



FAIRFAX COUNTY

APPLICATION FILED: September 17, 1998
PLANNING COMMISSION: April 15, 1999
BOARD OF SUPERVISORS: Not Scheduled

V I R G I N I A

March 31, 1999

STAFF REPORT

APPLICATION RZ/FDP 1998-DR-049

DRANESVILLE DISTRICT

APPLICANT: Ralph B. Evans

PRESENT ZONING: R-3

REQUESTED ZONING: PDH-8

PARCEL(S): 30-1 ((1)) 37, 38, 38B, 39, 41, 42, 42B, 92

ACREAGE: 24.14 acres

DENSITY: 6.21 du/ac

OPEN SPACE: 32 percent (7.72 acres)

PLAN MAP: 3-4 du/ac on 14.43 acres
5-8 du/ac on 9.71 acres

PROPOSAL: 150 dwelling units consisting of 46 single family detached units, 68 single family attached units, 36 multi-family units (including 19 affordable dwelling units)

WAIVERS AND MODIFICATIONS: Private street limitation to 600 feet in length; service drive on Dolley Madison Boulevard (Rt. 123); transitional screening and barrier adjacent to Lot 60 and internally between unit types

STAFF RECOMMENDATIONS:

Staff recommends that RZ 1998-DR-049 be approved subject to execution of the draft proffers contained in Appendix 1.

Staff further recommends that FDP 1998-DR-049 be approved subject to the Board of Supervisors approval of RZ 1998-DR-049.

Staff further recommends that the requested waiver of the limitation on the length of private streets be granted; that the requested waiver of the service drive requirement on Dolley Madison Boulevard be granted; that the requested modification of transitional screening and barrier requirements adjacent to Lot 60 be granted; and that the requested modification of transitional screening and barriers internal to the property be granted.

It should be noted that it is not the intent of the staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.



REZONING APPLICATION /
RZ 1998-DR-049

FINAL DEVELOPMENT PLAN
FDP 1998-DR-049

FILED 9/17/98

RALPH B. EVANS

TO REZONE: 24.14 ACRES OF LAND, DISTRICT - DRANESVILLE

PROPOSED: TO REZONE FROM R-3 DISTRICT TO PDH-8 DISTRICT

LOCATED SOUTH OF DOLLEY MADISON BLVD., WEST OF
MAYFLOWER DRIVE, NORTH OF CHAINBRIDGE ROAD AND
EAST OF GREAT FALLS STREET

ZONING: R-3

TO: PDH-8

OVERLAY DISTRICT(S):

TAX MAP

30-1 ((1)) 37, 38, 38B, 39, 41, 42, 42B, 92

FILED 03/05/99

RALPH B. EVANS

FINAL DEVELOPMENT PLAN

PROPOSED: RESIDENTIAL DEVELOPMENT

APPROX. 24.14 ACRES OF LAND, DISTRICT - DRANESVILLE

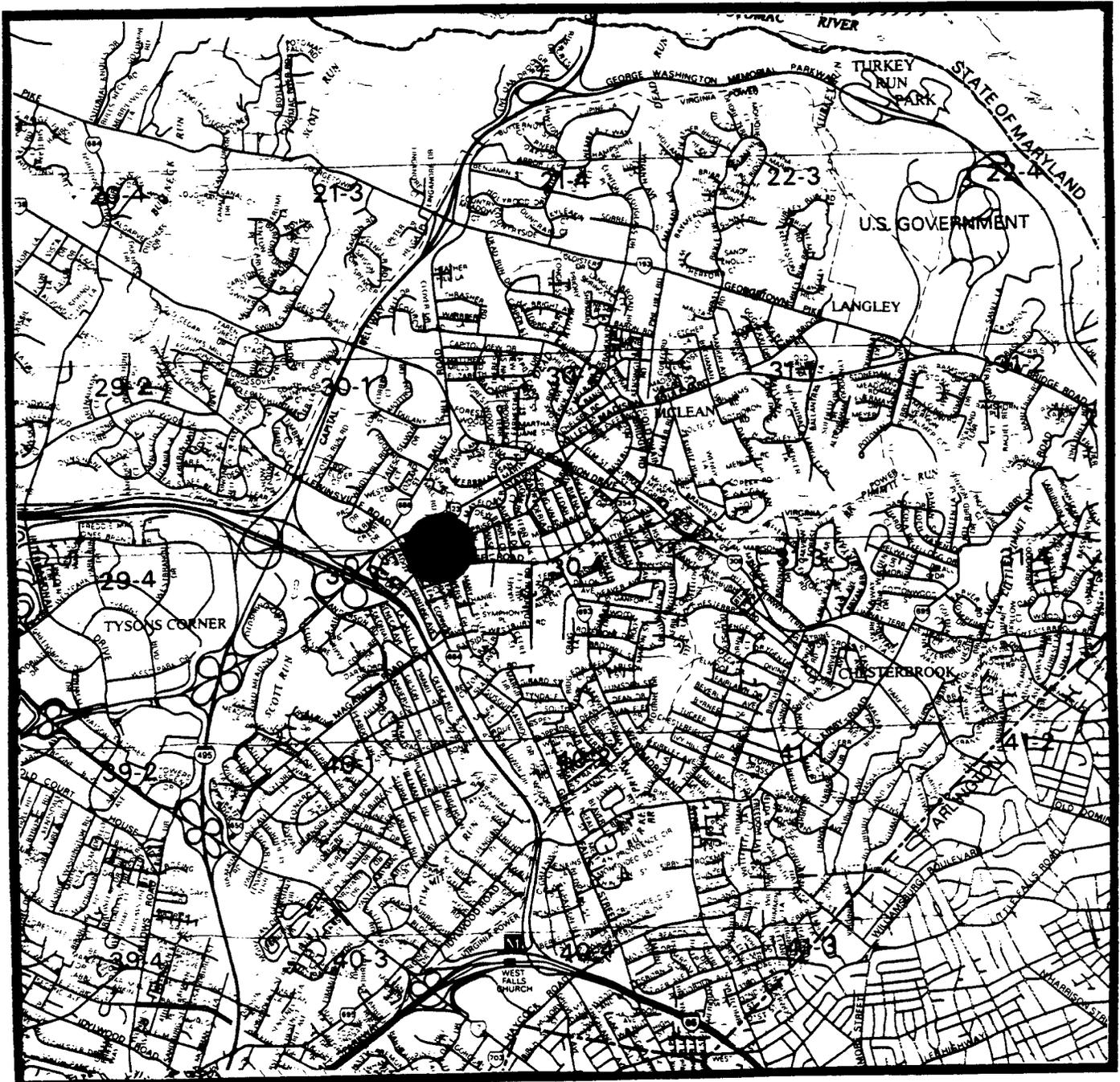
LOCATED: SOUTH OF DOLLEY MADISON BLVD WEST OF MAYFLOWER
DR NORTH OF CHAIN BRIDGE RD EAST OF
GREAT FALLS ST

ZONING: PDH- 8

OVERLAY DISTRICT(S):

MAP REF

030-1- /01/ /0037-	.0038-	.0038-B	.0039-	.0041
030-1- /01/ /0042-	.0042-B	.0092-		



**REZONING APPLICATION /
RZ 1998-DR-049**

**FINAL DEVELOPMENT PLAN
FDP 1998-DR-049**

FILED 9/17/98

RALPH B. EVANS

TO REZONE: 24.14 ACRES OF LAND; DISTRICT - DRANESVILLE
PROPOSED: TO REZONE FROM R-3 DISTRICT TO PDH-8 DISTRICT

LOCATED: SOUTH OF DOLLEY MADISON BLVD., WEST OF
MAYFLOWER DRIVE, NORTH OF CHAINBRIDGE ROAD AND
EAST OF GREAT FALLS STREET

ZONING: R-3

TO: PDH-8

OVERLAY DISTRICT(S):

TAX MAP

30-1 ((1)) 37, 38, 38B, 39, 41, 42, 42B, 92

FILED 03/05/99

RALPH B. EVANS

FINAL DEVELOPMENT PLAN

PROPOSED: RESIDENTIAL DEVELOPMENT

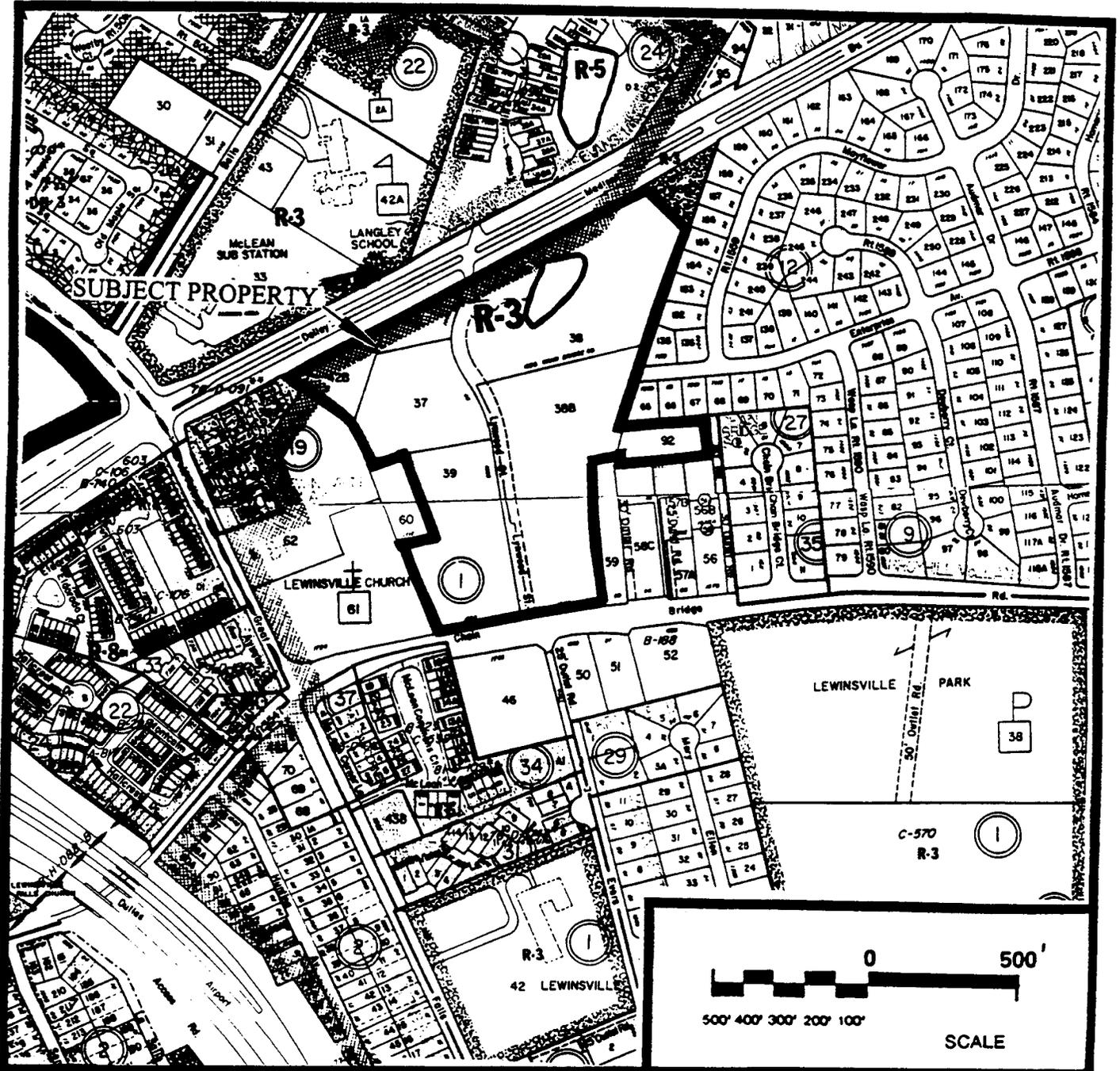
APPROX. 24.14 ACRES OF LAND; DISTRICT - DRANESVILLE
LOCATED: SOUTH OF DOLLEY MADISON BLVD WEST OF MAYFLOWER
DR NORTH OF CHAIN BRIDGE RD EAST OF
GREAT FALLS ST

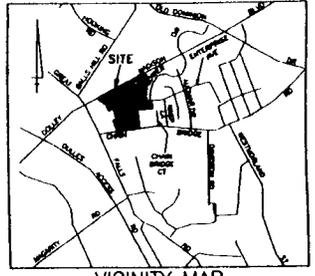
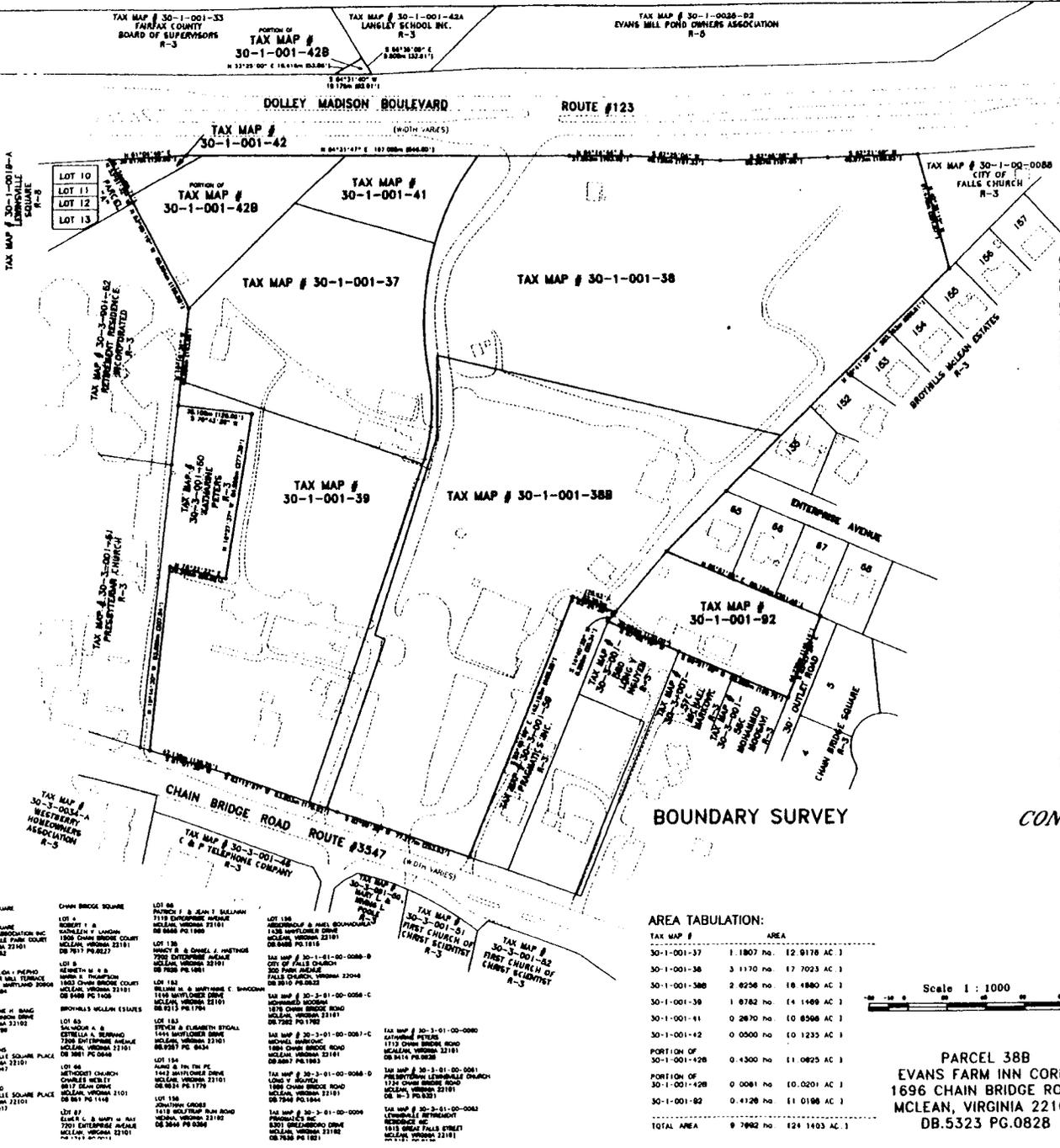
ZONING: PDH-8

OVERLAY DISTRICT(S):

MAP REF

030-1- /01/ /0037-	.0038-	.0038-B	.0039-	.0041
030-1- /01/ /0042-	.0042-B	.0092-		





VICINITY MAP
SCALE: 1" = 1000'

GENERAL NOTES
The property delineated on the plot is located on Fairfax County Tax Assessment Map No. 30-1-001-37, 38, 39, 38, 38, 41, 42, 42B & 92 and is zoned R-3, proposed PDH-B.

PDH-B CDP application notes and tabulations per section 16-501, paragraph 1, Name A Uvu X of the zoning ordinance of the County of Fairfax, Virginia:

- Vicinity map shown hereon.
- Boundary of property shown hereon.
- Total area of the site 24.1403 AC.
- Scale and north arrow shown hereon.
- The property has frontage on Dolley Madison Blvd and Chain Bridge Road Rt. 3547. Proposed traffic circulation plan shown hereon. All internal streets are to be primary, paved and maintained.
- Photogrammetric mapping by Air Survey Corporation of Sterling, VA using Huntley Nyce & Associates Ltd. prerotated horizontal and vertical control with project coordinates and elevations. Topographic contours are shown at 0.3m intervals.
- Open space and proposed community and public areas shown hereon.
- The subject property is proposed to be developed with a mixture of single family detached dwelling units, townhouse units and multi-family dwelling units with alley access to garages located to the rear of the dwelling units. Houses will be set close to the street for a hi town colonial streetscape.
- Proposed improvements to Dolley Madison Blvd and Chain Bridge Road shown hereon. These improvements will be built as part of this development and shall conform to the current Fairfax County and/or VDOT requirements, standards and specifications.
- There are no delineated flood plains or environmental quality corridors/resource protected areas within the site.
- Existing tree location survey shown hereon with proposed preservation.
- On-site storm water detention and on-site best management practice (BMP) will use the existing pond with modifications for the facility.
- There are no known assessments having a width of twenty-five (25) feet or more.
- The existing pond, driveway and trees will be retained on an open area with access for the general public.
- There is no visible evidence of gravesites on the site.
- The site to be serviced by Public Sanitary Sewer and Public water.
- To the best of our knowledge there is no physical evidence of hazardous or toxic substances or material on the site.
- The proposed development schedule is subject to approval by the Fairfax County Board of Supervisors, DEM and subject to market conditions.
- Developer reserves the right to phase the development of the project. This development shall conform to all current and applicable ordinances, regulations and adopted standards except for those waivers, modifications and/or variances requested and approved.

The following Waivers are Requested:

- Private streets longer than 800 ft.
- Waivers of service drives along the frontage of Dolley Madison Blvd and Chain Bridge Road.
- Waiver of private streets 7 ft(2') with parallel parking one side.
- Waiver of private streets 10 ft(3') with parallel parking two sides.
- Waiver of private streets 5 ft with no parking.
- Waiver of private alley 4 ft for access to garages.
- Transitional screening along property line adjacent to Presbyterian Church and parcel 60 (Peteys), including waiver of the additional setbacks required for elderly housing, if applicable.
- Transitional screening along Dolley Madison.
- Waiver of transitional screening and barrier requirement between multifamily and single family detached/attached and between single family detached and single family attached.
- Alternative powers for private streets and alleys.

**CONCEPTUAL DEVELOPMENT PLAN/
FINAL DEVELOPMENT PLAN
EVANS FARM
DRANESVILLE DISTRICT
FAIRFAX COUNTY, VIRGINIA**

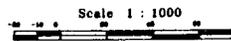
DEVELOPER:
WEST*GROUP
1600 ANDERSON ROAD
MCLEAN, VIRGINIA 22102

OWNERS:
PARCELS 37,38,39,41,42,42B
OLD DOMINION BANK
1696 CHAIN BRIDGE ROAD
MCLEAN, VIRGINIA 22101
DB.3114 PG.0202
DB.3283 PG.0060

PARCEL 92
FIRST VIRGINIA BANK
1696 CHAIN BRIDGE ROAD
MCLEAN, VIRGINIA 22101
DB.4299 PG.0254

AREA TABULATION:

TAX MAP #	AREA
30-1-001-37	1.1807 ha (2 9178 AC)
30-1-001-38	3.1170 ha (7 7023 AC)
30-1-001-38B	2.8256 ha (6 9880 AC)
30-1-001-39	1.8782 ha (4 5498 AC)
30-1-001-41	0.2670 ha (0 6596 AC)
30-1-001-42	0.0500 ha (0 1223 AC)
PORTION OF 30-1-001-42B	0.4300 ha (1 0625 AC)
PORTION OF 30-1-001-42B	0.0061 ha (0 0201 AC)
30-1-001-92	0.4128 ha (1 0198 AC)
TOTAL AREA	9.7992 ha (24 1403 AC)



Huntley, Nyce & Associates, Ltd
CONSULTING ENGINEERS & ARCHITECTS
1700 WILSON BLVD
SUITE 200
MCLEAN, VIRGINIA 22101
TEL: 703-441-1100
FAX: 703-441-1101

EVANS FARM
DRANESVILLE DISTRICT
FAIRFAX COUNTY, VIRGINIA

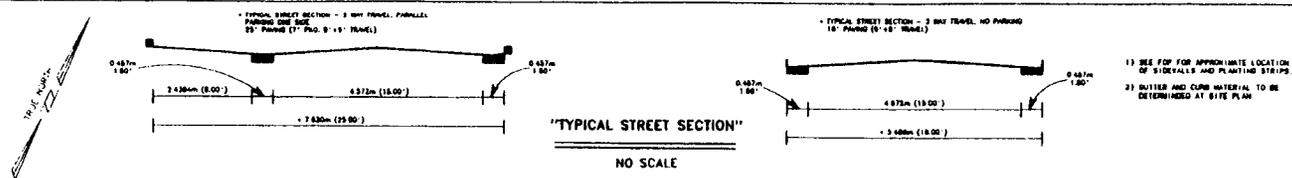
CONCEPTUAL DEVELOPMENT PLAN/FINAL DEVELOPMENT PLAN (ZONING PLAN)

SCALE 1:1000
DATE 07-23-98

REVISIONS:

08-10-98	
12-03-98	
01-21-99	
05-29-99	

SHEET 1 of 7
PL-293J

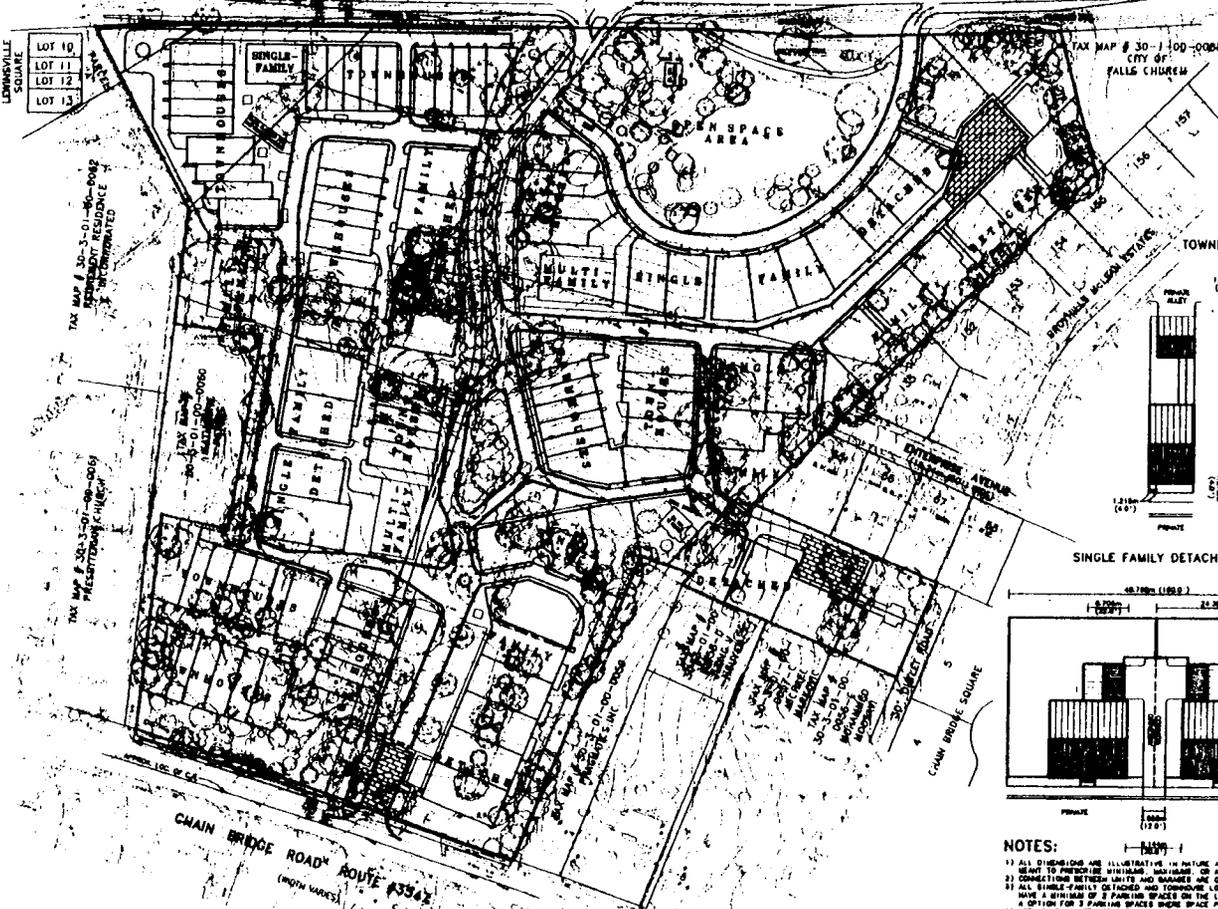


TAX MAP # 30-1-001-33
FAIRFAX COUNTY
BOARD OF SUPERVISORS
R-3

TAX MAP # 30-1-001-42A
LANGLEY SCHOOL INC
R-3

TAX MAP # 30-1-0025-B2
EVANS MILL FOND OWNERS ASSOCIATION
R-5

DOLLEY MADISON BOULEVARD
ROUTE #123
(WIDTH VARIES)



SITE TABULATION:

EXISTING ZONING: R-3
PROPOSED ZONING: R-3
EXISTING AREA: 8.7662 AC (24,140.3 AC I)
PROPOSED AREA: 8.7662 AC (24,140.3 AC I)

1. SINGLE-FAMILY DETACHED: 100 UNITS
2. SINGLE-FAMILY ATTACHED: 100 UNITS
3. MULTI-FAMILY (CONDO): 100 UNITS
TOTAL: 300 UNITS

PROPOSED DENSITY:

1. SINGLE-FAMILY DETACHED: 1.15 UNITS/AC
2. SINGLE-FAMILY ATTACHED: 1.15 UNITS/AC
3. MULTI-FAMILY (CONDO): 1.15 UNITS/AC
TOTAL: 3.45 UNITS/AC

MARKET RATE DENSITY:

1. SINGLE-FAMILY DETACHED: 1.15 UNITS/AC
2. SINGLE-FAMILY ATTACHED: 1.15 UNITS/AC
3. MULTI-FAMILY (CONDO): 1.15 UNITS/AC
TOTAL: 3.45 UNITS/AC

ADU UNITS:

1. SINGLE-FAMILY DETACHED: 100 UNITS
2. SINGLE-FAMILY ATTACHED: 100 UNITS
3. MULTI-FAMILY (CONDO): 100 UNITS
TOTAL: 300 UNITS

PERMITTED DENSITY:

1. SINGLE-FAMILY DETACHED: 1.15 UNITS/AC
2. SINGLE-FAMILY ATTACHED: 1.15 UNITS/AC
3. MULTI-FAMILY (CONDO): 1.15 UNITS/AC
TOTAL: 3.45 UNITS/AC

PARKING REQUIRED:

1. SINGLE-FAMILY DETACHED: 1.15 SPACES/UNIT
2. SINGLE-FAMILY ATTACHED: 1.15 SPACES/UNIT
3. MULTI-FAMILY (CONDO): 1.15 SPACES/UNIT
TOTAL: 3.45 SPACES/UNIT

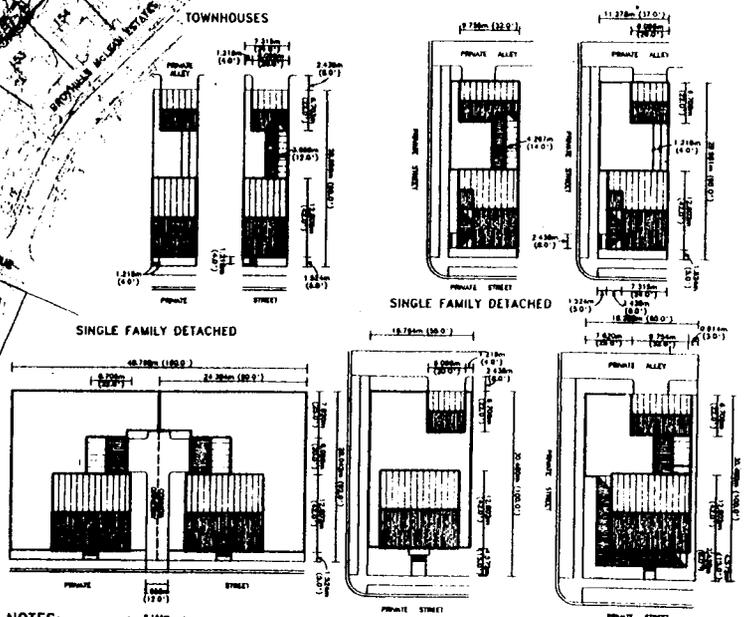
OPEN SPACE REQUIRED:

1. SINGLE-FAMILY DETACHED: 1.15 AC/UNIT
2. SINGLE-FAMILY ATTACHED: 1.15 AC/UNIT
3. MULTI-FAMILY (CONDO): 1.15 AC/UNIT
TOTAL: 3.45 AC/UNIT

MAXIMUM PERMITTED DENSITY WITH ADU UNITS:

1. SINGLE-FAMILY DETACHED: 1.15 UNITS/AC
2. SINGLE-FAMILY ATTACHED: 1.15 UNITS/AC
3. MULTI-FAMILY (CONDO): 1.15 UNITS/AC
TOTAL: 3.45 UNITS/AC

TOWNHOUSES



"TYPICAL LOT CONFIGURATION"

NO SCALE

- NOTES:**
1. ALL DIMENSIONS ARE ILLUSTRATIVE IN NATURE AND NOT MEANT TO PRESCRIBE MINIMUMS, MAXIMUMS, OR AVERAGE.
 2. CONNECTIONS BETWEEN UNITS AND GARAGE ARE OPTIONAL.
 3. ALL SINGLE-FAMILY DETACHED AND TOWNHOUSE UNITS WILL HAVE A MINIMUM OF 3 PARKING SPACES PER UNIT WITH AN OPTION FOR 3 PARKING SPACES INSIDE SPACE PER UNIT.
 4. ADU UNITS MAY BE BUILT ON THE SOUTH SIDE OF LOTS WITH UNITS WITHOUT REQUIRING APPROVAL OF AN AMENDED COPY/PP, PROVIDED THAT SUCH UNITS ARE IN SUBSTANTIAL CONFORMANCE WITH THE COPY/PP AND DO NOT INCREASE THE NUMBER OF UNITS OR DECREASE THE AMOUNT OF OPEN SPACE BELOW THE MINIMUM REQUIRED.
 5. THE SPACING BETWEEN INDIVIDUAL TOWNHOUSE UNITS, IF ANY, IS TO BE DETERMINED BY SITE PLAN.
 6. THE LOCATION AND DIMENSIONS OF UNITS ARE ILLUSTRATIVE IN NATURE. EXACT CONFIGURATION IS TO BE DETERMINED AT FINAL SITE PLAN.
 7. UNITS SHOWN WITH PORCHES ARE ILLUSTRATIVE IN NATURE AND NOT INTENDED TO DESIGNATE WHICH UNITS WILL HAVE PORCHES.

LAND PLANNING
BY
DUANY PLATER - ZYBERK & COMPANY
ARCHITECTS AND URBAN PLANNERS



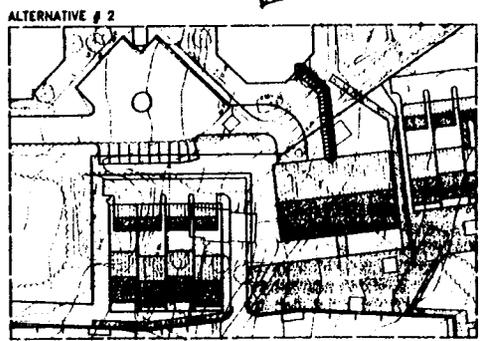
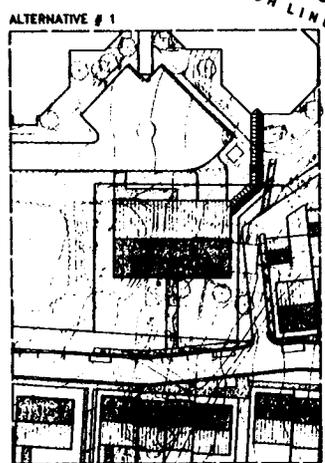
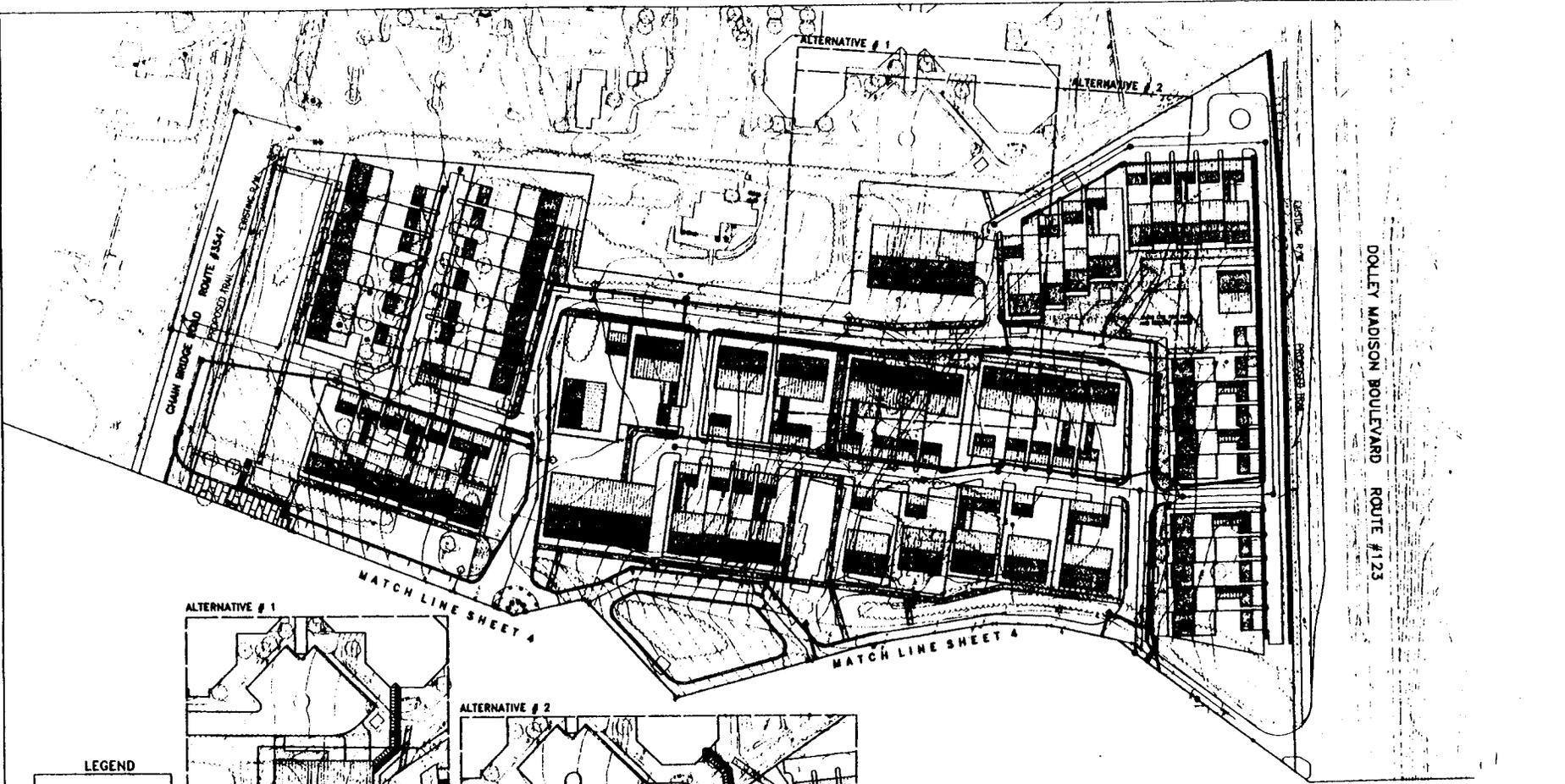
EVANS FARM
FAIRFAX COUNTY, VIRGINIA
CONCEPTUAL DEVELOPMENT PLAN/FINAL DEVELOPMENT PLAN (CDP)

SCALE: 1/1000

DATE: 07-23-08

REVISIONS:

09-10-08
12-03-08
01-23-09
03-09-09



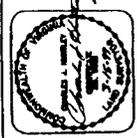
LEGEND

-  SPECIAL PARKING AREA
-  WALKWAYS
-  WALLS

FDP NOTES

1. THIS CONCEPTUAL DEVELOPMENT PLAN (FDP) IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE FINAL DEVELOPMENT PLAN (FDP) WILL BE SUBMITTED TO THE LOCAL GOVERNMENT FOR REVIEW AND APPROVAL. THE LOCAL GOVERNMENT WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE LOCAL GOVERNMENT WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE LOCAL GOVERNMENT WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

Huntley, Nyce & Associates, LTD
 CONSULTING ENGINEERS & LAND PLANNERS
 7000 WOODBURN BLVD., SUITE 100
 WOODBURN, VIRGINIA 22195
 (703) 596-1100
 FAX: (703) 596-1101



EVANS FARM
 PRANKSVILLE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

CONCEPTUAL DEVELOPMENT PLAN/FINAL DEVELOPMENT PLAN (FDP)

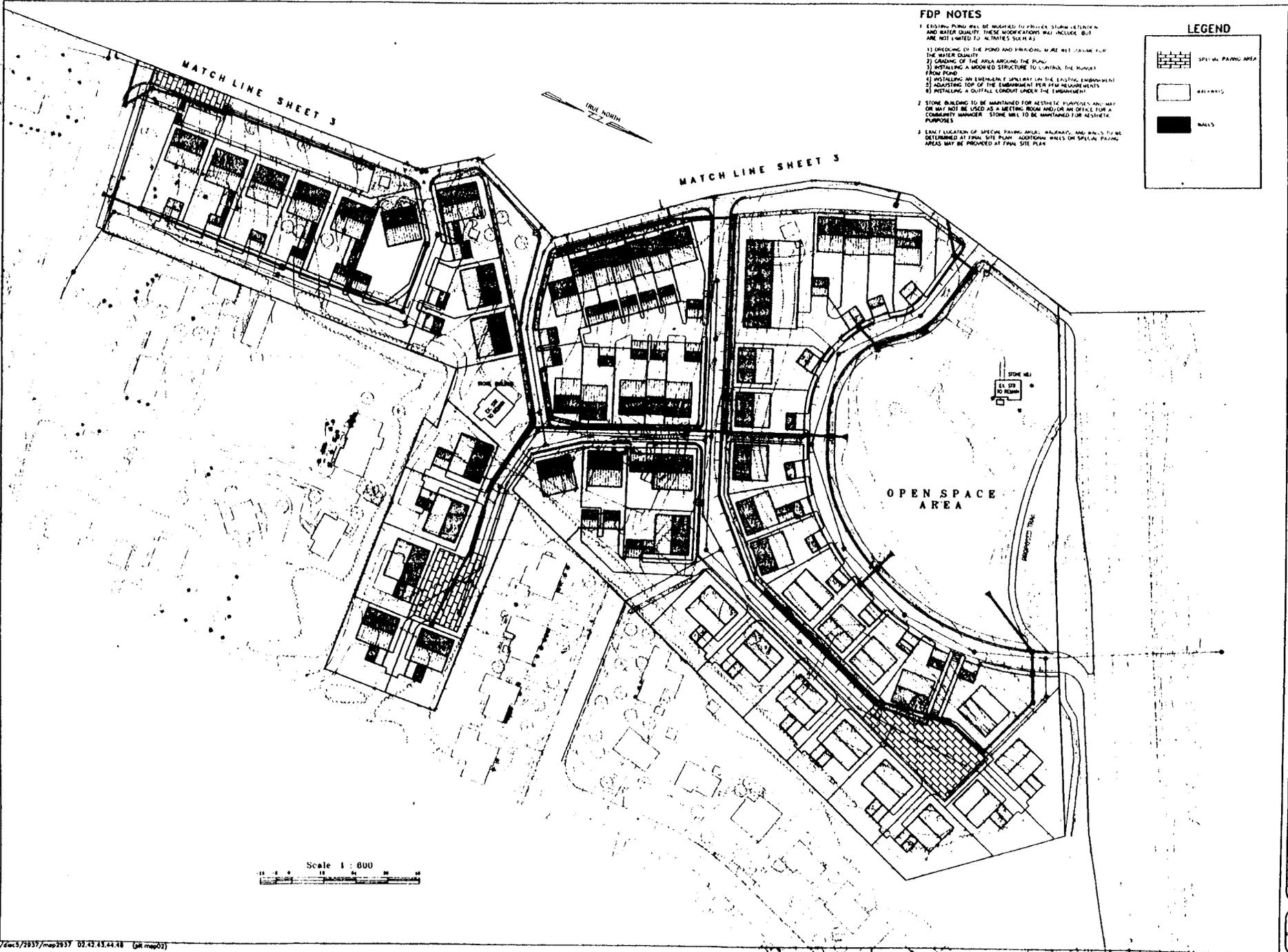
SCALE: 1" = 600'

DATE: 12-03-88

REVISIONS

01-21-89	
02-18-89	
03-08-89	

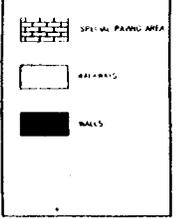
SHEET
 3 of 7
 FILE NO.
 PL-2937



FDP NOTES

- 1 EXISTING POND WILL BE MODIFIED TO IMPROVE STORM RETENTION AND WATER QUALITY. THESE MODIFICATIONS WILL INCLUDE, BUT ARE NOT LIMITED TO, ACTIVITIES SUCH AS:
 - 1) SLOTTING OF THE POND AND PROVISIONAL WRE NET TO INCREASE THE WATER QUALITY.
 - 2) GRADING OF THE AREA AROUND THE POND.
 - 3) INSTALLING A WOODEN STRUCTURE TO CONTROL THE FLOW OF WATER FROM POND.
 - 4) INSTALLING AN EMBANKMENT WALL ALONG THE EXISTING EMBANKMENT.
 - 5) ADJUSTING TOP OF THE EMBANKMENT PER PER MEASUREMENTS.
 - 6) PROTECTING A GUTTER RUNOUT UNDER THE EMBANKMENT.
- 2 STONE BUILDING TO BE MAINTAINED FOR AESTHETIC PURPOSES AND MAY OR MAY NOT BE USED AS A MEETING ROOM AND/OR AN OFFICE FOR A COMMUNITY MANAGER. STONE WALL TO BE MAINTAINED FOR AESTHETIC PURPOSES.
- 3 EXACT LOCATION OF SPECIAL PAVING AREA, WALKWAYS, AND WALLS TO BE DETERMINED AT FINAL SITE PLAN. ADDITIONAL WALLS ON SPECIAL PAVING AREA MAY BE PROVIDED AT FINAL SITE PLAN.

