' height proposed on the 14 acre parcel contiguous to our property and find the 90' height acceptable. We have a long standing relationship with the WEST*PARK, WEST*MAC principals and feel that any differences that may occur during the future site plan process will be resolved amicably as in the past. We, in short, endorse RZ 88-D-005.

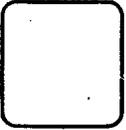
Sincerely,

LINCOLN PROPERTY COMPANY


Jeff Franzen
Partner



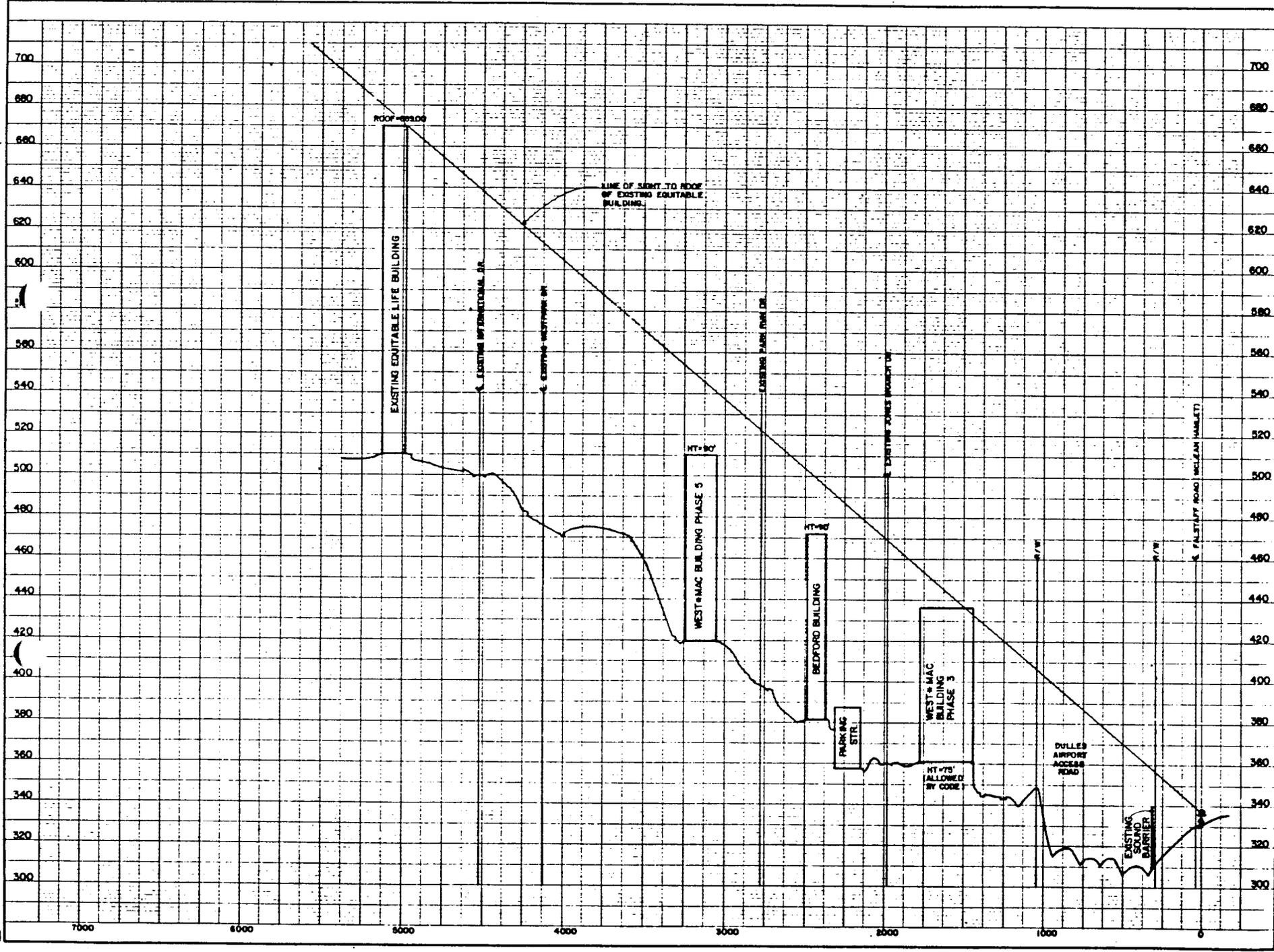
Huntley, Nye & Associates, P.C.
 ARCHITECTS • CIVIL ENGINEERS • LAND PLANNERS
 1000 W. 10th Street, Suite 100
 Oklahoma City, Oklahoma 73106
 Phone: (405) 521-1100
 Fax: (405) 521-1101



