



FAIRFAX COUNTY

DPZ

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BOARD OF SUPERVISORS
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April 20, 2001

Elizabeth D. Baker, Land Use Coordinator
Walsh, Colucci, Stackhouse, Emrich and Lubeley, PC
2200 Clarendon Boulevard – 13th Floor
Arlington, Virginia 22201-3359

RE: Rezoning Application
Number RZ 2000-DR-053

Dear Ms. Baker:

Enclosed you will find a copy of an Ordinance adopted by the Board of Supervisors at a regular meeting held on April 2, 2001, granting Rezoning Application Number RZ 2000-DR-053 in the name of MHI-Laughlin Avenue Venture, L.L.C., to rezone certain property in the Dranesville District from the R-4 District; Commercial Revitalization, Highway Corridor Overlay and Sign Control Overlay Districts to the PDC District; Commercial Revitalization, Highway Corridor Overlay and Sign Control Overlay Districts subject to the proffers dated March 21, 2001, on subject parcel 30-2 ((9)) 56 - 66 and alleys to be vacated and /or abandoned under Section 15.2.2272 of the Code of Virginia, consisting of approximately 2.24 acres.

The Board also approved the Conceptual Development Plan subject to the following condition:

- In accordance with the recommendations of the Comprehensive Plan for the McLean Central Business Center and as part of the redevelopment of the property, the existing overhead utility lines along both sides of Emerson Avenue and Laughlin Avenue shall be placed underground for the length of the application property and the area of the off-site improvement to Laughlin Avenue at the intersection with Chain Bridge Road.

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium in the Government Center at Fairfax, Virginia, on the 2nd day of April 2001, the following ordinance was adopted:

AN ORDINANCE AMENDING THE ZONING ORDINANCE
PROPOSAL NUMBER RZ 2000-DR-053

WHEREAS, MHI-Laughlin Avenue Venture, L.L.C. filed in the proper form an application requesting the zoning of a certain parcel of land herein after described, from the R-4 District; Commercial Revitalization, Highway Corridor Overlay and Sign Control Overlay Districts to the PDC District; Commercial Revitalization, Highway Corridor Overlay and Sign Control Overlay Districts , and

WHEREAS, at a duly called public hearing the Planning Commission considered the application and the propriety of amending the Zoning Ordinance in accordance therewith, and thereafter did submit to this Board its recommendation, and

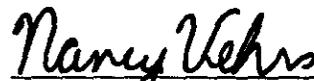
WHEREAS, this Board has today held a duly called public hearing and after due consideration of the reports, recommendation, testimony and facts pertinent to the proposed amendment, the Board is of the opinion that the Ordinance should be amended,

NOW, THEREFORE, BE IT ORDAINED, that that certain parcel of land situated in the Dranesville District, and more particularly described as follows (see attached legal description):

Be, and hereby is, zoned to the PDC District; Commercial Revitalization, Highway Corridor Overlay and Sign Control Overlay Districts, and said property is subject to the use regulations of said R-4 District; Commercial Revitalization, Highway Corridor Overlay and Sign Control Overlay Districts, and further restricted by the conditions proffered and accepted pursuant to Va. Code Ann., §15.2-2303(a), which conditions are in addition to the Zoning Ordinance regulations applicable to said parcel, and

BE IT FURTHER ENACTED, that the boundaries of the Zoning Map heretofore adopted as a part of the Zoning Ordinance be, and they hereby are, amended in accordance with this enactment, and that said zoning map shall annotate and incorporate by reference the additional conditions governing said parcel.

GIVEN under my hand this 2nd day of April, 2001.



Nancy Vehr

Clerk to the Board of Supervisors