LEGEND



Huntley, Nyce & Associates, LTD
 7000 WOODBURN BLVD. SUITE 100
 FARMINGTON, CT 06030
 860-639-1111
 860-639-1112
 860-639-1113
 860-639-1114
 860-639-1115
 860-639-1116
 860-639-1117
 860-639-1118
 860-639-1119
 860-639-1120

EVANS FARM
 DRAINAGE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

CONCEPTUAL DEVELOPMENT PLAN/FINAL DEVELOPMENT PLAN (FDP)

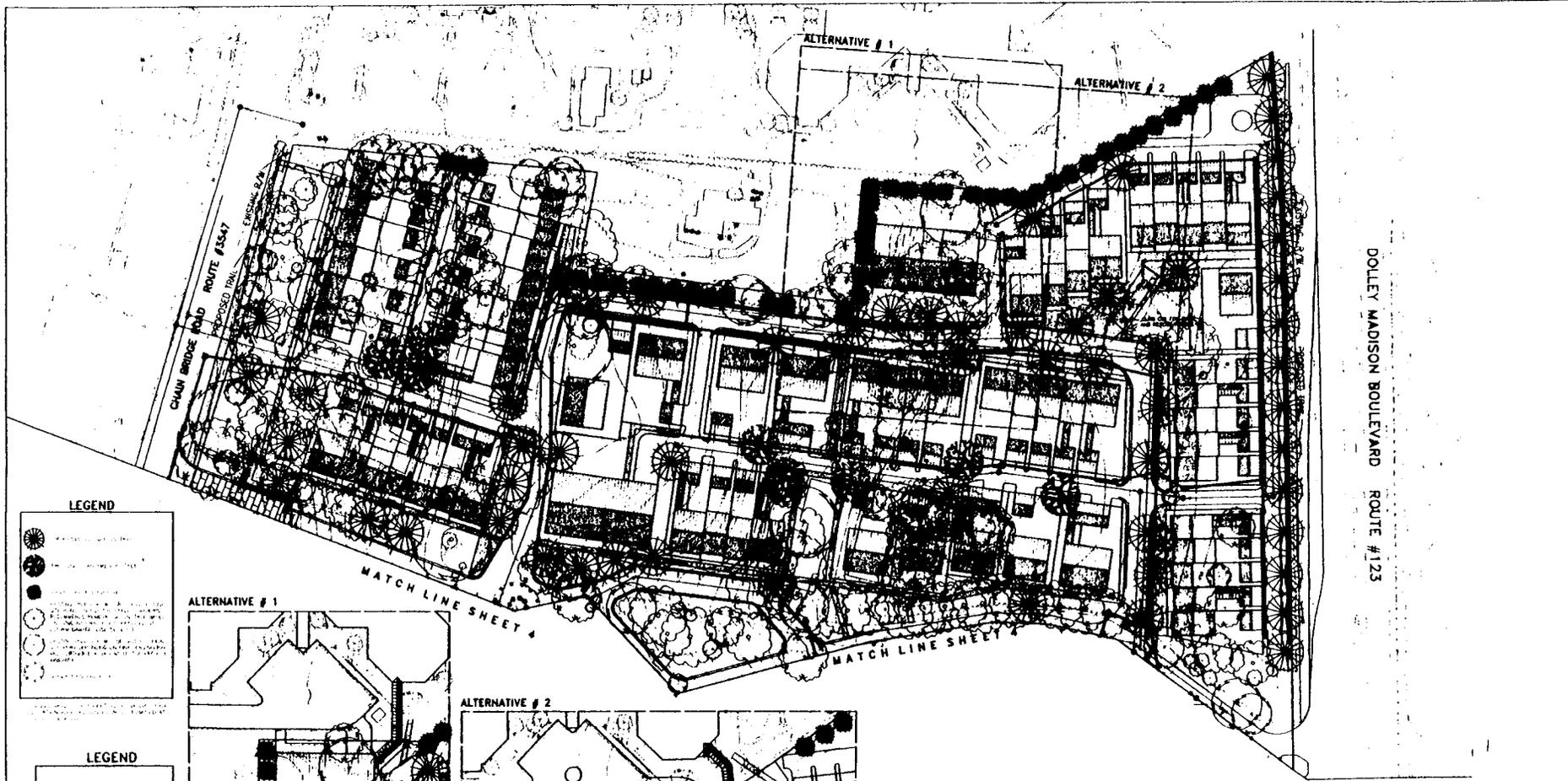
SCALE: 1 : 800

DATE: 12-03-08

REVISIONS:

01-21-09	
03-02-09	

SHEET
 4 OF 7
 FILE NO.
 P. 937

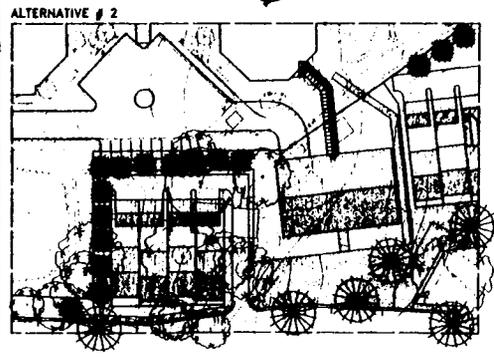
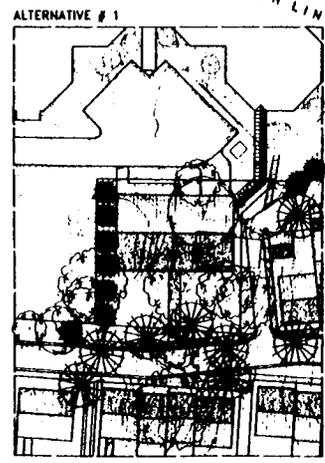


LEGEND

- PROPOSED BUILDING FOOTPRINT
- PROPOSED PARKING AREA
- PROPOSED WALKWAY
- PROPOSED WALL
- PROPOSED TREE
- PROPOSED SHRUB
- PROPOSED FLOWERING SHRUB
- PROPOSED FLOWERING TREE
- PROPOSED TREE WITH FRUIT
- PROPOSED TREE WITH SEEDLING
- PROPOSED TREE WITH SAPLING
- PROPOSED TREE WITH SEEDLING AND SAPLING
- PROPOSED TREE WITH SAPLING AND SEEDLING
- PROPOSED TREE WITH SEEDLING AND SAPLING AND SEEDLING
- PROPOSED TREE WITH SAPLING AND SEEDLING AND SAPLING
- PROPOSED TREE WITH SEEDLING AND SAPLING AND SAPLING
- PROPOSED TREE WITH SAPLING AND SEEDLING AND SAPLING AND SEEDLING
- PROPOSED TREE WITH SEEDLING AND SAPLING AND SAPLING AND SEEDLING AND SAPLING
- PROPOSED TREE WITH SAPLING AND SEEDLING AND SAPLING AND SEEDLING AND SAPLING AND SEEDLING
- PROPOSED TREE WITH SEEDLING AND SAPLING AND SAPLING AND SEEDLING AND SAPLING AND SEEDLING AND SAPLING
- PROPOSED TREE WITH SAPLING AND SEEDLING AND SAPLING AND SEEDLING AND SAPLING AND SEEDLING AND SAPLING AND SEEDLING
- PROPOSED TREE WITH SEEDLING AND SAPLING AND SAPLING AND SEEDLING AND SAPLING AND SEEDLING AND SAPLING AND SEEDLING AND SAPLING
- PROPOSED TREE WITH SAPLING AND SEEDLING AND SAPLING AND SEEDLING AND SAPLING AND SEEDLING AND SAPLING AND SEEDLING AND SAPLING AND SEEDLING

LEGEND

- SPECIAL PAVING AREA
- WALKWAYS
- WALLS



DOLLEY MADISON BOULEVARD ROUTE #123

Huntley, Lyce & Associates, LLC
 ARCHITECTS • CIVIL ENGINEERS • LAND PLANNERS
 7000 WOODLARK DRIVE, SUITE 2000
 FARMINGTON, CT 06030
 860-271-7000 FAX
 1000 W. BROADWAY, SUITE 1000
 NEW YORK, NY 10001
 212-779-1111 FAX



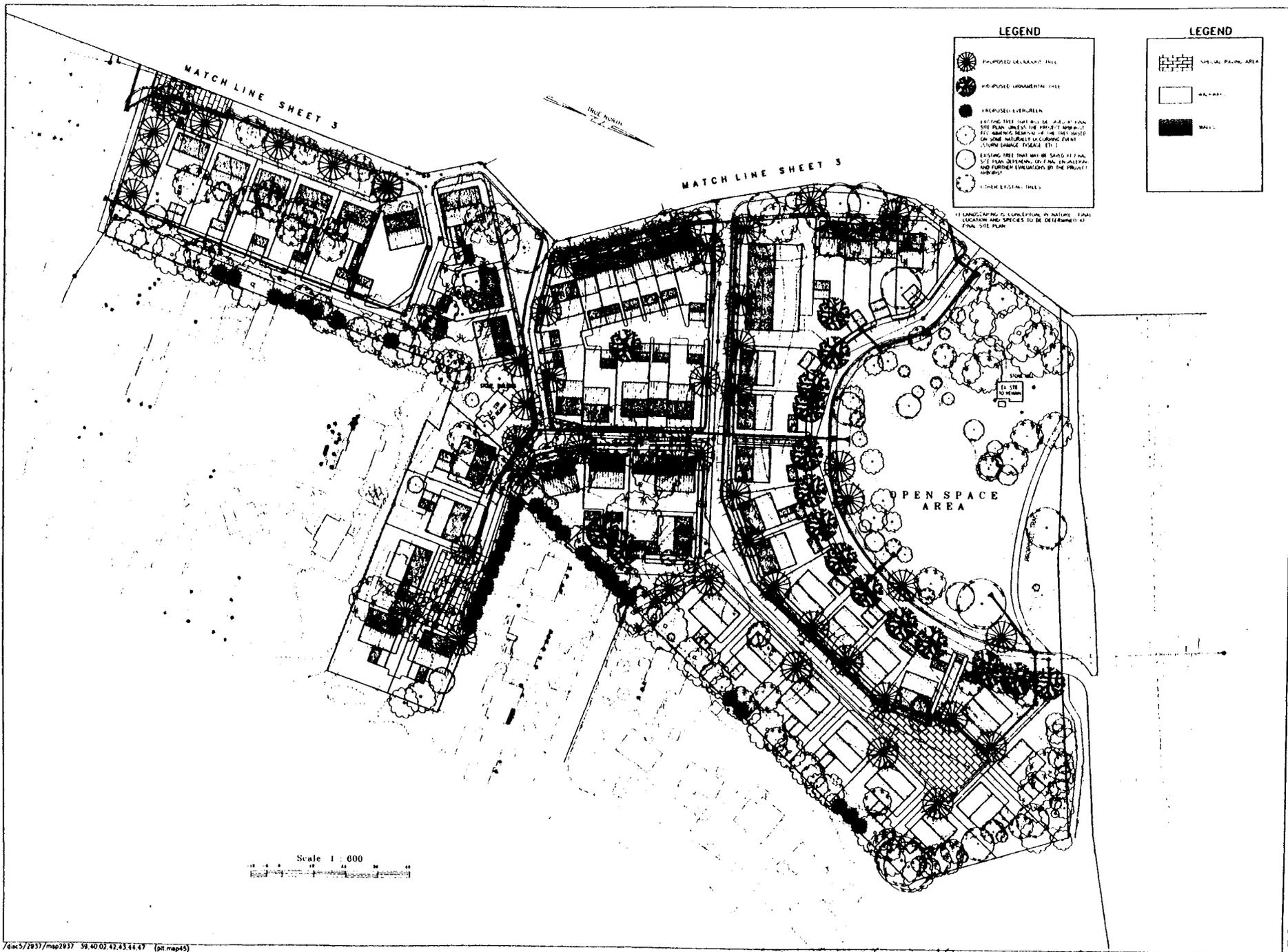
EVANS FARM
 CHANESVILLE DISTRICT
 FAIRFAX COUNTY, VIRGINIA
 CONCEPTUAL DEVELOPMENT PLAN/FINAL DEVELOPMENT PLAN (FDP)

SCALE: 1/8" = 1'-0"

DATE: 12-03-98

REVISIONS:

01-21-99	
02-26-99	
03-09-99	



- LEGEND**
- PROPOSED DECIDUOUS TREE
 - PROPOSED ORNAMENTAL TREE
 - PROPOSED EVERGREEN
 - EXISTING TREE THAT MAY BE SAVED AT FINAL SITE PLAN UNLESS THE PROJECT APPROXIMATELY REQUIRES REMOVAL OF THE TREE DUE TO ON-SITE MATERIALS OR CONFLICTING EVENT (COURTSHANE, TRUCKS, ETC.)
 - EXISTING TREE THAT MAY BE SAVED AT FINAL SITE PLAN UNLESS THE PROJECT APPROXIMATELY REQUIRES REMOVAL OF THE TREE DUE TO ON-SITE MATERIALS OR CONFLICTING EVENT (COURTSHANE, TRUCKS, ETC.)
 - OTHER EXISTING TREES

- LEGEND**
- VISUAL PARKING AREA
 - WALKWAY
 - WALL

IF LANDSCAPING IS CONCEPTUAL IN NATURE, FINAL LOCATION AND SPECIES TO BE DETERMINED AT FINAL SITE PLAN.

Scale 1:600

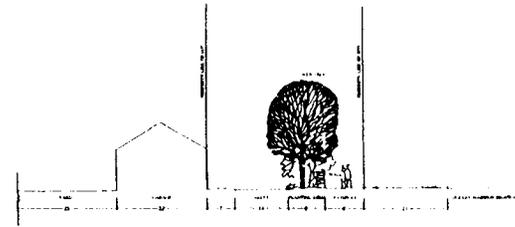
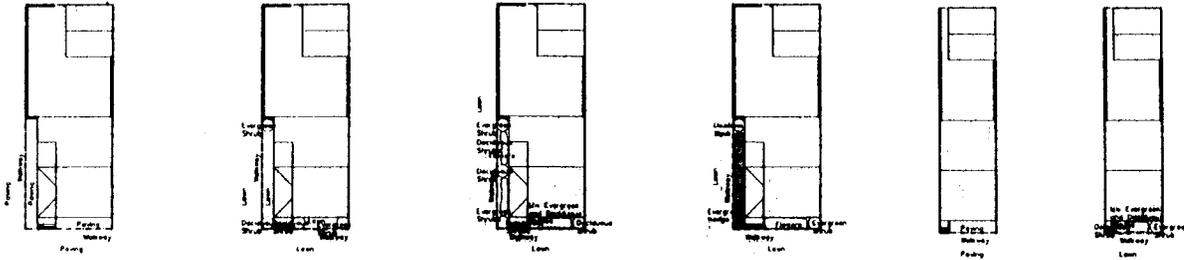
MURPHY, VIV & ASSOCIATES, INC.
 CIVIL ENGINEERS • LAND PLANNERS
 7000 FOWLER ST.
 FARMINGTON, MISSISSIPPI 39235
 601-770-7000
 4815 S. BARNETT, MEMPHIS, TENNESSEE 38117
 901-725-0700 FAX 901-725-0700

EVANS FARM
 FARMINGTON, MISSISSIPPI
 FAIRFAX COUNTY, VIRGINIA
 CONCEPTUAL LANDSCAPE DEVELOPMENT PLAN (LANDSCAPE)

SCALE: 1:600
 DATE: 12-03-98
 REVISIONS:
 01-21-99
 03-09-99

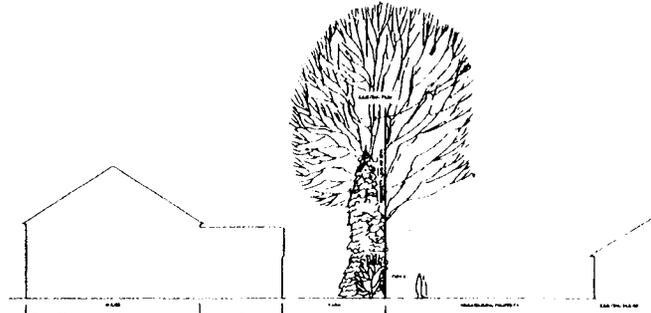
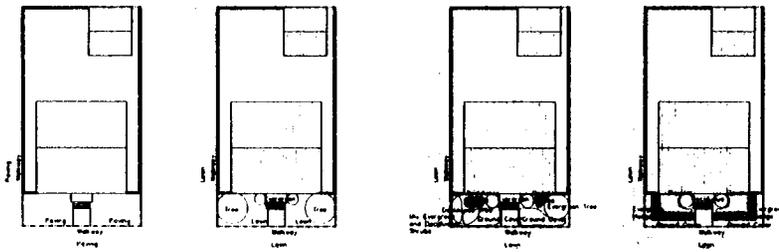
SHEET
 6 of 7
 FILE NO.

TOWNHOUSE UNITS



(EXACT WALL AND/OR FLOOR ELEVATION TO BE DETERMINED AT SITE PLAN)

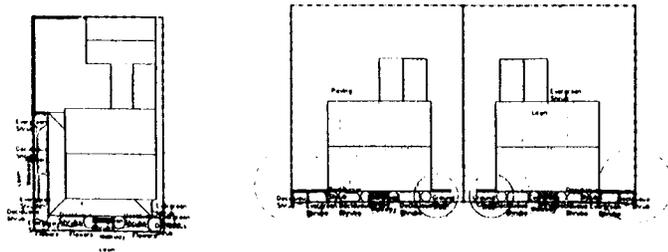
TYPICAL FOUNDATION PLANTING PLANS



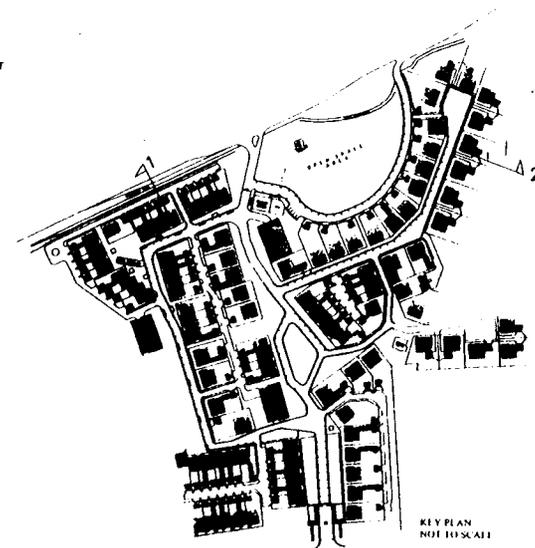
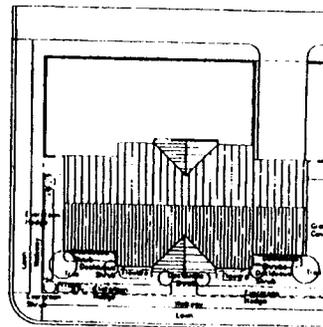
(EXACT WALL AND/OR FLOOR ELEVATION TO BE DETERMINED AT SITE PLAN)

NOTES:
1) TYPICAL FOUNDATION PLANTING ARE ILLUSTRATIVE IN NATURE. EXACT FOUNDATION PLANTING PLANS TO BE DETERMINED AT FINAL SITE PLAN

SINGLE FAMILY DETACHED UNITS



MULTI-FAMILY UNITS



Turner, Nye & Associates, LLC
 200 West 10th Street, Suite 100
 Fairport, Virginia 22024
 Phone: 800-368-5467
 Fax: 800-368-5467
 Website: www.turner-nye.com



EVANS FARM
 DRANESVILLE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

DETAILS

SCALE	DATE
FIGURE	REVISIONS

SHEET 7 OF 7
 PAGE NO. 2937



**A GLOSSARY OF TERMS FREQUENTLY
USED IN STAFF REPORTS WILL BE
FOUND AT THE BACK OF THIS REPORT**

DESCRIPTION OF THE APPLICATION

The applicant, Ralph B. Evans, requests that the application property of 24.14 acres be rezoned from the R-3 District to the PDH-8 District. The site is proposed to be developed with 150 dwelling units at a density of 6.21 dwelling units per acre, including the required affordable dwelling units, in a neo-traditional design. The proposed unit mix is 46 single family detached units, 68 single family attached units, and 36 multi-family units. The nineteen (19) affordable dwelling units would be located within the multi-family structures. The applicant is discussing, but has not finalized, an option to provide the ADUs as elderly housing units, which would be an expansion of the Lewinsville Retirement Residence located immediately west of the property. The submitted Conceptual/Final Development Plan includes optional layouts reflecting this option. The eating establishment originally included in the proposal has been deleted. Thirty-two (32) percent, or approximately 7.72 acres of the property, is shown to be open space.

The application includes requests to waive the service drive requirement along Dolley Madison Boulevard (Rt. 123) and Chain Bridge Road (Rt. 3547); waive the limitation on the length of private streets; waive transitional screening along the western and northern boundaries; and waive the barrier and transitional screening yard requirements internal to the proposed development. However, as discussed in greater detail below, neither the requested waiver of the service drive on Chain Bridge Road nor the requested waivers of transitional screening and barriers, except in the vicinity of Lot 60, are required. In addition, prior to the approval of the site plan, additional waivers of the width of private streets will be required to accommodate the proposed neo-traditional neighborhood design scheme.

The applicant is requesting approval of both a Conceptual and a Final Development Plan. The submitted plan is a combined Conceptual/Final Development Plan (CDP/FDP).

A reduced copy of the proposed combined Conceptual/Final Development Plan is included in the front of this report. The applicant's draft proffers are included as Appendix 1. The applicant's affidavit is Appendix 2 and the applicant's statements regarding the application are included as Appendix 3.

LOCATION AND CHARACTER

The application property is generally located between Dolley Madison Boulevard to the north and Chain Bridge Road to the south, approximately 600 feet east of Great Falls Street (Rt. 694). A 0.20 acre portion of the application property is located across

Dolley Madison Boulevard from the main part of the property. A private street, Lynwood Street, bisects the property. The property is the site of the Evans Farm Inn, a restaurant originally approved by special permit in 1956. The main parking area for the restaurant is located on the Chain Bridge Road side of the property. The portion of the site located adjacent to Dolley Madison Boulevard is the site of a pond and pastures used as part of the 'farm' element of Evans Farm Inn. The site also includes several other structures, including three dwellings; buildings used as a photography studio, a design gallery and an art gallery; several outbuildings associated with the farm use; and a mill building adjacent to the pond. The property rises from Dolley Madison Boulevard to a ridge line located approximately 430 feet from Chain Bridge Road. The existing restaurant is located at this ridge line.

The Evans Farm Inn property is located in an area characterized by various types and densities of residential development. The Evans Mill Pond townhouse development is located opposite the subject property north of Dolley Madison Boulevard. This subdivision is planned for 3-4 dwelling units per acre, is zoned R-5 and is developed at 3.75 dwelling units per acre. The Broyhill McLean Estates single-family detached subdivision, built in 1958, is located on both the north and south sides of Dolley Madison Boulevard, east of the subject property. It is planned for 2-3 dwelling units per acre and is zoned R-3. The Chain Bridge Square single-family detached subdivision, located east of the Evans Farm Inn property, with access to Chain Bridge Road, is on land planned for 3-4 dwelling units per acre, has a density of approximately 3.3 dwelling units per acre, and is zoned R-3. Nine (9) lots are located between Chain Bridge Square and the Evans Farm Inn property; they are planned for 3-4 dwelling units per acre and contain single-family detached dwellings built at various times; these lots vary in size from 0.25 acres to 0.85 acres and are zoned R-1. A Bell Atlantic communications facility and a townhouse subdivision, zoned R-5, are located on the south side of Chain Bridge Road. This area is planned 5-8 du/ac. Tax Map Parcel 30-3 ((1)) 60 is 0.85 acres in size and is surrounded on three (3) sides by the western boundary of the Evans Farm Inn property. This parcel contains a single-family detached dwelling, is zoned R-3, but is not part of a subdivision. The Lewinsville Church is located in the northeast quadrant of the intersection of Great Falls Street and Chain Bridge Road, touching the western boundary of the Evans Farm Inn property. There is an apartment complex for the elderly, the Lewinsville Retirement Residence, on Parcel 62, adjacent to the western boundary of Evans Farm Inn. The density is about 38 dwellings per acre and the facility is affiliated with the Lewinsville Presbyterian church, which is on parcel 61. The Lewinsville Square townhouses are located in the southeast quadrant of the intersection of Dolley Madison Boulevard and Great Falls Street. This property is planned for 5-8 dwelling units per acre, is zoned R-8, and is developed at a density of 8 dwelling units per acre.

SURROUNDING AREA DESCRIPTION			
Direction	Use	Zoning	Plan Map
North	Evans Mill Pond	R-5	3-4 du/ac
	Langley School	R-1	3-4 du/ac
	Dranesville Government Center	R-1	Institutional
South	Bell Atlantic Switching Center	R-1	5-8 du/ac
	Single Family Detached	R-1	2-3 du/ac
East	Broyhill Estates	R-3	2-3 du/ac
	Chain Bridge Square	R-3	3-4 du/ac
	Single Family Detached	R-1	3-4 du/ac
West	Lewinsville Presbyterian Church	R-1	5-8 du/ac
	Lewinsville Retirement Residence	R-1	5-8 du/ac
	Lewinsville Square	R-8	5-8 du/ac

BACKGROUND

Evans Farm Inn

- June 12, 1956 Special Permit approved to permit erection and operation of a tea room
- October 16, 1958 Certificate of Occupancy for the restaurant issued
- April 10, 1974 Special Permit S-10-74 approved to allow sale of products from the farm and an expansion of the restaurant (Tax Map Parcels 37, 38, 39, 41)
- August 19, 1998 Notice of Violation issued with regard to the Jeff Lubin Photography Studio on Tax Map Parcel 92 for operating a business in a residential district
- September 17, 1998 Appeal of Notice of Violation filed (A 1998-DR-032)
- January 19, 1999 Public hearing held on Appeal A 1998-DR-032; decision deferred for six (6) months to allow for relocation of studio

Out-of-Turn Plan Amendment S98-II-M1

- October 12, 1998 Board of Supervisors authorized Plan Amendment S98-II-M1 to include an option for park use on the rezoning application property in the Comprehensive Plan
- December 30, 1998 Staff Report published recommending that the Comprehensive Plan be amended to include option for park use on the property

- February 11, 1999 Planning Commission hearing held and decision deferred to March 4, 1999
- March 4, 1999 Planning Commission recommended to the Board of Supervisors not to amend the Comprehensive Plan
- March 8, 1999 Board of Supervisors public hearing held after which the Board decided not to amend the Comprehensive Plan

COMPREHENSIVE PLAN PROVISIONS (Appendix 5)

Plan Area: II
Planning District: McLean Planning District
Planning Sector: Kirby Community Planning Sector - M3

The adopted Comprehensive Plan text does not include any site specific text that is applicable to the application property.

The Comprehensive Plan Map shows this property to be planned for 3-4 du/ac east of Lynwood Street (14.43 acres) and 5-8 du/ac west of Lynwood Street (9.71 acres).

ANALYSIS

Conceptual/Final Development Plan (Reduction at front of staff report)

Title of CDP/FDP: Evans Farm
Prepared By: Huntley, Nyce & Associates, Ltd.
Original and Revision Dates: July 23, 1998 as revised through March 9, 1999

Description of Each Sheet

The combined Conceptual/Final Development Plan consists of seven (7) sheets done in a metric scale.

- The first sheet includes a boundary survey at 1000 scale, a vicinity map, an area tabulation that identifies the size of each of the parcels included in the application property and the General Notes.
- The second sheet is identified as the Conceptual Development Plan (CDP) and includes a plan view of the proposed project at 1000 scale showing the proposed lot layout. The lot layout is superimposed on a base that depicts the site's topography, as well as the existing trees and structures. This sheet also includes the tabulations, 'Typical Street Sections' and 'Typical Lot Configuration' along with notes which are specific to the two typical illustrations.

- The third sheet is a 600 scale depiction of the western portion of the proposed development that includes the proposed buildings, the pedestrian pathway system and notes pertaining to the FDP submission requirements. This sheet also includes three (3) alternative layouts: two (2) alternatives apply to the possibility that the multi-family building on the western boundary may, as be developed as elderly housing, as an expansion of the Lewinsville Retirement Residence, and would be used to meet the ADU requirement. The third alternative addresses a circumstance where additional parking for the Lewinsville Presbyterian Church would be constructed on the western boundary of the application property.
- The fourth sheet is a 600 scale depiction of the area east of Lynwood Street and depicts the same categories of features as Sheet 3. This area includes the two (2) existing structures which are proposed to remain on site, the stone mill adjacent to the pond, and a stone building near the center of the eastern boundary.
- The fifth and sixth sheets show the same portions of the site as the previous two (2) sheets; however, they also include the proposed landscaping. The depicted landscaping includes trees to be planted, existing trees to be saved, and existing trees that may be saved upon final engineering analysis.
- The final sheet, Sheet 7, includes typical foundation planting layouts and wall designs given the variety of possible layouts of individual lots. Two (2) sections, showing the landscaping scheme proposed on Dolley Madison Boulevard and along the boundary with Broyhill Estates, are also included on Sheet 7.

While architectural illustrations are not included with the CDP/FDP, such illustrations are included as Exhibit A to the proffers.

General Description and Character of the Proposed Development

The layout for the proposed Evans Farm subdivision is based on a style that is known as "neo-traditional" or "village style", rather than the suburban-style subdivision that is more the norm in Northern Virginia. Kentlands, Maryland, is a local example of this design/planning approach. This pattern of development is characterized by narrower streets, with parallel parking along the streets; homes located closer to the streets than is typical in suburban style design, with setbacks from the sidewalk of five (5) to fifteen (15) feet; garages provided in most instances and typically accessed from alleys, rather than from the street; sidewalks on both sides of the streets; differing units types mixed together and in close proximity to each other; small pocket parks within the development; and smaller back yards than a typical suburban development, more like English-style gardens.

As noted in the description of the application property, a 0.02 acre portion is located north of Dolley Madison Boulevard. This land is to remain open space. As such, the remainder of this report will not address this land, but will focus on

the main part of the development consisting of 24.12 acres located between Dolley Madison Boulevard and Chain Bridge Road.

For the sake of discussion, the site will be divided and described as the "western portion" and the "eastern portion" for much of the following discussion. The dividing line between the two portions is Lynwood Street.

Access

The main entrance to the project is to be from Chain Bridge Road. This entrance will provide all turning movements. Secondary access is shown from Dolley Madison Boulevard, in approximately the same location as the existing entrance to the Evans Farm Inn. This entrance is shown to provide all movements to enter the application property and a right-turn only exit. Both entrances are to include vehicle control gates, with the one nearest to Dolley Madison Boulevard located beyond the loop road around the pond. The gates will not preclude pedestrian access; a wall is not proposed to surround the development.

A one-way loop road is shown around the proposed open space area and the pond on Dolley Madison Boulevard. The loop road leads to another right-turn only exit onto Dolley Madison Boulevard; access from Dolley Madison Boulevard is not proposed at this location. This roadway, though private, would be for the use of the public to access the open space area around the pond and would provide access to the garages for the single family detached units overlooking the pond.

A spine road is shown running from Dolley Madison Boulevard to Chain Bridge Road, along the alignment of the private street identified as Lynwood Street on the Comprehensive Plan Map. A gate is proposed approximately eighty-five (85) feet from Dolley Madison Boulevard. This gate is just past where the loop road around the pond intersects the spine road. Access to the rest of the development is from this spine road between the gates at either end. The spine road is designed to allow for the preservation of many of the existing trees along Lynwood Street. The spine road is to follow a landscaped corridor consisting of the existing vegetation to be preserved and new materials along its northern two-thirds. A prominent part of the landscape corridor is a central pocket park located at the highest elevation of the spine. Between the pocket park and Chain Bridge Road, a more formal treatment is proposed consisting of street trees with the sidewalks set off the roadway approximately thirty-nine (39) feet. This area includes a special paving treatment from the right-of-way of Chain Bridge Road to the proposed gate, which is approximately one hundred (100) feet from the edge of the right-of-way. A gate house is shown midway between the gate and the right-of-way. Parking is provided along the spine road in several locations, in particular near the entrance from Chain Bridge Road.

Western Portion

Access to the western portion of the project is provided by a loop road that forms a rectangularly shaped block with dwelling units in the middle of the western portion of the site. The western side of this loop road is approximately seventeen (17) feet from the eastern boundary of Lot 60, which is not part of this application. On street parking is shown on this portion of the road around the block. An alley, which runs north to south and down the block, provides access to the garages for the townhomes and single family detached homes within this block. Deciduous trees are shown to be planted along the alley. One of the three (3) proposed multi-family buildings is in the northeast corner of this block. The parking for this building is to be under the building. The eastern side of the central block faces onto the spine road. A tree save area is shown along the spine road, between the proposed units and the pavement of the roadway.

North of this central block, a row of townhomes runs parallel to Dolley Madison Boulevard; these units will face into the development. Access to the garages for this row is provided via an alley that runs parallel and adjacent to Dolley Madison Boulevard. The garages are approximately twenty-eight (28) feet from the edge of the right-of-way and forty-two (42) feet from the proposed edge of pavement. The back wall of the proposed townhome units is approximately eighty-five (85) feet from the right-of-way.

One (1) single family detached home, also facing into the development, is shown on the western end of that row of townhomes. This detached unit faces a courtyard across from a staggered row of townhomes arrayed in a north-south direction in the northwest corner of the application property. The side of the detached unit is shown approximately thirty-five (35) feet from the edge of the right-of-way, as is the closest townhome unit. Along Dolley Madison Boulevard, a row of deciduous trees is to be planted and a low decorative wall is planned. This is shown as one of details on Sheet 7.

The staggered row of townhomes along the western boundary fronts into the proposed development. There is a plaza in front of these units with deciduous trees within the plaza. On-street parking is shown along the plaza. Access to the garages for these townhomes is via an alley located adjacent to the western boundary. The garages for these units are approximately twenty-eight (28) feet from the property line with the rear of the units no closer to the property line than thirty-nine (39) feet. Evergreen plantings are shown to be provided along the western boundary adjacent to Lewinsville Square, the Lewinsville Retirement Residence, between the boundary and the alley.

A second multi-family building is shown north of the staggered townhomes on the western boundary. It is to be located between the townhomes and the northern boundary of Lot 60. A row of evergreen trees is shown on the western boundary, behind the multi-family building, and on the northern boundary,

between Lot 60 and the multi-family building. Three (3) deciduous trees are shown to be planted in front of the multi-family building. Parking is to be provided under the building with on-street parking shown in front of the building. Sheets 3 and 5 of the CDP/FDP show two (2) alternative layouts for this building, if it becomes part of the Lewinsville Retirement Residence. In one instance, the building would remain in this area of Evans Farm, but would be shifted closer to the western property line so that a covered walkway could be constructed; parking under the building would be accessed from the retirement residence. In the second proposal, the multi-family building would be shifted northward, and the stick of townhomes in that location shifted southward, to the location of the multi-family building. Landscaping layouts for each option are shown on Sheet 5; in both circumstances the evergreen screening adjacent to Lot 60 would remain.

South of the central block, the western side of the project is completed by a grouping of twenty (20) townhomes with their garages served by a common alley accessed from the road that forms the southern side of the central block. Two (2) of the sticks are parallel to Chain Bridge Road. The proposed townhomes in the southernmost building or stick are shown fronting on Chain Bridge Road. These units are set back from Chain Bridge Road with a landscaping strip approximately sixty-eight (68) feet wide. This strip would include existing trees, as well as additional new material. The third stick is perpendicular and fronts on the entrance road from Chain Bridge Road. These units are set back from the roadway by a landscape strip that averages twenty-three (23) feet in depth.

Eastern Portion

The eastern portion of the project consists primarily of single family detached units. A group of townhome units is proposed in the central area of the eastern portion, near the spine road pocket park located on the highest elevation of the property. These units are within a small block formed by the spine road on the west and internal streets on the other sides. The garages for this group are accessed via an alley in the middle of the block. To the north, across the road providing access to the northeast corner of the property, is the third multi-family building. This building fronts to the south with its western side on the spine road. Further north along the spine road, toward Dolley Madison Boulevard, is another stick of townhomes. These townhomes extend north to the proposed gate and the loop road around the open space area around the pond.

The loop road around the pond will provide for public access to the pond and access to the garages for the multi-family building, the townhome and the single family units which back onto the loop road. The units which overlook the pond will face into the project onto the road in front of the multi-family dwelling that goes to the northeast corner of the property. The rear of the units is toward the pond and will be located above the loop road similarly to the existing grade of the property. A streetscape with deciduous trees is proposed on the side of the

loop road with the units, with a pedestrian path along the pond side of the road. A pedestrian path, located between two of the detached units overlooking the pond, connects to the path around the loop road.

The fronts of the dwelling units which are above the loop road face onto the road that goes into the northeast corner of the property. Deciduous trees are proposed to be planted between each of the detached units on this road. Across this road from these single family detached units, other detached units are proposed, which are to be developed in pairs on shared driveways. These units are on the eastern boundary of the property. The garages are shown to be at least twenty-five feet from the property line. The existing vegetation along this boundary is to be preserved to provide screening to the existing homes in Broyhill. In the instances where the existing trees may not be adequate for screening on the eastern boundary or where the existing material should be removed due to the condition of the trees, additional evergreen plantings are proposed. This is shown in detail on Sheet 7.

Moving further south along the eastern boundary, additional single family detached units are proposed. There are four (4) single family detached homes on the eastern boundary and across another street, which is perpendicular to the street to Lot 92, from the central block of townhomes. Three (3) of these units have garages accessed from the road to the northeast corner. Additional detached units are located on a road running east from the spine road at the pocket park and the central block of townhomes. This road runs eastward into Lot 92, which is the easternmost lot of the application property. This road provides access to several single family detached units and terminates with a special paver treatment. Like some of the other units on the road to the northeast corner, these detached units are also generally paired around a shared driveway. The existing homes on the south side of Enterprise Avenue are proposed to be screened by a row of evergreen trees. A pathway is shown connecting from the existing terminus of Enterprise Avenue to the road to the northeast corner.

In the extreme southern end of the eastern portion, a row of detached units that face the entrance road from Chain Bridge Road is proposed. An alley is shown behind these units to provide access to the garages. The alley is set back approximately twenty-seven (27) feet from the property line and the garages are approximately forty-four (44) feet from the property line. As is proposed elsewhere along the eastern boundary, the existing vegetation is to be preserved and supplemented to provide screening between the proposed detached units and the property to the east. In a similar fashion to the townhomes located across from these units, the detached units are to be set back from the spine road to allow for tree preservation and tree planting along the spine road. The sidewalk is shown adjacent to the units. On Chain Bridge Road, the proposed units are to be set back approximately an average of forty

(40) feet from the existing right-of-way and existing vegetation and new plantings used to provide a landscaped streetscape along this portion of Chain Bridge Road.

External Pedestrian Connections

As noted above, pedestrian connections to the internal walkway system are to be provided from the terminus of Enterprise Avenue and in the vicinity of the Lewinsville Retirement Residence. In Addition, the required trails are shown on both Chain Bridge Road and Dolley Madison Boulevard.

Open Space

The largest open space asset for this project will be the area around the existing pond which will be preserved. This includes the existing mill building. While the pond is to be renovated to serve as a combined stormwater management facility and best management practices facility (SWM/BMP), the applicant is pursuing that alteration in a manner which will preserve as much of the existing vegetation around the pond as possible. (See Appendix 3d).

The spine road will also provide a major linear open space element of the new project with the preservation of the existing trees along the spine road, including the pocket park. This theme is carried through the project from Dolley Madison Boulevard, where the emphasis is on tree preservation, to Chain Bridge Road, where most of the vegetation will consist of new plantings and be part of a more formal entrance area.

Further, there are other smaller open space areas located within the project. The plaza shown in the northwest corner of the project was described earlier. There is a second formal plaza located off the spine road, just north of the pocket park.