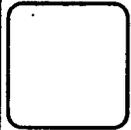
WEST PARK REZONING APPLICATION # RZ-880-005
 AREA HEIGHT COMPARISON

SCALE	HORIZ	VERT
DATE	JULY 28/90	
REVISIONS		

SHEET 1 of 3
 FILE NO. PL-4800



Hurdley, Myers & Associates, P.C.
 ARCHITECTS
 1000 W. 10TH STREET, SUITE 2
 DENVER, COLORADO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112



WEST * PARK REZONING APPLICATION # RZ-88D-005

SECTIONAL VIEW FROM MCLEAN HAMLET THRU WEST * PARK
TOWARD INTERNATIONAL DRIVE AREA

SCALE	HORIZ 1" = 20'
	VERT 1" = 20'
DATE	JULY 25/90
REVISIONS	

SHEET
3 of **3**
 FILE NO
 PL-1800

FAIRFAX COUNTY, VIRGINIA

MEMORANDUM

May 18, 1990

RECEIVED
OFFICE OF COMPREHENSIVE PLANNING

MAY 18 1990

ZONING EVALUATION DIVISION

TO: Barbara A. Byron, Director
Zoning Evaluation Branch, OCP
City Square Building
10640 Page Avenue, 3rd Floor

FROM: Laurie Shertzer, (246-3970) *LS*
Resource Management Section
Fire and Rescue Department

SUBJECT: Fire and Rescue Department Preliminary Analysis,
Rezoning Applicaiton RZ 88-D-005, Zoning I-3, I-4
to C-3

The following information is submitted in response to your request for a preliminary Fire and Rescue Department analysis for the subject rezoning application:

1. The application property is serviced by the Fairfax County Fire and Rescue Department Station #29 Tyson's Corner.
2. After construction programmed for FY 1991, this property will be serviced by the fire station planned for the _____ area.
3. In summary, the Fire and Rescue Department considers that the subject rezoning application property:
 - a. currently meets fire protection guidelines.
 - b. will meet fire protection guidelines when a proposed fire station becomes fully operational.
 - c. does not meet current fire protection guidelines without an additional facility, however, a future station is projected for this area.
 - d. does not meet current fire protection guidelines without an additional facility; however, a station location study is currently underway, which may impact this rezoning positively.

LJS/lis

MAY 25 1990

ZONING EVALUATION DIVISION

Date: 05/24/90

TO: Staff Coordinator (Tel.: 246-1250)
Zoning Evaluation Branch
4050 Legato Road, Centre Pointe
Fairfax, VA 22033

FROM: Planning Branch (Tel.: 698-5600 ext. 343)
Engineering and Construction Division
Fairfax County Water Authority

subject: Water Service Analysis, Rezoning Application RZ 88-D-005

The following information is submitted in response to your request for a water service analysis for the subject rezoning application:

1. The application property is located within the franchise area of the Fairfax County Water Authority
2. Adequate water service is available at the site.
3. Offsite water main extension is not required.
4. The nearest adequate water main available to provide service is a 12 inch main located at the property. See enclosed property map.
5. Other pertinent information or comments:

REZONING APPLICATION

RZ 88-D-005

RZ 88-D-005

Filed 1/13/88

AMENDED 5/14/90

WEST*MAC ASSOCIATES LTD. PARTNERSHIP

TO REZONE: 193.68 ACRES OF LAND; DISTRICT - DRANESVILLE

PROPOSED: OFFICE

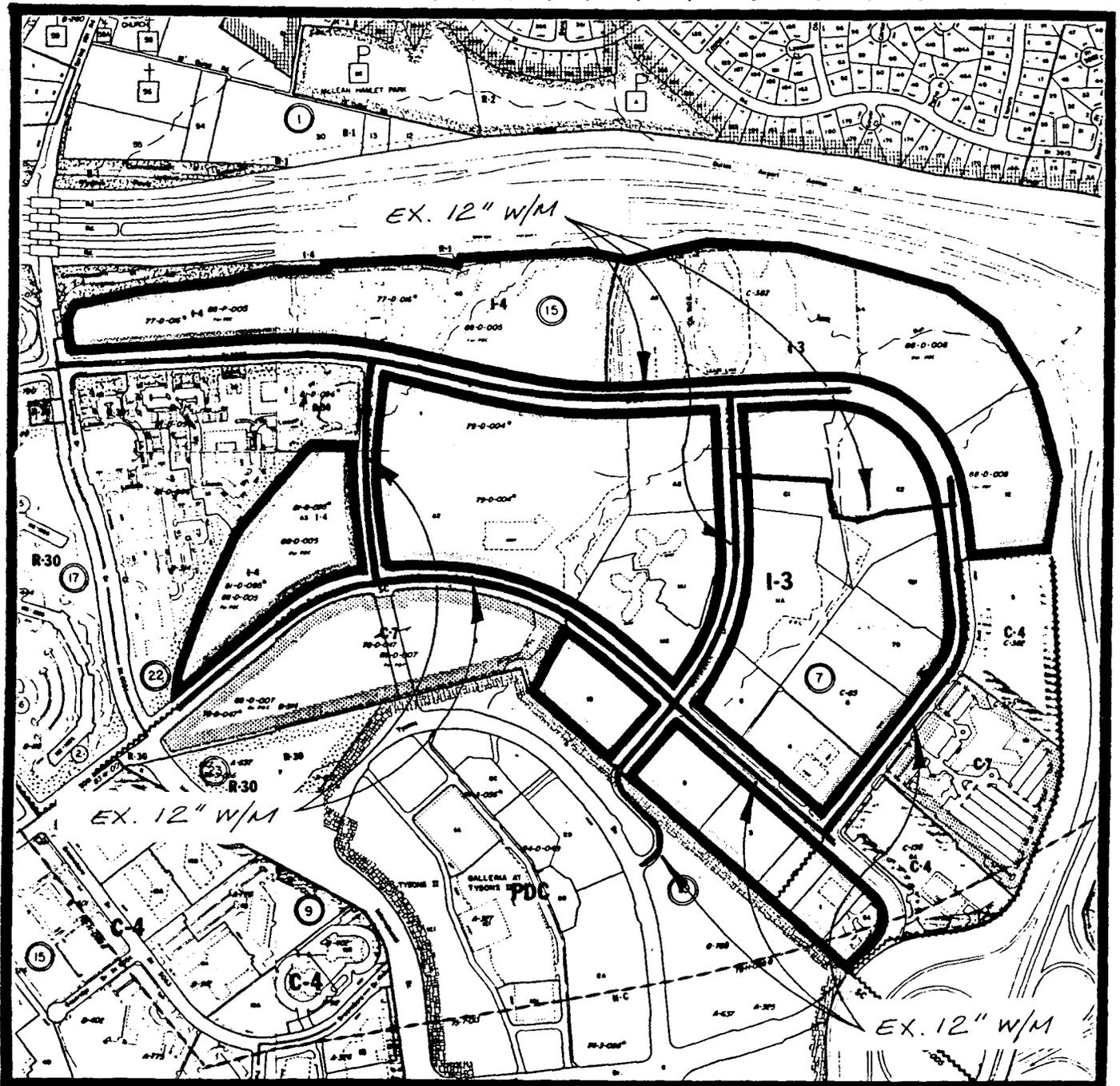
LOCATED: S. OF DULLES AIRPORT ACCESS RD., W. OF RT. 495,
N. OF WESTPARK DR. AND E. OF INTERNATIONAL DR.