Transportation Analysis (Appendix 6)

Right-of-Way on Chain Bridge Road

The CDP/FDP shows adequate right-of-way along Chain Bridge Road where the CDP/FDP states that existing right-of-way is 42.5 feet from the centerline. Further, the draft proffers state that frontage improvements as approved by VDOT are to be constructed on Chain Bridge Road.

Proposed Signal on Chain Bridge Road

The draft proffers state that the applicant will provide a contribution for the entire cost of a traffic signal on Chain Bridge Road between Westmoreland Street and

Great Falls Road prior to the approval of the final subdivision. The proffer does not explicitly state that the applicant will conduct a traffic signal warrant analysis; this should be clarified prior to final acceptance of the proffers. The proffers further state that, if signal warrants are not met at the time of final bond release, this money may be used for other traffic improvements in the McLean area.

A contribution to a signal was not requested by either the Virginia Department of Transportation (VDOT) or the Fairfax County Department of Transportation (DOT). Staff has been informed by the applicant that this proffer was made in response to a request by citizens in the vicinity. It should be noted that the authority to install a signal rests with VDOT and the decision is made by VDOT based on a technical analysis of whether or not the warrants, specific criteria that demonstrate whether a signal is appropriate at a given intersection, for the signal are met. Therefore, the proffered signal may not be installed with these funds, if the warrants are not met.

Dolley Madison Boulevard

Right and left turn lanes into the site should be constructed on Dolley Madison Boulevard along with an acceleration lane. These improvements are shown on the CDP/FDP and are referenced in the proffers to be built to VDOT standards. However, the proposed improvements include a median for directing the turning movements within the right-of-way of Rt. 123. The median should be removed from the right-of-way. The draft proffers state that the median will be moved out of the right-of-way, if required by VDOT. This solution allows the applicant to seek permission of VDOT to leave the median in the location shown, which the applicant believes will better channel traffic to making right-turns only.

Issue: Cul-de-sac on Enterprise Avenue

Existing Enterprise Avenue, a public street within Broyhill, ends in a stub street at the eastern property line of the application property. That stub provides access to at least four (4) existing homes in Broyhill. A permanent cul-de-sac should be provided at the existing terminus of Enterprise Avenue.

Resolution:

The draft proffers state that, in order to preserve existing vegetation and open space, the applicant will not construct the cul-de-sac, unless it is determined by VDOT that the cul-de-sac is required. The proffers also acknowledge that any reconfiguration of lots as a result of the cul-de-sac are required to be in substantial conformance with the CDP/FDP. This issue is considered resolved.

Issue: Service Drive Waivers

Par. 3, Sect. 17-201 states that service drives are required along primary highways, which are defined as roads with Virginia route numbers below 600. There is not a requirement for a service drive on Chain Bridge Road. (The CDP/FDP includes a note requesting that the service drive on Chain Bridge Road be waived). The comments of the Department of Transportation (DOT) support the requested service drive waiver along Dolley Madison Boulevard. It should be noted that there is not a service drive between Great Falls Street to the west of the property and Old Dominion Drive to the east.

Resolution:

The requested service drive waiver along Dolley Madison Boulevard is appropriate. This issue is considered resolved.

Environmental Analysis (Appendix 7)**Issue: Regulated Wetlands**

The subject property is a 24.14 acre tract which falls within the Dead Run Watershed. The applicant proposes to retrofit the existing pond located adjacent to Dolley Madison Boulevard as the stormwater/Best Management Practice (BMP) facility. Because the existing pond is considered a non-tidal, jurisdictional wetland, it was recommended that the applicant demonstrate compliance with § 404 of the Clean Water Act, as administered by the Army Corps of Engineers.

Resolution:

As evidenced by the material included as Appendix 3e, the applicant consulted with the Corps of Engineers, who noted that approval pursuant to § 404 would be required. Further, the applicant has been advised by McCarthy and Associates, Regulatory and Environmental Consultants, that the proposed work could be accomplished with a Nationwide Permit. The applicant will be required to get the Nationwide Permit prior to initiating the reconstruction of pond. This issue is considered resolved.

Issue: Stormwater Management

As stated above, the applicant proposes to rework the existing pond located adjacent to Dolley Madison Boulevard to function as a stormwater management/Best Management Practice facility. (See Appendix 3d). A majority of the site's stormwater will be directed into this retrofitted pond. However, there is a ridge line located approximately where the existing restaurant exists. The

submitted CDP/FDP shows that the stormwater from this portion of the property will be directed into the existing stormwater conduits located along Chain Bridge Road.

While it would be desirable to incorporate other BMP techniques into the design of this site, the existing pond provides an opportunity to meet the SWM and BMP requirements for this project, while retaining that portion of the existing property similar to its condition today. The CDP/FDP includes preservation of the mill structure. It also includes tree save areas around the pond. The traditional village design which is proposed includes the goal of providing tree save areas among the units and within the proposed open space areas.

Staff and the applicant have been discussing the impacts of retrofitting the pond as a stormwater management and BMP facility, with the purpose of determining the impacts on the existing trees in that portion of the site. The changes to the pond should be limited so as to limit any changes to the character of that portion of the property. The preliminary designs of the reconfigured pond, which include a margin of safety in the form of excess storage capacity, are reflected in the tree save elements shown on the submitted CDP/FDP.

Resolution:

The draft proffers state that the reconfiguration of the pond will occur in a manner that does not affect the trees which are identified to be saved in that portion of the site. This issue is considered resolved.

Issue: Highway Noise

Highway noise analyses was performed for Dolley Madison Boulevard (Route 123) and Chain Bridge Road (Route 3547).

The analysis produced the following noise contour projections for Dolley Madison Boulevard (Route 123) (note DNL dBA is equivalent to dBA L_{dn}):

65 dBA L_{dn}	250 feet (77m) from centerline
70 dBA L_{dn}	120 feet (36m) from centerline

Eighteen (18) town home sites and some portion of six (6) single-family detached home sites are within the portions of the site adjacent to Dolley Madison Boulevard that may be adversely affected by highway noise.

The analysis produced the following noise contour projections for Chain Bridge Road (Route 3547) (note DNL dBA is equivalent to dBA L_{dn}):

65 dBA L_{dn}
70 dBA L_{dn}

125 feet (38m) from centerline
60 feet (18m) from centerline

Along Chain Bridge Road, a portion of approximately seven (7) townhome sites and one (1) single-family detached home site may fall within the 65-70 dBA L_{dn} impact area.

In order to reduce interior noise to 45 dBA L_{dn} or less, any residential structure that will be located within two hundred and fifty (250) feet of the centerline of Dolley Madison Boulevard and any residential structure that will be situated within one hundred and twenty-five (125) feet of the centerline of Chain Bridge Road should be constructed with building materials that are sufficient to provide this level of acoustical mitigation. The draft proffers state that the affected units will be constructed in accordance with these recommendations.

In order to reduce exterior noise levels in the rear and side yards of lots located at least partially within the projected 65-70 dBA L_{dn} impact area, one or more noise barriers should be provided. The barrier(s) should be of a height sufficient to break all lines of sight between an imaginary plane formed between a line eight feet above the centerline of the highway and a line six feet above the ground in the affected outdoor recreational areas. The barriers should be architecturally solid from ground up, with no gaps or openings. A berm, architecturally solid wall, or berm-wall combination can be used as a noise barrier. If desired, the applicant may incorporate rear yard privacy fencing as part of the noise barrier as long as such fencing will meet the above guidelines.

With regard to exterior noise, six (6) of the seven (7) townhomes located along Chain Bridge Road will have the rear yards protected by the dwellings; the other townhome and the affected single family detached unit will require that the privacy fences on the side of the lots be built as noise walls. Along Dolley Madison Boulevard, the wall shown near the roadway on the typical section on Sheet 7 is not intended to serve as the noise wall; as illustrated that wall is intended to provide vistas into the site from the roadway. Accordingly, the noise attenuation will have to be provided by the privacy wall around the rear yards of the proposed dwelling units.

The applicant may pursue other methods of mitigating highway noise if it can be demonstrated through an independent noise study for review and approval by the Department of Public Works and Environmental Services (DPWES), that these methods will be effective in reducing exterior noise levels to 65 dBA L_{dn} or less and interior noise levels to 45 dBA L_{dn} or less.

Resolution:

The proffers state that appropriate noise attenuation will be provided both for the interior of the affected units and for the privacy yards for the townhomes and the rear yards of the affected detached homes. This issue is considered resolved.

Issue: Soil Constraints

The Soil Survey for Fairfax County identifies the following soils on the subject property: Worsham Soil (8B), Glenelg (55C2 & B2) and Meadowville (20B). Worsham, a hydric soil, is identified in the area where the existing pond is presently situated. Hydric soil is one parameter which is evaluated when delineating jurisdictional wetlands.

As mentioned previously, it was recommended that the applicant demonstrate compliance with § 404 of the Clean Water Act regarding alteration of the pond for the stormwater management/Best Management Practice. In addition to the preliminary geotechnical study provided by the applicant to ensure that possible soil constraints are addressed in the early stages of the development, the applicant may be required to provide a soil survey and a more detailed geotechnical study to DPWES at the time of site plan review.

Resolution:

This issue will be addressed during site plan review in accordance with the provisions of Public Facilities Manual (PFM).

Issue: Tree Preservation

The subject property is characterized by extensive tree cover. The applicant has integrated tree preservation into the entire development proposal in an effort to protect the significant stands of trees which are of a high quality and a substantial density. This commitment is evidenced by the tree survey submitted to the Urban Forestry Branch, see Appendix 8. Sheets 5 and 6 of the CDP/FDP illustrate a conceptual landscape plan for the development and the draft proffers provide detail regarding tree preservation techniques to be employed throughout all phases of development and reflects the comments of the Urban Forestry Branch contained in Appendix 8.

Regarding restoration of vegetation, it is recommended that the landscape plan encompass diverse native species inclusive of ground cover, shrubs, and trees.

Resolution:

The CDP/FDP illustrates the trees to be preserved and identifies trees that may be preserved if subsequent detailed engineering permits those trees to be preserved. The proffers provide for adequate measures, including a tree preservation plan for review of the Urban Forestry Branch as part of the first submission of the site plan and prior to demolition of any structures, tree healthcare measures, transplanting of material, and protection of the trees to be preserved during construction. The draft proffers do not include a commitment to use native species as part of the landscaping of the site with regard to restoration. The issues with regard to tree preservation have been adequately addressed.

Issue: Trails Plan

The Trails Plan Map depicts bicycle trails on the south side of Dolley Madison Boulevard (Route 123) and on the north side of Chain Bridge Road (Route 3547). The required trails are shown on the CDP/FDP. At the time of Site Plan review, the Director, Department of Public Works and Environmental Services will determine what trail requirements may apply to the subject property. The trail along Dolley Madison Boulevard curves into the property to run through the open space area associated with the pond. This portion of the trail will be required to be maintained by the homeowners association. This should be disclosed at the time of sales and a public access easement recorded.

Resolution:

The requirement that the homeowners association maintain the portion of the trail on Dolley Madison Boulevard is recognized in the draft proffers. However, the proffers address access to the pond open space area only by stating that area will be open during daylight hours at a minimum; however, this could preclude public access to the trail during other hours. In addition, there is no commitment to provide a public access easement on the open space area associated with the pond. This issue is partially resolved.

Public Facilities Analysis (Appendices 9-13)Park Authority Analysis (Appendix 9)**Issue:** Recreational Facilities

The proposed development proposes 150 units of which 19 are ADU's, that will add approximately 379 persons to the current population of the Dranesville District. There are no recreational amenities proposed with this development. The residents of this development will demand several outdoor facilities

including tennis, basketball, volleyball, picnic areas and the use of athletic facilities. The proportional cost to develop these facilities is \$125,105 which can be used to develop park and recreational facilities in a nearby park serving this population.

Resolution:

The draft proffers state that a contribution of \$955 per unit will be made prior to the issuance of a building permit for each unit for recreation improvements in the McLean area. Although staff would prefer a different trigger event for the contribution, this issue is considered resolved.

Issue: Cultural Resources

The memorandum from the Park Authority states that a historic background search was conducted on this property. Possibly one or two late 19th century structures may have existed on the property, one of which was extensively remodeled in the 1950s and the other of which is located under the current parking lot. The owner has noted that he is not aware of prehistoric or Civil War artifacts found during the period that the site was an active farm.

Resolution:

At the present time, no further research or field testing is requested.

Schools Analysis (Appendix 10)

This development is anticipated to generate 49 elementary students who would attend Kent Garden Elementary School which is projected to exceed its capacity of 722 students through the school year 03-04; 9 intermediate students who would attend Longfellow Intermediate School which is projected to exceed its capacity of 800 students through the school year 03-04; and 20 high school students who would attend McLean High School which is projected to operate within its capacity of 1800 students through the school year 03-04.

Sanitary Sewer Analysis (Appendix 11)

The property is located in the Pimmit watershed. The existing lines are adequate for the proposed use at this time and there appears to be adequate capacity.

Fire and Rescue Department Analysis (Appendix 12)

This property is serviced by Station #01, McLean, and this service currently meets fire protection guidelines.

Water Service Analysis

The property is located in the service area of the Falls Church Water Authority.

Land Use Analysis (Appendix 5)

There is no site specific text in the Comprehensive Plan for the subject property. The Comprehensive Plan map shows that the approximately 14.43 acres located east of Lynwood Street are planned for 3-4 dwelling units per acre. The approximately 9.71 acres located west of Lynwood Street are planned for 5-8 dwelling units per acre. This is an affordable dwelling unit development, which permits a bonus of up to 20 percent as an adjustment to the planned density ranges. The adjusted ranges are 3.6-4.8 du/ac and 6.0-9.6 du/ac; and, the allowable number of units on the property ranges from 110 dwelling units to 162 dwelling units.

This development proposal for 150 dwelling units at an overall density of 6.21 du/ac falls within the residential density ranges recommended by the Plan. It should be noted that eighty-six (86) dwelling units are proposed within the 9.17 acres planned at 5-8 du/ac at 8.86 du/ac; and, sixty-four (64) units are shown within the 14.43 acres planned at 3-4 du/ac at 4.44 du/ac.

Issue: Proposed Restaurant

The application initially included a restaurant, which would have been a retail use and not in conformance with the Plan. Although this development is proposed as a planned unit development, which allows retail uses if they serve primarily the new development, as configured, the retail use would have been intended for a market area much larger than this subdivision. This restaurant appeared to be aimed at serving the broader community and, because of its location, those driving along Dolley Madison Boulevard.

Resolution:

The revision of the CDP/FDP addressed in this report does not include the restaurant. This is no longer an issue.

Issue: Consolidation

It would be desirable for Lot 60 to be consolidated with this project.

Resolution:

The layout of the subdivision allows incorporation of the lot as a logical expansion in the future. In addition, the draft proffers state that a future

development on Lot 60 may access the private roadways subject to a recorded declaration that provides for a pro-rata share of the maintenance costs of the private roadways and for a comparable architectural style. This issue is considered resolved.

Residential Development Criteria

The Comprehensive Plan recommends a density of 3-4 du/ac for 14.43 acres of this property and 5-8 du/ac on 9.71 acres which are adjusted upward by twenty (20) percent to 3.6-4.8 du/ac and 6.0-9.6 du/ac respectively because this is an affordable dwelling unit development. Therefore, the allowable number of units on the property ranges from 110 dwelling units $\{(14.43 \times 3.6) + (9.71 \times 6.0)\}$ to 162 dwelling units, $\{(14.43 \times 4.8) + (9.71 \times 9.6)\}$. At a proposed number of units of 150 du/ac, while below the maximum number of units permitted, the application is at the high end of the recommended density range. As such, the proposal should satisfy three-fourths ($\frac{3}{4}$) of the applicable residential density criteria. The following is an analysis of the proposal's conformance with the residential development criteria.

1. Provide a development plan, enforceable by the County, in which the natural, man-made and cultural features result in a high quality site design that achieves, at a minimum, the following objectives: it complements the existing and planned neighborhood scale, character and materials as demonstrated in architectural renderings and elevations (if requested); it establishes logical and functional relationships on- and off-site; it provides appropriate buffers and transitional areas; it provides appropriate berms, buffers, barriers, and construction and other techniques for noise attenuation to mitigate impacts of aircraft, railroad, highway and other obtrusive noise; it incorporates site design and/or construction techniques to achieve energy conservation; it protects and enhances the natural features of the site; it includes appropriate landscaping and provides for safe, efficient and coordinated pedestrian, vehicular and bicycle circulation.
(Full Credit)

The proposed combined Conceptual/Final Development Plan:

- is proffered and would be enforceable by the County pursuant to the provisions of Article 16, Development Plans, of the Zoning Ordinance;
- represents a high quality, innovative design pattern that is not typical of most residential development in Fairfax County;
- addresses the issues of site design in a manner which focuses on the specific attributes of the site;
- allows for the preservation of more of the existing vegetation than is typical because the design makes use of existing grades;
- utilizes design principals associated with the "neo-traditional" village school of urban design;

- is designed with a more pedestrian-friendly streetscape, which is achieved by having the units located close to the street and having most of the garages located behind, rather than in front of the units, with access from alleys.
- creates small garden areas with each unit which will be enclosed by walls, the dwelling or the garages creating small English-style gardens;
- and is designed through the use of alleys and careful placement of the units, townhouse units decks which will not face the decks of other units across a narrow strip of common open space.

The proposed development will complement the existing neighborhoods by

- having single family detached units adjacent to existing single family detached units;
- maintaining the character of the units, as demonstrated in the architectural renderings attached to the draft proffer statement;
- reducing the impacts on the adjacent residences in Broyhill Estates through a combination of tree preservation and the planting of evergreen trees;
- reducing the impacts to Lot 60 through the evergreen screening proposed along its boundaries with Evans Farm and by having, on the south and east, only the front of units face Lot 60;
- including along Dolley Madison Boulevard a tree-lined trail and a decorative wall in the portion west of Lynwood Street as depicted on Sheet 7;
- having an area of tree save on the west side of the entrance road at existing Lynwood Street
- retaining the pond and the associated public/private open space;
- and, saving some of the existing trees along the roadway to provide a transition in the northeastern corner of the site.

Highway noise attenuation is addressed in the draft proffer statement. The proffers include a commitment for constructing the proposed dwelling units with energy saving techniques.

The proposed CDP/FDP does an excellent job of preserving the natural features of the site. The existing pond, after being renovated to meet the requirements of a stormwater management/best management practices (SWM/BMP) facility, will remain a major feature of the open space. The CDP/FDP includes tree preservation that is based on an extensive tree survey and grading analysis of the property which makes use of the existing grades on the property. Therefore, there is a high probability that the commitment will not be affected by subsequent engineering of the property. Further, the CDP/FDP also identifies trees that may be saved during the development of the site should it prove to be possible to save them. As demonstrated on the two landscaping sheets, Sheets 5 and 6, and on the details shown on Sheet 7, including the foundation planting schemes, the site will be well landscaped internally.

2. Provide public facilities (other than parks) such as schools, fire stations, and libraries, beyond those necessary to serve the proposed development, to alleviate the impact of the proposed development on the community. **(Not Applicable)**
3. Provide for the phasing of development to coincide with planned and programmed provision of public facility construction to reduce impacts of proposed development on the community. **(Not Applicable)**
4. Contribute to the development of specific transportation improvements that offset adverse impacts resulting from the development of the site. Contributions must be beyond ordinance requirements in order to receive credit under this criterion. **(Not Applicable)**
5. Dedicate parkland suitable for active recreation and/or provide developed recreation areas and/or facilities in an amount and type determined by application of adopted Park facility standards and which accomplish a public purpose. **(Full Credit)**

The draft proffers specify that a contribution of \$955 per unit will be provided for recreation facilities in the McLean area. This totals \$143,250 as opposed to the proportional cost for recreation facilities of \$125,105 identified by the Park Authority staff.

6. Provide usable and accessible open space areas and other passive recreational facilities in excess of County ordinance requirements and those defined in the County's Environmental Quality Corridor policy. **(Full Credit)**

The proposed layout includes a number of internal pocket parks and plazas. In addition, an open space area around the pond is to be retained along with the existing mill building and most of the existing trees in this area. The proffers provide that this open space area will be open to the public during daylight hours, at a minimum.

7. Enhance, preserve or restore natural environmental resources on-site, (through, for example, EQC preservation, wetlands preservation and protection, limits of clearing and grading and tree preservation) and/or reduce adverse off-site environmental impacts (through, for example, regional stormwater management). Contributions to preservation of and enhancement to environmental resources must be in excess of ordinance requirements. **(Full Credit)**

As noted in the description of the CDP/FDP and in the comments on the first development criterion, this project includes a detailed tree preservation plan that

results in saving trees along the periphery of the site, internal to the site and around the existing pond. For example, a large number of the existing vegetation located on the west side of existing Lynwood Street and in an open space area in the center of the site. This is accomplished by holding, to the extent possible, the existing grade and route for Lynwood Street, rather than creating a new street pattern.

8. Contribute to the County's low and moderate income housing goals. This shall be accomplished by providing either 12.5% of the total number of units to the Fairfax County Redevelopment Housing Authority, land adequate for an equal number of units or a contribution to the Fairfax County Housing Trust Fund in accordance with a formula established by the Board of Supervisors in consultation with the Fairfax County Redevelopment and Housing Authority. **(Full Credit)**

The proposed development will meet the requirements of Part 8 of Article 2 of the Zoning Ordinance, Affordable Dwelling Unit Program, through the provision of nineteen (19) units of affordable housing, which constitutes twelve and one-half (12½) percent of the 150 units proposed at this site. In addition, the CDP/FDP includes two (2) alternative scenarios which could be used, if the applicant is able to reach agreement with the Lewinsville Retirement Residence to allow expansion of one of the multi-family buildings for elderly housing to meet the requirements of the ADU program.

9. Preserve, protect and/or restore structural, historic or scenic resources which are of architectural and/or cultural significance to the County's heritage. **(Not Applicable)**
10. Integrate land assembly and/or development plans to achieve Plan objectives. **(Full Credit)**

The applicant was unable to include Lot 60 in the proposed development. Lot 60 is the only remaining lot which could be logically consolidated with this project. The CDP/FDP has been designed in a manner that would permit Lot 60 to redevelop in a manner that is consistent with the proposed project. This eventuality is also addressed by the draft proffer statement.

In staff's analysis, this proposal has satisfied the requisite proportion of the applicable development criteria and does qualify for development at the high end of the density range.

ZONING ORDINANCE PROVISIONS (Appendix 13)

Bulk Standards (PDH-8)		
Standard	Required	Provided
Min. Dist. Size	2.00 ac.	24.14 ac.
Building Height	See Note 1	35 feet - SFD 40 feet - SFA 50 feet - Multi-family
Front Yard	See Note 1	5 feet
Side Yard	See Note 1	None
Rear Yard	See Note 1	43 feet
Open Space	5.31 acres (22%)	7.72 acres (33%) ²
Parking Spaces	307 spaces	384 spaces ³

¹ Per Sect. 6-108 see the discussion regarding building heights under Sect. 16-101 and the discussion under 16-102 regarding yards at the periphery of the development.

² The proffers allow an increase in the number of parking spaces, so long as the amount of open space does not go below thirty (30) percent.

³ Each of the single family dwelling units, including the townhomes, is shown to include a garage containing at least two (2) parking spaces. The proffers include a commitment to a covenant prohibiting the conversion of the garages to living space. Parking is also provided under each of the three (3) proposed multi-family buildings. There are additional parking spaces shown on the streets as parallel parking spaces.

Transitional Screening		
Direction	Standard	Provided
North (R-5) - Evans Mill Pond	Not Required ¹	8 feet
North (R-1) - Langley School	Not Required ²	8 feet
North (R-1) - Government Center	Not Required ²	8 feet
South (R-1) - Bell Atlantic	Not Required ²	N/A
South (R-1) - SFD	Not Required ¹	N/A
East (R-3) Broyhill and other SFD's	Not Required ¹	N/A
West (R-1) - Lewinsville Church	Not Required ²	N/A
West (R-1) - Retirement Residence	Not Required ^{1, 2}	N/A
West (R-1) - SFD on Lot 60 ³	25 feet ³	5 feet

¹ In these instances, the proposed CDP/FDP has a similar unit type adjacent to the dwellings on the adjacent property.

² In these instances, the adjacent use is the more intense use.

³ The application includes a request for a transitional screening yard modification for this lot.

Barrier		
Direction	Standard	Provided
North (R-5) - Evans Mill Pond North (R-1) - Langley School North (R-1) - Government Center	Not Required ¹ Not Required ² Not Required ²	Privacy Wall Privacy Wall Privacy Wall
South (R-1) - Bell Atlantic South (R-1) - Single Family Detached	Not Required ² Not Required ¹	N/A
East (R-3) - Broyhill and other SFDs	Not Required ¹	N/A
West (R-1) - Lewinsville Church West (R-1) - Retirement Res. West (R-1) - SFD on Lot 60	Not Required ² Not Required ^{1,2} Barrier A or B ³	N/A N/A None ⁴

¹ In these instances, the proposed CDP/FDP has a similar unit type next to the dwellings on the adjacent property.

² In these instances, the adjacent use is the more intense use.

³ Barrier A: 42 - 48 inch tall wall of architectural block or brick; Barrier B: 42 - 48 inch tall wood fence

⁴ The application includes a request for a waiver of the barrier requirement for this lot.

Waivers/Modifications

Waiver/Modification: Transitional Screening and Barrier internal to the site
Basis: Par. 1 of Sect. 13-304

Par. 1 of Sect. 13-304 allows modifications of transitional screening and barrier requirements when uses are being developed under a common development plan and when compatibility has been addressed through a combination of the location and arrangement of buildings or through architectural and landscaping treatments. In this instance, the location of the buildings has been designed to minimize internal conflicts through a combination of techniques. One of the design guidelines for a village style layout is the mixing of unit types and building masses. Further, the three different unit types have a similar relationship to the streets and sidewalks in the project; to the extent possible, the units are arranged so that single family detached units do not face a large building mass, whether that is a stick of townhomes or a multi-family building. In one circumstance, where five townhomes are located across from some detached dwellings, the stick of five was split into two smaller sticks. Staff has concluded that this requested waiver is warranted and should be approved.

Waiver/Modification: Transitional Screening and Barrier on the periphery
Basis: Par. 1 of Sect. 13-304

As demonstrated in the previous chart, for most of the areas where the applicant has requested waivers, no requirement for transitional screening or a barrier exists, as the uses adjacent to the proposed development are more intense than

the proposed, as outlined in the matrix in Article 13, Landscaping and Screening, or the adjacent use is similar to the use being proposed. Accordingly, the only areas where transitional screening and barriers are required are at the northern and southern ends of Lot 60, the residential parcel that is on the western side of the property. On the northern side, a row of evergreens is proposed to provide screening and the narrow end of the building faces toward Lot 60. On the southern end, there will be a private street which is fronted by the front facades of townhouses across from this, the front side of that house. Further, an existing tree near the property line will be saved.

Other Zoning Ordinance Requirements:

Affordable Dwelling Units

Given that the proposed development exceeds fifty (50) dwelling units, Part 8 of Article 2 of the Zoning Ordinance requires that affordable dwelling units be provided. In this instance the requirement is that nineteen (19) of the proposed units be affordable dwelling units.

The applicant has been working with the adjacent Lewinsville Retirement Residence regarding allowing them (the applicant) to construct the multi-family dwelling building closest to the retirement residence as an expansion of that existing facility with nineteen (19) elderly housing units that meet the requirements for affordable dwelling units. (See Appendix 4f). To accommodate this eventuality, the CDP/FDP includes two options for a revised layout in this area of the site. (See Sheets 3 and 5, and the description of the CDP/FDP in a previous section of this report). The layouts generally shift this building closer to the retirement residence and provide access to the garage parking from the parking lot at the Lewinsville Retirement Residence. This option is being reviewed with staff of the Department of Housing and Community Development (HCD) to determine if it complies with the requirements of the ADU program or whether an exception would be required from the Affordable Dwelling Unit Advisory Committee.

In the alternative, if agreement cannot be reached with the Lewinsville Retirement Residence or if the proposal is not found to be in conformance with the provisions of Part 8 of Article 2, the proffers state that this requirement would be met through provision of the ADUs in the multi-family buildings. The proffers further state that, in this instance, the affordable dwelling units would be provided in at least two (2) of the proposed multi-family dwellings.

Standards for all Planned Developments (Sect. 16-100)

Sect. 16-101 contains six (6) General Standards that must be met by a planned development and Sect. 16-102 contains three (3) Design Standards to which all

Conceptual and Final Development Plans are subject. An analysis of how the applications address these standards follows.

Sect. 16-101, General Standards

The first General Standard requires that the planned development conform with the Comprehensive Plan. As noted in the Land Use Analysis, Staff has determined that this standard has been satisfied.

The second General Standard addresses whether the planned development is of such a design that it achieves the purpose and intent of a planned development more than would be development under a conventional district. The purpose and intent of the Planned Development Housing District, as contained in Sect. 16-101, is to encourage innovative and creative design and to facilitate the most advantageous construction techniques in the development of land for residential uses; to insure ample provision and efficient use of open space; and, to promote high standards in the layout, design and construction of residential development. For the reasons discussed in the staff report, staff has determined that this standard has been satisfied (refer specifically to the description of the Conceptual/Final Development Plan and the analysis of the first residential development criterion for more specifics regarding this standard).

The third General Standard addresses the efficient use of the available land and protection of scenic assets and natural features such as trees, streams and topographic features. Staff has determined that this standard has been satisfied because the proposed development has been designed generally to honor and utilize the existing topography of the site; because a tree preservation program, based on an extensive and detailed tree survey, is reflected on the CDP/FDP; and, because, while it will be refitted to serve as a stormwater management pond and best management practice facility, the pond along Dolley Madison Boulevard will remain part of the project, along with the mill building and much of the existing trees around the pond.

The fourth General Standard states that the planned development shall be designed to prevent substantial injury to the use and value of existing, surrounding development and shall not hinder, deter or impede development of surrounding undeveloped properties. Staff has determined that this standard has been satisfied, as evidenced by the arrangement of the units such that similar dwelling types are adjacent to similar dwelling types external to this site, the preservation and enhancement of the existing vegetation along the eastern boundary and along Dolley Madison Boulevard and the amount of plantings along Chain Bridge Road. Further, appropriate screening is provided adjacent to Lot 60. In fact, the applicant is working with the adjacent retirement residence to allow for that project to be expanded. (See the discussion under Affordable Dwelling Units).

The fifth General Standard addresses the adequacy of public facilities in the vicinity. As noted in the Public Facilities Analysis, the site is located in an area where public facilities and public utilities generally are, or will be, adequate for the proposed development.

The sixth General Standard addresses internal linkages among internal facilities and to external facilities at a scale appropriate to the development (Par. 6). The roadway and pedestrian network adequately provide for these linkages. There is an extensive internal pedestrian network that is connected to the existing development to the east and west by pathways and by the trails proposed on both of the street frontages. Along Dolley Madison Boulevard, the trail is planned to be adjacent to the pond and connect to a sidewalk along the loop road around the pond that will be available to the public. The proposed roadway system allows for access to the north and the south. Staff believes that this standard has been met.

Sect. 16-102. Design Standards

The first Design Standard specifies that, regarding compatibility with adjacent development, the peripheral yards shown on the CDP/FDP should generally conform with the setbacks for the most similar conventional district. The most comparable conventional district is the R-8 District.

The setback requirements for a detached dwelling in the R-8 District are front yard - 35° angle of bulk plane, but not less than twenty (20) feet; side yard - eight (8) feet; and, rear yard - twenty-five (25) feet. The area where single family detached units are located along the periphery are the eastern and southern boundaries and all the units meet the side yard and rear yard requirements of the R-8 District.

The setback requirements for a single family attached unit are front yard - 15° angle of bulk plane, but not less than five (5) feet; side yard - 15° angle of bulk plane but not less than ten (10) feet; and, rear yard - 30° angle of bulk plane, but not less than twenty (20) feet. For a 15° angle of bulk plane, the resulting front and side yard requirement for a forty (40) foot tall single family attached dwelling is eleven (11) feet and for the fifty (50) foot tall multi-family dwelling, the side yard requirement is thirteen (13) feet. For a forty (40) foot tall single family attached dwelling, a 30° angle of bulk plane results in a rear yard requirement of twenty-three (23) feet and for the fifty (50) foot tall multi-family buildings, the rear yard requirement is twenty-nine (29) feet. These standards are met where the proposed project abuts Lewinsville Square. These standards are also met with regard to Lot 60. As noted in the discussion regarding screening, staff has determined that this unit should be moved back away from the property line. While one of the proposed units does not meet the side yard requirements adjacent to Lewinsville Church, it is within six (6) feet, staff has concluded that

the proposed setback is adequate, in that instance. It should be noted that, if either of the options to have the westernmost multi-family building become part of the Lewinsville Retirement Residence, the resulting yards would not meet the R-8 District standards; however, in that circumstance, it is more appropriate that the building be close to the rest of the retirement residence. Staff has determined that this standard has been satisfied.

The second Design Standard states that other applicable provisions of the Ordinance, such as off-street parking, landscaping, signs, etc. are applicable to planned developments. As discussed elsewhere in this report, the proposed development conforms with the applicable parking requirements. It should be noted that the parking for the multi-family dwellings is to be under the buildings. Further, staff has concluded that the proposed development meets the applicable landscaping standards, with the exception of the requested modifications to the transitional screening yard requirements with regard to Lot 60, which staff supports. Staff has determined that this standard is satisfied.

Design Standard Number 3 specifies that the street system conform with the applicable requirements, and that a network of trails be incorporated to provide access to recreational amenities open space, public amenities, vehicular access routes and mass transit facilities. As described elsewhere in this report, there is a network of trails and sidewalks within the proposed development that provides access within the development and connections to the planned and existing pedestrian network in the area. The street system provides for adequate access within the development and to the adjacent network of arterial roadways. However, as noted on the CDP/FDP and in the applicant's statements, the proposed internal streets do not conform exactly with the Public Facility Manual (PFM) requirements for private streets. The proposed street widths are narrower than the standards of the PFM and the parking lane is set off from the main travelway by a small depression that provides for storm drainage, as is common in neo-traditional or village style developments. Narrower streets and on-street parking are emphasized to slow traffic down and to provide a more pedestrian-oriented environment. In addition, there are several areas where special paving treatments are proposed, primarily to delineate areas at the end of the roadways and to differentiate those areas from the typical travel aisle. It should be noted that, except near the end of a street, all access to the garages for the proposed units will be from alleys located behind the units; therefore, there will not be multiple, individual access points on the main roadways of the development. A primary issue involved when such streets are proposed is to ensure adequate emergency access. As evidenced in the correspondence in Appendix 3c, the applicant has been meeting with the Fire Marshal to resolve these issues. Other concerns with private streets revolve around the issues associated with private maintenance. The applicant has committed to use the pavement thickness associated with public streets to help limit the amount of maintenance required and to notify prospective purchasers that the internal streets are to be maintained

by the homeowners. While staff of the Department of Planning and Zoning (DPZ) has concluded that the requested modifications to the private street standards are consistent with the neo-traditional development proposal, final determination will be made at the time of site plan review by the Director of the Department of Public Works and Environmental Services (DPWES), provided that the Fire Marshal is satisfied that adequate emergency access is provided.

Recreation Facilities

Par. 2 of Sect. 6-110 requires that recreation facilities be provided in all PDH Districts and that the requirement shall be based on a minimum expenditure of \$955 per dwelling unit, excluding affordable dwelling units. Sect. 16-404 governs the provisions of such facilities. The opening paragraph of Sect. 16-404 states that recreation facilities do not include trails identified on the adopted Comprehensive Plan or sidewalks required by the PFM. This provision ensures that requirements of either Article 17 of the Zoning Ordinance, Site Plans, or Chapter 101 of the County Code, Subdivision Provisions, are not used to satisfy the recreation facilities requirement for the PDH District. Par. 2 states that the Board may approve the provision of the recreation facilities off-site on land in proximity to the development and allows for a cash contribution to be made to the County or the Park Authority. Par. 2C provides that the cash contribution shall be used for the expressed purpose of providing additional recreation facilities, and or renovating or increasing the capacity of existing facilities. Par 2D provides that the cash contribution shall be made prior to the issuance of a Building Permit for each dwelling unit. The applicant has proffered to a contribution of \$955 per unit.

Privacy Yards

Par. 2 of Sect. 6-107 requires that a privacy yard, having a minimum of two hundred (200) square feet be provided with each single family attached dwelling unit. This paragraph also allows the Board of Supervisors to waive this requirement in conjunction with the approval of a development plan. The smallest privacy yard shown among the typical lot layout diagrams on Sheets 3 and 7 is at least three hundred (300) square feet in size.

CONCLUSIONS AND RECOMMENDATIONS

Staff Conclusions

The proposed development represents an innovative approach that is not typical of other residential development in Fairfax County. The applications are consistent with the recommendations of the Comprehensive Plan with regard to the development of the property and are within the recommended density ranges for this property. The applications satisfy the appropriate number of the applicable residential development

criteria to qualify for development at the high end of the adjusted density ranges. As noted in the comments regarding the applicable provisions of the Zoning Ordinance, the proposal to develop these 24.14 acres is consistent with those provisions.

Staff believes that the following improvements should be incorporated into the draft proffers for this application: providing an unrestricted public access easement on the trail along Dolley Madison Boulevard and providing a commitment to use native vegetation in the landscaping on the property.

Further, it should be noted that the proposal for the affordable dwelling unit requirement as affordable elderly housing units in the multi-family building located adjacent to the Lewinsville Retirement Residence is under review by staff; the applicant has not finalized the negotiation with the operators of the residence. The draft proffers provide an option to allow the affordable dwelling unit requirement to be met in accordance with the provisions of Part 8 of Article 2, if these issues cannot be resolved.

Recommendation

Staff recommends that RZ 1998-DR-049 be approved subject to proffers consistent with those contained in Appendix 1.

Staff further recommends that FDP 1998-DR-049 be approved subject to the Board of Supervisors approval of RZ 1998-DR-049 and subject to the proposed development conditions in Appendix 2.

Staff further recommends that the requested waiver of the service drive requirement on Dolley Madison Boulevard be granted, that the requested waiver of the limitation on the length of private streets be granted, that the requested modification of transitional screening adjacent to Lot 60 be granted, that the requested modification of transitional screening and barriers internal to the property be granted.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Supervisors.

APPENDICES

1. Draft Proffer Statement
2. a. Affidavit for RZ 1998-DR-049
b. Affidavit for FDP 1998-DR-049

- b. Affidavit for FDP 1998-DR-049
3.
 - a. Letter of Justification for RZ 1998-DR-049
 - b. January 20, 1999 letter from James L. Perry, Elm Street Development
 - c. January 12, 1999 letter from James L. Perry to Mr. Derrickson, Fire and Rescue
 - d. December 23, 1998 letter from Reza A. Hakimi, Director of Engineering, Huntley, Nyce & Associates, Ltd., regarding Evans Farm Storm Water Management
 - e. January 18, 1999 letter from James L. Perry to Mary Ann Welton, Planning Division (DPZ)
 - f. July 23, 1998 letter to James L. Perry from J. Michael Sawyers, EIT and Henry L. Lucas, PE of ECS, Ltd regarding the geo-technical review of the area around the existing pond
4. Possible layout for the stormwater management facility prepared by Huntley, Nyce & Associates, Ltd. dated March 10, 1999
5. Plan Citations and Land Use Analysis
6. Transportation Analysis
7. Environmental Analysis
8. Urban Forestry Comments
9. Park Authority Comments
10. Schools Analysis
11. Sanitary Sewer Analysis
12. Fire and Rescue Analysis
13. Selected Excerpts from the Zoning Ordinance
14. Glossary of Terms

PROFFERS
RZ 1998-DR-049
DATED: MARCH 29, 1999

Pursuant to Section 15.2-2303(A) of the Code of Virginia, 1950 as amended, the undersigned Applicant/Owner for both themselves and their successors and assigns (hereinafter "Applicant"), file for a zoning map amendment and final development plan approval for property identified as Tax Map Reference 30-1((1)) 37, 38, 38B, 39, 41, 42, 42B and 92 (Subject Property) and hereby agree to the following proffers, provided the Board of Supervisors approves the rezoning of the Subject Property to the PDH-8 zoning district:

1. Development Plan

1.1 Development of the Subject Property shall be in substantial conformance with the CDP/FDP, prepared by Huntley, Nyce, & Associates, dated July 23, 1998, revised through _____, consisting of seven sheets.

1.2 Pursuant to paragraph 4 of Section 16-403 of the Ordinance, minor modifications of the CDP/FDP may be permitted as determined by the Zoning Administrator. The Applicant may revise the width or depth of lots and units shown on the CDP/FDP without requiring approval of an amendment to the CDP/FDP or a proffer interpretation, provided that such changes are in conformance with the Ordinance, are in substantial conformance with the CDP/FDP, and do not increase the total number of units, decrease the amount of open space, or decrease the ratio of parking spaces per unit.

2. Transportation

2.1 The Applicant shall construct public street and entrance improvements on Dolley Madison Boulevard (Route 123) as approved by VDOT and DPWES and shown conceptually on the attached CDP/FDP; these improvements shall include right and left hand turn lanes and acceleration lanes at the project's entrances. The Applicant shall also dedicate land area 35 feet from the centerline of Chain Bridge Road (Route 3547) for right-of-way purposes and construct frontage improvements, as approved by VDOT and DPWES at the time of final site plan approval.

2.2 Prior to the approval of the final subdivision, the Applicant shall provide a monetary contribution for the entire cost of the installation of a traffic signal on Chain Bridge Road (Route 3547) at a location between Westmoreland Street and Great Falls Road. The amount of such contribution shall be approved by DPWES. If traffic warrants are not met to justify the installation of subject traffic signal at the time of bond release, the contribution shall become available for use by Fairfax County for traffic improvements in the McLean area.

3. Affordable Dwelling Unit Program

3.1 The Applicant shall comply with the Affordable Dwelling Unit (ADU) program as set forth in Part 8 of Article 2 of the Fairfax County Zoning Ordinance. The number of ADUs to be provided may be reduced by the Applicant based on the adoption of a future amendment to the provisions of the ADU Ordinance. The Applicant, at his sole discretion, may elect to pursue an alternative to satisfy this Ordinance requirement. Alternatives may include a proposal that is reviewed and approved administratively by the Zoning Administrator, or the approval of a modification by the Affordable Dwelling Unit Advisory Board. Should either of these alternatives be approved, the Applicant may implement that approval without the necessity of an amendment to the CDP/FDP or these proffers. Should the Applicant construct ADU's on-site, the affordable dwelling unit requirement shall be satisfied with the provision of multi-family dwelling units which shall be distributed in at least two of the three mutli-family buildings shown on the CDP/FDP.

4. Stormwater Pond

4.1 The Applicant shall provide on-site stormwater management and Best Management Practices (BMPs) in accord with the requirements of the Public Facilities Manual and the Chesapeake Bay Preservation Ordinance. The farm pond existing on the Subject Property shall be modified to accommodate these facilities as required by DPWES. The Applicant may drain and reconstruct the farm pond and/or enlarge the area of the pond, provided such enlargement shall not conflict with the tree save designations shown on the CDP/FDP. Appropriate materials will be planted to supplement the existing vegetation around the pond in compliance with the "Interim Policy Regarding Tree Preservation and Planting In and Around Stormwater Management Ponds" adopted by the Board of Supervisors on March 8, 1999.

5. Streets and Parking

5.1 The Applicant shall construct private streets in conformance with the Public Facilities Manual, except that the following minimum road widths may be allowed as listed on the CDP/FDP subject to the approval of the Director of DPWES: 18-foot wide travelways; 14-foot wide pavement in alleys; and eight-foot wide parallel parking lanes. Walkways shall be provided in the general locations depicted on the CDP/FDP.

5.2 The Applicant may increase the number of parking spaces above the number shown on the CDP/FDP, provided that the addition of parking spaces does not 1) decrease the total percentage of open space provided within the project below 30 percent; 2) affect any tree save areas; or 3) reduce the total number of trees to be planted.

5.3 If a cul-de-sac at the end of Enterprise Avenue is provided on the final site plan/subdivision plan, the reconfiguration of lots shall be in substantial conformance with the CDP/FDP.

5.4 Should Tax Map Parcel 30-3((1))-60 be subdivided, then access to the private streets on the Subject Property will be allowed only if the entire parcel becomes subject to a recorded declaration that requires a per unit pro rata contribution for private street maintenance and that imposes the same architectural standards as those restricting the Property in these proffers. In addition, the Applicant will provide the owner of the above-referenced lot with access to the private streets for the existing single family residence only, provided that the owner of the lot submits a written request for access to the Applicant, prior to the Applicant's submission of a site plan to the County DPWES.

5.5 Although the streets within the project will be private, all pedestrian areas within the project shall remain open to the general public.

5.6 The Applicant shall provide trash receptacles at the two bus stops on Chain Bridge Road which shall be maintained and emptied by the homeowners' association.

6. Tree Preservation

6.1 For the purpose of maximizing tree preservation, the Applicant shall prepare a tree preservation plan. The tree preservation plan shall be reviewed by the Urban Forestry Branch of DPWES as part of the first submission of the site plan or subdivision plan, and prior to the demolition of any existing structures. This plan shall provide for the preservation of specific quality trees or stands of trees as shown on the CDP/FDP without precluding the development of a typical home on each of the lots as shown on the CDP/FDP. The Urban Forestry Branch may require modifications to the grading plan to the extent said modifications do not alter the number of dwelling units shown on the CDP/FDP, reduce the size of the units, or require the installation of retaining walls greater than two feet in height.

A. The tree preservation plan shall include a tree survey prepared by an arborist certified by the International Society of Arboriculture, showing the locations, size, species and approximate dripline of all the existing trees as shown on the CDP/FDP. The tree preservation plan shall include a condition analysis performed by a certified arborist, using the methods described in the latest edition of the "Guide for Plant Appraisal," published by the International Society of Arboriculture. This information shall be provided on the tree preservation plan.

B. After completion of the tree survey and condition analysis, the certified arborist shall consult with the Applicant's design engineer to determine the appropriate placement for homes on the lots in order to maximize tree preservation. The limits of clearing and grading will be determined at this time to minimize tree root disturbance. The tree preservation plan shall be submitted with, and become a part of, the site plan or subdivision plan and the overlot grading plans, whichever is appropriate. The placement of all utilities, both public and private, shall be considered prior to the submission of the tree preservation plan.

6.2 Tree healthcare measures shall be a part of the tree preservation plan. Specific tree preservation activities such as root pruning, vertical and horizontal mulching, mycorrhizae

treatment and crown maintenance shall be required where existing trees will be heavily impacted by construction activities.

6.3 The location of trees identified as candidates for transplanting shall be noted on the tree preservation plan and will be coordinated with the Urban Forestry Branch. Trees identified for transplanting shall be moved prior to the commencement of any clearing or demolition activities. If necessary, the transplanting may occur after the initial stages of clearing, if this is appropriate, but must commence immediately thereafter. Transplanted trees and shrubs may be substituted for landscaping shown on the development plan. The tree preservation plan must also contain a description of how the transplanted trees will be cared for both during storage, if applicable, and after final planting.

6.4 All trees shown to be preserved on the tree preservation plan shall be protected by fencing a minimum of four feet in height during construction. The tree protection fencing shall be made clearly visible to all construction personnel. The fencing shall be installed prior to any work being conducted on the site, including the demolition of any existing structures. The tree preservation plan may call for special tree protection measures where individual trees or groups of trees will be impacted on more than two sides. The certified arborist shall monitor the installation of the tree protection fencing and verify in writing that it has been installed prior to the demolition of any existing structures. In addition, the certified arborist shall monitor the construction work and tree preservation efforts in order to ensure that the commitments made on the tree preservation plan are fulfilled.

6.5 The demolition of existing structures shall be conducted in such a manner as to minimize the impact on individual trees and groups of trees to be preserved.

7. Architecture and Landscaping

7.1 The illustrative architectural drawings attached hereto as Exhibit A are provided to show the design intent of the proposed single-family, townhouse and multi-family buildings. The front elevations shall be generally consistent in character and quality with the illustrations. Specific features, such as the exact location and size of windows, doors, shutters and roofline are subject to modification with final engineering and architectural design. The applicant may also substitute different elevations provided that the new elevations are generally consistent in terms of character and quality with the illustrations.

7.2 The side and rear elevations of the single-family, townhouse, and multi-family buildings shall be constructed primarily with the same material as the front elevations and shall generally be consistent with the quality and character of the illustrations.

7.3 The typical foundation planting plans shown on the CDP/FDP are illustrative in nature. The final foundation planting plans shall be generally consistent in character and quality with the typical illustrations.

7.4 Street trees shall be planted in the general locations shown on the CDP/FDP. Trees to be planted in tree wells as shown on the CDP/FDP will be provided with the minimum planting areas established in the Public Facilities Manual. Design of tree wells shall be approved by the Urban Forestry Branch.

8. Open Space and Recreation

8.1 Two of the existing structures identified on the CDP/FDP as the Millhouse and Stonehouse shall be preserved, provided that alterations may be made for accessibility, safety, and structural integrity. The Stonehouse may, at the Applicant's discretion, be converted to meeting room or office for an on-site community manager.

8.2 All open space areas, including the existing farm pond, Millhouse, and Stonehouse shown on the CDP/FDP shall be dedicated and conveyed to the homeowners' association. Applicant shall restore areas disturbed for placement of utilities, if different from that shown on the CDP/FDP, as determined by DPWES.

8.3 The existing farm pond and Millhouse shall be accessible to both the residents of the Subject Property and the general public during daylight hours at a minimum and any other times as determined by the homeowners' association.

8.4 The Applicant shall make a monetary contribution of \$955.00 per dwelling unit for recreation improvements within the McLean area prior to the issuance of a building permit for each unit.

9. Noise Reduction

9.1 Applicant shall use building materials with characteristics to achieve a minimum average interior noise level of 45 dBA Ldn for all units (if any) located within the projected 65-70 dBA Ldn highway noise impact area for Dolley Madison Boulevard (Route 123) and Chain Bridge Road (Route 3547).

1. All units located between the 65-70 dBA Ldn highway noise impact contours (For Dolley Madison Boulevard: 65 dBA Ldn - 250 feet from centerline; 70 dBA Ldn - 120 feet from centerline and for Chain Bridge Road 65 dBA Ldn - 125 feet from centerline; 70 dBA Ldn - 60 feet from centerline) may achieve the average interior noise levels using the following acoustical techniques:

- A. Exterior walls shall have a laboratory STC rating of a least 39.
- B. Doors and windows shall have a laboratory STC rating of at least 28. If windows constitute more than twenty percent (20%) of any facade, they shall have the same laboratory STC as walls.

C. Measures to seal and caulk between exterior wall surfaces shall follow methods approved by the American Society for Testing and Materials to minimize sound transmission.

2. As an alternative, the Applicant may submit to the Department of Planning and Zoning (DPZ) and DPWES an acoustical engineering study which will specify those building materials to be used to ensure that building interior sound levels will not be in excess of 45 dBA Ldn for all of those residential units delineated on the CDP/FDP within the above-referenced areas. The study methodology shall be acceptable to DPZ.

3. In order to reduce exterior noise levels in affected rear and/or side yards to 65 dBA Ldn or less, one or more noise barrier shall be provided. Barrier(s) shall be of a height sufficient to break all lines of sight between a line eight feet above the centerline of the highway and a plane six feet above the ground in the affected outdoor recreation areas. The barrier(s) shall be architecturally solid from the ground up and shall contain no gaps. The Applicant may use gates between garage units as sound mitigation, provided that gates are flush with a step on the interior of the lot and the gates swing out towards an alley. A berm, architecturally solid wall, or berm and wall combination may be used to provide the required level of noise mitigation. The Applicant may incorporate privacy fencing within the noise barrier, provided that such fencing will meet the above guidelines.

10. Energy Efficiency

10.1 All homes on the Subject Property shall meet the thermal guidelines of the Virginia Power Energy Saver Program for energy-efficient homes or its equivalent, as determined by DPWES for either electric or gas energy systems, as applicable.

11. Use of Garages

11.1 Garages will be used only for the purposes that will not interfere with the intended purpose of a garage, which is the parking of vehicles and the location of certain utilities. A restrictive covenant to that effect running to the homeowners' association and Fairfax County, approved by the County Attorney, shall be recorded among the land records of the Fairfax County in conjunction with or prior to the Deed of Dedication and Subdivision.

12. Homeowners' Association and Disclosures

12.1 The Applicant shall form a homeowners' association for the Subject Property, as approved by the County Attorney. All open space, as shown on the Final Development Plan, shall be conveyed to the association at the time of subdivision.

12.2 Prior to entering into any contract of sale, prospective purchasers of homes within the Subject Property shall be notified in writing by the future homeowners' association of 1) the maintenance of the private streets, stormwater management and BMP facilities and the adjacent open space area; 2) accessibility of the pond, Millhouse, and pedestrian areas for the general

public, as set forth herein; 3) potential access for Parcel 60 as specified in paragraph 5.4, above; and 4) the requirement of the homeowner's association to maintain the trail around the pond and the trash receptacles at the bus stops along Chain Bridge Road. Purchasers shall acknowledge receipt of this information in writing. A covenant, setting forth the maintenance responsibility of the private streets, trash receptacles, stormwater management and BMP facilities, and accessibility of the farm pond, Millhouse, and pedestrian areas for the general public, by the homeowners' association shall be recorded among the land records of Fairfax County. Each deed of conveyance shall expressly contain these disclosures.

TITLE OWNER
PARCEL 30-1-((1))-38B

EVANS FARM INN CORP.

By: _____
Ralph B. Evans,
President

TITLE OWNER
PARCELS 30-1-((1))-37, 38,39, 41, 42, and 92

EVANS SOUTH LIMITED PARTNERSHIP
By: FIRST VIRGINIA BANK, TRUSTEE

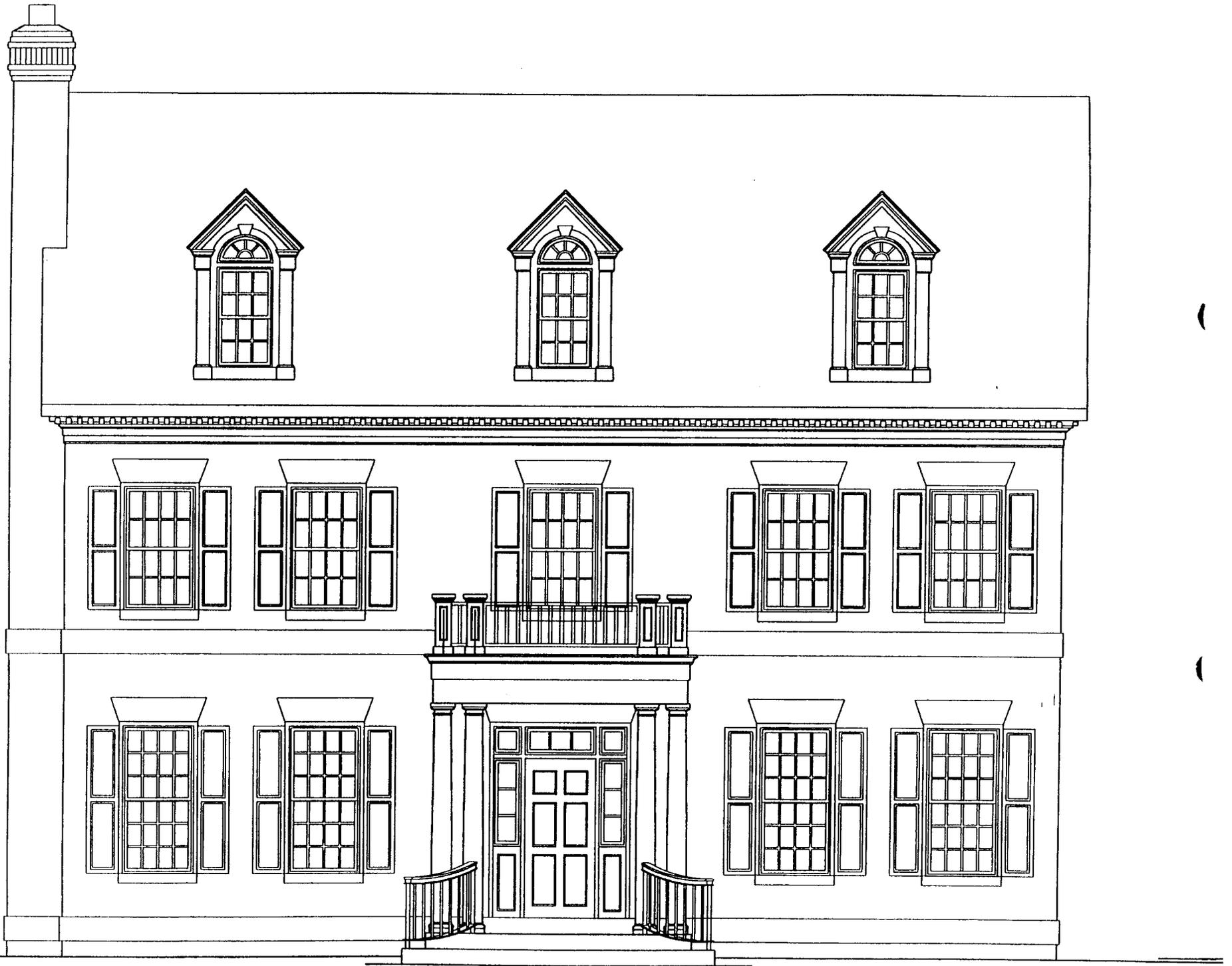
By: _____
Charles J. Connor, Jr.,
Vice President and Senior Trust Officer

CONTRACT PURCHASER
WEST*GROUP MANAGEMENT LLC

BY: _____
Kathryn A. MacLane,
Executive Vice President



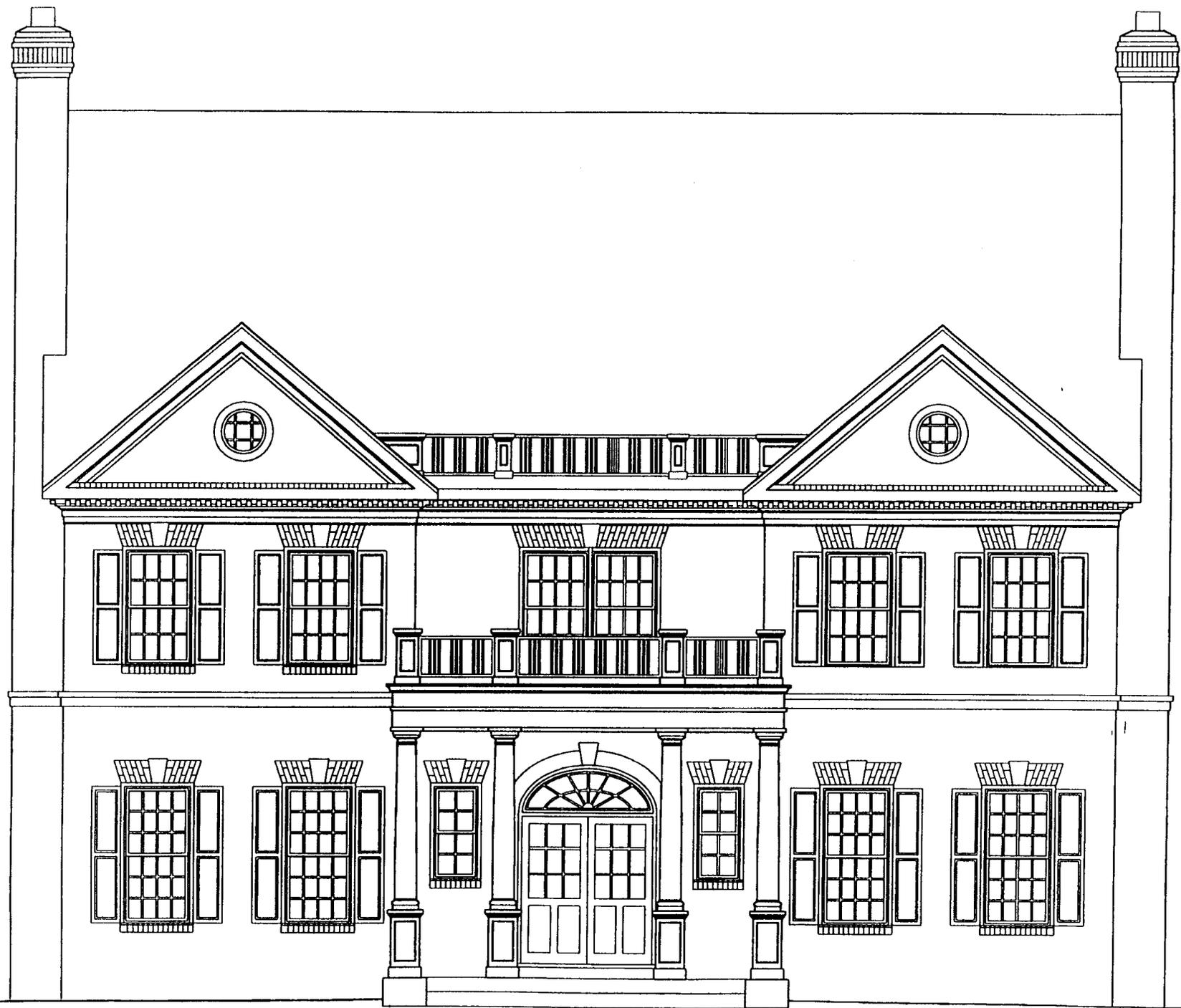
EXHIBIT A

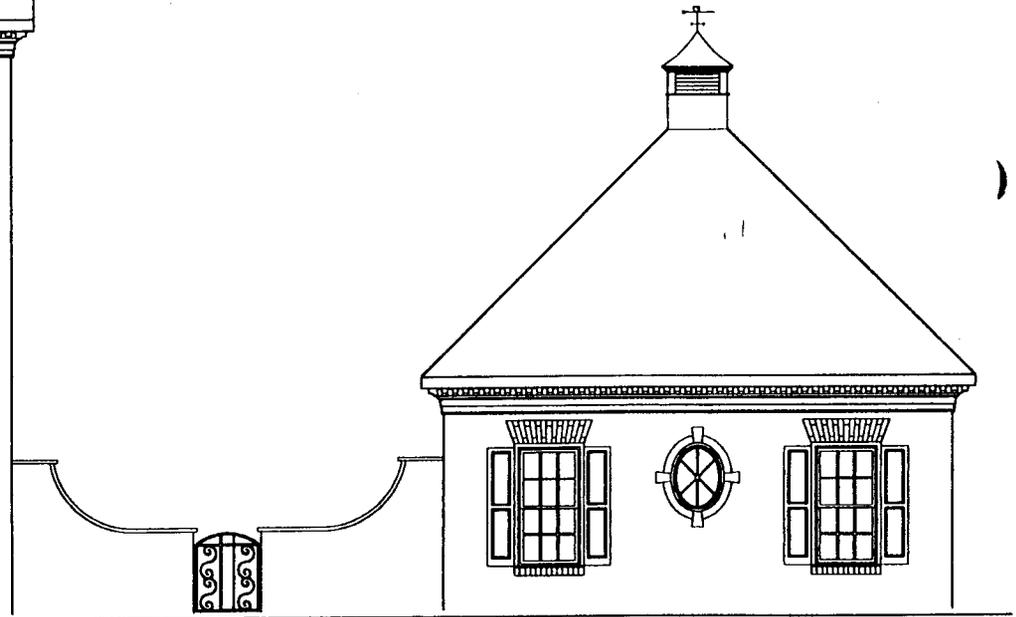
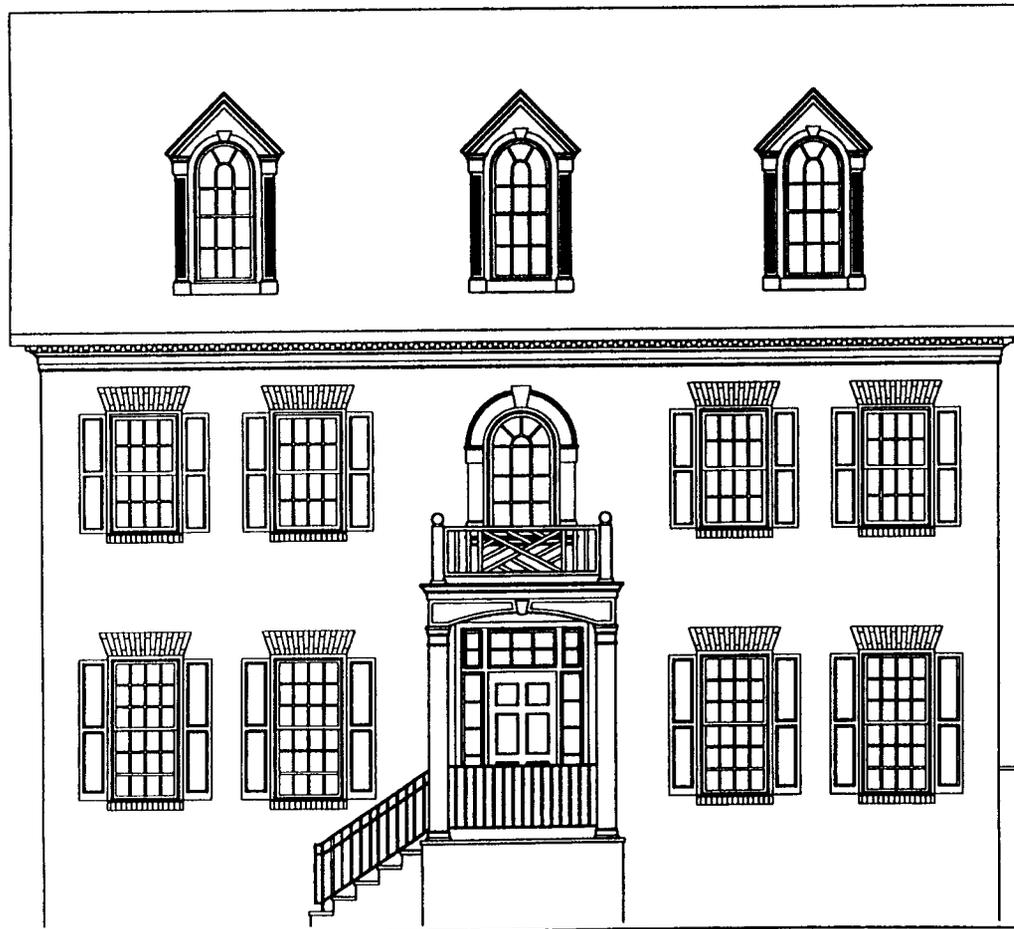


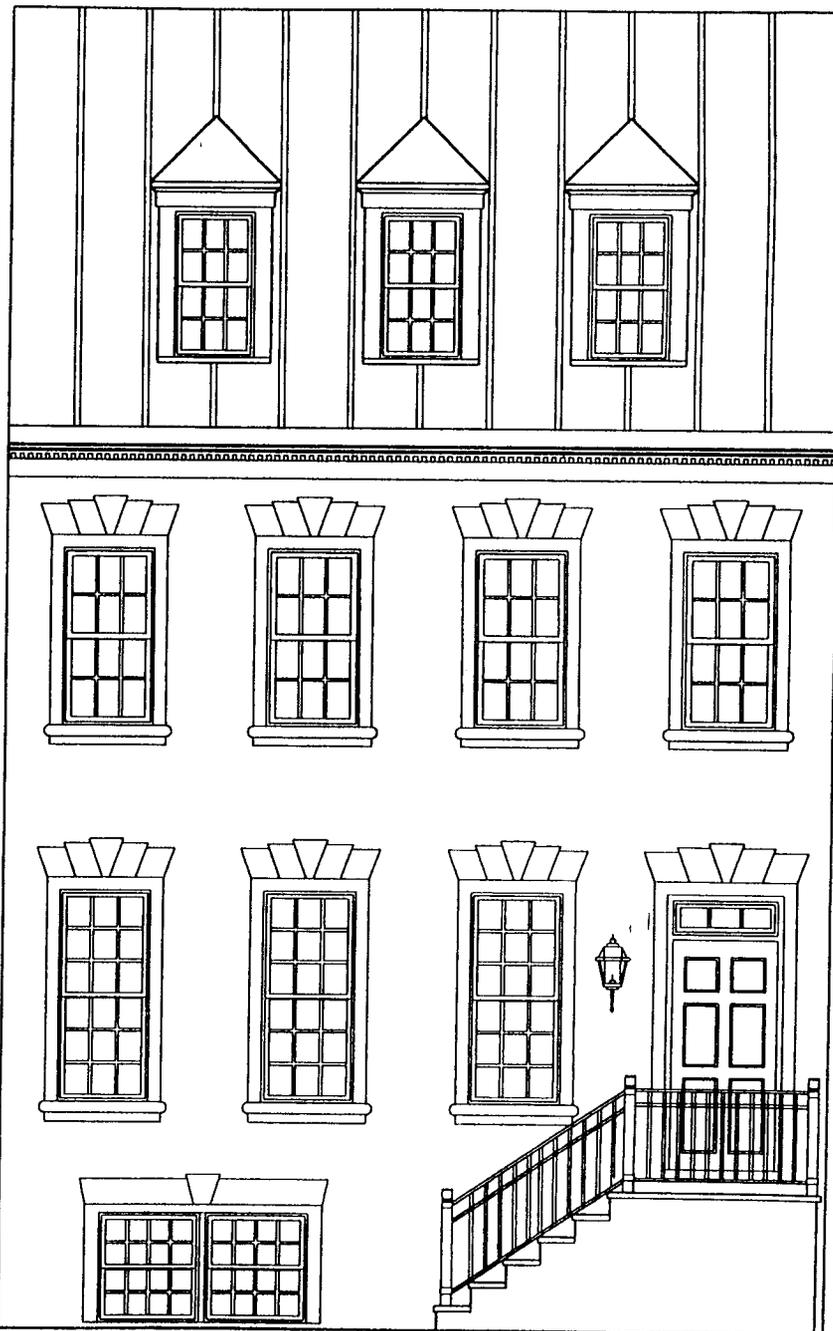
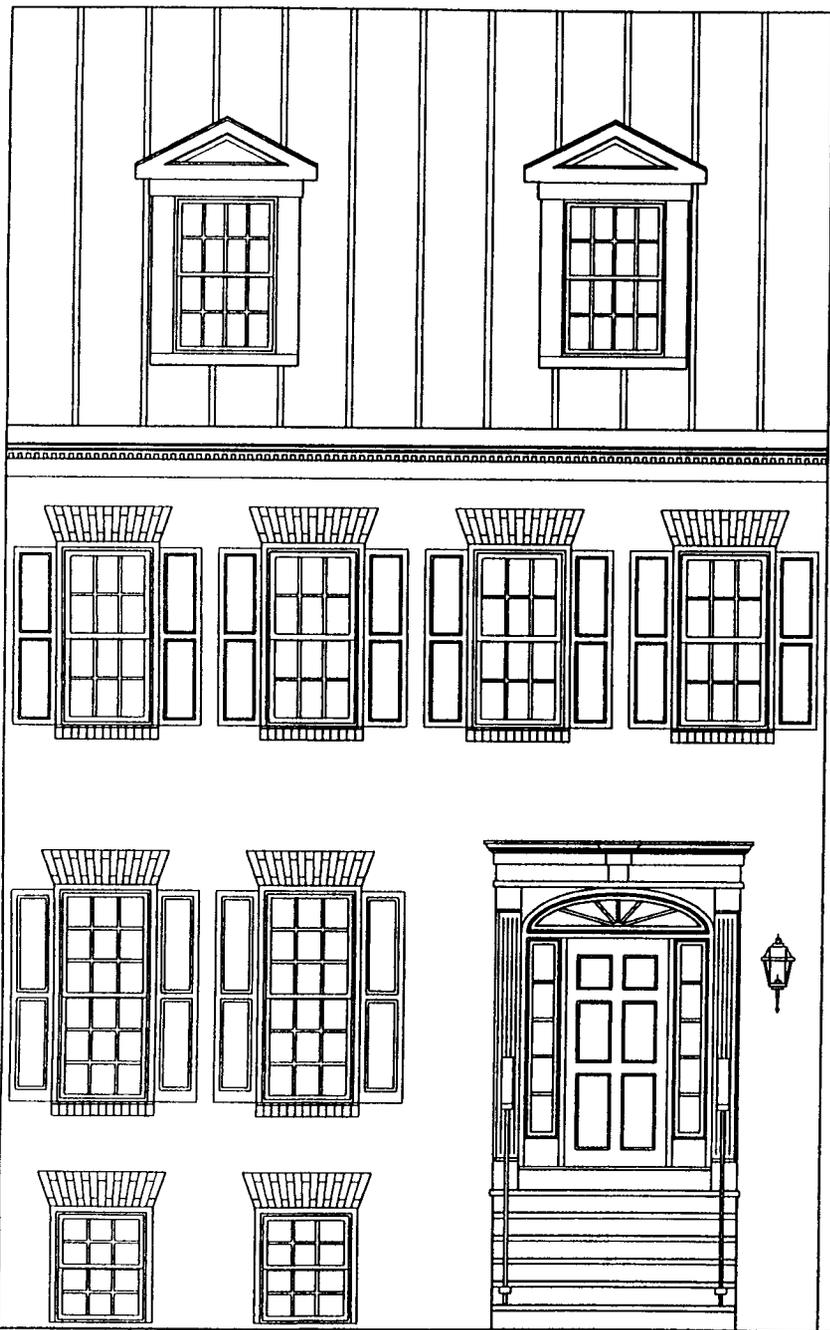


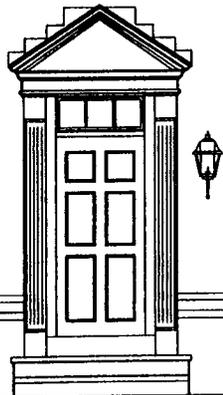
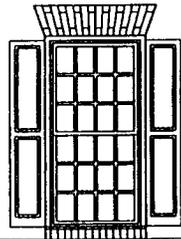
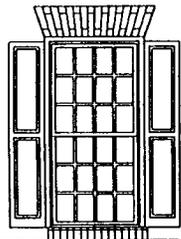
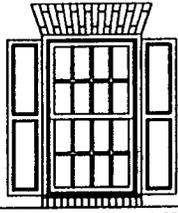
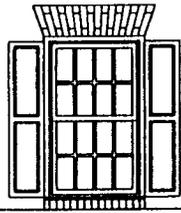
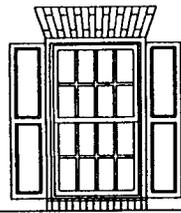
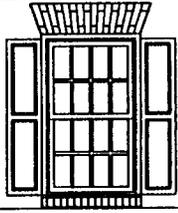
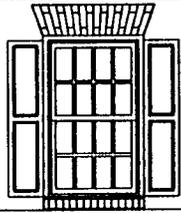
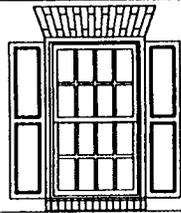
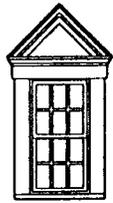


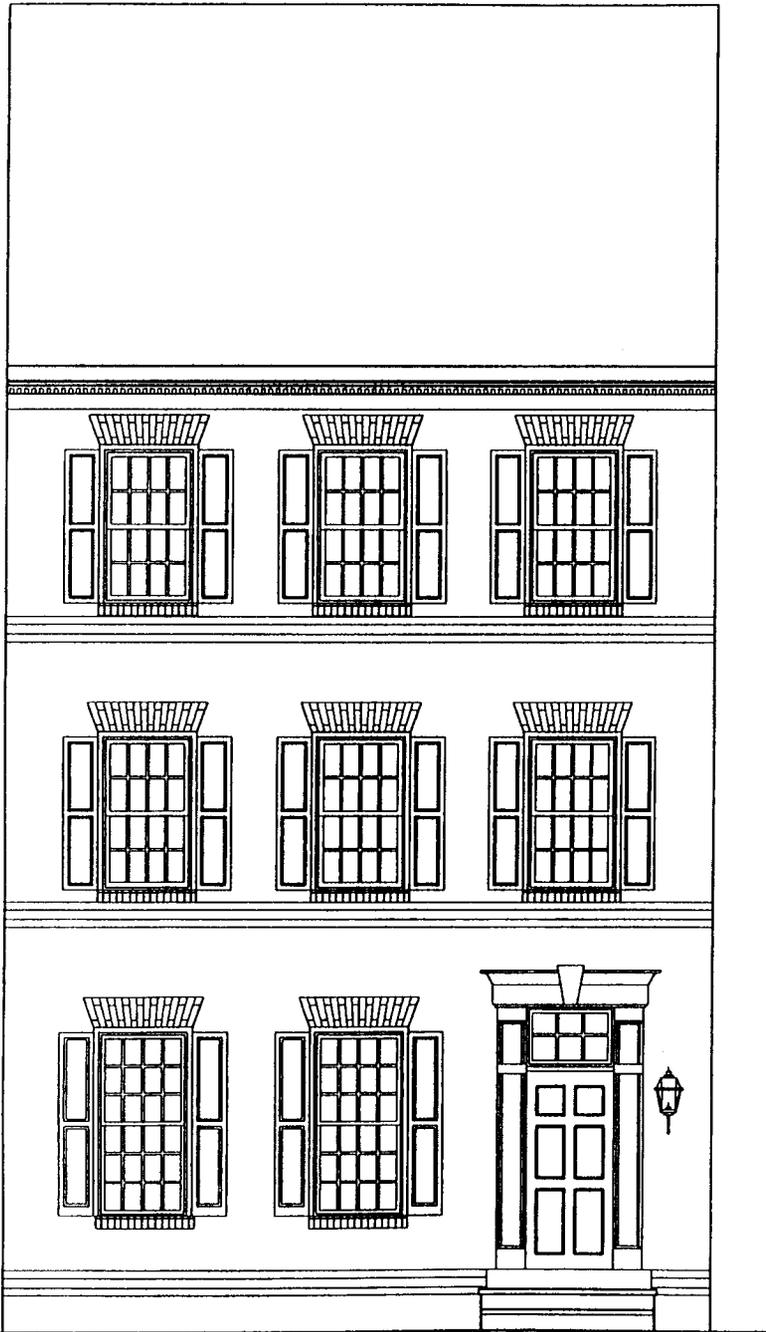


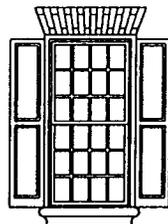
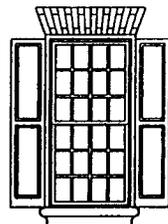
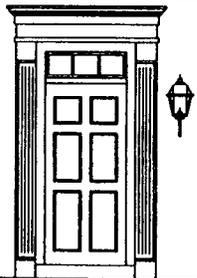
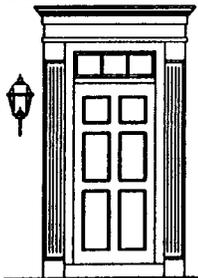
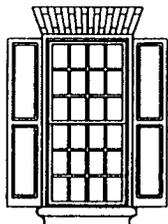
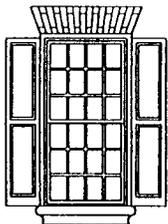
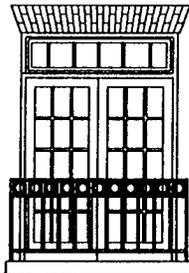
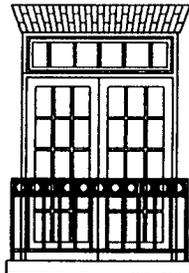
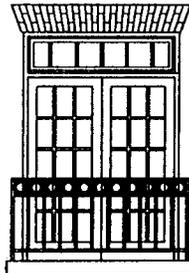
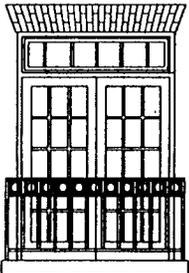
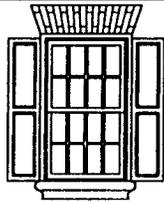
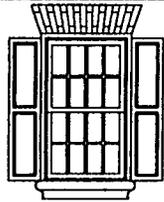
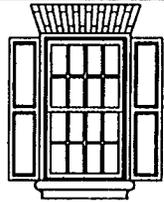
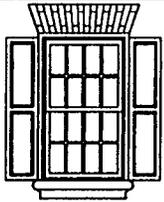
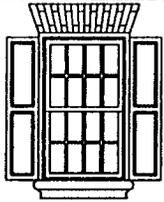
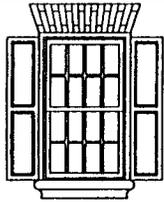
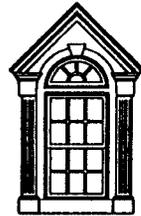
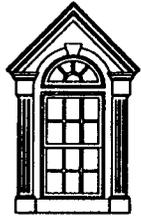
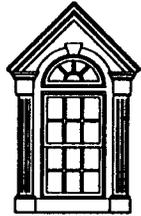
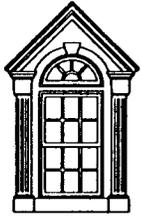
















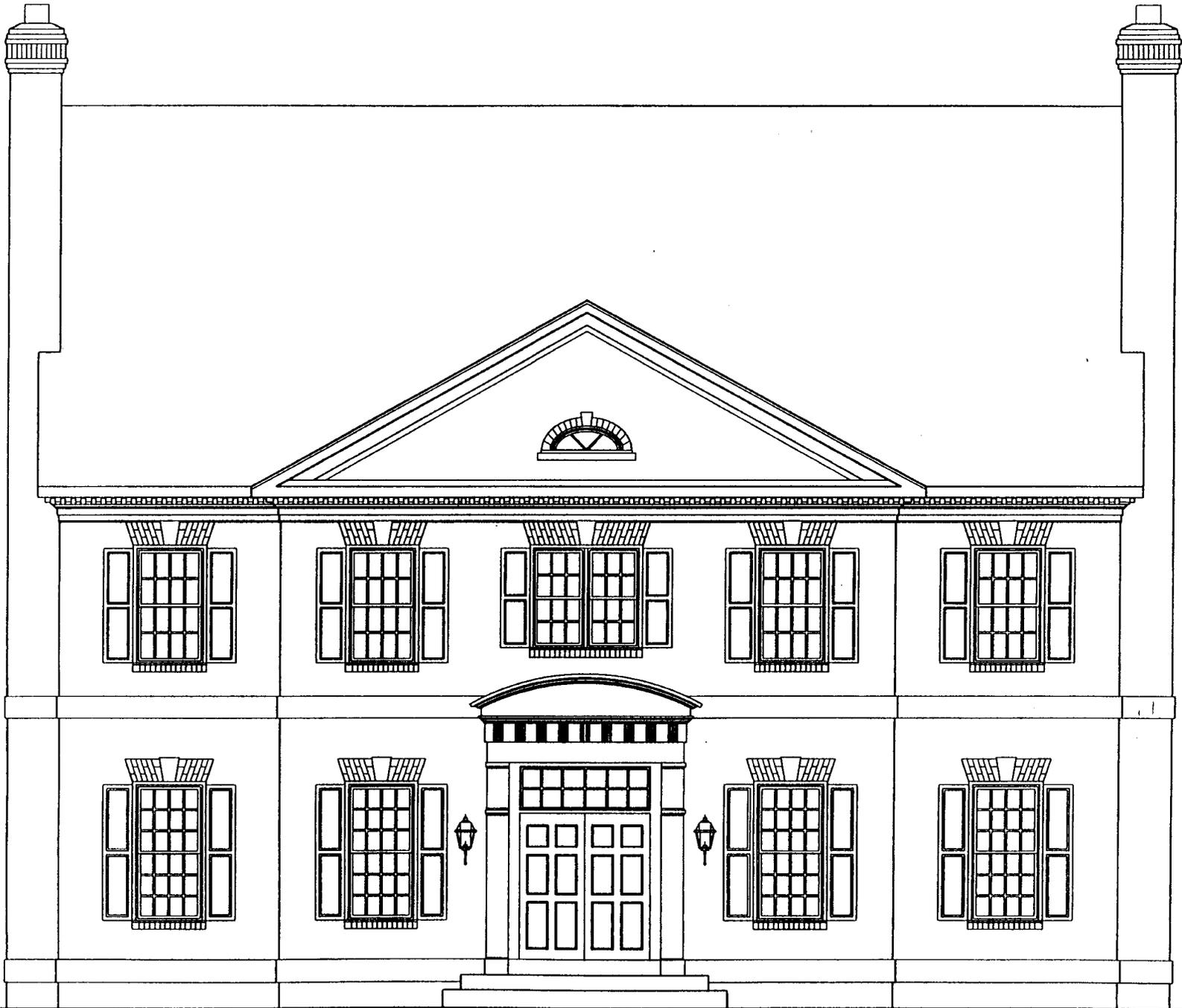
ELEVATION #2A

3/16" = 1'-0"



ELEVATION #2A

1'-10'-0"









REZONING AFFIDAVIT

APPENDIX 2a

DATE: February 24, 1999
 (enter date affidavit is notarized)

I, Jonathan P. Rak, Esquire, do hereby state that I am an
 (enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below 98-175a

in Application No(s): RZ 1998-DR-049
 (enter County-assigned application number(s), e.g. RZ 88-V-001)

and that to the best of my knowledge and belief, the following information is true:

1. (a). The following constitutes a listing of the names and addresses of all APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS and LESSEES of the land described in the application, and if any of the foregoing is a TRUSTEE*, each BENEFICIARY of such trust, and all ATTORNEYS and REAL ESTATE BROKERS, and all AGENTS who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in BOLD print are to be disclosed. Multiple relationships may be listed together, e.g., Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner.)