ZONING: I-3 and I-4

TO: C-3

OVERLAY DISTRICT(S):

MAP REF: 29-2 ((15)) 4B, A5, A4; 29-4 ((7)) 12, 4, 6, 7B, 7A1, C2, C1,
11A, 8, 1, 2, 3, 9, 5A, 10, 1A1, 1A2, A5, A2, A3



29-2-015-4B, A5, A4
 29-4-007-1 thru 11A, 1A1, 1A2, A2, A3
 29-4-007-C2, C1
 193.68 Acres
 C-3

2062w-1 (BP)

FAIRFAX COUNTY, VIRGINIA

MEMORANDUM

TO: Staff Coordinator DATE: May 18, 1990
 Zoning Evaluation Division, OCP

FROM: Gilbert Osei-Kwadwo (Tel: 246-5025)
 System Engineering & Monitoring Division
 Department of Public Works

SUBJECT: Sanitary Sewer Analysis, Rezoning Application 88-D-005

The following information is submitted in response to your request for a sanitary sewer analysis for subject rezoning application:

1. The application property is located in the Scotts Run (E-1) Watershed. It would be sewered into the Blue Plains Treatment Plant.

2. Based upon current and committed flow, excess capacity is available at this time. For purposes of this report, committed flow shall be deemed as active and valid building permits in accordance with the context of the Blue Plains Agreement of 1984. No commitment can be made, however, as to the availability of treatment capacity for the development of the subject property. Availability of treatment capacity will depend upon the current rate of construction and the timing for development of this site.

3. An Ex. 12-21 inch line located in in the streets and on the property ~~is~~ ~~is~~ ~~not~~ adequate for the proposed use at the present time.

4. The following table indicates the condition of all related sewer facilities and the total effect of this application.

Sewer Network	Existing Use + Application		Existing Use + Application + Previous Rezoning		Existing Use + Application + Comp. Plan	
	Adeq.	Inadeq.	Adeq.	Inadeq.	Adeq.	Inadeq.
Collector						
Submain	X		X		X	
Main/Trunk	X		X		X	
Interceptor						
Outfall						

5. Other pertinent information or comments: _____

This Glossary is presented to assist citizens in a better understanding of Staff Reports; it should not be construed as representing legal definitions.

BUFFER - A strip established as a transition between distinct land uses. May contain natural or planted shrubs, walls or fencing, singly or in combination.

CLUSTER - The "alternate density" provisions of the Zoning Ordinance, which permit small lots and pipestem lots, if specified open space is provided. Primary purpose is to preserve environmental features such as stream valleys, steep slopes, prime woodlands, etc.

CONVENANT - A private legal restriction on the use of land, recorded in the land records of the County.

DEVELOPMENT PLAN - Conceptual, Final, Generalized. A Development Plan consists of graphic, textual or pictorial information, usually in combination, which shows the nature of development proposed for a parcel of land. The Zoning Ordinance contains specific instructions on the content of development plans, based upon the purpose which they are to serve. In general, development plans contain such information as: topography, location of streets and trails, means by which utilities and storm drainage are to be provided, general location and types of structures, open space, recreation facilities, etc. A Conceptual Development Plan is required to be submitted with an application for the PDH or PDC District; a Final Development Plan is a more detailed plan which is required to be submitted to the Planning Commission after approval of a PDH or PDC District and the related Conceptual Development Plan; a Generalized Development Plan is required to be submitted with all residential, commercial and industrial applications other than PDH or PDC.

DEDICATE - Transfer of property from private to public ownership.