NAME (enter first name, middle initial & last name)	ADDRESS (enter number, street, city, state & zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
(1) First Virginia Bank, Trustee, for Evans Land Trust, for the benefit of Evans South LP Charles J. Connor, Jr.	6400 Arlington Boulevard Falls Church, VA 22402	Title Owner/Trustee 30-1((1)) 37, 38, 39, 41, 42, 42B, 92 Senior Trust Officer/Agent
(2) Evans Farm Inn Corp. Ralph B. Evans	1696 Chain Bridge Road McLean, VA 22101	Title Owner 30-1((1)) 38B * Applicant/Agent for *
(4) WEST*GROUP MANAGEMENT LLC Thomas D. Fleury Margaret F. Howell Kathryn A. MacLane	1600 Anderson Road McLean, VA 22102	Contract Purchaser Agent Agent Agent
(3) WEST*GROUP PROPERTIES LLC Kathryn A. MacLane	1600 Anderson Road McLean, VA 22102	Agent #
(5) Omer L. Hirst, Inc. Omer L. Hirst	6850 Elm Street McLean, VA 22101	Real Estate Broker Agent
(6) ESDC, Inc. William A. Moran James L. Perry	6820 Elm Street McLean, VA 22101	Agent Agent Agent
(7) Huntley, Nyce and Associates Charles A. Huntley, Jr. Robert L. Sproles	7202 Poplar Street. Annandale, VA 22003	Civil Engineer/Agent Agent Agent

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Rezoning Attachment to Par. 1(a)" form.

* List as follows: (name of trustee), Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

NOTE: This form is also for Final Development Plans not submitted in conjunction with Conceptual Development Plans.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

1. (b). The following constitutes a listing** of the SHAREHOLDERS of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders, and if the corporation is an owner of the subject land, all of the OFFICERS and DIRECTORS of such corporation:

(NOTE: Include sole proprietorships herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(1) First Virginia Bank, successor to Old Dominion Bank of Virginia, Trustee, Evans Land Trust
One First Virginia Plaza
6400 Arlington Boulevard, Falls Church, VA 22042

DESCRIPTION OF CORPORATION: (check one statement)

- [] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

Evans South LP, Sole Beneficiary

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

[Empty lines for listing officers and directors]

(check if applicable) [] There is more corporation information and Par. 1(b) is continued on a "Rezoning Attachment to Par. 1(b)" form.

** All listings which include partnerships or corporations must be broken down successively until (a) only individual persons are listed, or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of the stock. Use footnote numbers to designate partnerships or corporations which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(2) Evans Farm Inn Corporation
1696 Chain Bridge Road
McLean, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

Ralph B. Evans

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

Ralph B. Evans, President
Maria S. Evans, Secretary/Treasurer

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(8) Evans Land Trust 0011021232
c/o Evans South Limited Partnership
1696 Chain Bridge Road, McLean, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(9) Evans South Limited Partnership

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NA

(check if applicable) [X] There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(4) WEST*GROUP MANAGEMENT LLC
1600 ANDERSON ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less ^{Members} ~~shareholders~~, and all of the ^{Members} ~~shareholders~~ are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE ^{Members} ~~SHAREHOLDERS~~: (enter first name, middle initial & last name)

(10) WEST*GROUP, INC.
PARK GATE GROUP LLC
RA WEST, INC.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(11) PARK GATE GROUP LLC
1600 ANDERSON ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less ^{Members} ~~shareholders~~, and all of the ^{Members} ~~shareholders~~ are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE ^{Members} ~~SHAREHOLDERS~~: (enter first name, middle initial & last name)

(12) WEST*PARK ASSOCIATES L.P.
(13) WEST*GATE, A VIRGINIA L.P.
(10) WEST*GROUP, INC.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(3) WEST*GROUP PROPERTIES LLC
1600 Anderson Road
McLean, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)
 There are 10 or less ^{members} ~~shareholders~~, and all of the ^{members} ~~shareholders~~ are listed below.
 There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
 There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE ^{members} ~~SHAREHOLDERS~~: (enter first name, middle initial & last name)
(2) West*Park Associates LP
(3) West*Gate, A Virginia LP
(1) Park Gate Group LLC
(4) Rolim West LLC

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
G. T. Halpin, President
Thomas F. Nicholson, Vice President/Treasurer
Charles B. Ewing, Jr., Vice President
Kathryn A. MacLane, Vice President/Secretary
John C. Ulfelder, Vice President

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
(6) ESDC, Inc.
6820 Elm Street, Suite 200
McLean, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)
 There are 10 or less shareholders, and all of the shareholders are listed below.
 There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
 There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
William A. Moran
David D. Flanagan

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
David D. Flanagan
Jeffrey P. Rice
Catherine L. Griffin
John M. Clarke
R. D. Entsminger
Russell J. Dickens
Karen R. McJunkin
James L. Perry
Thomas E. Marshall

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(5) WESTEQUITIES, INC.
1600 ANDERSON ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

GERALD T. HALPIN
THOMAS F. NICHOLSON
CHARLES B. EWING, JR.
MARTHA U. SEELEY

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(10) WEST*GROUP, INC.
1600 ANDERSON ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

GERALD T. HALPIN
CHARLES B. EWING, JR.
THOMAS F. NICHOLSON
THE MARTHA U. SEELEY FAMILY TRUST F/B/O MARTHA U. SEELEY

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(22) ROLIM ASSOCIATES, A GENERAL PARTNERSHIP
C/O CGR ADVISORS
950 EAST PACES FERRY RD., SUITE 2275, ATLANTA, GA 30326

(check if applicable) [X] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

(26) SUNDAM II B.V., G.P.
(25) STICHTING PENSIOENFONDS ABP, G.P.

Two columns of horizontal lines for listing partner names and titles.

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(7) HUNTLEY NYCE AND ASSOCIATES LTD
7202 POPLAR STREET
ANNANDALE, VA 22003

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(16) HUNTLEY, NYCE COMPANY

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(16) HUNTLEY, NYCE COMPANY
7202 POPLAR STREET
ANNANDALE, VA 22003

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

CHARLES J. HUNTLEY
LESTER O. NYCE
ROBERT L. SPROLES

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(12) SOUTHFORK CORPORATION
1322 MERCHANT LANE
MCLEAN, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

CHARLES B. EWING, JR.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(18) FAIRFAX ROAD CORPORATION
400 CHAIN BRIDGE ROAD
MCLEAN, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

THOMAS F. NICHOLSON

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(19) EAGLE MANAGEMENT CORPORATION
1600 ANDERSON ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

GERALD T. HALPIN

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(20) THE SEELEY FAMILY CORPORATION
1441 KIRBY ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

MARTHA U. SEELEY

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

(21) NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
RA WEST, INC.
C/O CGR ADVISORS
950 EAST PACES FERRY RD., SUITE 2275, ATLANTA, GA 30326

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(22) ROLIM ASSOCIATES, A GENERAL PARTNERSHIP

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(14) ROLIM WEST LLC
C/O CGR ADVISORS
950 EAST PACES FERRY RD., SUITE 2275, ATLANTA, GA 30326

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(23) ROLIM REAL ESTATE INVESTMENTS, INC.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(23) ROLIM REAL ESTATE INVESTMENTS, INC.
C/O CGR ADVISORS 950 EAST PACES FERRY RD., SUITE 2275, ATLANTA, GA 30326

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(22) ROLIM ASSOCIATES, A GENERAL PARTNERSHIP

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(24) WESTGATE VIRGINIA INC
1600 ANDERSON ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

THE MAPLE FAMILY TRUST F/B/O RUTH U. COVO; HOWARD ULFELDER FIRST MARITAL FUND F/B/O HOWARD ULFELDER, JR., JOHN C. ULFELDER AND THOMAS H. ULFELDER; THE MARTHA U. SEELEY FAMILY TRUST F/B/O MARTHA U. SEELEY, JOHN N. SEELEY, MARGARET A. SEELEY AND JULIE A. SEELEY; SIDNEY ULFELDER FAMILY TRUST F/B/O SANDRA U. WALLICK; SIDNEY ULFELDER FAMILY TRUST F/B/O BARBARA U. SMITH; HELEN R. HALPIN; GERALD T. HALPIN.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175e

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(25) STICHTING PENSIOENFONDS Abp (Pension Fund)
OUDE OPINDASTRAAT 70
6411 EJ HEERDEA THE NETHERLANDS

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

_____	_____
_____	_____
_____	_____
_____	_____

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

_____	_____
_____	_____
_____	_____
_____	_____

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(26) SUNDAM II B.V.
C/O CGR ADVISORS
950 EAST PACES FERRY RD., SUITE 2275, ATLANTA, GA 30326

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(27) RODAMCO NORTH AMERICA B.V.	_____
_____	_____
_____	_____
_____	_____

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

_____	_____
_____	_____
_____	_____
_____	_____

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-1752

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(27) RODAMCO NORTH AMERICA B.V.
C/O CGR ADVISORS
950 EAST PACES FERRY RD., SUITE 2275 ATLANTA, GA 30326

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(29) RODAMCO N.V.
(25) STICHTING PENSIOENFUNDS ABP

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(28) RODAMCO N.V.
COOLSINGEL 120
3011 AG ROTTERDAM THE NETHERLANDS

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(25) STICHTING PENSIOENFUNDS ABP

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98.175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

(5) NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
Omer L. Hirst, Inc.
6850 Elm Street
McLean, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)
 There are 10 or less shareholders, and all of the shareholders are listed below.
 There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
 There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
Omer L. Hirst

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

Omer L. Hirst, President/Director
Nancy M. Hirst, Corporate Secretary/Treasurer/Director
Robin Hirst-Fisher, now Robin Hirst-Moore, Director

(8) NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
Wilkes, Artis Hedrick & Lane Chartered, PC
11320 Random Hills Road, Suite 600
Fairfax, VA 22030

DESCRIPTION OF CORPORATION: (check one statement)
 There are 10 or less shareholders, and all of the shareholders are listed below.
 There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
 There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

Charles A. Camalier, III, Esq.
Stanley J. Fineman, Esq.
Whayne S. Quin, Esq.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

(a)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

Walsh, Colucci, Stackhouse, Emrich & Lubéley, PC
2200 Clarendon Boulevard, 13th Floor
Arlington, VA 22201

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

Martin D. Walsh, Esq.	_____	Nan E. Terpak, Esq.	_____
Thomas J. Colucci, Esq.	_____		_____
Peter K. Stackhouse, Esq.	_____		_____
Jerry K. Emrich, Esq.	_____		_____
Michael D. Lubeley, Esq.	_____		_____

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g.

President, Vice-President, Secretary, Treasurer, etc.)

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

_____	_____
_____	_____
_____	_____
_____	_____

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g.

President, Vice-President, Secretary, Treasurer, etc.)

_____	_____
_____	_____
_____	_____
_____	_____

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

REZONING AFFIDAVIT

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

1. (c). The following constitutes a listing** of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(9) Evans South Limited Partnership
1696 Chain Bridge Road
McLean, VA 22101

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

Ralph B. Evans, General Partner
Maria S. Evans, General Partner
Virginia A. Evans, Limited Partner
Joseph E. Young, Limited Partner

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued on a "Rezoning Attachment to Par. 1(c)" form.

** All listings which include partnerships or corporations must be broken down successively until (a) only individual persons are listed, or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of the stock. Use footnote numbers to designate partnerships or corporations which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

DATE: February 24, 1999
(enter date affidavit is notarized)

98.175a

For Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(13) WESTGATE, A VIRGINIA LIMITED PARTNERSHIP
1600 ANDERSON ROAD
MCLEAN, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

GENERAL PARTNER:
WESTGATE VIRGINIA, INC.

LIMITED PARTNERS:
(29) WESTEQUITIES ASSOCIATES L.P.
HOWARD ULFELDER FIRST MARITAL FUND F/B/O HOWARD ULFELDER, JR., JOHN C. ULFELDER AND THOMAS H. ULFELDER
HOWARD ULFELDER IRREVOCABLE TRUST F/B/O HOWARD ULFELDER, JR.
HOWARD ULFELDER IRREVOCABLE TRUST F/B/O JOHN C. ULFELDER
HOWARD ULFELDER IRREVOCABLE TRUST F/B/O THOMAS H. ULFELDER
HOWARD ULFELDER 1983 IRREVOCABLE TRUST F/B/O HOWARD ULFELDER, JR., SUSANNA ULFELDER, JENNIFER ULFELDER,
STEVEN ULFELDER, DAVID ULFELDER AND ABIGAIL ULFELDER
HOWARD ULFELDER 1983 IRREVOCABLE TRUST F/B/O JOHN C. ULFELDER, SUSAN ULFELDER, WILLIAM ULFELDER, AND
JOHN ULFELDER, JR.
HOWARD ULFELDER 1983 IRREVOCABLE TRUST F/B/O THOMAS H. ULFELDER, JEAN ULFELDER, EMILY ULFELDER, ALEX
ULFELDER AND JAMES ULFELDER
THE MAPLE FAMILY TRUST F/B/O RUTH COVO
THE BLACK OAK TRUST F/B/O JOANNE COVO
THE WHITE OAK TRUST F/B/O MARILYN COVO
KRISTEN COVO
PETER PAUL COVO
NATHANIEL SCHMIDT
MATTHEW SCHMIDT
SIDNEY ULFELDER IRREVOCABLE TRUST F/B/O SANDRA WALLICK
SIDNEY ULFELDER IRREVOCABLE TRUST F/B/O BARBARA SMITH
SIDNEY ULFELDER FAMILY TRUST F/B/O SANDRA WALLICK
SIDNEY ULFELDER FAMILY TRUST F/B/O BARBARA SMITH
THE MARTHA U. SEELEY FAMILY TRUST F/B/O MARTHA U. SEELEY, JOHN N. SEELEY, MARGARET R. SEELEY, AND JULIE A.
SEELEY
THE RUDOLPH SEELEY AND MARTHA U. SEELEY IRREVOCABLE TRUST F/B/O JOHN N. SEELEY
THE RUDOLPH SEELEY AND MARTHA U. SEELEY IRREVOCABLE TRUST F/B/O MARGARET R. SEELEY
THE RUDOLPH SEELEY AND MARTHA U. SEELEY IRREVOCABLE TRUST F/B/O JULIE A. SEELEY
THOMAS H. ULFELDER

Multiple horizontal lines for additional information.

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(13) WEST GATE, A VIRGINIA LIMITED PARTNERSHIP (CONTINUED)
1600 ANDERSON ROAD
MCLEAN, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

LIMITED PARTNERS (CONTINUED):

- JOHN C. ULFELDER
- JOHN N. SEELEY
- JULIE ANN SEELEY
- MARGARET R. SEELEY
- MARTHA U. SEELEY
- GERALD T. HALPIN
- HELEN R. HALPIN
- JOHN N. GROVER
- LESTER WEIL, TRUSTEE U/D/T 5/29/76 F/B/O LESTER L. WEIL AND RUTH S. WEIL
- (30) ENFIELD ASSOCIATES
- THOMAS F. NICHOLSON
- CHARLES B. EWING, JR.
- EMILY W. MYATT
- SHERIDAN NICHOLSON
- THE RAYMOND FRIEDMAN TRUST F/B/O MYRA FRIEDMAN
- MYRA FRIEDMAN
- J. NORMA AND BARBARA ROSSEN REV. TRUST F/B/O J. NORMAN ROSSEN AND BARBARA ROSSEN
- GEORGE C. PIERCE
- JACQUES WACHTEL
- ROSE WACHTEL
- JACOB AND DOROTHY ENTEL, JOINT TENANTS WITH RIGHT OF SURVIVORSHIP
- KEITH RUMBEL
- HELEN RUMBEL
- R. O. WEBSTER
- THE ELLIOT MITCHELL TRUST F/B/O MILDRED MITCHELL
- ROGER A. GOLDE
- JOSEPH PHILIPSON TRUST F/B/O STELLA PHILIPSON, JEAN PHILIPSON, DAVID PHILIPSON, ALICE PHILIPSON, ROBERT PHILIPSON, STEPHANIE RAUGUST AND HIROMI IDEHAR
- NIEDERMAN FAMILY TRUST F/B/O RICHARD NIEDERMAN AND ROBERT NIEDERMAN
- CHARLES G. LUBAR
- NANCY L. SOMMERS
- JOAN L. ALVAREZ
- KURT AND/OR SUSAN BERLIN
- HARRIET D. MCLUCAS
- BRUCE MARK OLCOTT
- MIRIAM B. AND HAROLD M. LANDAU
- JOHN B. PHILLIPS
- RUTH E. WACHTEL
- JANET L. WACHTEL
- ALAN L. WACHTEL
- LENA GITTER
- ELEANOR M. CELLER
- JEROME NIEDERMAN TRUST F/B/O JACQUELINE NIEDERMAN, MICHAEL NIEDERMAN AND MARK NIEDERMAN

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(13) WESTGATE, A VIRGINIA LIMITED PARTNERSHIP (CONTINUED)
1600 ANDERSON ROAD
MCLEAN, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

LIMITED PARTNERS (CONTINUED):

CHERYL N. LILIENSTEIN
RICHARD NIEDERMAN
ROBERT NIEDERMAN
PETER T. HALPIN
JOHN B. PHILLIPS TESTAMENTARY TRUST F/B/O WILLIAM H. CROCKET, ANN CROCKET CRUMP, CAROL KRAUSS, CHARLES PHILLIPS, FRANCES G. PHILLIPS, HARRY PHILLIPS, JOHN PHILLIPS AND BETTY SALIGA

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175e

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(12) WEST*PARK ASSOCIATES LIMITED PARTNERSHIP
1600 ANDERSON ROAD
MCLEAN, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

GENERAL PARTNERS:
(19) EAGLE MANAGEMENT CORPORATION
(17) SOUTHFORK CORPORATION
(20) THE SEELEY FAMILY CORPORATION
(18) FAIRFAX ROAD CORPORATION
GERALD T. HALPIN
CHARLES B. EWING, JR.
THOMAS F. NICHOLSON

LIMITED PARTNERS:
THE MARTHA U. SEELEY FAMILY TRUST F/B/O JOHN SEELEY, MARGARET RUTH SEELEY, JULIE ANN SEELEY
HOWARD ULFELDER IRREVOCABLE TRUST F/B/O HOWARD ULFELDER, JR.
HOWARD ULFELDER IRREVOCABLE TRUST F/B/O JOHN C. ULFELDER
HOWARD ULFELDER IRREVOCABLE TRUST F/B/O THOMAS H. ULFELDER
THE MAPLE FAMILY TRUST F/B/O RUTH ULFELDER COVO
THE BLACK OAK TRUST F/B/O JOANNE COVO
THE WHITE OAK TRUST F/B/O MARILYN COVO SCHMIDT
RUDOLPH G. SEELEY AND MARTHA U. SEELEY IRREVOCABLE TRUST U/D/D 12/15/70 F/B/O JULIE ANN SEELEY
RUDOLPH G. SEELEY AND MARTHA U. SEELEY IRREVOCABLE TRUST U/D/D 12/15/70 F/B/O JOHN NICHOLAS SEELEY
RUDOLPH G. SEELEY AND MARTHA U. SEELEY IRREVOCABLE TRUST U/D/D 12/14/70 F/B/O MARGARET RUTH SEELEY
SIDNEY ULFELDER IRREVOCABLE TRUSTS U/D/D 12/15/70 F/B/O BARBARA ULFELDER SMITH
SIDNEY ULFELDER IRREVOCABLE TRUSTS U/D/D 12/15/70 F/B/O SANDRA ULFELDER WALLICK

(31) THE 1985 GROUP
(29) WESTEQUITIES ASSOCIATES L.P.
(10) WEST*GROUP, INC.
(3) WEST*GROUP PROPERTIES LLC
(4) WEST*GROUP MANAGEMENT LLC

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(29) WESTEQUITIES ASSOCIATES LIMITED PARTNERSHIP
1600 ANDERSON ROAD
MCLEAN, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

(5) GENERAL PARTNER:
WESTEQUITIES, INC.

- LIMITED PARTNERS:
- GERALD T. HALPIN
 - THOMAS F. NICHOLSON
 - CHARLES B. EWING, JR.
 - MARTHA U. SEELEY
 - LINDA P. BEALE
 - JOAN W. BOWE
 - WILLIAM A. CLARK
 - FLOYD D. DAVIS
 - WOODROW DUNCAN, JR.
 - PAMELA J. EDGEBERT
 - THOMAS D. FLEURY
 - MARY FOSTER
 - FREZEL GRAHAM
 - C. B. HAMMERLE
 - R. L. HEDGPETH
 - GEORGE E. HEFLIN
 - MARGARET DAWN HOLBROOK
 - MYRA C. HUGHES
 - JOHN T. KENNEY
 - JEFFREY LEE LONG
 - MALCOLM J. LONG
 - MICHAEL D. LYNCH
 - KATHERYN A. MACLANE
 - DAVID S. MCCOY
 - MITCHELLE C. MCCRACKEN
 - ROBERT C. NEWMAN
 - ROGER W. PHIPPS
 - ROBERT A. POTTS
 - ELIZABETH M. SAMPSON
 - JANET L. SISSON
 - LARRY E. SMITH
 - LEROY DEMPSEY SMITH
 - HARRY E. TILSON
 - DALE R. TOLLEY
 - PAUL JR AND KATHERINE AN WEBER
 - FRANCES LOUISE WICKER
 - BRUCE K. WILBER
 - DANIEL L. WONG
 - WALTER A. WOOD III

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98-1750

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(31) THE 1983 GROUP
1600 ANDERSON ROAD
MCLEAN VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

GENERAL PARTNER
GERALD T. HALPIN

LIMITED PARTNERS
FRANK J. HALPIN
MARY H. NODAR
KATHRYN A. MACLANE
JAMES T. HALPIN

Two columns of horizontal lines for listing partners and their details.

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

Rezoning Attachment to Par. 1(c)

DATE: February 24, 1999
(enter date affidavit is notarized)

98-175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(30) ENFIELD ASSOCIATES
120 NORTH ST. ASAPH STREET
ALEXANDRIA, VA 22314

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

CHARLES H. SMITH, JR., GENERAL PARTNER
WILLIAM FRANCIS SMITH, GENERAL PARTNER
CATHERINE SMITH SPRATLEY, GENERAL PARTNER

Multiple horizontal lines for listing additional partners and their titles.

(check if applicable) [] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

98 175a

for Application No(s): RZ 1998-DR-049
(enter County-assigned application number(s))

2. That no member of the Fairfax County Board of Supervisors or Planning Commission or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

None

(check if applicable) [] There are more interests to be listed and Par. 2 is continued on a "Rezoning Attachment to Par. 2" form.

3. That within the twelve-month period prior to the filing of this application, no member of the Fairfax County Board of Supervisors or Planning Commission or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of \$200 or more, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

Table with 3 columns: Name, Amount, and Source. Includes entries for Supervisor Dix (\$100), Supervisor Frey (\$250), and Supervisor Connolly (\$540).

(check if applicable) [X] There are more disclosures to be listed and Par. 3 is continued on a "Rezoning Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one) [] Applicant [X] Applicant's Authorized Agent
Jonathan P. Rak

Jonathan P. Rak, Esquire, Agent for Applicant
(type or print first name, middle initial, last name & title of signee)

Subscribed and sworn to before me this 24th day of February, 1999, in the state of Virginia.

My commission expires: December 31, 2000. Notary Public: Sheila J. Baker

REZONING AFFIDAVIT

APPENDIX 2b

DATE: February 24, 1999
(enter date affidavit is notarized)

I, Jonathan P. Rak, Esquire, do hereby state that I am an
(enter name of applicant or authorized agent)

(check one) [] applicant
[✓] applicant's authorized agent listed in Par. 1(a) below 99-84

in Application No(s): FDP 1998-DR-049
(enter County-assigned application number(s), e.g. RZ 88-V-001)

and that to the best of my knowledge and belief, the following information is true:

1. (a). The following constitutes a listing of the names and addresses of all APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS and LESSEES of the land described in the application, and if any of the foregoing is a TRUSTEE*, each BENEFICIARY of such trust, and all ATTORNEYS and REAL ESTATE BROKERS, and all AGENTS who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in BOLD print are to be disclosed. Multiple relationships may be listed together, e.g., Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner.)

NAME (enter first name, middle initial & last name)	ADDRESS (enter number, street, city, state & zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
(1) First Virginia Bank, Trustee, for Evans Land Trust, for the benefit of Evans South LP Charles J. Connor, Jr.	6400 Arlington Boulevard Falls Church, VA 22402	Title Owner/Trustee 30-1((1)) 37, 38, 39, 41, 42, 42B, 92 Senior Trust Officer/Agent
(2) Evans Farm Inn Corp. Ralph B. Evans	1696 Chain Bridge Road McLean, VA 22101	Title Owner 30-1((1)) 38B* Applicant/Agent for *
(4) WEST*GROUP MANAGEMENT LLC Thomas D. Fleury Margaret F. Howell Kathryn A. MacLane	1600 Anderson Road McLean, VA 22102	Contract Purchaser Agent Agent Agent
(3) WEST*GROUP PROPERTIES LLC Kathryn A. MacLane	1600 Anderson Road McLean, VA 22102	Agent "
(5) Omer L. Hirst, Inc. Omer L. Hirst	6850 Elm Street McLean, VA 22101	Real Estate Broker Agent
(6) ESDC, Inc. William A. Moran James L. Perry	6820 Elm Street McLean, VA 22101	Agent Agent Agent
(7) Huntley, Nyce and Associates Charles A. Huntley, Jr. Robert L. Sproles	7202 Poplar Street Annandale, VA 22003	Civil Engineer/Agent Agent Agent

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Rezoning Attachment to Par. 1(a)" form.

* List as follows: (name of trustee), Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

NOTE: This form is also for Final Development Plans not submitted in conjunction with Conceptual Development Plans.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DE-049
(enter County-assigned application number(s))

1. (b). The following constitutes a listing** of the SHAREHOLDERS of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders, and if the corporation is an owner of the subject land, all of the OFFICERS and DIRECTORS of such corporation:

(NOTE: Include sole proprietorships herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
(1) First Virginia Bank, successor to Old Dominion Bank of Virginia, Trustee, Evans Land Trust
One First Virginia Plaza
6400 Arlington Boulevard, Falls Church, VA 22042

DESCRIPTION OF CORPORATION: (check one statement)
[] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
Evans South LP, Sole Beneficiary

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) [] There is more corporation information and Par. 1(b) is continued on a "Rezoning Attachment to Par. 1(b)" form.

** All listings which include partnerships or corporations must be broken down successively until (a) only individual persons are listed, or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of the stock. Use footnote numbers to designate partnerships or corporations which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(2) Evans Farm Inn Corporation
1696 Chain Bridge Road
McLean, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

Ralph B. Evans

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

Ralph B. Evans, President
Maria S. Evans, Secretary/Treasurer

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(8) Evans Land Trust 0011021232
c/o Evans South Limited Partnership
1696 Chain Bridge Road, McLean, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(9) Evans South Limited Partnership

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NA

(check if applicable) [X] There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(4) WEST*GROUP MANAGEMENT LLC
1600 ANDERSON ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less ^{members} ~~shareholders~~, and all of the ~~shareholders~~ ^{members} are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE ^{Members} ~~SHAREHOLDERS~~: (enter first name, middle initial & last name)

(10) WEST*GROUP, INC.
PARK GATE GROUP LLC
RA WEST, INC.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(11) PARK GATE GROUP LLC
1600 ANDERSON ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less ^{members} ~~shareholders~~, and all of the ~~shareholders~~ ^{members} are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE ^{Members} ~~SHAREHOLDERS~~: (enter first name, middle initial & last name)

(12) WEST*PARK ASSOCIATES L.P.
(13) WEST*GATE, A VIRGINIA L.P.
(10) WEST*GROUP, INC.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(3) WEST*GROUP PROPERTIES LLC
1600 Anderson Road
McLean, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less ^{members} ~~shareholders~~, and all of the ~~shareholders~~ ^{members} are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE ~~SHAREHOLDERS~~ ^{members}: (enter first name, middle initial & last name)

- (2) West*Park Associates LP
- (3) West*Gate, A Virginia LP
- (1) Park Gate Group LLC
- (4) Rollin West LLC

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

- G. T. Halpin, President
- Thomas F. Nicholson, Vice President/Treasurer
- Charles B. Ewing, Jr., Vice President
- Kathryn A. MacLane, Vice President/Secretary
- John C. Ulfelder, Vice President

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(6) ESDC, Inc.
6820 Elm Street, Suite 200
McLean, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

- William A. Moran
- David D. Flanagan

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

- David D. Flanagan
- Jeffrey P. Rice
- Catherine L. Griffin
- John M. Clarke
- R. D. Entsminger
- Russell J. Dickens
- Karen R. McJunkin
- James L. Perry
- Thomas E. Marshall

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99.84

for Application No(s): ADP 1998-DK-049
(enter County-assigned application number(s))

(5) NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
WESTEQUITIES, INC.
1600 ANDERSON ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)
 There are 10 or less shareholders, and all of the shareholders are listed below.
 There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
 There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
GERALD T. HALPIN
THOMAS F. NICHOLSON
CHARLES B. EWING, JR.
MARTHA U. SEELEY

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(10) NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
WEST*GROUP, INC.
1600 ANDERSON ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)
 There are 10 or less shareholders, and all of the shareholders are listed below.
 There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
 There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)
GERALD T. HALPIN
CHARLES B. EWING, JR.
THOMAS F. NICHOLSON
THE MARTHA U. SEELEY FAMILY TRUST F/B/O MARTHA U. SEELEY

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DK-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(7) HUNTLEY NYCE AND ASSOCIATES LTD
7202 POPLAR STREET
ANNANDALE, VA 22003

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(16) HUNTLEY, NYCE COMPANY

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(16) HUNTLEY, NYCE COMPANY
7202 POPLAR STREET
ANNANDALE, VA 22003

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

CHARLES J. HUNTLEY
LESTER O. NYCE
ROBERT L. SPROLES

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99.84

for Application No(s): FD 1998-22-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(17) SOUTHFORK CORPORATION
1322 MERCHANT LANE
MCLEAN, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

CHARLES B. EWING, JR.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(18) FAIRFAX ROAD CORPORATION
400 CHAIN BRIDGE ROAD
MCLEAN, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

THOMAS F. NICHOLSON

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(19) EAGLE MANAGEMENT CORPORATION
1600 ANDERSON ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

GERALD T. HALPIN

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(20) THE SEELEY FAMILY CORPORATION
1441 KIRBY ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

MARTHA U. SEELEY

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99.84

for Application No(s): FDP 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(21) RA WEST, INC.
C/O CGR ADVISORS
950 EAST PACES FERRY RD., SUITE 2275, ATLANTA, GA 30326

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(22) ROLIM ASSOCIATES, A GENERAL PARTNERSHIP

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(14) ROLIM WEST LLC
C/O CGR ADVISORS
950 EAST PACES FERRY RD., SUITE 2275, ATLANTA, GA 30326

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(23) ROLIM REAL ESTATE INVESTMENTS, INC.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(23) ROLIM REAL ESTATE INVESTMENTS, INC.
C/O CGR ADVISORS 950 EAST PACES FERRY RD., SUITE 2275, ATLANTA, GA 30326

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(22) ROLIM ASSOCIATES, A GENERAL PARTNERSHIP

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(24) WEST*GATE VIRGINIA INC
1600 ANDERSON ROAD
MCLEAN, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

THE MAPLE FAMILY TRUST F/B/O RUTH U. COVO; HOWARD ULFELDER FIRST MARITAL FUND F/B/O HOWARD ULFELDER, JR., JOHN C. ULFELDER AND THOMAS H. ULFELDER; THE MARTHA U. SEELEY FAMILY TRUST F/B/O MARTHA U. SEELEY, JOHN N. SEELEY, MARGARET A. SEELEY AND JULIE A. SEELEY; SIDNEY ULFELDER FAMILY TRUST F/B/O SANDRA U. WALLICK; SIDNEY ULFELDER FAMILY TRUST F/B/O BARBARA U. SMITH; HELEN R. HALPIN; GERALD T. HALPIN.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-24

for Application No(s): FDP 1998-DR-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(25) STICHTING PENSIOENFONDS Abp (Pension Fund)
OUDE OPINDASTRAAT 70
6411 EJ HEERDEA THE NETHERLANDS

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(26) SUNDAM II B.V.
C/O CGR ADVISORS
950 EAST PACES FERRY RD., SUITE 2275, ATLANTA, GA 30326

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(27) RODAMCO NORTH AMERICA B.V.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DZ-049
(enter County-assigned application number(s))

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(27) RODAMCO NORTH AMERICA B.V.
C/O CGR ADVISORS
950 EAST PACES FERRY RD., SUITE 2275 ATLANTA, GA 30326

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(28) RODAMCO N.V. _____

(25) STICHTING PENSIOENFUND ABP _____

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

(28) RODAMCO N.V.
COOLSINGEL 120
3011 AG ROTTERDAM THE NETHERLANDS

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

(25) STICHTING PENSIOENFUND ABP _____

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-D2-049
(enter County-assigned application number(s))

(5) NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
Omer L. Hirst, Inc.
6850 Elm Street
McLean, VA 22101

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

Omer L. Hirst

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

Omer L. Hirst, President/Director
Nancy M. Hirst, Corporate Secretary/Treasurer/Director
Robin Hirst-Fisher, now Robin Hirst-Moore, Director

(8) NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)
Wilkes, Artis Hedrick & Lane Chartered, PC
11320 Random Hills Road, Suite 600
Fairfax, VA 22030

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

Charles A. Camalier, III, Esq.
Stanley J. Fineman, Esq.
Whayne S. Quin, Esq.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DR-049
(enter County-assigned application number(s))

(a)

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

Walsh, Colucci, Stackhouse, Emrich & Lubeley, PC
2200 Clarendon Boulevard, 13th Floor
Arlington, VA 22201

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

Martin D. Walsh, Esq.	_____	Nan E. Terpak, Esq.	_____
Thomas J. Colucci, Esq.	_____		_____
Peter K. Stackhouse, Esq.	_____		_____
Jerry K. Emrich, Esq.	_____		_____
Michael D. Lubeley, Esq.	_____		_____

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g.

President, Vice-President, Secretary, Treasurer, etc.)

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

NAME & ADDRESS OF CORPORATION: (enter complete name & number, street, city, state & zip code)

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial & last name)

_____	_____
_____	_____
_____	_____
_____	_____

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g.

President, Vice-President, Secretary, Treasurer, etc.)

_____	_____
_____	_____
_____	_____
_____	_____

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

REZONING AFFIDAVIT

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DR-049
(enter County-assigned application number(s))

1. (c). The following constitutes a listing** of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(9) Evans South Limited Partnership
1696 Chain Bridge Road
McLean, VA 22101

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

Ralph B. Evans, General Partner
Maria S. Evans, General Partner
Virginia A. Evans, Limited Partner
Joseph E. Young, Limited Partner

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued on a "Rezoning Attachment to Par. 1(c)" form.

** All listings which include partnerships or corporations must be broken down successively until (a) only individual persons are listed, or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of the stock. Use footnote numbers to designate partnerships or corporations which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DK-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(13) WESTGATE, A VIRGINIA LIMITED PARTNERSHIP
1600 ANDERSON ROAD
MCLEAN, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

GENERAL PARTNER:
WESTGATE VIRGINIA, INC.

LIMITED PARTNERS:
(29) WESTEQUITIES ASSOCIATES L.P.
HOWARD ULFELDER FIRST MARITAL FUND F/B/O HOWARD ULFELDER, JR., JOHN C. ULFELDER AND THOMAS H. ULFELDER
HOWARD ULFELDER IRREVOCABLE TRUST F/B/O HOWARD ULFELDER, JR.
HOWARD ULFELDER IRREVOCABLE TRUST F/B/O JOHN C. ULFELDER
HOWARD ULFELDER IRREVOCABLE TRUST F/B/O THOMAS H. ULFELDER
HOWARD ULFELDER 1983 IRREVOCABLE TRUST F/B/O HOWARD ULFELDER, JR., SUSANNA ULFELDER, JENNIFER ULFELDER,
STEVEN ULFELDER, DAVID ULFELDER AND ABIGAIL ULFELDER
HOWARD ULFELDER 1983 IRREVOCABLE TRUST F/B/O JOHN C. ULFELDER, SUSAN ULFELDER, WILLIAM ULFELDER, AND
JOHN ULFELDER, JR.
HOWARD ULFELDER 1983 IRREVOCABLE TRUST F/B/O THOMAS H. ULFELDER, JEAN ULFELDER, EMILY ULFELDER, ALEX
ULFELDER AND JAMES ULFELDER
THE MAPLE FAMILY TRUST F/B/O RUTH COVO
THE BLACK OAK TRUST F/B/O JOANNE COVO
THE WHITE OAK TRUST F/B/O MARILYN COVO
KRISTEN COVO
PETER PAUL COVO
NATHANIEL SCHMIDT
MATTHEW SCHMIDT
SIDNEY ULFELDER IRREVOCABLE TRUST F/B/O SANDRA WALLICK
SIDNEY ULFELDER IRREVOCABLE TRUST F/B/O BARBARA SMITH
SIDNEY ULFELDER FAMILY TRUST F/B/O SANDRA WALLICK
SIDNEY ULFELDER FAMILY TRUST F/B/O BARBARA SMITH
THE MARTHA U. SEELEY FAMILY TRUST F/B/O MARTHA U. SEELEY, JOHN N. SEELEY, MARGARET R. SEELEY, AND JULIE A.
SEELEY
THE RUDOLPH SEELEY AND MARTHA U. SEELEY IRREVOCABLE TRUST F/B/O JOHN N. SEELEY
THE RUDOLPH SEELEY AND MARTHA U. SEELEY IRREVOCABLE TRUST F/B/O MARGARET R. SEELEY
THE RUDOLPH SEELEY AND MARTHA U. SEELEY IRREVOCABLE TRUST F/B/O JULIE A. SEELEY
THOMAS H. ULFELDER

Horizontal lines for additional partner information.

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
 (enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DR-049
 (enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(13) WEST GATE, A VIRGINIA LIMITED PARTNERSHIP (CONTINUED)
 1600 ANDERSON ROAD
 MCLEAN, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

LIMITED PARTNERS (CONTINUED):

JOHN C. ULFELDER
 JOHN N. SEELEY
 JULIE ANN SEELEY
 MARGARET R. SEELEY
 MARTHA U. SEELEY
 GERALD T. HALPIN
 HELEN R. HALPIN
 JOHN N. GROVER
 LESTER WEIL, TRUSTEE U/D/T 5/29/76 F/B/O LESTER L. WEIL AND RUTH S. WEIL

(30) ENFIELD ASSOCIATES
 THOMAS F. NICHOLSON
 CHARLES B. EWING, JR.
 EMILY W. MYATT
 SHERIDAN NICHOLSON
 THE RAYMOND FRIEDMAN TRUST F/B/O MYRA FRIEDMAN
 MYRA FRIEDMAN
 J. NORMA AND BARBARA ROSSEN REV. TRUST F/B/O J. NORMAN ROSSEN AND BARBARA ROSSEN
 GEORGE C. PIERCE
 JACQUES WACHTEL
 ROSE WACHTEL
 JACOB AND DOROTHY ENTEL, JOINT TENANTS WITH RIGHT OF SURVIVORSHIP
 KEITH RUMBEL
 HELEN RUMBEL
 R. O. WEBSTER
 THE ELLIOT MITCHELL TRUST F/B/O MILDRED MITCHELL
 ROGER A. GOLDE
 JOSEPH PHILIPSON TRUST F/B/O STELLA PHILIPSON, JEAN PHILIPSON, DAVID PHILIPSON, ALICE PHILIPSON, ROBERT PHILIPSON, STEPHANIE RAUGUST AND HIROMI IDEHAR
 NIEDERMAN FAMILY TRUST F/B/O RICHARD NIEDERMAN AND ROBERT NIEDERMAN
 CHARLES G. LUBAR
 NANCY L. SOMMERS
 JOAN L. ALVAREZ
 KURT AND/OR SUSAN BERLIN
 HARRIET D. MCLUCAS
 BRUCE MARK OLCOTT
 MIRIAM B. AND HAROLD M. LANDAU
 JOHN B. PHILLIPS
 RUTH E. WACHTEL
 JANET L. WACHTEL
 ALAN L. WACHTEL
 LENA GITTER
 ELEANOR M. CELLER
 JEROME NIEDERMAN TRUST F/B/O JACQUELINE NIEDERMAN, MICHAEL NIEDERMAN AND MARK NIEDERMAN

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DR-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(13) WEST GATE, A VIRGINIA LIMITED PARTNERSHIP (CONTINUED)
1600 ANDERSON ROAD
MCLEAN, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

LIMITED PARTNERS (CONTINUED):

CHERYL N. LILLENSTEIN
RICHARD NIEDERMAN
ROBERT NIEDERMAN
PETER T. HALPIN
JOHN B. PHILLIPS TESTAMENTARY TRUST F/B/O WILLIAM H. CROCKET, ANN CROCKET CRUMP, CAROL KRAUSS, CHARLES PHILLIPS, FRANCES G. PHILLIPS, HARRY PHILLIPS, JOHN PHILLIPS AND BETTY SALIGA

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DR-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(12) WESTPARK ASSOCIATES LIMITED PARTNERSHIP
1600 ANDERSON ROAD
MCLEAN, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

- GENERAL PARTNERS:
- (19) EAGLE MANAGEMENT CORPORATION
 - (17) SOUTHFORK CORPORATION
 - (20) THE SEELEY FAMILY CORPORATION
 - (18) FAIRFAX ROAD CORPORATION
 - GERALD T. HALPIN
 - CHARLES B. EWING, JR.
 - THOMAS F. NICHOLSON

LIMITED PARTNERS:

- THE MARTHA U. SEELEY FAMILY TRUST F/B/O JOHN SEELEY, MARGARET RUTH SEELEY, JULIE ANN SEELEY
- HOWARD ULFELDER IRREVOCABLE TRUST F/B/O HOWARD ULFELDER, JR.
- HOWARD ULFELDER IRREVOCABLE TRUST F/B/O JOHN C. ULFELDER
- HOWARD ULFELDER IRREVOCABLE TRUST F/B/O THOMAS H. ULFELDER
- THE MAPLE FAMILY TRUST F/B/O RUTH ULFELDER COVO
- THE BLACK OAK TRUST F/B/O JOANNE COVO
- THE WHITE OAK TRUST F/B/O MARILYN COVO SCHMIDT
- RUDOLPH G. SEELEY AND MARTHA U. SEELEY IRREVOCABLE TRUST U/D/D 12/15/70 F/B/O JULIE ANN SEELEY
- RUDOLPH G. SEELEY AND MARTHA U. SEELEY IRREVOCABLE TRUST U/D/D 12/15/70 F/B/O JOHN NICHOLAS SEELEY
- RUDOLPH G. SEELEY AND MARTHA U. SEELEY IRREVOCABLE TRUST U/D/D 12/14/70 F/B/O MARGARET RUTH SEELEY
- SIDNEY ULFELDER IRREVOCABLE TRUSTS U/D/D 12/15/70 F/B/O BARBARA ULFELDER SMITH
- SIDNEY ULFELDER IRREVOCABLE TRUSTS U/D/D 12/15/70 F/B/O SANDRA ULFELDER WALLICK

- (31) THE 1985 GROUP
- (29) WESTEQUITIES ASSOCIATES L.P.
- (10) WESTGROUP, INC.
- (3) WESTGROUP PROPERTIES LLC
- (4) WESTGROUP MANAGEMENT LLC

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DC-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(29) WESTEQUITIES ASSOCIATES LIMITED PARTNERSHIP
1600 ANDERSON ROAD
MCLEAN, VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

(5) GENERAL PARTNER:
WESTEQUITIES, INC.

- LIMITED PARTNERS:
- GERALD T. HALPIN
 - THOMAS F. NICHOLSON
 - CHARLES B. EWING, JR.
 - MARTHA U. SEELEY
 - LINDA P. BEALE
 - JOAN W. BOWE
 - WILLIAM A. CLARK
 - FLOYD D. DAVIS
 - WOODROW DUNCAN, JR.
 - PAMELA J. EDGEBERT
 - THOMAS D. FLEURY
 - MARY FOSTER
 - FREZEL GRAHAM
 - C. B. HAMMERLE
 - R. L. HEDGPETH
 - GEORGE E. HEFLIN
 - MARGARET DAWN HOLBROOK
 - MYRA C. HUGHES
 - JOHN T. KENNEY
 - JEFFREY LEE LONG
 - MALCOLM J. LONG
 - MICHAEL D. LYNCH
 - KATHRYN A. MACLANE
 - DAVID S. MCCOY
 - MITCHELLE C. MCCrackEN
 - ROBERT C. NEWMAN
 - ROGER W. PHIPPS
 - ROBERT A. POTTS
 - ELIZABETH M. SAMPSON
 - JANET L. SISSON
 - LARRY E. SMITH
 - LEROY DEMPSEY SMITH
 - HARRY E. TILSON
 - DALE R. TOLLEY
 - PAUL JR AND KATHERINE AN WEBER
 - FRANCES LOUISE WICKER
 - BRUCE K. WILBER
 - DANIEL L. WONG
 - WALTER A. WOOD III

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DR-041
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(31) THE 1985 GROUP
1600 ANDERSON ROAD
MCLEAN VA 22102

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

GENERAL PARTNER
GERALD T. HALPIN

LIMITED PARTNERS
FRANK J. HALPIN
MARY H. NODAR
KATHRYN A. MACLANE
JAMES T. HALPIN

Multiple horizontal lines for listing additional partners.

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FD 1998-22-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(22) ROLIM ASSOCIATES, A GENERAL PARTNERSHIP
C/O CGR ADVISORS
950 EAST PACES FERRY RD., SUITE 2275, ATLANTA, GA 30326

(check if applicable) The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

(26) SUNDAM II B.V., G.P.
(25) STICHTING PENSIOENFONDS ABP, G.P.

Vertical lines for listing partner names and titles, with checkmarks in the right margin.

(check if applicable) There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-212-049
(enter County-assigned application number(s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)

(30) ENFIELD ASSOCIATES
120 NORTH ST. ASAPH STREET
ALEXANDRIA, VA 22314

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name & title, e.g. General Partner, Limited Partner, or General and Limited Partner)

CHARLES H. SMITH, JR., GENERAL PARTNER
WILLIAM FRANCIS SMITH, GENERAL PARTNER
CATHERINE SMITH SPRATLEY, GENERAL PARTNER

Lined area for listing additional partners and their titles.

(check if applicable) [] There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

DATE: February 24, 1999
(enter date affidavit is notarized)

99-84

for Application No(s): FDP 1998-DR-049
(enter County-assigned application number(s))

2. That no member of the Fairfax County Board of Supervisors or Planning Commission or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

None

(check if applicable) [] There are more interests to be listed and Par. 2 is continued on a "Rezoning Attachment to Par. 2" form.

3. That within the twelve-month period prior to the filing of this application, no member of the Fairfax County Board of Supervisors or Planning Commission or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of \$200 or more, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

Supervisor Dix	\$100	from Kathryn A. MacLane March 1998
Supervisor Dix	\$100	from G.T. Halpin March 1998
Supervisor Frey	\$250	from Kathryn A. MacLane June 1998
Supervisor Connolly	\$540	from Kathryn A. MacLane September 1998

(check if applicable) [X] There are more disclosures to be listed and Par. 3 is continued on a "Rezoning Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one) [] Applicant [X] Applicant's Authorized Agent

Jonathan P. Rak, Esquire, Agent for Applicant
(type or print first name, middle initial, last name & title of signee)

Subscribed and sworn to before me this 24th day of February, 1999, in the state of Virginia

Commonwealth

Beila A. Lake
Notary Public

My commission expires: December 31, 2000

WEST GROUP

August 18, 1998

Barbara A. Byron, Division Director
 Zoning Evaluation Division
 Department of Planning and Zoning, DPW & E'S
 County of Fairfax
 12055 Government Center Parkway, Suite 830
 Fairfax, VA 22030

RECEIVED
 DEPARTMENT OF PLANNING AND ZONING
 AUG 18 1998
 ZONING EVALUATION DIVISION

Re: Letter of Justification
 Application for Zoning Map Amendment
 Dranesville District
 Tax Map 30-1-001-0037, 0038, 0038B, 0039, 0041, 0042, 0042B and 0092

Dear Ms. Byron:

The Applicant respectfully requests a fair evaluation and subsequent approval of the above mentioned application which proposes to rezone the 24.1013 acre Evans Farm Inn property from the R-3 Zoning District to the PDH-8 Zoning District consistent with Article 6-100 of the Zoning Ordinance.

The property is located in the Dranesville Magisterial District, McLean Planning District, Kirby (M-3) Community Planning Sector. This planning sector is recommended as Suburban Neighborhoods under the Concept for Future Development and is considered an infill development which we feel meets Land Use Objectives 8 and 14 of the Policy Plan. While the property is not specifically mentioned in the Land Use Recommendations, the map indicates a recommendation of 5-8 units for the western portion of the property adjacent to the Presbyterian Church, the Retirement Residence Incorporated and Lewinsville Square and 3-4 units an acre on the eastern portion of the property adjacent to Broyhill-McLean Estates.

Our proposal offers approximately a 189 unit mix of single family units and townhouses in a neo-traditional format, much like the Kentlands project in Gaithersburg, Maryland, orienting single family houses adjacent to existing single family houses to the east and townhouses next to townhouses and multifamily to the west. Many of the existing trees can be saved as well as the existing farm pond and its adjacent mill house. The pond may be upgraded to meet current storm water management and water quality criteria.

The Evans Farm property is a unique property and deserves a unique treatment which results in high-end quality and compatibility with existing neighborhood structures. Access will be provided on Route 123 and Chain Bridge Road and traffic impacts will be fully provided and evaluated through the zoning process.

Ms. Barbara A. Byron

page 2

August 18, 1998

A consortium of the owner, Ralph Evans and his family; WEST*GROUP PROPERTIES LLC, a Tysons/McLean developer with over 37 years of experience; and McLean's own Elm Street Development Company, a premier residential developer; coupled with Andres Duany and Elizabeth Plater-Zyberk, the notably acclaimed architectural firm who created the neo-traditional concept for infill development, brings the exceptional experience necessary to result in a successful conclusion to the project.

We believe the following features meet and exceed all the criteria of Objective 8, policies a, b and c and Objective 14.

- The mix of housing types, sizes and cost ranges creates a ready-made community of grandparents and working professional singles and couples with and without children in a close, well lit, safe enclave much like Georgetown, Old Town Alexandria and Waterford.
- The winding, narrow streets and alleys with sidewalks provide vehicular and pedestrian traffic in a village like setting encouraging pedestrian usage and safer, lower speed vehicular access.
- The use of existing trees and open space couple with pocket parks and usable play areas create visual focal points as well as gathering places for all ages as opposed to artificially created "tot lots" often seen in contemporary developments.
- The use of rear loaded garages and alleys creates an opportunity for treed walkways, houses closer to the streets and warmth.
- The perimeter of the site is structured to create visual and auditory screening from the existing stable neighborhoods.

We believe our proposal is in conformance with the 1990 Edition of the Policy Plan Concept for Future Development and the recommendations of the Comprehensive Plan for Area II, McLean Planning District. We submit our complete application along with this letter of justification and look forward to working with you and your staff.

Very truly yours,

WEST*GROUP



Thomas D. Fleury
Senior Vice President
Development Services



January 20, 1999

Mr. Peter Braham
Zoning Evaluation Division
Department of Planning and Zoning
Fairfax County
12055 Government Center Parkway
Suite 801
Fairfax, Virginia 22035-5505

RECEIVED
DEPARTMENT OF PLANNING AND ZONING

JAN 21 1999

ZONING EVALUATION DIVISION

Dear Peter:

I wanted to give you an update on the issues that you raised at our Pre-staffing conference for the Evans property:

- 1) Restaurant: The FDP has been revised to provide more information on this proposed use. We are proposing a single-story structure (with a cellar) of not more than 2,000 square feet. The restaurant would have a maximum of 100 seats with no more than 12 employees on duty at any one time. No counter space is proposed. The plan has been revised to show an outdoor terrace and to provide nine additional parking spaces.
- 2) Multi-family buildings: We are still working on the conceptual architecture for these buildings. I should have this to you next week.
- 3) Corps of Engineers/VDEQ issues with pond: See correspondence to Mary Ann Welton dated January 18, 1999. We do not believe these two agencies will be a hindrance to converting the on-site pond into a stormwater management facility.

- 4) Route 123 frontage: An exhibit detailing our proposed improvements to Route 123 will come to you directly from Huntley, Nyce. I will forward copies to Mark Canale at DOT and to Mike Zakkak at OSDS.
- 5) Enterprise Avenue cul-de-sac: We are pursuing this issue with Geoff Harris in Supervisor Mendelsohn's office.
- 6) Fire Marshall's office: See correspondence to Richard Derrickson dated January 12, 1999. I spoke with Mr. Derrickson today and he requested a couple of clarifications in the letter, none of which change the conclusions. I will send you a revised letter.
- 7) Water system layout: A water layout, including hydrants, has been added to the conceptual utilities on the FDP. I have forwarded this to Richard Derrickson at the Fire Marshall's office for comments.
- 8) Tree wells: We have added tree wells in specific locations on the FDP. All tree wells will be in conformance with the minimum planting area requirements of the PFM. Some new trees have been relocated on the FDP Landscape Plan so that they are no longer in conflict with the proposed walks.
- 9) "Preservation" area: This has been re-labeled as "Open Space" Area. Notes about the conversion of the pond into a stormwater management facility have been added to the FDP.
- 10) Landscape plan: The FDP landscape plan has been revised and is now consistent with the Tree Inventory and final tree survey. We have changed the preservation designation of a few trees based on various issues and upon further discussions with the project arborist.
- 11) OSDS review of utilities: I met with Mike Zakkak of OSDS on January 13, 1999 to review the conceptual utilities. He stated a concern about having individual yard inlets connected to the storm drain main by pipes that go underneath a garage. It was my impression that OSDS will accept this condition at Final Site Plan provided that this condition is minimized (in terms of how many times it occurs) and provided that some type of clean out is provided. I will clarify that with Mr. Zakkak. He referred me to Jan Levitt and the Department of Public works regarding the proposed sanitary sewer layout. I met with DPW on January 21, 1999 to review the sewer layout. They do not object to having the sewer mains in the alleys provided they get a standard 10' easement and no structures are within 15' of the main. Since the alleys are 30' wide with the sewer in the middle, this should not be a problem.

DPW referred me to the Plumbing Section of Building Permits regarding sewer laterals crossing under garages. I will pursue this with the Plumbing section next week.

12) Conceptual architecture & perspective drawings: Conceptual Architecture for the single family detached and townhouses is enclosed. I should have the perspective drawings to you the week of January 25th.

13) Land area discrepancy: Huntley, Nyce contacted Tom Merritt in the Mapping Section on this issue. The discrepancy is between our ALTA Boundary Survey and the county's assessment records. Mr. Merritt agreed that our survey is much more accurate. He suggested that we record the survey. This would eventually be reflected in the assessment records so that they would match exactly. We are investigating this further.

14) Warrant analysis for Chain Bridge Road access: This has been ordered. We do not expect that the warrant analysis will justify a signal. We have proffered to escrow the funds for this signal.

15) Zoning issues associated with ADU's: Specifically, issues related to an arrangement with the Lewinsville Retirement Home to provide our ADU's. Lynne Strobel is continuing to pursue this with the Zoning Administrator. An alternative sketch showing how this would look has been added to our FDP.

16) Parking tabulation: This tabulation has been corrected to reflect 18 spaces under each 12-unit building.

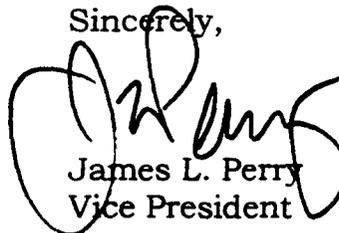
17) Parking spaces for Lewinsville Presbyterian Church: We have come up with three possible alternatives for additional parking spaces for the church. This issue is still being negotiated. I will send you copies of these alternatives tomorrow.

18) Proffers: A draft proffer statement will be submitted directly from Jonathan Rak at Wilkes, Artis, Hedrick & Lane. This includes a proffer that addresses the outparcel to our west (parcel 60) and a proffer that directs our \$955/unit recreation contribution to trails in McLean.

I believe this is all of the items we discussed. Please let me know if you require any additional information.

We would like to meet with you and Barbara Byron as soon as possible to discuss the restaurant. Please let me know if this is possible.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Perry", written over the typed name and title.

James L. Perry
Vice President

JLP/fr

Cc: Kathryn MacLane, West*Group



APPENDIX 3c

January 12, 1999
(Revised)

RECEIVED
DEPARTMENT OF PLANNING AND ZONING
JAN 25 1999
ZONING EVALUATION DIVISION

Mr. Richard Derrickson
Engineering Plans Examiner
Fire Prevention Division
Fire and Rescue Department
County of Fairfax
4100 Chain Bridge Road
Fairfax, Virginia 22030

Re: Evans Property

Dear Mr. Derrickson:

Thank you for meeting with us to discuss the development of the Evans property in McLean. I wanted to follow-up with this letter to make sure we understand your department's position on the following issues that we discussed:

Controlled Access Gates

These are allowed in Fairfax County. A minimum width of 24' at the gates must be provided for two-way streets. A lock-box to your specifications must also be provided to facilitate emergency vehicle access.

Width of Streets

Two-way streets with 5.5 meters (18') for the travel lanes is acceptable provided that the entire width is designated as a fire lane. However, your department does not support parallel parking spaces less than 2.4 meters (8') in width (*which is the PFM requirement*) along the side of the travel way.

Alleys

The 4.3 meter (14') wide alleys behind the units are acceptable if they are not used to provide the required fire lane access to the front door of the units. *If any portion of an alley is used for firelane access, it would have to be at least 18' wide.*

Mr. Richard Derrickson
January 12, 1999
Page Two

Turnarounds on Dead-end Streets

The turnarounds shown on the plan are acceptable if they are large enough to provide a "Y" type turning movement as shown in the PFM.

Firelane Access

Fire and Rescue vehicles must be able to get within 100' of the front door of every unit. We discussed two areas on the plan where this may be an issue. For the townhouse units fronting on the brick courtyard adjacent to Route 123, we discussed providing a curb cut so that your vehicles could drive into this courtyard to within 100' of the last unit.

For the townhouse units fronting on Chain Bridge Road, we discussed adding some type of firelane in front of these units if the units are not assigned an address on Chain Bridge Road.

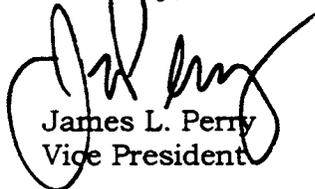
Fire Hydrants

Because of the close proximity of the units to the street, we may need to "double" some hydrant locations to provide the minimum setback for each unit. Our civil engineer is laying the hydrant now. I will forward you a copy when it is complete.

If this understanding is not correct in any way, please call me so I can revise the letter accordingly.

Thank you for your assistance. We look forward to working with your office on this project.

Sincerely,



James L. Perry
Vice President

JLP/fr

Cc: Peter Braham



RECEIVED
DEPARTMENT OF PLANNING AND ZONING
JAN 27 1999
ZONING EVALUATION DIVISION

January 21, 1999

Mr. Richard Derrickson
Engineering Plans Examiner
Fire Prevention Division
Fire and Rescue Department
County of Fairfax
4100 Chain Bridge Road
Fairfax, Virginia 22030

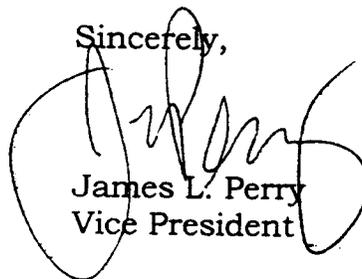
Dear Mr. Derrickson:

Please find enclosed a revised CDP/FDP for the Evans Property in McLean. A conceptual water layout, including hydrants, has been added to this plan. The hydrant locations are conceptual in nature and would be located in the general vicinity shown on the plan.

We would welcome any additional comments your office may have on this water layout or other Fire Marshall issues.

Thank you for your continued assistance.

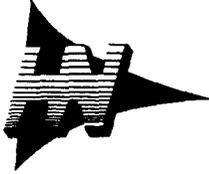
Sincerely,



James L. Perry
Vice President

JLP/fr

Cc: Peter Braham



HUNTLEY, NYCE & ASSOCIATES, LTD.

SURVEYING - CIVIL ENGINEERING - LAND PLANNING

7202 Poplar Street, Unit E

Annandale, Virginia 22003

Local (703) 750-3490, Fax (703) 642-5936

DEC 28 1998

APPENDIX 3d

DIRECTORS

CHAIRMAN OF THE BOARD
CHARLES J. HUNTLEY

PRESIDENT
LESTER O. NYCE P.E.

VICE PRESIDENT
ROBERT L. SPROLES P.E.

12/23/98

Mr. James L. Perry, Vice President
Elm Street Development
6820 Elm Street
Suite 200
McLean, VA 22101

Re: Evans Farm Storm Water Management

Dear Sir:

Evans Farm subdivision is a proposed 24.14 acres development which is located in Drainsville district. This development will consist of single family detached and attached units, multifamily units and the required infrastructure such as roads, storm and sanitary sewer lines and etc. to support it. There is an existing wet pond on site that will be modified and used to provide water quality and quantity control for this development.

The total acreage of the site is 24.14 acres. To satisfy the Chesapeake Ordinance and provide storm water management for this development. Existing pond on the property will be modified to provide storm detention and water quality; these modifications to the pond will be accompanied with a Geo-technical investigation to verify the stability of the existing embankment.

These modifications will include activities such as:

1. dredging of the pond and providing more wet volume for the water quality
2. grading of the area around the pond to a maximum of 3:1 slope
3. installing a modified structure to control the runoff from pond
4. Installing an emergency spillway on the existing embankment.
5. Adjusting top of the embankment per PFM requirements
6. Installing a outfall conduit under the embankment

Water quality will be achieved for the proposed development by using the existing pond and modifying it to function as a wet pond with enough wet volume to satisfy the required wet storage for the phosphorus reduction necessary to this development. Storm Water Management will be achieved by controlling the runoff from this pond and storage above the permanent water surface elevation will be used.

These modifications will be in such a way that scenic integrity of the existing pond will be kept.

Please feel free to contact at (703) 750-3490 me if any additional information is needed.

Best Regards,

A handwritten signature in black ink, appearing to read 'R. Hakimi', with a long horizontal stroke extending to the right.

Reza A. Hakimi
Director of Engineering



RECEIVED
DEPARTMENT OF PLANNING AND ZONING

JAN 22 1999

ZONING EVALUATION DIVISION

January 18, 1999

Ms. Mary Ann Welton
Planning Division
Office of Planning & Zoning
12055 Government Center Parkway
7th Floor
Fairfax, Virginia 22035-5505

Dear Ms. Welton:

Peter Braham asked me to send you some additional information regarding the conversion of the existing pond on the Evans property in McLean into a stormwater management facility. Specifically, I believe the concern is that the Corps of Engineers or the Virginia Department of Environmental Quality (VDEQ) may have issues with such a conversion.

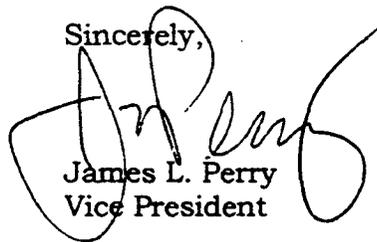
Enclosed for your review are:

- 1) Verification of a jurisdictional determination from the Corps of Engineers. Please note that waters regulated by the Corps are limited to the existing pond. No other jurisdictional wetlands were identified on the site, and
- 2) Letter from Michael Klebasko of McCarthy & Associates, Inc. summarizing the specific regulatory requirements for modifying the existing pond. Conversion of the pond to stormwater management use would likely qualify for a Nationwide Permit, which can typically be obtained in 60 days. No public hearings are required. With respect to the VDEQ, no authorization will likely be required.

Ms. Mary Ann Welton
January 18, 1999
Page Two

I hope this information is helpful. Please let me know if you require any additional information.

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Perry', written over the typed name and title.

James L. Perry
Vice President

JLP/fr

Cc: Peter Braham

Enclosure



U.S. Army Corps of Engineers
Norfolk District, Northern Virginia Regulatory Section
Northern Virginia Field Office
18139 Triangle Plaza, Suite 213
Dumfries, Virginia 22026

April 27, 1998

MAY 01 1998

Project Number: 98-B073

Waterway:

1. Property Owner:
Elm Street Development

2. Authorized Agent:
McCarthy & Associates, Inc.
14458 Old Mill Road #201
Upper Marlboro, MD 20772
Attn: Michael J. Klebasko

3. Project Location:
The site is located off Route 123 at McLean in Fairfax County, Virginia.

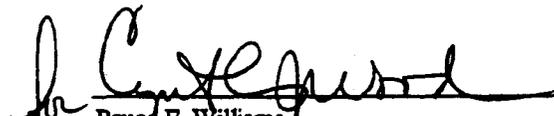
4. Project Description:
The project consists of the verification of a jurisdictional determination for the Evans property.

5. Findings

A site inspection has verified that waters regulated under Section 404 of the Clean Water Act (33 U.S.C. 1344) exist at the location stated above as depicted in your plan view dated April 21, 1998. This confirmation is valid for a period of five years from the date of this letter unless new information warrants revision before the expiration date.

Prior to commencing work you must obtain the proper authorization to perform work in wetlands and/or waters of the U.S. Please note that performing the proposed work without proper authorization would be in violation of the Clean Water Act.

6. Corps Contact: Cynthia Wood (703) 221-6967


Bruce F. Williams
Chief, Northern Virginia Regulatory Section

McCARTHY & ASSOCIATES, INC.

REGULATORY and ENVIRONMENTAL
CONSULTANTS

April 21, 1998

Via Facsimile (703-221-6575)

Ms. Cynthia Wood
U.S. Army Corps of Engineers
Northern Virginia Field Office
18139 Triangle Plaza, Suite 213
Dumfries, Virginia 22026

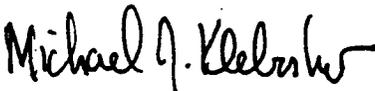
Re: JD Request for the Evans Property
Fairfax County, Virginia

Dear Ms. Wood:

As a follow-up to our conversation last week, I am submitting this written request for a Jurisdictional Determination (JD) for the Evans Property, located off Route 123, in Fairfax County, Virginia (See attached vicinity map). For your information, I am enclosing a tax map depicting the location of the property. The approximate limits of jurisdictional waters of the U.S., as delineated in the field by our firm on April 15, 1998, are primarily limited to the perimeter of the existing pond (cross-hatched area on attached tax map). It does not appear that any jurisdictional wetlands exist on the site.

We tentatively scheduled a site visit to this property on Friday, April 24, 1998 at 10:00 a.m. The best place to meet is at the entrance to the Evans Property (identified as Lynwood Street) off Route 123. If your plans change and you cannot attend this site visit, please contact me as soon as possible. Otherwise, I will see you on Friday. Please do not hesitate to contact me if you have any questions or need additional information.

Sincerely,



Michael J. Klebasko

Enclosure(s)

cc:

Mr. Jim Perry (Elm Street Development)

14458 Old Mill Road • #201
Upper Marlboro, MD 20772

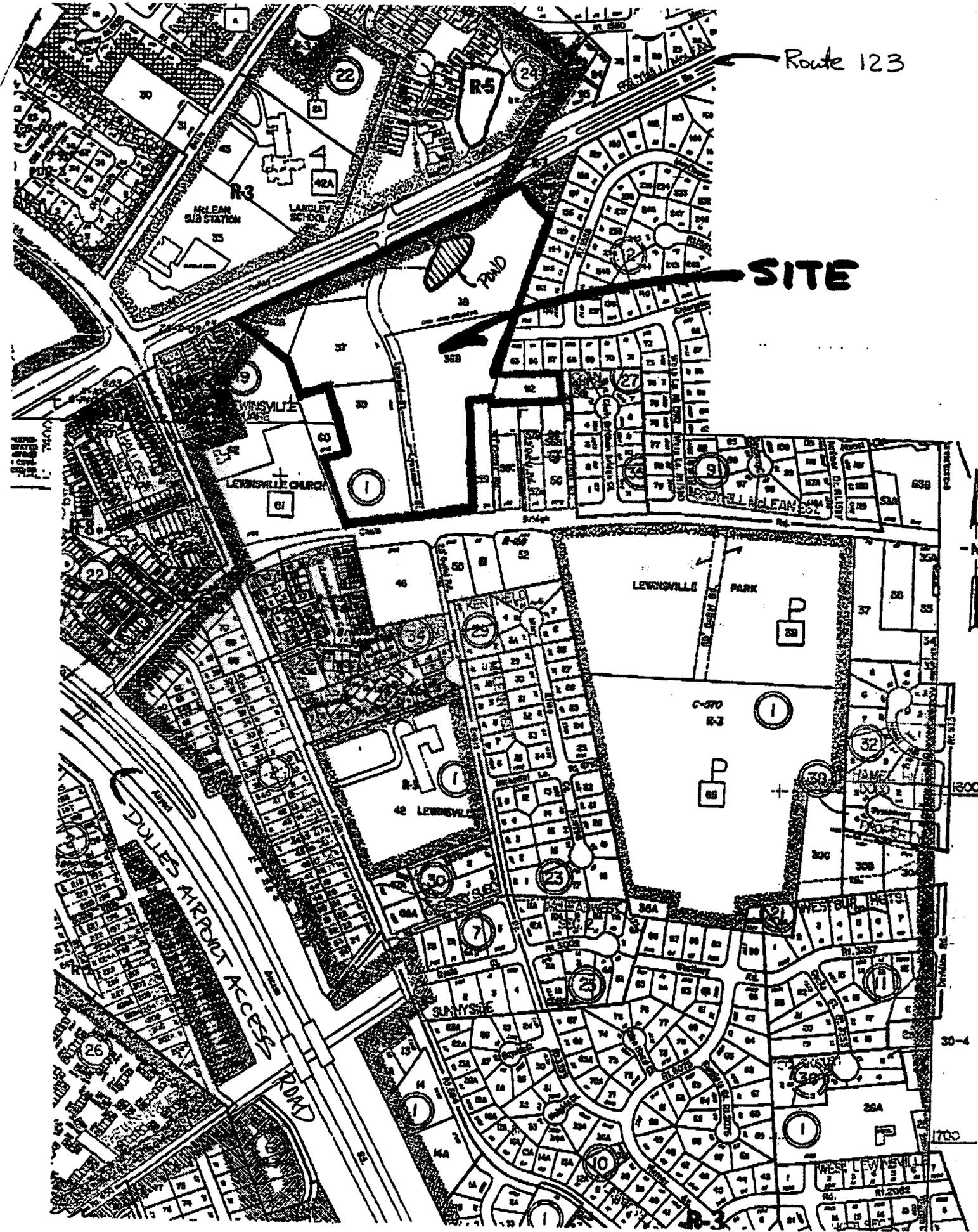
Phone: 301-627-7505 • Fax: 301-627-5571



22102

Route 123

SITE



McCARTHY & ASSOCIATES, INC.

REGULATORY and ENVIRONMENTAL
CONSULTANTS

JAN 19 1999

January 14, 1999

Mr. James L. Perry, Vice President
Elm Street Development
6820 Elm Street, Suite 200
McLean, Virginia 22101

Re: Evans Farm

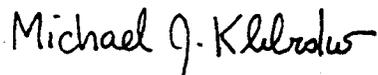
Dear Mr. Perry:

Modification of the existing farm pond on Evans Farm will require authorization from the U.S. Army Corps of Engineers, Norfolk District (Corps). On January 13, 1999, I spoke with Mr. Ron Stouffer of the Corps regarding the specific regulatory requirements for modifying the existing pond. He stated that expansion of the pond (in depth and/or surface area) would likely qualify for authorization under Nationwide Permit 26. In addition, he estimated that authorization could be obtained within 60 days of submittal of a completed permit application.

With respect to the Virginia Department of Environmental Quality (VDEQ), no authorization will likely be required from them. A state Water Quality Certificate is automatically granted with Nationwide Permit 26 authorizations for jurisdictional impacts less than 1/3 acre.

I trust that this letter adequately summarizes the Section 404 regulatory requirements for the proposed pond expansion/upgrade. Please do not hesitate to contact me if you have any questions or need additional information.

Sincerely,



Michael J. Klebasko

14458 Old Mill Road #201
Upper Marlboro, MD 20772

(301) 627-7505



ENGINEERING CONSULTING SERVICES, LTD.
Geotechnical • Construction Materials • Environmental

July 23, 1998

Mr. James L. Perry
Elm Street Development
6820 Elm Street
McLean, Virginia 22101

ECS Job No. 5033

Reference: Report of Preliminary Subsurface Exploration and Geotechnical Engineering Analysis, Evans Farm Inn Property, McLean, Fairfax County, Virginia

Dear Mr. Perry:

As authorized, Engineering Consulting Services, Ltd. has completed the preliminary subsurface exploration and engineering analysis at the Evans Farm Inn Property to be located in McLean, Fairfax County, Virginia. This report presents the results of our subsurface exploration program and provides preliminary recommendations for the design and construction of the contemplated development.

Proposed Construction

The subject site is located south of Route 123, at its intersection with Lynwood Street in Fairfax County, Virginia. The site is bordered by Route 123 to the north, Chain Bridge Road to the south, and a combination of commercial and residential development on both the east and west sides. The proposed development at the site is currently under-going master plan review. At this time, it is expected to be composed of mixed use development, including 2 low-rise condominium buildings, 76 townhomes and 50 single-family detached residences. There will likely be at least one restaurant and one retail store located on the property. The development will be dispersed across the property and will also include the construction of roadways and parking lots. The existing pond located nearest Route 123, as well as the existing stone house, will likely remain in place. Other details regarding the proposed construction are not available at this time.

Scope of Work

The preliminary conclusions and recommendations contained in this report are based upon eight soil test borings performed by ECS, Ltd. Three of the test borings were performed along the embankment of the existing pond located near Route 123, and the remaining five were conducted at various locations across the site for evaluation of the general subsurface profile. The test

borings were extended to a depth of about 6 m (20 ft) below the existing ground surface. The locations of the test borings were established by measurement from existing site features and/or structures.

Ground surface elevations shown on the test boring logs were estimated from the site topography drawing provided to us. The ground surface elevations estimated may only be accurate within 0.25 m to 0.5 m (1 or 2 ft), but are considered adequate for development of preliminary recommendations. We understand that the locations of the borings as drilled, as well as their corresponding ground surface elevations, will be determined by the site civil engineer, Huntley, Nyce and Associates.

EXPLORATION PROCEDURES

Subsurface Exploration Procedures

The soil borings were performed with an ATV-mounted auger drill rig, which utilized continuous flight, hollow stem augers to advance the boreholes. Drilling fluid was not used in this process.

Representative soil samples were obtained by means of the split-barrel sampling procedure in accordance with ASTM Specification D-1586. In this procedure, a 2-inch O.D., split-barrel sampler is driven into the soil a distance of either 18 or 24 inches by a 140-pound hammer falling 30 inches. The number of blows required to drive the sampler through a 12-inch interval is termed the Standard Penetration Test (SPT) N-value and is indicated for each sample on the boring logs. This value can be used as a qualitative indication of the in-place relative density of cohesionless soils. In a less reliable way, it also indicates the consistency of cohesive soils. This indication is qualitative, since many factors can significantly affect the standard penetration resistance value and prevent a direct correlation between drill crews, drill rigs, drilling procedures, and hammer-rod-sampler assemblies.

An experienced soil engineer classified each soil sample on the basis of texture and plasticity in accordance with the Unified Soil Classification System. The group symbols for each soil type are indicated in parentheses following the soil descriptions on the hand auger logs. A brief explanation of the Unified System is included with this report. The soil engineer grouped the various soil types into the major zones noted on the test borings logs. The stratification lines designating the interfaces between earth materials on the test borings logs are approximate; in situ, the transitions may be gradual rather than distinct.

EXPLORATION RESULTS

Regional Geology

The proposed project site is located in the Piedmont Physiographic Province of Northern Virginia. In this area, the natural residual soils, usually of more than ten feet in thickness, have developed by in place chemical and physical weathering of the parent Wissahickon Schist. The typical natural soil profile in this area consists of a thin layer of fine clayey silt or silty clay near the ground surface, where the weathering is more advanced, transitioning to more granular, less weathered soil with depth. The density of the soil generally increases with depth as the extent of the weathering process is reduced.

Site Conditions

Currently, the ground surface of the site varies from about EL. 110 m near the southern boundary to about EL. 100 m along the northern boundary. There is an existing pond located in the northeast quadrant of the site with its normal pool at EL. 96.9 m. There are at least ten existing structures at the site. The remainder of the ground surface of the site consists of grassy fields, wooded areas, and/or paved or gravel parking areas and roadways. The ground surface of the site was relatively firm during our exploration and our ATV-mounted drilling equipment experienced little difficulty moving around the site.

Soil Conditions

Generally, test borings encountered natural soils which are consistent with the regional geological profile. Topsoil thicknesses varying from 6 cm to 12 cm (2.5 to 5 inches) were noted at seven of the eight boring locations. These borings were conducted in open areas of the site; consequently, in areas that are currently wooded or densely vegetated, topsoil thicknesses may be greater. For this reason, an estimated thickness of 25 cm (10 inches) should be considered for estimating the amount of topsoil to be undercut. This value is recommended in order to include the greater thicknesses of topsoil anticipated within the vicinity of and associated with the removal of trees.

With the exception of the borings conducted across the existing embankment dam, the test borings conducted for this study encountered natural soil consisting of loose to medium dense residual silty materials. In the three borings designated B-1, B-2 and B-3, the natural soils were overlain by existing fill soils placed during construction of the existing pond. These borings indicate existing fill materials as deep as about 2.5 m (8 feet) in the area of Boring B-2. Based on the recorded N-values and on noted constituents in the samples obtained from the test borings, we do not believe that the existing fill was placed as an engineered fill; however, it does appear

to have been placed with some compaction. The natural soils encountered in the test borings were classified as clayey SILT (CL-ML), SILT or fine sandy SILT (ML) and had recorded N-values in the range of 6 to 67 blows per foot (bpf).

Based on our review of the Fairfax County Soils Mapping, the site is generally covered by Manor (21-C2), Glenelg (55-B2, 55-C2), Meadowville (20B+) and Worsham (8B+) type soils. These soils are described as silts and clays overlying silty and sandy decomposed rock composed of the underlying shist. The Glenelg and Manor soils are classified as type "C" soils according to the Fairfax County Soils Mapping, and generally have few problems associated with building development. However, the Meadowville soils are classified as type "B" and the Worsham soils are classified as type "A" soils. Shallow groundwater conditions are usually prevalent in the Meadowville and Worsham soils and exterior foundation drains and waterproofing are normally required to prevent wet basements and crawl spaces. Also, according to the County Mapping, the Worsham soils are predominately hydric and may contain potential non-tidal wetlands.

Groundwater Observations

In hollow stem auger drilling operations, water is not introduced into the boring holes, and the groundwater position can often be determined by observing water flowing into or out of the boring holes. Furthermore, visual observation of the soil samples retrieved during the auger drilling explorations as well as measurement of recorded borehole cave-in depths, can often be used in evaluating the groundwater conditions. Groundwater was not encountered in any of the test borings during our exploration. Based on the recorded cave-in depths, as well as the moisture contents of the samples tested, we estimate the long-term hydrostatic water level at this site to be at least 3 m (10 feet) below the existing site grades. In the area of the existing pond however, the groundwater may be as high as or even slightly higher than the level of the pond. For safety reasons the borings were backfilled soon after drilling was completed.

The highest groundwater observations are normally encountered in the late winter and early spring. Variations in the groundwater can occur as a result of changes in precipitation, evaporation, surface water runoff, or other factors not immediately apparent at the time of this exploration. The groundwater levels at this site will be influenced predominately by surface runoff into the existing swale and pond.

ANALYSIS AND RECOMMENDATIONS

Based on the results of the subsurface exploration, the site is suitable for the proposed development. The natural soils encountered in the areas of the proposed structures have Standard Penetration Test (SPT) N-values as low as 6 bpf with an average value in the upper 3 m (10 feet) of about 16 bpf. These soils are considered suitable to support the proposed structures on shallow foundations and to design the lower floor slabs as ground supported slabs. Specific

recommendations are given in the ensuing sections for the preliminary design and construction planning for the development.

Building Foundations

The subsurface conditions encountered at the site are judged suitable for supporting the proposed low-rise buildings on shallow foundation systems consisting of spread and/or continuous footings. Based on the anticipated structural loading and field exploration, we recommend that footings founded on the surficial, natural soils or newly placed and tested engineered fill soils be designed for a net allowable soil bearing pressure of (143.64 kPa) 3,000 psf. Soils suitable to support the recommended (143.64 kPa) 3,000 psf bearing can be identified as those soils on the boring logs having a N-values greater than or equal to 9 blows per 0.3m (9 bpf). The net allowable soil bearing pressure refers to that pressure which may be transmitted to the foundation bearing soils in excess of the final minimum surrounding overburden pressure.

In order to reduce the possibility of foundation bearing failure and excessive settlement due to local shear or "punching" action, we recommend that continuous footings have a minimum width of 45 cm (18 in.) and that isolated column footings have a minimum lateral dimension of 60 cm (24 in.). In addition, footings should be placed at a depth to provide adequate frost cover protection. For this region, we recommend footings in heated areas be placed at a minimum depth of 60 cm (2 ft) below finished grade. Footings in unheated areas should be placed at a minimum depth of 76 cm (2.5 ft) below finished grade.