DENSITY - Number of dwelling units divided by the gross acreage being developed (DU/AC). Density Bonus is an increase in the density otherwise allowed, and granted under specific provisions of the Zoning Ordinance when developer provides excess open space, recreation facilities, moderately priced housing, etc.

DESIGN REVIEW - The Division of the Department of Environmental Management which reviews all subdivision plats and site plans for conformance with County policies and requirements contained in the Subdivision Control Ordinance, the Public Facilities Manual, the Building Code, etc, and for conformance with any proffered plans and/or conditions.

EASEMENT - A right given by the owner of land to another party for specific limited use of that land. For example, an owner may give or sell easements to allow passage of public utilities, access to another property etc.

OPEN SPACE - The total area of land and/or water not improved with a building, structure, street, road or parking area, or containing only such improvements as are complementary, necessary or appropriate to use and enjoyment of the open area.

COMMON - All open space designed and set aside for use by all or designated portions of residents of a development, and not dedicated as public lands (dedicated to a homeowners association which then owns and maintains the property).

DEDICATED - Open space which is conveyed to a public body for public use.

DEVELOPED RECREATION - That portion of open space, whether common or dedicated, which is improved for recreation purposes.

PROFFER - A Development plan and/or written condition, which, when offered by an owner and accepted by the Board of Supervisors, becomes a legally binding part of the regulations of the zoning district pertaining to the property in question. Proffers, or proffered conditions, must be considered by the Planning Commission and submitted by an owner in writing prior to the Board of Supervisors public hearing on a rezoning application, and thereafter may be modified only by an application and hearing process similar to that required of a rezoning application.

PUBLIC FACILITIES MANUAL - The manual, adopted by the Board of Supervisors, which defines guidelines which govern the design of those facilities which must be constructed to serve new development. The guidelines include streets, drainage, sanitary sewers, erosion and sediment control and tree preservation and planting.

SERVICE LEVEL - An estimate of the effectiveness with which a roadway carries traffic, usually determined under peak anticipated load conditions.

SETBACK, REQUIRED - The distance from a lot line or other reference point, within which no structure may be located.

SITE PLAN - A detailed plan, to scale, depicting development of a parcel of land and containing all information required by the Zoning Ordinance. Site plans are required, in general, for all townhouse and multi-family residential development and for all commercial and industrial development.

SUBDIVISION ORDINANCE - An ordinance regulating the division of land into smaller parcels and which, together with the Zoning Ordinance, defines required conditions laid down by the Board of Supervisors for the design, dedication and improvement of land.

SUBDIVISION PLAT - A detailed drawing, to scale, depicting division of a parcel of land into two or more lots and containing engineering considerations and other information required by the Subdivision Ordinance.

USE - The specific purpose for which a parcel of land or a building, is designed, arranged, intended, occupied or maintained.

Permitted - Uses specifically permitted by the Zoning Ordinance Regulations of the Zoning District within which the parcel is located. Also described as a Conforming Use.

Non-Conforming - A use which is not permitted in the Zoning District in which the use is located but is allowed to continue due to its existence prior to the effective date of the Zoning Regulations(s) now governing.

Special Permit - A use specified in the Zoning Ordinance which may be authorized by the Board of Zoning Appeals or the Board of Supervisors in specified zoning districts, upon a finding that the use will not be detrimental to the character and development of the adjacent land and will be in harmony with the policies contained in the latest comprehensive plan for the area in which the proposed use is to be located. A Special Permit is called a Special Exception when granted by the Board of Supervisors.

Transitional - A use which provides a moderation of intensity of use between uses of higher and lower intensity.

VARIANCE - A permit which grants a property owner relief from certain provisions of the Zoning Ordinance when, because of the particular physical surroundings, shape or topographical condition of the property, compliance would result in a particular hardship or practical difficulty which would deprive the owner of the reasonable use of the land or building involved. Variances may be granted by the Board of Zoning Appeals after notification, advertising, posting and conduct of a public hearing on the matter in question.

VPD - Vehicle trips per day (for example, the round trip to and from work equals two VPD). Also ADT - Average Daily Traffic.