Settlement of a structure is a function of the compressibility of the natural soils, bearing pressure, column loads, fill depth, and elevation of footings with respect to the final ground surface. Settlement of individual footings, designed in accordance with our recommendations presented in this report, is expected to be small and within tolerable limits for the proposed buildings.

Floor Slab Design

For the design and construction of any interior slabs-on-grade for the proposed structures, it is recommended that all existing topsoil, rootmat, and any other soft or unsuitable materials, such as highly plastic soils, be removed from these areas. The stripped area should be observed by an experienced soil technician during the time of construction in order to aid in locating all such unsuitable materials which should be removed. Where new fill material is required to reach the design floor slab subgrade elevation, it is recommended that an approved inorganic material, free of debris be used. This material should be placed in lifts not exceeding 20 cm (8 in) in loose thickness, moisture conditioned to within 2% of the optimum moisture content, and compacted to a minimum of 95% of the maximum density obtained in accordance with ASTM Specification D-698, Standard Proctor Method.

We recommend that the floor slab be isolated from the foundation footings so differential settlement of the structure will not induce shear stresses on the floor slab. Also, in order to minimize the crack width of any shrinkage cracks that may develop near the surface of the slab, we recommend mesh reinforcement be included in the design of the floor slab. The mesh should be in the top half of the slab to be effective.

Underground Drainage

Below grade drainage should be incorporated into the design of the residential structures. We recommend that the basement area be provided with a perimeter and underdrain system. This system may consist of perforated or porous wall, closed joint drain tiles located around the perimeter of the basement area, outside the walls, slightly below the basement floor level. These drain lines should be surrounded by a minimum of 10 cm (6 in) of free draining granular filter material having a gradation compatible with the size of the openings utilized in the drain lines and surrounding soils to be retained. In addition, we recommend that the basement floor slab be underlain by a minimum of 10 cm (4 in) of free draining granular material. The underslab drainage blanket and the drain tiles should be connected to a permanent sump with automatic and stand-by pump arrangement, or to a storm sewer, to remove any water which may accumulate detail for the below grade drainage is also attached.

Below Grade Walls

Below grade walls should be designed to withstand lateral earth pressures and surcharge loads. We recommend that the below grade walls be designed for a linearly increasing lateral earth pressure of 9.43 kPa per vertical meter (60 psf per vertical foot) of wall. This lateral earth pressure assumes that low plasticity silts (ML) materials with liquid limit less than 40 and plasticity index less than 15 are used for wall backfill. In order to maintain a 9.43 kPa (60 psf) lateral earth pressure, drainage of the backfill must be provided, and this can be provided by the previously mentioned subdrainage system placed adjacent to the footings and discharged to a suitable outlet area. In the event that select off site borrow soils are to be used as backfill, a lateral earth pressure of 7.07 kPa (45 psf) may be used for design of below grade walls if the soils classify as silty SAND (SM), or more granular. The wall design should also account for any surcharge loads within a 45 degree slope from the base of the wall. A Lateral Earth Pressure Diagram is included in the Appendix of this report.

The space between the outside of the walls and the excavation should be backfilled with a granular fill extending to a level of approximately 0.5 m (1 to 2 ft) below the final outside grade. The remaining 0.5 m (1 to 2 ft) should consist of a clayey material that should minimize the amount of surface water infiltration into the granular material, and thus, reduce the excess water to be handled by the drainage system. The ground surface adjacent to the below grade walls should be kept properly graded to prevent ponding of water adjacent to the below grade walls.

Backfill materials should consist of inorganic materials, free of debris, be free draining, and containing no frost susceptible soil. The fill placed adjacent to the below grade walls should not be overcompacted. Heavy earthwork equipment should maintain a minimum horizontal distance away from the below grade walls of 1H:1V unit of wall height. Lighter compaction equipment should be used close to the below grade walls.

Subgrade Preparation and Earthwork Operations

The subgrade preparation should consist of stripping all vegetation, rootmat, topsoil, and any other soft or unsuitable material such as highly plastic soils, from the building area and any proposed pavement areas. It will be necessary to supply drainage structures for the existing creek, and some undercutting should be anticipated in these areas. Generally, the earthwork clearing should be extended a minimum of 3 m (10 ft) beyond the building and pavement limits. Stripping limits should be extended an additional 1 unit of length for each unit of fill required at the building's exterior edge. After stripping to the desired grade, and prior to fill placement, the stripped surface should be observed by an experienced geotechnical engineer or his authorized representative. Proofrolling using a loaded dump truck, having an axle weight of at least 10 tons, may be used at this time to aid in identifying localized soft or unsuitable material which should be removed. Any soft or unsuitable materials encountered during this proofrolling should be removed and replaced with an approved backfill compacted to the criteria given below.

Any soil placed as fill should be an approved material, free of organic matter or debris, be a nonfrost susceptible soil, and have a liquid limit and plasticity index less than 40 and 15, respectively. The surficial soils encountered in our borings appear suitable for use as fill material, although this material will likely require moisture content adjustment in order to achieve proper compaction. This material should be placed in lifts not exceeding 20 cm (8 in) in loose thickness, moisture conditioned to within 2% of the optimum moisture content, and compacted to a minimum of 95% of the maximum density obtained in accordance with ASTM Specification D-698, Standard Proctor Method.

Highly Plastic Soils

If encountered within limits of proposed buildings and pavements, undercutting of highly plastic soils will be necessary. In floor slab and pavement areas, these materials should be removed in order to provide a 60 cm (2 ft) layer of non-expansive engineered fill below the subbase or drainage course. For building footings, a minimum of 60 cm (2 ft) of non-expansive soil (either natural soil or new engineered fill) should be provided below the footing subgrade. Alternatively, the building footings can be lowered to bear at least 120 cm (4 ft) below final exterior grade on highly plastic soils.

Exterior Pavements

For the design and construction of exterior pavements, we recommend that topsoil and any other soft or unsuitable materials be removed from the paved area. The stripped surface should be proofrolled and carefully observed at the time of construction in order to aid in identifying the localized soft or unsuitable materials which should be removed. Any highly plastic soils should also be removed in accordance with the preceding section, **Highly Plastic Soils**. For preliminary design, we recommend using a design California Bearing Ratio (CBR) value in the range of 3 to 5 for the on site natural micaceous silty soils.

An important consideration with the design and construction of pavements is surface and subsurface drainage. Where standing water develops, either on the pavement surface or within the base course layer, softening of the subgrade and other problems related to the deterioration of the pavement can be expected. Furthermore, good drainage should minimize the possibility of the subgrade materials becoming saturated over a long period of time. We would be pleased to be of further assistance to you in the design of the project pavements by providing additional recommendations during a final geotechnical study or during construction of the project. We suggest that, at the time of construction, additional laboratory testing, i.e., California Bearing Ratio (CBR) and Atterberg Limits tests be performed in the proposed pavement areas on representative subgrade materials to permit proper design of these pavements.

Stormwater Management Considerations

The existing pond has its normal pool at about EL. 96.6 m. Based on the site topography included on the drawing provided to us, we estimate that the pond has an embankment height of about 4.7 m (15 feet). Test borings conducted across the embankment indicate existing fill to a depth of up to about 2.5m (8 feet). This fill was apparently placed during construction of the pond. Neither a principal spillway pipe nor an outlet pipe was noted during our site reconnaissance; however, there does appear to be an emergency spillway on the eastern edge of the embankment. Based on the depth to natural soil at Boring B-3, we estimate that the emergency spillway is constructed in natural soils. Additional testing and/or comments may be necessary during final design for the project, assuming that the pond will be part of the new development. However, we expect that portions of this existing pond embankment can be left in place for further reuse, subject to County approval.

Construction Considerations

Exposure to the environment may weaken the soils at the footing bearing level if the foundation excavations remain open for too long a time. Therefore, foundation concrete should be placed the same day that excavations are dug. If the bearing soils are softened by surface water intrusion or exposure, the softened soils must be removed from the foundation excavation bottom

immediately prior to placement of concrete. If the excavation must remain open overnight, or if rainfall becomes imminent while the bearing soils are exposed, we recommend that a 21 to 6 cm (1 to 3 in) thick "mud mat" of "lean" concrete be placed on the bearing soils before the placement of reinforcing steel.

In a dry and undisturbed state, the majority of the surficial soil at the site will provide good subgrade support for fill placement and construction operations. However, when wet, this soil will degrade quickly with disturbance from contractor operations. Therefore, good site drainage should be maintained during earthwork operations which would help maintain the integrity of the soil.

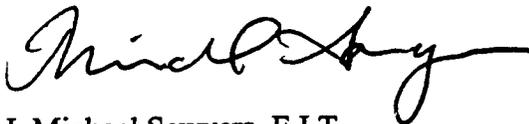
Closing

This report has been prepared to aid in the evaluation of this site and to assist the design team with the preliminary design of the proposed development. The report scope is limited to this specific project and the location described. The project description represents our current understanding of the significant aspects of the proposed development relevant to the geotechnical considerations. Additional test borings will be necessary to develop final geotechnical engineering recommendations, depending upon the final design. It should be noted that since soils belonging to the Worsham Group (8B+) are present at the site, a final geotechnical report will need to be prepared and submitted to Fairfax County DEM for review.

We have appreciated the opportunity to be of service to Elm Street Development. If you have any questions with regard to the information contained in this preliminary report, please do not hesitate to contact us.

Respectfully,

ENGINEERING CONSULTING SERVICES, LTD.

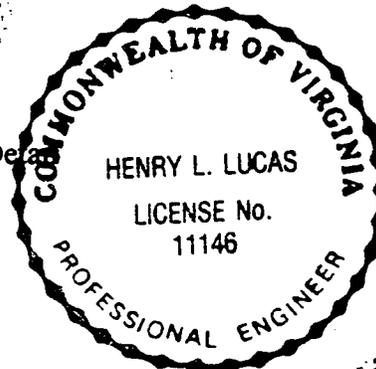


J. Michael Sawyers, E.I.T.
Project Engineer



Henry D. Lucas, P.E.
Principal Engineer

Enclosures: Unified Soil Classification System
Reference Note for Boring Logs
Boring Logs B-1 Through B-8
Plasticity Chart
Residential Below-Grade Drainage Details
Lateral Earth Pressure Diagram
Boring Location Diagram



Unified Soil Classification System (ASTM D-2487)

Major Divisions		Group Symbols	Typical Names	Laboratory Classification Criteria						
Coarse-grained soils (More than half of material is larger than No. 200 sieve size)	Gravels (More than half of coarse fraction is larger than No. 4 sieve size)	Clean gravels (Little or no fines)	GW	Well-graded gravels, gravel-sand mixtures, little or no fines	Determine percentages of sand and gravel from grain-size curve. Depending on percentage of fines (fraction smaller than No. 200 sieve size), coarse-grained soils are classified as follows: Less than 5 per cent More than 5 per cent 5 to 12 per cent	GW, GP, SW, SP GM, GC, SM, SC Borderline cases requiring dual symbols ^b	$C_u = \frac{D_{60}}{D_{10}}$ greater than 4; $C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}}$ between 1 and 3			
			GP	Poorly graded gravels, gravel-sand mixtures, little or no fines				Not meeting all gradation requirements for GW		
		Gravels with fines (Appreciable amount of fines)	GM ^a	d u					Silty gravels, gravel-sand-silt mixtures	Atterberg limits below "A" line or P.I. less than 4
			GC	Clayey gravels, gravel-sand-clay mixtures				Atterberg limits below "A" line with P.I. greater than 7		
		Sands (More than half of coarse fraction is smaller than No. 4 sieve size)	Clean sands (Little or no fines)	SW				Well-graded sands, gravelly sands, little or no fines	$C_u = \frac{D_{60}}{D_{10}}$ greater than 6; $C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}}$ between 1 and 3	Not meeting all gradation requirements for SW
				SP				Poorly graded sands, gravelly sands, little or no fines		
	Sands with fines (Appreciable amount of fines)		SM ^a	d u	Silty sands, sand-silt mixtures	Atterberg limits above "A" line or P.I. less than 4	Limits plotting in hatched zone with P.I. between 4 and 7 are <i>borderline</i> cases requiring use of dual symbols			
			SC	Clayey sands, sand-clay mixtures	Atterberg limits above "A" line with P.I. greater than 7					
	Fine-grained soils (More than half material is smaller than No. 200 sieve)	Silts and clays (Liquid limit less than 50)	ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands, or clayey silts with slight plasticity	Plasticity Chart 					
			CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays						
OL			Organic silts and organic silty clays of low plasticity							
Silts and clays (Liquid limit greater than 50)		MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts							
		CH	Inorganic clays of high plasticity, fat clays							
		OH	Organic clays of medium to high plasticity, organic silts							
Highly organic soils		Pt	Peat and other highly organic soils							

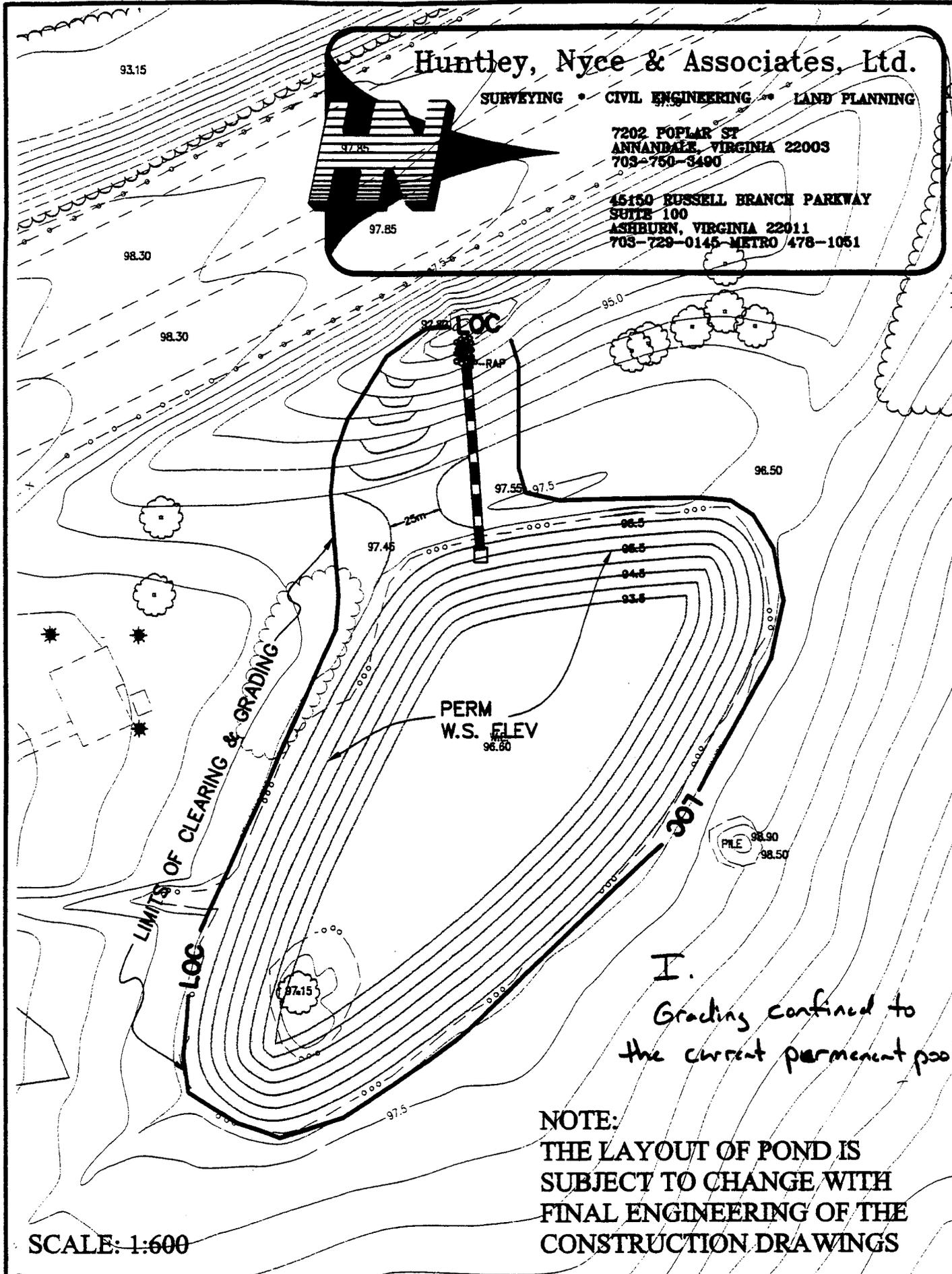
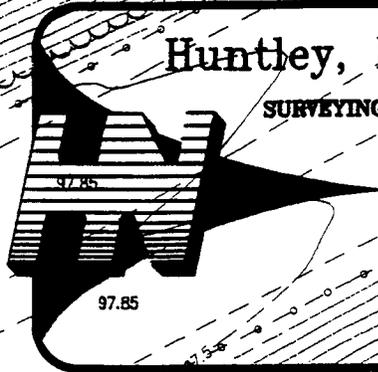
^a Division of GM and SM groups into subdivisions of d and u are for roads and airfields only. Subdivision is based on Atterberg limits; suffix d used when L.L. is 28 or less and the P.I. is 6 or less; the suffix u used when L.L. is greater than 28.
^b Borderline classifications, used for soils possessing characteristics of two groups, are designated by combinations of group symbols. For example GW-GC, well-graded gravel-sand mixture with clay binder.

Huntley, Nye & Associates, Ltd.

SURVEYING • CIVIL ENGINEERING • LAND PLANNING

7202 POPLAR ST
ANNANDALE, VIRGINIA 22003
703-760-3490

45150 RUSSELL BRANCH PARKWAY
SUITE 100
ASHBURN, VIRGINIA 22011
703-729-0145 METRO 478-1051



I.
Grading confined to
the current permanent pool.

NOTE:
THE LAYOUT OF POND IS
SUBJECT TO CHANGE WITH
FINAL ENGINEERING OF THE
CONSTRUCTION DRAWINGS

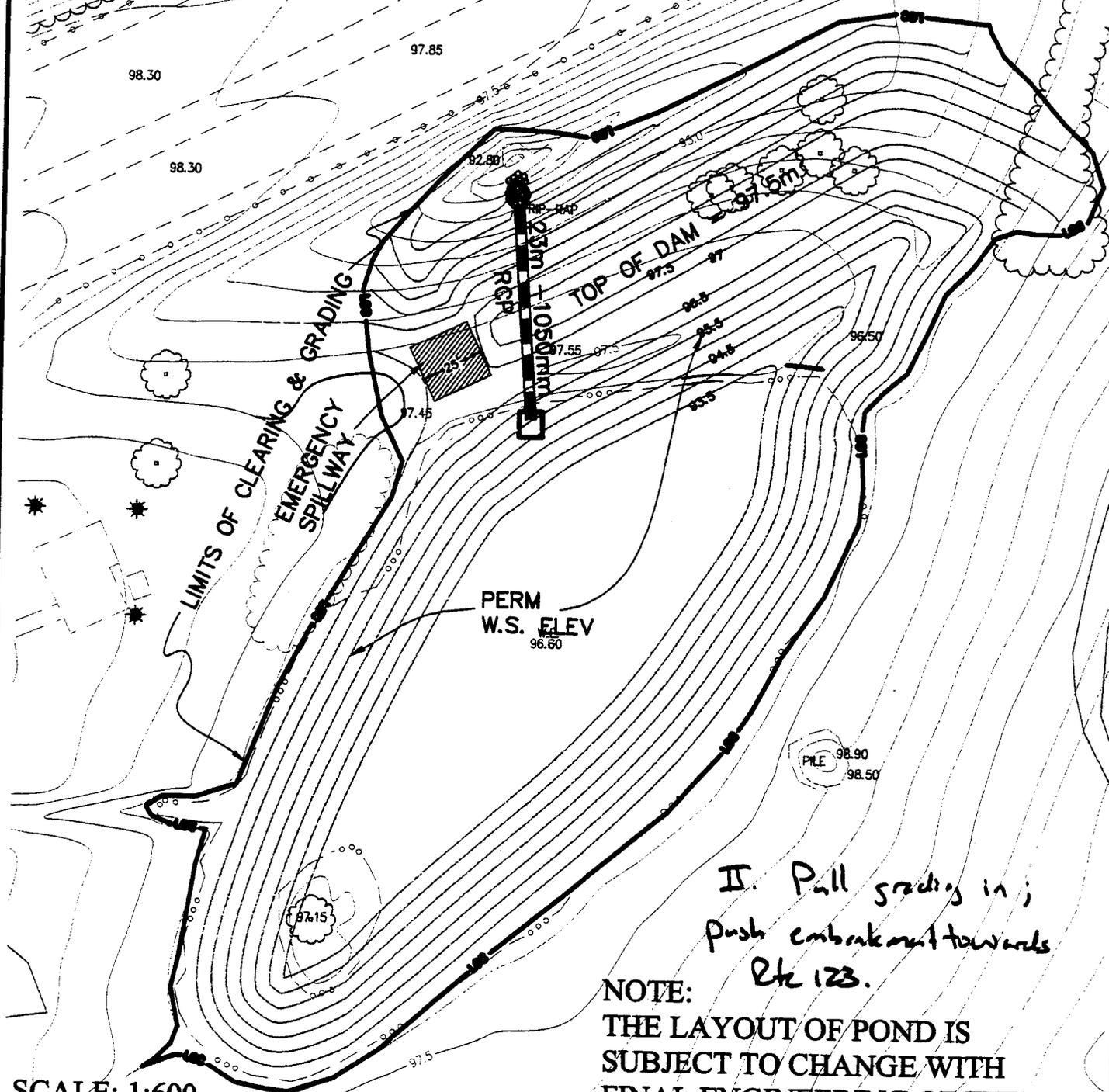
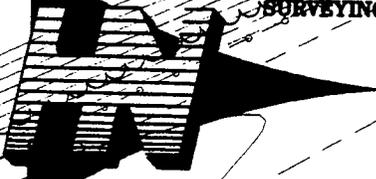
SCALE: 1:600

Huntley Nyce & Associates, Ltd.

SURVEYING • CIVIL ENGINEERING • LAND PLANNING

7202 POPLAR ST
ANNANDALE, VIRGINIA 22003
703-750-3490

45150 RUSSELL BRANCH PARKWAY
SUITE 300
ASHBURN, VIRGINIA 22011
703-729-0145 METRO 478-1051



II. Pull grading in;
push embankment towards
etc 123.

NOTE:
THE LAYOUT OF POND IS
SUBJECT TO CHANGE WITH
FINAL ENGINEERING OF THE
CONSTRUCTION DRAWINGS

SCALE: 1:600
Rev. 3-10-99

FAIRFAX COUNTY, VIRGINIA

MEMORANDUM

TO: Barbara A. Byron, Director
Zoning Evaluation Division, DPZ

FROM: *Bruce G. Douglas*
Bruce G. Douglas, Chief
Environment & Development Review Branch, DPZ

SUBJECT: **LAND USE ANALYSIS: RZ 1998-DR-049**
Elm Street Development (Evans Farm Inn)

DATE: 22 February 1999

This memorandum includes citations from the Comprehensive Plan that provide guidance for the evaluation of this application. The proposed use, intensity and site design are evaluated in terms of the relevant Plan recommendations and policies.

DESCRIPTION OF THE APPLICATION:

Date of Development Plan: January 21, 1999.
Request: Residential development: 48 single-family detached units; 66 single-family attached units; 36 multifamily units and 19 multifamily ADUs.
DU/AC: 6.2.
Land Area: 24.14 acres.

CHARACTER OF THE SURROUNDING AREA:

The Evans Farm Inn property is located in an area characterized by various types and densities of residential development. The Evans Mill Pond townhouse development is located opposite the subject property north of Dolley Madison Boulevard. This subdivision is planned for 3-4 dwelling units per acre, and is zoned R-5 and developed at 3.75 dwelling units per acre. The Broyhill McLean Estates single-family detached subdivision, built in 1958, is located on both the north and south side of Dolley Madison Boulevard east of the subject property. It is planned for 2-3 dwelling units per acre and is zoned R-3. The Chain Bridge Square single-family detached subdivision is located east of the Evans Farm Inn property with access to Chain Bridge Road. It is on land planned for 3-4 dwelling units per acre and it has a density of about 3.3 dwelling units per acre and is zoned R-3. There are nine lots between Chain Bridge Square and the Evans Farm Inn property, planned for 3-4 dwelling units per acre, that have single-family detached dwellings

built at various times on lots that vary in size from .25 acres to .85 acres and are zoned R-1. A Bell Atlantic communications facility and a townhouse subdivision planned for 5-8 dwelling units per acre located on the south side of Chain Bridge Road and developed within this density range in the R-5 zoning district. Tax Map 30-3 ((1)) parcel 60 is .85 acres in size and is surrounded on three sides by the western boundary of the Evans Farm Inn property. It has a single-family detached dwelling, is zoned R-3 but is not part of a subdivision. The Lewinsville Church is located in the northeast quadrant of the intersection of Great Falls Street and Chain Bridge Road, touching the western boundary of the Evans Farm Inn property. There is an apartment complex for the elderly, the Lewinsville Retirement Residence, on parcel 62 adjacent to the western boundary of the Evans Farm Inn property. The density is about 38 dwellings per acre and the facility is affiliated with the Lewinsville Presbyterian church, which is on parcel 61. The Lewinsville Square townhouses are located in the southeast quadrant of the intersection of Dolley Madison Boulevard and Great Falls Street. This property is planned for 5-8 dwelling units per acre and developed under R-8 zoning at a density of 8 dwelling units per acre.

COMPREHENSIVE PLAN CITATIONS AND ANALYSIS:

Plan Text:

There is no site specific text in the Comprehensive Plan for the subject property. The Comprehensive Plan map shows that approximately 14 acres are planned for 3-4 dwelling units per acre east of Lynwood Street (a private street shown on the map) and approximately 10 acres are planned for 5-8 dwelling units per acre west of Lynwood Street.

There is a pending Out-of-Turn Plan Amendment for this subject property (S98-II-M1) that was presented for public hearing before the Planning Commission on February 11, 1999. A public hearing before the Board of Supervisors will be scheduled after the Commission completes its review of the amendment. The proposed amendment would retain the planned residential use and densities and add an option for public open space, a farm park, and/or community serving facilities for all or part of the property.

Plan Map:

The Comprehensive Plan map shows the property to be planned for residential use at a density of 3-4 dwelling units per acre east of Lynwood Street and 5-8 dwelling units per acre west of Lynwood Street.

Analysis:

Barbara A. Byron
RZ 1998-DR-049
Page 3

This development proposal conforms with the residential density range recommended by the Plan and provides a creative design provided for an effective mix of several dwelling types. The project layout incorporates the existing pond and includes a trail as an amenity both for the subdivision and the community at large. There is parking provided for public use of the pond area. The layout combines different housing types in a manner that protects the existing residential communities that are adjacent to the property and provides ADUs as an integral part of the residential mix. There is screening and buffering along the boundaries of the project next to residential development, including a fence along the Broyhill subdivision.

The application includes a restaurant, which is a retail use not in conformance with the Plan. Although this development is proposed as a planned unit development, which allows retail uses if they primarily serve the new development, as currently configured, this retail use is intended for a market area much larger than this subdivision. This restaurant appears to be aimed at serving the broader community and, because of its location, those driving along Dolley Madison Boulevard. Instead of a restaurant, the land on which it is proposed would serve better as open space related directly to the pond.

It would be desirable for lot 60 to be consolidated with this project, but the layout of the subdivision allows incorporation of the lot as a logical expansion in the future.

BGD:SEM

FAIRFAX COUNTY, VIRGINIA

MEMORANDUM

TO: Barbara Byron, Director
Zoning Evaluation Division
Department of Planning and Zoning

FROM: Angela Kadar Rodeheaver, Chief 
Site Analysis Section
Department of Transportation

FILE: 3-4 (RZ 1998-DR-049)

SUBJECT: Transportation Impact

REFERENCE: RZ 1998-DR-049; Evans Farm/West*Group
Traffic Zone: 1460
Land Identification Map: 30-1 ((1)) 37, 38, 38B, 39, 41, 42, 42B, 92

DATE: February 10, 1999

Transmitted herewith are the comments of the Department of Transportation with respect to the referenced application. These comments are based on information made available to this Department dated January 21, 1999.

The referenced application is a request to rezone 24.14 acres from the R-3 to the PDH-8 residential designation. It is anticipated the residential portion of the site will generate 896 VPD/133 VPH and the restaurant will generate 260 VPD/20VPH trips based on Trip Generation, Sixth Edition: Institute of Transportation Engineers, 1997 (ITE land use codes 210, 230, and 832, townhouse trip generation is based on "Trip Generation at Special Sites", Virginia Highway and Transportation Research Council, 1984 and field observations by the Department of Transportation). This Department has reviewed the subject application and offers the following comments:

- The applicant is showing adequate right-of-way dedication along Chain Bridge Road. Frontage improvements should be provided along Chain Bridge Road that are acceptable to VDOT and DPW & ES at time of site plan. The gated entrance along Chain Bridge Road location appears to provide enough stacking and a turn around area so through traffic on Chain Bridge Road will not be impacted.
- The applicant should construct right and left turn lanes and acceleration lanes along Dolley Madison Boulevard in accordance with the design speed. The site entrance at Dolley Madison Boulevard is designed for a right out only. The applicant should insure this entrance is designed to insure vehicles exiting the site can not make a left turn. The road plans submitted for Dolley Madison Boulevard show a median strip at the site entrance to control turning movements, this should be located outside the VDOT right-of-way.

Barbara Byron
February 11, 1999
Page 2

- The applicant should terminate Enterprise Avenue into a permanent cul-de-sac.
- This Department would support waiver of the service drive requirement along Dolley Madison Boulevard.

AKR/MGC:mgc

cc: Michelle Brickner, Director, Site Review Division, Department of Public Works and Environmental Services

FAIRFAX COUNTY, VIRGINIA

MEMORANDUM

TO: Barbara A. Byron, Director
Zoning Evaluation Division, DPZ

FROM: *Bruce G. Douglas*
Bruce G. Douglas, Chief
Environment and Development Review Branch, DPZ

SUBJECT: ENVIRONMENTAL ASSESSMENT for: RZ 1998-DR-049
Evans Farm

DATE: 22 February 1999

This memorandum, prepared by Mary Ann Welton, includes citations from the Comprehensive Plan that list and explain environmental policies for this property. The citations are followed by a discussion of environmental concerns, including a description of potential impacts that may result from the proposed development as depicted on the revised development plan dated January 21, 1999. Possible solutions to remedy identified environmental impacts are suggested. Other solutions may be acceptable, provided that they achieve the desired degree of mitigation and are also compatible with Plan policies.

COMPREHENSIVE PLAN CITATIONS:

The Comprehensive Plan is the basis for the evaluation of this application. The assessment of the proposal for conformity with the environmental recommendations of the Comprehensive Plan is guided by the following citations from the Plan:

On pages 86 through 87 of the 1990 Policy Plan as amended on February 10, 1997, under the heading "Water Quality", the Comprehensive Plan states:

"Objective 2: Prevent and reduce pollution of surface and groundwater resources.

- Policy a. Implement a best management practices (BMP) program for Fairfax County, and ensure that new development and redevelopment complies with the County's best management practice (BMP) requirements.
- Policy c. In order to reduce stormwater runoff volumes and increase groundwater recharge, minimize the amount of impervious surface

created as a result of development consistent with planned land uses.

Development proposals should implement best management practices to reduce runoff pollution.”

On page 87 of the 1990 Policy Plan as amended on February 10, 1997, under the heading “Water Quality” the Comprehensive Plan states:

“Objective 3: Protect the Potomac Estuary and the Chesapeake Bay from the avoidable impacts of land use activities in Fairfax County.

Policy a. Ensure that new development and redevelopment complies with the County’s Chesapeake Bay Preservation Ordinance.”

On pages 88 to 89 of the 1990 Policy Plan as amended on February 10, 1997, under the heading “Noise”, the Comprehensive Plan states:

“ . . . Federal agencies with noise mitigation planning responsibilities have worked with the health community to establish maximum acceptable levels of exposure (Guidelines for Considering Noise in Land Use Planning and Control). These guidelines expressed in terms of sound pressure levels are 65 dBA L_{dn} for outdoor activity areas; 50 dBA L_{dn} for office environments; and 45 dBA L_{dn} for residences, schools, theaters and other noise sensitive uses.

Objective 4: Minimize human exposure to unhealthful levels of transportation generated noise.

Policy a: Regulate new development to ensure that people are protected from unhealthful levels of transportation noise...

New development should not expose people in their homes, or other noise sensitive environments to noise in excess of 45 dBA L_{dn} , or to noise in excess of 65 dBA L_{dn} in the outdoor recreation areas of homes. To achieve these standards new residential development in areas impacted by highway noise between 65 and 75 dBA L_{dn} will require mitigation...”

On page 90 of the 1990 Policy Plan under the heading “Environmental Hazards”, the Comprehensive Plan states:

“Objective 6: Ensure that new development either avoids problem soil areas, or implements appropriate engineering measures to protect existing and new structures from unstable soils.

Policy a: Limit densities on slippage soils, and cluster development away from slopes and potential problem areas.

Policy b: Require new development on problem soils to provide appropriate engineering measures to ensure against geotechnical hazards.”

On page 93 of the 1990 Policy Plan as amended on February 10, 1997, under the heading “Environmental Resources”, the Comprehensive Plan states:

“The retention of environmental amenities on developed and developing sites is also important. The most visible of these amenities is the County’s tree cover. It is possible to design new development in a manner that preserves some of the existing vegetation in landscape plans. It is also possible to restore lost vegetation through replanting. An aggressive urban forestry program could retain and restore meaningful amounts of the County’s tree cover.

Objective 11: Conserve and restore tree cover on developed and developing sites. Provide tree cover on sites where it is absent prior to development.

Policy a: Protect and restore the maximum amount of tree cover on developed and developing sites consistent with planned land use and good silvicultural practices ...”

ENVIRONMENTAL ANALYSIS:

This section characterizes the environmental concerns raised by an evaluation of this site and the proposed land use. Solutions are suggested to remedy the concerns that have been identified by staff. There may be other acceptable solutions. Particular emphasis is given to opportunities provided by this application to conserve the County’s remaining natural amenities.

Stormwater Management

Issue:

The subject property is a 24.14 acre tract which falls within the Dead Run Watershed of Fairfax County, specifically, and within the County’s Chesapeake Bay watershed, generally. The

applicant proposes to retrofit the existing pond which is situated adjacent to Dolley Madison Boulevard on the northern boundary of the site for the stormwater best management practice facility.

Resolution:

Because the existing pond is considered a nontidal, jurisdictional wetland, it is recommended that the applicant demonstrate compliance with § 404 of the Clean Water Act as administered by the Army Corps of Engineers.

It is also suggested that the applicant work with the Department of Public Works and Environmental Services (DPW&ES) to evaluate the suitability of this site for some form of bioretention best management practice which could serve to complement the water quality benefits provided by the proposed stormwater pond. Bioretention areas (rain gardens) can be dispersed throughout the development allowing for preservation of the existing vegetation and the natural topography of the site while simultaneously augmenting the open space and enhancing water quality protection.

Highway Noise

Issue:

Highway noise analyses was performed for Dolley Madison Boulevard (Route 123) and Chain Bridge Road (Route 3547).

The analysis produced the following noise contour projections for Dolley Madison Boulevard (Route 123) (note DNL dBA is equivalent to dBA L_{dn}):

65 dBA L_{dn}	250 feet (77m) from centerline
70 dBA L_{dn}	120 feet (36m) from centerline

The analysis produced the following noise contour projections for Chain Bridge Road.(Route 3547) (note DNL dBA is equivalent to dBA L_{dn}):

65 dBA L_{dn}	125 feet (38m) from centerline
70 dBA L_{dn}	60 feet (18m) from centerline

Those portions of the site which are adjacent to Dolley Madison Boulevard may be adversely affected by highway noise. Approximately eighteen (18) town home sites and some portion of six (6) single-family detached home sites may be adversely affected by roadway noise.

Along Chain Bridge Road a portion of approximately seven (7) town home sites and one (1) single-family detached home site may fall within the 65-70 dBA L_{dn} impact area.

Resolution:

In order to reduce noise in interior areas to 45 dBA L_{dn} or less, any residential structure that will be located within seventy seven (77) meters of the centerline of Dolley Madison Boulevard and any residential structure that will be situated within thirty-eight meters (38) meters of the centerline of Chain Bridge Road should be constructed with building materials that are sufficient to provide this level of acoustical mitigation. Guidelines for interior mitigation within the 65-70 dBA L_{dn} impact area are attached.

In order to reduce exterior noise levels in the rear and side yards of lots located at least partially within the projected 65-70 dBA L_{dn} impact area, one or more noise barriers should be provided. The barrier(s) should be of a height sufficient to break all lines of sight between an imaginary plane formed between a line eight feet above the centerline of the highway and a line six feet above the ground in the affected outdoor recreational areas. The barriers should be architecturally solid from ground up with no gaps or openings. A berm, architecturally solid wall, or berm-wall combination can be used as a noise barrier. If desired, the applicant may incorporate rear yard privacy fencing within the noise barrier as long such fencing will meet the above guidelines.

The applicant may pursue other methods of mitigating highway noise if it can be demonstrated through an independent noise study for review and approval by the Department of Public Works and Environmental Services (DPWES), that these methods will be effective in reducing exterior noise levels to 65 dBA L_{dn} or less and interior noise levels to 45 dBA L_{dn} or less.

Soil Constraints

Issue:

The Soil Survey for Fairfax County identifies the following soils on the subject property: Worsham Soil (8B), Glenelg (55C2 & B2) and Meadowville (20B). Worsham, a hydric soil is identified in the area where the existing pond is presently situated. Hydric soil is one parameter which is evaluated when delineating jurisdictional wetlands.

Resolution:

As mentioned previously, it is recommended that the applicant demonstrate compliance with § 404 of the Clean Water Act regarding alteration of the pond for the stormwater management best

Barbara A. Byron
RZ 1998-DR-049
Page 6

management practice. In addition to the preliminary geotechnical study provided by the applicant to ensure that possible soil constraints are addressed in the early stages of the development, it is suggested that the applicant provide a soil survey and a more detailed geotechnical study to DPW&ES at the time of site plan review.

Tree Preservation & Restoration

Issue:

The subject property is characterized by extensive tree cover. The applicant has integrated tree preservation concepts into the entire development proposal in an effort to protect the significant stands of trees which are of a high quality and a substantial density. Sheet 5 of the development proposal offers a conceptual landscape plan for the development and proffer #11 offers extensive detail regarding tree preservation techniques to be employed throughout all phases of development.

Resolution:

Regarding restoration of vegetation, it is recommended that the landscape plan encompass diverse native species inclusive of ground cover, shrubs, and trees.

TRAILS PLAN:

The Trails Plan Map depicts bicycle trails on the north side and of the south side of Dolley Madison Boulevard (Route 123) as well as bicycle trails on the north side and the south side of Chain Bridge Road (Route 3547). At the time of Site Plan review, the Director, Department of Public Works and Environmental Services will determine what trail requirements may apply to the subject property.

BGD:MAW



FAIRFAX COUNTY

APPENDIX 8
Department of Public Works and Environmental Services
Office of Site Development Services, Urban Forestry Branch
12055 Government Center Parkway
Fairfax, Virginia 22035-5503

February 17, 1999

James L. Perry, Vice President
Elm Street Development
6820 Elm Street, Suite 200
McLean, Virginia 22101

RE: Your letter of January 22, 1999

Dear Mr. Perry:

The Urban Forestry Branch has reviewed the revised Development Inventory, by Edward Milhous, for Evans Farm Inn dated January 19, 1999. The changes proposed with this revised plan are acceptable to the Urban Forestry Branch, however several trees proposed for preservation are shown to be within very confined locations. A serious commitment to tree preservation, by implementing the latest tree preservation techniques such as root pruning and soil mycorrhizal applications, will be required if these trees are to survive.

Also, as noted in the Development Inventory report, trees #202 and #204 are among the highest quality trees on the site. Since these trees are within the stormwater management easement, engineering for the stormwater management pond must be designed so that minimal grading is performed near these trees. The Urban Forestry Branch would be happy to work with your engineers and Fairfax County's Maintenance and Stormwater Management Division, to devise an acceptable stormwater management pond design that allows for preservation of these trees.

Should you have any questions call John Zuiker at 703-324-1785.

Sincerely,

Cecilia A. Lammers, Chief

CAL/jhz
UFBID#99-0760

cc: Peter H. Braham, Senior Staff Coordinator, Zoning Evaluation Division, DPZ
RA File

FAIRFAX COUNTY, VIRGINIA

MEMORANDUM

TO: Peter Braham, Staff Coordinator
Zoning Evaluation Division, DPZ

DATE: March 2, 1999

FROM: John Zuiker, Urban Forester II *JZ*
Urban Forestry Branch, OSDS

SUBJECT: Evans Farm Inn, RZ 1998-DR-047

RE: Review of draft tree preservation proffers

I have reviewed the proffer statement proposed for the Evans Farm Inn site dated January 21, 1999. The Urban Forestry Branch is working on a final version of suggested proffer language to be proposed to the Department of Zoning Evaluation for maximizing tree preservation and for eliminating confusion during the plan review process. At this time we are proposing the attached "suggested proffer text for tree-related issues" as a substitute to the present language in proffers #10 and #11. If this is not acceptable, please let me know.

Please review this suggested proffer language and call me at 324-1785 to discuss this issue further if you have any questions.

JHZ/
UFBID #99-0917

Attachment

cc: RA file

Suggested tree-related proffer text

Evans Farm Inn

RZ 1998-DR-047

Page 1

Suggested Proffer Text for Tree-related Issues

Evans Farm Inn, RZ 1998-DR-047

March 2, 1999

Tree Preservation Plan

For the purpose of maximizing tree preservation, the Applicant shall prepare a tree preservation plan. The tree preservation plan shall be reviewed by the Urban Forestry Branch of DPWES as part of the first submission of the site plan or subdivision plan, and prior to the demolition of any existing structures. This plan shall provide for the preservation of specific quality trees or stands of trees as shown on the CDP/FDP without precluding the development of a typical home on each of the lots as shown on the CDP/FDP. The Urban Forestry Branch may require modifications to the grading plan to the extent said modifications do not alter the number of dwelling units shown on the CDP/FDP, reduce the size of the units, or require the installation of retaining walls greater than two feet in height.

The tree preservation plan shall include a tree survey prepared by an arborist certified by the International Society of Arboriculture, showing the location, size, species and actual dripline of all the existing trees and the landscape trees and shrubs as shown on the tree survey prepared as a part of the rezoning application. The tree preservation plan shall include a condition analysis performed by a certified arborist, using the methods described in the latest edition of the "Guide for Plant Appraisal," published by the International Society of Arboriculture. This information shall be provided on the tree preservation plan.

After completion of the tree survey and condition analysis, the certified arborist shall consult with the Applicant's design engineer to determine the appropriate placement for homes on the lots in order to maximize tree preservation. The limits of clearing and grading will be determined at this time to minimize tree root disturbance. The tree preservation plan shall be submitted with, and become a part of, the site plan or subdivision plan and the overlot grading plans, whichever is appropriate. The placement of all utilities, both public and private, shall be considered prior to the submission of the tree preservation plan.

Tree Health Care Measures for Preservation

Tree health care measures shall be a part of the tree preservation plan. Specific tree preservation activities such as root pruning, vertical and horizontal mulching, mycorrhizae treatment and crown maintenance shall be required where existing trees will be heavily impacted by construction activities.

Suggested use-related justification text:

Evans Farm Inn

RE 1998-DK-047

Page 2

Transplanted Trees

The location of trees identified as candidates for transplanting shall be noted on the tree preservation plan (or the CDP/FDP as applicable) and will be coordinated with the Urban Forestry Branch. Trees identified for transplanting shall be moved prior to the commencement of any clearing or demolition activities. If necessary, the transplanting may occur after the initial stages of clearing, if this is appropriate, but must commence immediately thereafter. Transplanted trees and shrubs may be substituted for landscaping shown on the development plan. The tree preservation plan must also contain a description of how the transplanted trees will be cared for both during storage, if applicable, and after final planting.

Tree Protection

All trees shown to be preserved on the tree preservation plan shall be protected by fencing a minimum of four feet in height. The tree protection fencing shall be made clearly visible to all construction personnel. The fencing shall be installed prior to any work being conducted on the site, including the demolition of any existing structures. The tree preservation plan may call for special tree protection measures where individual trees or groups of trees will be impacted on more than two sides. The certified arborist shall monitor the installation of the tree protection fencing and verify in writing that it has been installed prior to the demolition of any existing structures. In addition, the certified arborist shall monitor the construction work and tree preservation efforts in order to ensure that the commitments made on the tree preservation plan are fulfilled.

The demolition of existing structures shall be conducted in such a manner as to minimize the impact on individual trees and groups of trees to be preserved.

Fairfax
County
Park
Authority



MEMORANDUM

TO: Barbara Byron, Director
Zoning Evaluation Division
Department of Planning and Zoning

DATE: October 26, 1998

FROM: Lynn Tadlock, Director *L. Peterson for*
Planning and Development Division

SUBJECT: RZ 1998-DR-049
Evans Farm
Loc: 30-1((1))37,38,38B,39,41,42,42B,92

The Fairfax County Park Authority (FCPA) staff has reviewed the above referenced application and provides the following comments:

Natural Resources

The proposed plan does not show any SWM/ BMP control on the southern third of the property. The engineers are probably relying on over-compensation on the northern portion of the site to meet the redevelopment control requirements. It has become apparent throughout the county that over-control/compensation on one portion of a site leads to stream degradation on the other, uncontrolled, watershed. If SWM/BMP controls are installed, this development will not have significant impact on Park Authority property. However, the runoff from the southern section does run through Lewinsville Park and has the potential to cause serious damage to our driveway and fields in large storm events.

Recreational Facilities

Recommendation

Provide outdoor neighborhood park facilities at the site.

Provide the proportional cost to the Fairfax County Park Authority to acquire/develop/maintain athletic field facilities in a nearby park to serve the residents of this development.

Background

The Evans Farm development has submitted two set of plans for the site. Plan A will construct 131 market share units and 19 ADUs and generate 408 residents. The Plan B will construct 122 market share units and 17 ADUs and will add 379 residents to the current population of Dranesville District. The plan does not show any recreational amenities provided at the site. The letter of justification dated August 18, 1998 states, "the use of existing trees and open space

Barbara Byron
RZ 1998-DR-049
Evans Farm
October 26, 1998
Page 2

couple[d] with pocket parks and usable play area create visual focal points as well as gathering places for all ages as opposed to artificially created 'tot lots' often seen in contemporary developments." A detailed plan showing these 'pocket parks' and 'usable play area' is needed to evaluate the recreational facilities' requirements at the site. The residents of the development will need several outdoor facilities including open play area, playground/tot lot, picnic, tennis, multi-use courts and athletic fields. The proportional developments cost to provide these recreational facilities for the Plan A is \$125,105 and for Plan B is \$116,510. The athletic field facilities needed for these residents can be met at a nearby park serving this development.

Comprehensive Plan

The Comprehensive Plan for Fairfax County, Virginia, Policy Plan, Parks and Recreation, Objective 4, Policy a, Page 164, states: "Provide neighborhood park facilities on private open space in quantity and design consistent with County standards; or at the option of the County, contribute a pro-rata share to establish neighborhood park facilities in the vicinity;...."

The Comprehensive Plan for Fairfax County, Virginia, Policy Plan, Parks and Recreation, Objective 4, Policy b, Page 164, states: "Mitigate the cumulative impacts of development which exacerbate or create deficiencies of Community Park facilities in the vicinity. The extent of facilities, land or contributions to be provided shall be in general accordance with the proportional impact on identified facility needs as determined by adopted County standards. Implement this policy through application of the Criteria for Assignment of Appropriate Development Intensity."

Cultural Resources

An historic background search was conducted on this property. One and possible two, mid to late 19th century structures may have existed along Chain Bridge Road. One is still standing on the parcel but, according to the owner, it was substantially remodeled in the mid 1950s. The other possible structure would be in ruins underneath the present parking lot. A historical context has not been established for these structures.

The owner remarked that no prehistoric or Civil War artifacts were found during the many years it was an active farm. Some Civil War artifacts were found across the street near Lewinsville Park.

At the present time, no further research or field testing is recommended. However, if future events warrant, a title search and location background search is recommended. This may also include a phase I survey to field check the results and determine the degree of significance and integrity remaining. Data recovery may become a potential outcome.

Barbara Byron
RZ 1998-DR-049
Evans Farm
October 26, 1998
Page 3

cc: Richard E. Bissell, Dranesville District Representative, FCPA
Paul L. Baldino, Director, FCPA
Michael Kane, Deputy Director, FCPA
Doug Petersen, Planning and Development, FCPA
Dorothea L. Stefen, Plan Review Case Manager, FCPA
Gail Croke, Planning and Development, FCPA
Todd Bolton, Plan Review Team, FCPA
Mark Holsteen, Right-of-Way Agent, FCPA
Jenny Pate, Plan Review Team, FCPA
Richard Sacchi, Plan Review Team, FCPA
Mubarika Shah, Plan Review Team, FCPA

TO: Barbara A. Byron, Division Director
 Zoning Evaluation Branch (OCP)
 10255 Govt. Center Parkway, Suite 801

Date: 1/6/99
 Map: 30-1

APPENDIX 10

FROM: Facilities Planning (246-3609)

Acreage: 9.76

PU 3468

From: R-3

To: PDH-8

SUBJECT: Schools Analysis, Rezoning Application

Case# RZ - 98-DR-049

The following information is submitted in response to your request for a school analysis for the referenced rezoning application.

A comparison of estimated student generation between the proposed development plan and that possible under existing zoning area as follows:

School Level	Unit Type	Proposed Zoning			Unit Type	Existing Zoning			Rezoning Increase Decrease	Total School Impact
		Units	Ratio	Students		Units	Ratio	Students		
Elem. (K-6)	S/F	114	x .4	46				x		46
	C/G	36	x .096	3						3
Inter. (7-8)	S/F	114	x .071	8				x		8
	C/G	36	x .022	1						1
High (9-12)	S/F	114	x .154	18				x		18
	C/G	36	x .044	2						2

* Schools which serve this property, their current total membership, net operating capacity, and their projections for the next five years are as follows:

School Name And Number	Grade Level	9/30/98 Capacity	9/30/98 Membership	Projected Membership				
				99-00	00-01	01-02	02-03	03-04
Kent Garden	K-6	688	722	769	783	804	817	824
Longfeollow	7-8	800	1011	1068	1086	1136	1181	1182
Mclean	9-12	1800	1571	1574	1590	1603	1597	1685

Source: Capital Improvement Program, FY 1999-2003 Facilities Planning Services Office

Note: Five-year projections are those currently available and will be updated yearly. School attendance areas subject to yearly review. The effect of the rezoning application does not consider the existence or status of other applications.

Comments:

FAIRFAX COUNTY, VIRGINIA

MEMORANDUM

TO: Staff Coordinator
Zoning Evaluation Division
Department of Planning and Zoning

FROM: Gilbert Osei-Kwadwo, Chief *gok*
Engineering Analysis and Planning Branch
System Engineering and Monitoring Division

SUBJECT: Development Plan Analysis

REF: Application No. RZ 1998-DR-049
Tax Map No. 30-1-((01)) - 37, 38 38B, 39, 41, 42, 42B, 92

DATE: November 4, 1998

The proposed point(s) of connection to the existing public sanitary sewer system was not indicated. However, there is adequate capacity in the existing sanitary sewer facilities within the vicinity of the site for the proposed development.

RECEIVED
DEPARTMENT OF PLANNING AND ZONING
NOV 6 1998
ZONING EVALUATION DIVISION

FAIRFAX COUNTY, VIRGINIA

MEMORANDUM

September 24, 1998

RECEIVED
 DEPARTMENT OF PLANNING AND ZONING
 SEP 28 1998
 ZONING EVALUATION DIVISION

TO: Barbara Byron, Director
 Zoning Evaluation Division
 Office of Comprehensive Planning

FROM: Ralph Dulaney (246-3868) *RD*
 Planning Section
 Fire and Rescue Department

SUBJECT: Fire and Rescue Department Preliminary Analysis of Rezoning Application RZ
 1998-DR-049

The following information is submitted in response to your request for a preliminary Fire and Rescue Department analysis for the subject:

1. The application property is serviced by the Fairfax County Fire and Rescue Department Station #01, McLean.
2. After construction programmed for FY 19__, this property will be serviced by the fire station planned for the _____ area.
3. In summary, the Fire and Rescue Department considers that the subject rezoning application property:
 - a. currently meets fire protection guidelines.
 - b. will meet fire protection guidelines when a proposed fire station becomes fully operational.
 - c. does not meet current fire protection guidelines without an additional facility; however, a future station is projected for this area.
 - d. does not meet current fire protection guidelines without an additional facility; however, a station location study is currently underway, which may impact this rezoning positively.

SELECTED EXCERPTS FROM THE ZONING ORDINANCE

ARTICLE 6

PLANNED DEVELOPMENT DISTRICT REGULATIONS

PART 1 6-100 PDH PLANNED DEVELOPMENT HOUSING DISTRICT

6-101 Purpose and Intent

The PDH District is established to encourage innovative and creative design and to facilitate use of the most advantageous construction techniques in the development of land for residential and other selected secondary uses. The district regulations are designed to insure ample provision and efficient use of open space; to promote high standards in the layout, design and construction of residential development; to promote balanced developments of mixed housing types; to encourage the provision of dwellings within the means of families of low and moderate income; and otherwise to implement the stated purpose and intent of this Ordinance.

To these ends, rezoning to and development under this district will be permitted only in accordance with a development plan prepared and approved in accordance with the provisions of Article 16.

6-110 Open Space

1. The following minimum amount of open space shall be provided in each PDH subdistrict:

Subdistrict	Open Space	Affordable Dwelling Unit Development Open Space
PDH-4	20% of the gross area	18% of the gross area

2. As part of the open space to be provided in accordance with the provisions of Par. 1 above, there shall be a requirement to provide recreational facilities in all PDH Districts. The provision of such facilities shall be subject to the provisions of Sect. 16-404, and such requirements shall be based on a minimum expenditure of \$500 per dwelling unit for such facilities for rezoning applications which are accepted prior to October 3, 1997 and approved by March 24, 1998 and \$955 per dwelling unit for such facilities for rezoning applications which are accepted subsequent to October 3, 1997 or approved after March 24, 1998, and either
 - A. The facilities shall be provided on-site by the developer in substantial conformance with the approved final development plan, and/or
 - B. The Board may approve the provision of the facilities on land which is not

part of the subject PDH District.

Notwithstanding the above, in affordable dwelling unit developments, the requirement for a per dwelling unit expenditure shall not apply to affordable dwelling units.

6-110

Open Space

1. The following minimum amount of open space shall be provided in each PDH subdistrict:

Subdistrict	Open Space	Affordable Dwelling Unit Development Open Space
PDH-1	25% of the gross area	Not Applicable
PDH-2	20% of the gross area	18% of the gross area
PDH-3	20% of the gross area	18% of the gross area
PDH-4	20% of the gross area	18% of the gross area
PDH-5	35% of the gross area	31% of the gross area
PDH-8	25% of the gross area	22% of the gross area
PDH-12	30% of the gross area	27% of the gross area
PDH-16	35% of the gross area	31% of the gross area
PDH-20	35% of the gross area	31% of the gross area
PDH-30	45% of the gross area	40% of the gross area
PDH-40	35% of the gross area	31% of the gross area

2. As part of the open space to be provided in accordance with the provisions of Par. 1 above, there shall be a requirement to provide recreational facilities in all PDH Districts. The provision of such facilities shall be subject to the provisions of Sect. 16-404, and such requirements shall be based on a minimum expenditure of \$500 per dwelling unit for such facilities for rezoning applications which are accepted prior to October 3, 1997 and approved by March 24, 1998 and \$955 per dwelling unit for such facilities for rezoning applications which are accepted subsequent to October 3, 1997 or approved after March 24, 1998, and either
 - A. The facilities shall be provided on-site by the developer in substantial conformance with the approved final development plan, and/or
 - B. The Board may approve the provision of the facilities on land which is not part of the subject PDH District.

Notwithstanding the above, in affordable dwelling unit developments, the requirement for a per dwelling unit expenditure shall not apply to affordable dwelling units.

ARTICLE 16

DEVELOPMENT PLANS

PART 1 16-100 STANDARDS FOR ALL PLANNED DEVELOPMENTS

16-101 General Standards

A rezoning application or development plan amendment application may only be approved for a planned development under the provisions of Article 6 if the planned development satisfies the following general standards:

1. The planned development shall substantially conform to the adopted comprehensive plan with respect to type, character, intensity of use and public facilities. Planned developments shall not exceed the density or intensity permitted by the adopted comprehensive plan, except as expressly permitted under the applicable density or intensity bonus provisions.
2. The planned development shall be of such design that it will result in a development achieving the stated purpose and intent of the planned development district more than would development under a conventional zoning district.
3. The planned development shall efficiently utilize the available land, and shall protect and preserve to the extent possible all scenic assets and natural features such as trees, streams and topographic features.
4. The planned development shall be designed to prevent substantial injury to the use and value of existing surrounding development, and shall not hinder, deter or impede development of surrounding undeveloped properties in accordance with the adopted comprehensive plan.
5. The planned development shall be located in an area in which transportation, police and fire protection, other public facilities and public utilities, including sewerage, are or will be available and adequate for the uses proposed; provided, however, that the applicant may make provision for such facilities or utilities which are not presently available.
6. The planned development shall provide coordinated linkages among internal facilities and services as well as connections to major external facilities and services at a scale appropriate to the development.

16-102 Design Standards

Whereas it is the intent to allow flexibility in the design of all planned developments, it is deemed necessary to establish design standards by which to review rezoning applications, development plans, conceptual development plans, final development plans, PRC plans, site plans and subdivision plats. Therefore, the following design standards shall apply:

1. In order to complement development on adjacent properties, at all peripheral boundaries of the planned development district, the bulk regulations and landscaping and screening provisions shall generally conform to the provisions of that conventional zoning district which most closely characterizes the particular type of development under consideration.

2. Other than those regulations specifically set forth in Article 6 for a particular P district, the open space, off-street parking, loading, sign and all other similar regulations set forth in this Ordinance shall have general application in all planned developments.
3. Streets and driveways shall be designed to generally conform to the provisions set forth in this Ordinance and all other County ordinances and regulations controlling same, and where applicable, street systems shall be designed to afford convenient access to mass transportation facilities. In addition, a network of trails and sidewalks shall be coordinated to provide access to recreational amenities, open space, public facilities, vehicular access routes, and mass transportation facilities.

PART 4 16-400 PROCEDURES FOR REVIEW AND APPROVAL OF ALL P DISTRICTS EXCEPT THE PRC DISTRICT

All proposed developments of a P district as permitted under Article 6, except for the PRC District, shall be subject to the following procedures for review and approval.

16-401 Conceptual Development Plan Approval

7. In approving a conceptual development plan, the Board may establish such conditions and may require such modifications as shall assure compliance with the standards and regulations of the subject district; and further, the Board may waive or modify subdivision and/or site plan requirements otherwise applicable to the development when such waiver or modification would be in conformance with said standards and regulations.
8. In approving a conceptual development plan, the Board may authorize a variance in the strict application of specific zoning district regulations whenever:
 - A. Such strict application would inhibit or frustrate the purpose and intent for establishing such a zoning district; and
 - B. Such variance would promote and comply with the standards set forth in Part 1 above.

In no case, however, shall the maximum density provisions under the PDH District and the maximum floor area ratio provisions under the PDC District, be varied or modified.

9. In the event the Board shall disapprove the rezoning application, the conceptual development plan shall thereby be deemed to be denied.
10. In the event that the Board shall approve the rezoning application, the Board shall also approve or approve with modifications or conditions the conceptual development plan.
11. Once a conceptual development plan has been approved, and there is cause for amendment of same or any portion thereof, such amendment shall be processed as a

new submission; provided, however, that the Zoning Administrator may waive any submission requirement if such requirement is not necessary for an adequate review of the conceptual development plan amendment application. An amendment may be filed by an owner of individual property.

16-402 Final Development Plan Approval

1. The granting of a rezoning application to a P district, and the approval of its accompanying conceptual development plan by the Board, shall constitute authority for the applicant to prepare a final development plan; however, a final development plan may be filed with and included in the processing of the rezoning application and conceptual development plan. All final development plans shall be prepared in accordance with the approved conceptual development plan, any conditions as may have been adopted by the Board, and the provisions of Sect. 502 below.
2. A final development plan may be prepared and submitted for the entire planned development at one time or for sections of the planned development, and each such plan shall be submitted to the Zoning Administrator in twenty-two (22) copies.
3. Upon determination by the Zoning Administrator that the content of the final development plan is complete in accordance with the requirements of Sect. 502 below, the plan shall be submitted for comment and review to appropriate County departments and agencies. Upon completion of such administrative review, the plan shall be submitted to the Planning Commission.
4. The Planning Commission shall hold a public hearing on the final development plan no later than six (6) months from the date the Zoning Administrator determined that such plan was complete in accordance with the requirements of Sect. 502 below. The Commission shall consider the final development plan in accordance with the approved conceptual development plan, and shall determine if said plan does comply with the applicable zoning district regulations. Upon the determination that the final development plan is in accordance and does comply, the Planning Commission shall approve, or approve with modifications, the final development plan. Such approval shall be deemed to be the final approval, subject only to appeal to the Board as provided for in Par. 9 below.
5. In approving a final development plan, the Planning Commission may establish such conditions and may require such modifications as will assure compliance with the standards and regulations of the subject district, and with the approved conceptual development plan. Further, the Planning Commission may recommend to the Board the waiver of any zoning and subdivision requirements otherwise applicable to the development where it is found that such waiver would be in conformance with said standards and regulations.
6. In the event that the Planning Commission finds that the final development plan is not in accordance with the approved conceptual development plan, or does not comply with the applicable zoning district regulations, it shall recommend the disapproval of the final development plan and forward such recommendation to the Board.

7. The Board shall hold a public hearing on the final development plan and shall approve, approve with modifications, or disapprove the final development plan. In approving the final development plan, the Board may establish such conditions and may require such modifications as will assure compliance with the standards and regulations of the subject district, and with the approved conceptual development plan. Zoning and subdivision requirements otherwise applicable to the development may be waived by the Board where it finds that such waiver would be in conformance with said standards and regulations.
8. In the event that the Board shall uphold a recommendation of the Planning Commission to disapprove the final development plan, such action shall be cause for the applicant to prepare a revised development plan unless the provisions of Par. 9 below are applied.
9. In the event that an aggrieved party wishes to appeal a Planning Commission decision for approval or approval with modifications of a final development plan, such appeal shall be filed with the Board within ten (10) days after the decision of the Commission. The appeal shall be by written petition to the Board setting forth the reasons for the appeal. The basis for an appeal shall be that the final development plan is or is not in substantial conformity with the approved conceptual development plan.
10. Once a final development plan has been approved, and there is cause for amendment of the same, such amendment shall be processed as follows:
 - A. Upon a determination by the Zoning Administrator that the amendment will result in a final development plan which is still in accordance with the approved conceptual development plan, then such amendment shall be processed in accordance with the provisions of this Section.
 - B. Upon a determination by the Zoning Administrator that the amendment will cause the final development plan to be not in accordance with the approved conceptual development plan, then an amendment to the conceptual development plan shall be required in accordance with the provisions of Par. 11 of Sect. 401 above. The amendment to the final development plan shall also be the subject of review by the Planning Commission in accordance with the provisions of this Section.
 - C. The Zoning Administrator may waive any submission requirement if such requirement is not necessary for an adequate review of the final development plan amendment application.
 - D. An amendment may be filed by an owner of individual property.

16-404

Required Recreational Facilities in PDH, Planned Development Housing and PDC, Planned Development Commercial Districts

Required recreational facilities shall include either active recreation facilities such as tennis courts, swimming pools, children playgrounds, tot lots or ballfields, or passive

recreation and site amenities such as gazebos, picnic areas, trails and nature walks, but not including landscape plantings, trails identified on the adopted comprehensive plan or sidewalks required by the Public Facilities Manual.

2. At the time of zoning, the Board may approve the provision of recreational facilities off-site on land in proximity to the proposed development, which land is titled to or is to be dedicated to the County, the Fairfax County Park Authority or on land under the control of an adjacent homeowners' association. The applicant shall submit a written justification for such off-site location and evidence that the future residents of the development shall have the right to use the recreational facilities at such off-site location. The Board may approve such a request upon a determination that it would be infeasible or impractical to provide the required recreational facilities on-site or that the off-site location would better serve the residents of the development.

At the designated off-site location, the applicant, upon Board approval, may either design and construct the recreational facilities or make a cash contribution to the County, the Fairfax County Park Authority or the homeowners' association, which shall be in accordance with the approved per dwelling unit expenditure. Additionally, the following shall apply:

- A. If the requirement for the proposed development is to be satisfied off-site on land owned by an adjacent homeowners' association, then a document, subject to County Attorney review and approval, which grants the right of future residents of the proposed development to use such off-site facilities shall be recorded among the Fairfax County land records prior to final subdivision plat approval or site plan approval, as applicable.
- B. If the recreational facilities are to be constructed off-site, the applicant shall submit documentation, which shall be subject to County Attorney review and approval, that there will be the right to construct the facilities at the selected off-site location and that the future residents of the proposed development shall have the right to use such facilities. The timing of such off-site construction shall be proposed by the applicant and approved by the Board at the time of zoning approval.
- C. If a cash contribution is to be made, it shall be in accordance with the following:
 - (1) The cash contribution equivalent to the approved per dwelling unit expenditure shall be made to either the County, the Fairfax County Park Authority or to an adjacent homeowners' association, as applicable, for the expressed purpose of providing additional recreational facilities, and/or renovating or increasing the user capacity of existing facilities. At the time of zoning, the applicant shall have established that the County, the Fairfax County Park Authority or homeowners' association, as applicable, has agreed to and has the right to receive such a cash contribution and, if the cash contribution is to be made to an adjacent homeowners' association, the proposed use of the cash contribution shall be specified.

- (2) The cash contribution equivalent to the approved per dwelling unit expenditure shall be made prior to the issuance of a Building Permit for each dwelling unit in the proposed development.

GLOSSARY

This Glossary is provided to assist the public in understanding the staff evaluation and analysis of development proposals. It should not be construed as representing legal definitions. Refer to the Fairfax County Zoning Ordinance, Comprehensive Plan or Public Facilities Manual for additional information.

ABANDONMENT: Refers to road or street abandonment, an action taken by the Board of Supervisors, usually through the public hearing process, to abolish the public's right-of-passage over a road or road right-of way. Upon abandonment, the right-of-way automatically reverts to the underlying fee owners. If the fee to the owner is unknown, Virginia law presumes that fee to the roadbed rests with the adjacent property owners if there is no evidence to the contrary.

ACCESSORY DWELLING UNIT (OR APARTMENT): A secondary dwelling unit established in conjunction with and clearly subordinate to a single family detached dwelling unit. An accessory dwelling unit may be allowed if a special permit is granted by the Board of Zoning Appeals (BZA). Refer to Sect. 8-918 of the Zoning Ordinance.

AFFORDABLE DWELLING UNIT (ADU) DEVELOPMENT: Residential development to assist in the provision of affordable housing for persons of low and moderate income in accordance with the affordable dwelling unit program and in accordance with Zoning Ordinance regulations. Residential development which provides affordable dwelling units may result in a density bonus (see below) permitting the construction of additional housing units. See Part 8 of Article 2 of the Zoning Ordinance.

AGRICULTURAL AND FORESTAL DISTRICTS: A land use classification created under Chapter 114 or 115 of the Fairfax County Code for the purpose of qualifying landowners who wish to retain their property for agricultural or forestal use for use/value taxation pursuant to Chapter 58 of the Fairfax County Code.

BARRIER: A wall, fence, earthen berm, or plant materials which may be used to provide a physical separation between land uses. Refer to Article 13 of the Zoning Ordinance for specific barrier requirements.

BEST MANAGEMENT PRACTICES (BMPs): Stormwater management techniques or land use practices that are determined to be the most effective, practicable means of preventing and/or reducing the amount of pollution generated by nonpoint sources in order to improve water quality.

BUFFER: Graduated mix of land uses, building heights or intensities designed to mitigate potential conflicts between different types or intensities of land uses; may also provide for a transition between uses. A landscaped buffer may be an area of open, undeveloped land and may include a combination of fences, walls, berms, open space and/or landscape plantings. A buffer is not necessarily coincident with transitional screening.

CHESAPEAKE BAY PRESERVATION ORDINANCE: Regulations which the State has mandated must be adopted to protect the Chesapeake Bay and its tributaries. These regulations must be incorporated into the comprehensive plans, zoning ordinances and subdivision ordinances of the affected localities. Refer to Chesapeake Bay Preservation Act, Va. Code Section 10.1-2100 et seq and VR 173-02-01, Chesapeake Bay Preservation Area Designation and Management Regulations.

CLUSTER DEVELOPMENT: Residential development in which the lots are clustered on a portion of a site so that significant environmental/historical/cultural resources may be preserved or recreational amenities provided. While smaller lot sizes are permitted in a cluster subdivision to preserve open space, the overall density cannot exceed that permitted in the zoning district if the site were developed as a conventional subdivision. See Sect. 9-615 of the Zoning Ordinance.

COUNTY 2232 REVIEW PROCESS: A public hearing process pursuant to Sect. 15.2-2232 (Formerly Sect. 15.1-456) of the Virginia Code which is used to determine if a proposed public facility not shown on the adopted Comprehensive Plan is in substantial accord with the plan. Specifically, this process is used to determine if the general or approximate location, character and extent of a proposed facility is in substantial accord with the Plan.

dBA: The momentary magnitude of sound weighted to approximate the sensitivity of the human ear to certain frequencies; the dBA value describes a sound at a given instant, a maximum sound level or a steady state value. See also Ldn.

DENSITY: Number of dwelling units (du) divided by the gross acreage (ac) of a site being developed in residential use; or, the number of dwelling units per acre (du/ac) except in the PRC District when density refers to the number of persons per acre.

DENSITY BONUS: An increase in the density otherwise allowed in a given zoning district which may be granted under specific provisions of the Zoning Ordinance when a developer provides excess open space, recreation facilities, or affordable dwelling units (ADUs), etc.

DEVELOPMENT CONDITIONS: Terms or conditions imposed on a development by the Board of Supervisors (BOS) or the Board of Zoning Appeals (BZA) in connection with approval of a special exception, special permit or variance application or rezoning application in a "P" district. Conditions may be imposed to mitigate adverse impacts associated with a development as well as secure compliance with the Zoning Ordinance and/or conformance with the Comprehensive Plan. For example, development conditions may regulate hours of operation, number of employees, height of buildings, and intensity of development.

DEVELOPMENT PLAN: A graphic representation which depicts the nature and character of the development proposed for a specific land area; information such as topography, location and size of proposed structures, location of streets, trails, utilities, and storm drainage are generally included on a development plan. A development plan is a submission requirement for rezoning to the PRC District. A **GENERALIZED DEVELOPMENT PLAN (GDP)** is a submission requirement for a rezoning application for all conventional zoning districts other than a P District. A development plan submitted in connection with a special exception (SE) or special permit (SP) is generally referred to as an SE or SP plat. A **CONCEPTUAL DEVELOPMENT PLAN (CDP)** is a submission requirement when filing a rezoning application for a P District other than the PRC District; a CDP characterizes in a general way the planned development of the site. A **FINAL DEVELOPMENT PLAN (FDP)** is a submission requirement following the approval of a conceptual development plan and rezoning application for a P District other than the PRC District; an FDP further details the planned development of the site. See Article 16 of the Zoning Ordinance.

EASEMENT: A right to or interest in property owned by another for a specific and limited purpose. Examples: access easement, utility easement, construction easement, etc. Easements may be for public or private purposes.

ENVIRONMENTAL QUALITY CORRIDORS (EQCs): An open space system designed to link and preserve natural resource areas, provide passive recreation and protect wildlife habitat. The system includes stream valleys, steep slopes and wetlands. For a complete definition of EQCs, refer to the Environmental section of the Policy Plan for Fairfax County contained in Vol. 1 of the Comprehensive Plan.

ERODIBLE SOILS: Soils that wash away easily, especially under conditions where stormwater runoff is inadequately controlled. Silt and sediment are washed into nearby streams, thereby degrading water quality.

FLOODPLAIN: Those land areas in and adjacent to streams and watercourses subject to periodic flooding; usually associated with environmental quality corridors. The 100 year floodplain drains 70 acres or more of land and has a one percent chance of flood occurrence in any given year.

FLOOR AREA RATIO (FAR): An expression of the amount of development intensity (typically, non-residential uses) on a specific parcel of land. FAR is determined by dividing the total square footage of gross floor area of buildings on a site by the total square footage of the site itself.

FUNCTIONAL CLASSIFICATION: A system for classifying roads in terms of the character of service that individual facilities are providing or are intended to provide, ranging from travel mobility to land access. Roadway system functional classification elements include Freeways or Expressways which are limited access highways, Other Principal (or Major) Arterials, Minor Arterials, Collector Streets, and Local Streets. Principal arterials are designed to accommodate travel; access to adjacent properties is discouraged. Minor arterials are designed to serve both through traffic and local trips. Collector roads and streets link local streets and properties with the arterial network. Local streets provide access to adjacent properties.

GEOTECHNICAL REVIEW: An engineering study of the geology and soils of a site which is submitted to determine the suitability of a site for development and recommends construction techniques designed to overcome development on problem soils, e.g., marine clay soils.

HYDROCARBON RUNOFF: Petroleum products, such as motor oil, gasoline or transmission fluid deposited by motor vehicles which are carried into the local storm sewer system with the stormwater runoff, and ultimately, into receiving streams; a major source of non-point source pollution. An oil-grit separator is a common hydrocarbon runoff reduction method.

IMPERVIOUS SURFACE: Any land area covered by buildings or paved with a hard surface such that water cannot seep through the surface into the ground.

INFILL: Development on vacant or underutilized sites within an area which is already mostly developed in an established development pattern or neighborhood.

INTENSITY: The magnitude of development usually measured in such terms as density, floor area ratio, building height, percentage of impervious surface, traffic generation, etc. Intensity is also based on a comparison of the development proposal against environmental constraints or other conditions which determine the carrying capacity of a specific land area to accommodate development without adverse impacts.

Ldn: Day night average sound level. It is the twenty-four hour average sound level expressed in A-weighted decibels; the measurement assigns a "penalty" to night time noise to account for night time sensitivity. Ldn represents the total noise environment which varies over time and correlates with the effects of noise on the public health, safety and welfare.

LEVEL OF SERVICE (LOS): An estimate of the effectiveness of a roadway to carry traffic, usually under anticipated peak traffic conditions. Level of Service efficiency is generally characterized by the letters A through F, with LOS-A describing free flow traffic conditions and LOS-F describing jammed or grid-lock conditions.

MARINE CLAY SOILS: Soils that occur in widespread areas of the County generally east of Interstate 95. Because of the abundance of shrink-swell clays in these soils, they tend to be highly unstable. Many areas of slope failure are evident on natural slopes. Construction on these soils may initiate or accelerate slope movement or slope failure. The shrink-swell soils can cause movement in structures, even in areas of flat topography, from dry to wet seasons resulting in cracked foundations, etc. Also known as slippage soils.

OPEN SPACE: That portion of a site which generally is not covered by buildings, streets, or parking areas. Open space is intended to

provide light and air; open space may be function as a buffer between land uses or for scenic, environmental, or recreational purposes.

OPEN SPACE EASEMENT: An easement usually granted to the Board of Supervisors which preserves a tract of land in open space for some public benefit in perpetuity or for a specified period of time. Open space easements may be accepted by the Board of Supervisors, upon request of the land owner, after evaluation under criteria established by the Board. See Open Space Land Act, Code of Virginia, Sections 10.1-1700, et seq.

P DISTRICT: A "P" district refers to land that is planned and/or developed as a Planned Development Housing (PDH) District, a Planned Development Commercial (PDC) District or a Planned Residential Community (PRC) District. The PDH, PDC and PRC Zoning Districts are established to encourage innovative and creative design for land development; to provide ample and efficient use of open space; to promote a balance in the mix of land uses, housing types, and intensity of development; and to allow maximum flexibility in order to achieve excellence in physical, social and economic planning and development of a site. Refer to Articles 6 and 16 of the Zoning Ordinance.

PROFFER: A written condition, which, when offered voluntarily by a property owner and accepted by the Board of Supervisors in a rezoning action, becomes a legally binding condition which is in addition to the zoning district regulations applicable to a specific property. Proffers are submitted and signed by an owner prior to the Board of Supervisors public hearing on a rezoning application and run with the land. Once accepted by the Board, proffers may be modified only by a proffered condition amendment (PCA) application or other zoning action of the Board and the hearing process required for a rezoning application applies. See Sect. 15.2-2303 (formerly 15.1-491) of the Code of Virginia.

PUBLIC FACILITIES MANUAL (PFM): A technical text approved by the Board of Supervisors containing guidelines and standards which govern the design and construction of site improvements incorporating applicable Federal, State and County Codes, specific standards of the Virginia Department of Transportation and the County's Department of Environmental Management.

RESOURCE MANAGEMENT AREA (RMA): That component of the Chesapeake Bay Preservation Area comprised of lands that, if improperly used or developed, have a potential for causing significant water quality degradation or for diminishing the functional value of the Resource Protection Area. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

RESOURCE PROTECTION AREA (RPA): That component of the Chesapeake Bay Preservation Area comprised of lands at or near the shoreline or water's edge that have an intrinsic water quality value due to the ecological and biological processes they perform or are sensitive to impacts which may result in significant degradation of the quality of state waters. In their natural condition, these lands provide for the removal, reduction or assimilation of sediments from runoff entering the Bay and its tributaries, and minimize the adverse effects of human activities on state waters and aquatic resources. New development is generally discouraged in an RPA. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

SITE PLAN: A detailed engineering plan, to scale, depicting the development of a parcel of land and containing all information required by Article 17 of the Zoning Ordinance. Generally, submission of a site plan to DEM for review and approval is required for all residential, commercial and industrial development except for development of single family detached dwellings. The site plan is required to assure that development complies with the Zoning Ordinance.

SPECIAL EXCEPTION (SE) / SPECIAL PERMIT (SP): Uses, which by their nature, can have an undue impact upon or can be incompatible with other land uses and therefore need a site specific review. After review, such uses may be allowed to locate within given designated zoning districts if appropriate and only under special controls, limitations, and regulations. A special exception is subject to public hearings by the Planning Commission and Board of Supervisors with approval by the Board of Supervisors; a special permit requires a public hearing and approval by the Board of Zoning Appeals. Unlike proffers which are voluntary, the Board of Supervisors or BZA may impose reasonable conditions to assure, for example, compatibility and safety. See Article 8, Special Permits and Article 9, Special Exceptions, of the Zoning Ordinance.

STORMWATER MANAGEMENT: Engineering practices that are incorporated into the design of a development in order to mitigate or abate adverse water quantity and water quality impacts resulting from development. Stormwater management systems are designed to slow down or retain runoff to re-create, as nearly as possible, the pre-development flow conditions.

SUBDIVISION PLAT: The engineering plan for a subdivision of land submitted to DEM for review and approved pursuant to Chapter 101 of the County Code.

TRANSPORTATION DEMAND MANAGEMENT (TDM): Actions taken to reduce single occupant vehicle automobile trips or actions taken to manage or reduce overall transportation demand in a particular area.

TRANSPORTATION SYSTEM MANAGEMENT (TSM) PROGRAMS: This term is used to describe a full spectrum of actions that may be applied to improve the overall efficiency of the transportation network. TSM programs usually consist of low-cost alternatives to major capital expenditures, and may include parking management measures, ridesharing programs, flexible or staggered work hours, transit promotion or operational improvements to the existing roadway system. TSM includes Transportation Demand Management (TDM) measures as well as H.O.V. use and other strategies associated with the operation of the street and transit systems.

URBAN DESIGN: An aspect of urban or suburban planning that focuses on creating a desirable environment in which to live, work and play. A well-designed urban or suburban environment demonstrates the four generally accepted principles of design: clearly identifiable function for the area; easily understood order; distinctive identity; and visual appeal.

VACATION: Refers to vacation of street or road as an action taken by the Board of Supervisors in order to abolish the public's right-of-passage over a road or road right-of-way dedicated by a plat of subdivision. Upon vacation, title to the road right-of-way transfers by operation of law to the owner(s) of the adjacent properties within the subdivision from whence the road/road right-of-way originated.

VARIANCE: An application to the Board of Zoning Appeals which seeks relief from a specific zoning regulation such as lot width, building height, or minimum yard requirements, among others. A variance may only be granted by the Board of Zoning Appeals through the public hearing process and upon a finding by the BZA that the variance application meets the required Standards for a Variance set forth in Sect. 18-404 of the Zoning Ordinance.

WETLANDS: Land characterized by wetness for a portion of the growing season. Wetlands are generally delineated on the basis of physical characteristics such as soil properties indicative of wetness, the presence of vegetation with an affinity for water, and the presence or evidence of surface wetness or soil saturation. Wetland environments provide water quality improvement benefits and are ecologically valuable. Development activity in wetlands is subject to permitting processes administered by the U.S. Army Corps of Engineers

TIDAL WETLANDS: Vegetated and nonvegetated wetlands as defined in Chapter 116 Wetlands Ordinance of the Fairfax County Code: includes tidal shores and tidally influenced embayments, creeks, and tributaries to the Occoquan and Potomac Rivers. Development activity in tidal wetlands may require approval from the Fairfax County Wetlands Board.

Abbreviations Commonly Used in Staff Reports

A&F	Agricultural & Forestal District	PD	Planning Division
ADU	Affordable Dwelling Unit	PDC	Planned Development Commercial
ARB	Architectural Review Board	PDH	Planned Development Housing
BMP	Best Management Practices	PFM	Public Facilities Manual
BOS	Board of Supervisors	PRC	Planned Residential Community
BZA	Board of Zoning Appeals	RMA	Resource Management Area
COG	Council of Governments	RPA	Resource Protection Area
CBC	Community Business Center	RUP	Residential Use Permit
CDP	Conceptual Development Plan	RZ	Rezoning
CRD	Commercial Revitalization District	SE	Special Exception
DOT	Department of Transportation	SP	Special Permit
DP	Development Plan	TDM	Transportation Demand Management
DPWES	Department of Public Works and Environmental Services	TMA	Transportation Management Association
DPZ	Department of Planning and Zoning	TSA	Transit Station Area
DU/AC	Dwelling Units Per Acre	TSM	Transportation System Management
EQC	Environmental Quality Corridor	UP & DD	Utilities Planning and Design Division, DPWES
FAR	Floor Area Ratio	UMTA	Urban Mass Transit Association
FDP	Final Development Plan	VC	Variance
GDP	Generalized Development Plan	VDOT	Virginia Dept. of Transportation
GFA	Gross Floor Area	VPD	Vehicles Per Day
HCD	Housing and Community Development	VPH	Vehicles per Hour
LOS	Level of Service	WMATA	Washington Metropolitan Area Transit Authority
Non-RUP	Non-Residential Use Permit	ZAD	Zoning Administration Division, DPZ
OSDS	Office of Site Development Services, DOT	ZED	Zoning Evaluation Division, DPZ
PCA	Proffered Condition Amendment	ZPRB	Zoning Permit Review Branch