ENVIRONMENTAL TERMS

ACOUSTICAL BERM - Usually a triangular-shaped earthen structure paralleling a highway noise source and extending up from the elevation of the roadway a distance sufficient to break the line of sight with vehicles on the roadway.

AQUIFER - A permeable underground geologic formation through which groundwater flows.

AQUIFER RECHARGE AREA - A place where surface runoff enters an aquifer.

CHANNEL ENLARGEMENT - A development-related phenomenon whereby the stream bank's full capacity is exceeded with a greater frequency than under natural undeveloped conditions, resulting in bank and stream bottom erosion. Hydrology literature suggests that flows produced by a storm event which occurs once in 1.5 years are the channel defining flows for that stream.

COASTAL PLAIN GEOLOGIC PROVINCE - In Fairfax County, it is the relatively flat southeastern 1/4 of the County, distinguished by low relief and a preponderance of sedimentary rocks and materials (sands, gravels, silts) and a tendency towards poorly drained soils.

dB(A) - Abbreviation for a decibel or measure of the noise level perceived by the ear in the A scale or range of best human response to a noise source.

DRAINAGE DIVIDE - The highest ground between two different watersheds or subheds.

ENVIRONMENTAL LAND SUITABILITY - A reference to a land use intensity or density which should occur on a site or area because of its environmental characteristics.

ERODIBLE SOILS - Soils susceptible to diminishing by exposure to elements such as wind or water.

FLOODPLAIN - Land area, adjacent to a stream or other surface waters, which may be submerged by flooding; usually the comparatively flat plain within which a stream or riverbed wanders.

IMPERVIOUS SURFACE - A natural or man-made surface (road, parking lot, roof top, patio) which forces rainfall to runoff rather than infiltrate.

MONTMORILLONITIC CLAY - A fine grained earth material whose properties cause the clay to swell when wet and shrink when dry. In addition, in Fairfax County these clays tend to slip or slump when they are excavated from slope situations.

NEF - Noise Exposure Forecast - A noise description for airport noise sources.

PERCENT SLOPE - The inclination of a landform surface from absolute horizontal; formula is vertical rise (feet) over horizontal distance (feet) or V/H.

PIEDMONT GEOGRAPHIC PROVINCE - The central portion of the County, characterized by gently rolling topography, substantial stream dissection, V-shaped stream valleys, an underlying metamorphic rock matrix (schist, gneiss, greenstone) and generally good bearing soils.

PIES/ENVIRONMENT - Project Impact Evaluation - A systematic comprehensive environmental review process used to identify and evaluate likely environmental impacts associated with individual projects or area plan proposals.

SHRINK-SWELL RATE - The susceptibility of a soil's volume to change due to loss or gain in moisture content. High shrink-swell soils can buckle roads and crack foundations.

SOIL BEARING CAPACITY - The ability of the soil to support a vertical load (mass) from foundations, roads, etc.

STREAM VALLEY - Any stream and the land extending from either side of it to a line established by the high point of the concave/convex topography, as delineated on a map adopted by the Stream Valley Board. For purposes of stream valley acquisition, the five-criteria definition of stream valleys contained in 'A Restudy of the Pohick Watershed' (1963) will apply. The two primary criteria include all the land within the 100-year floodplain and the area along the floodplain in slopes of 15 percent or more.

STORM WATER MANAGEMENT - An emerging art/science that attempts to treat storm water runoff at the source and as a resource. Storm water management programs seek to mitigate or abate quantity and quality impacts associated with development by the specific design of on-site systems such as Detention Devices which slow down runoff and in some cases improve quality, and Retention Systems, which hold back runoff.

TRIASSIC GEOGRAPHIC PROVINCE - The western 1/4 of Fairfax County, characterized by broad expanses of nearly level topography, subtle ridge lines, a shallow depth to sedimentary rocks which are locally intruded by igneous rocks and a tendency towards soils with high shrink-swell properties.