



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

Revised letter

March 10, 2009

Keith C. Martin
Sack Harris and Martin, P.C.
8270 Greensboro Drive, Suite 810
McLean, Virginia 22102

RE: Rezoning Application RZ 2009-DR-016

Dear Mr. Martin:

Enclosed you will find a copy of an Ordinance adopted by the Board of Supervisors at a regular meeting held on March 9, 2010, granting Rezoning Application RZ 2009-DR-016 in the name of Madison Building Associates LLC and Second Madison Building Associates LLC. The Board's action rezones certain property in the Dranesville District from the C-6, CRD, HC and SC to PDC, CRD, HC and SC and permits mixed use development with an overall Floor Area Ratio (FAR) of 1.22. The subject property is located on the east side of Beverly Road, west side of Old Chain Bridge Road approximately 100 feet south of its intersection with Fleetwood Road on approximately 2.66 acres of land [Tax Map 30-2 ((4)) (D) 11B and 47A], and is subject to the proffers dated March 4, 2010.

Please note that on February 25, 2010, the Planning Commission approved Final Development Plan Application FDP 2009-DR-016, and the associated CDP, subject to the development conditions dated February 18, 2010, with the deletion of Conditions 1 and 3.

Office of the Clerk to the Board of Supervisors
12000 Government Center Parkway, Suite 533
Fairfax, Virginia 22035
Phone: 703-324-3151 ♦ Fax: 703-324-3926 ♦ TTY: 703-324-3903
Email: clerktothebos@fairfaxcounty.gov
<http://www.fairfaxcounty.gov/bosclerk>

The Board also:

- Approved the P-District variance, in accordance with the provisions of the Paragraph 8 of Section 16-401 of the Zoning Ordinance, to allow the proposed secondary uses as proffered to exceed 25 percent of the proposed principal uses.
- Approved a 20 percent reduction in required parking to permit 229 spaces instead of 286 spaces.
- Modified the transitional screening requirement along the western property line in favor of the proposed landscaping, as shown on the Conceptual Development Plan/Final Development Plan (CDP/FDP).
- Waived the barrier requirements along all property lines of parcel 47A and along the western property line of parcel 11B, in favor of that shown on the CDP/FDP.
- Modified the major paved trail requirement along Old Chain Bridge Road, in favor of that shown on the CDP/FDP.
- Modified the peripheral parking lot landscaping, in favor of that shown on the CDP/FDP.
- Directed the director of the Department of Public Works and Environmental Services to permit a deviation from the tree preservation target and tree cover requirements, in favor of the proposed landscaping shown on the CDP/FDP.

Sincerely,



Nancy Vehrs
Clerk to the Board of Supervisors
NV/ph
Enclosure

Cc: Chairman Sharon Bulova
Supervisor John Foust, Dranesville District
Janet Coldsmith, Director, Real Estate Division, Dept. of Tax Administration
Regina Coyle, Director, Zoning Evaluation Division, DPZ
Diane Johnson-Quinn, Deputy Zoning Administrator, Dept. of Planning and Zoning
Thomas Conry, Dept. Manager. – GIS - Mapping/Overlay
Angela K. Rodeheaver, Section Chief, Transportation, Planning Division
Eric Teitelman, Capital Projects and Operations Div., Dept. of Transportation
Ken Williams, Plans & Document Control, ESRD, DPWES
Department of Highways-VDOT
Sandy Stallman, Park Planning Branch Manager, FCPA
Charlene Fuhrman-Schulz, Development Officer, DHCD/Design Development Division
District Planning Commissioner
Denise James, Office of Capital Facilities/Fairfax County Public Schools
Karyn Moreland, Chief Capital Projects Sections, Dept. of Transportation



At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium in the Government Center at Fairfax, Virginia, on the 9th day of March, 2010, the following ordinance was adopted:

**AN ORDINANCE AMENDING THE ZONING ORDINANCE
PROPOSAL NUMBER RZ 2009-DR-016**

WHEREAS, Madison Building Associates LLC and Second Madison Building Associates, LLC, filed in the proper form an application requesting the zoning of a certain parcel of land herein after described, from the C-6, CRD, HC and SC to PDC, CRD, HC and SC, and

WHEREAS, at a duly called public hearing the Planning Commission considered the application and the propriety of amending the Zoning Ordinance in accordance therewith, and thereafter did submit to this Board its recommendation, and

WHEREAS, this Board has today held a duly called public hearing and after due consideration of the reports, recommendation, testimony and facts pertinent to the proposed amendment, the Board is of the opinion that the Ordinance should be amended,

NOW, THEREFORE, BE IT ORDAINED, that that certain parcel of land situated in the Dranesville District, and more particularly described as follows (see attached legal description):

Be, and hereby is, zoned to the PDC, CRD, HC and SC Districts, and said property is subject to the use regulations of said PDC, CRD, HC and SC Districts, and further restricted by the conditions proffered and accepted pursuant to Va. Code Ann., 15.2-2303(a), which conditions are in addition to the Zoning Ordinance regulations applicable to said parcel, and

BE IT FURTHER ENACTED, that the boundaries of the Zoning Map heretofore adopted as a part of the Zoning Ordinance be, and they hereby are, amended in accordance with this enactment, and that said zoning map shall annotate and incorporate by reference the additional conditions governing said parcel.

GIVEN under my hand this 9th day of March, 2010.



Nancy Vehr
Clerk to the Board of Supervisors

PROFFERS
Madison Building Associates, LLC
Second Madison Building Associates, LLC
RZ 2009-DR-016

March 4, 2010

Pursuant to Section 15.2-2303(a) of the Code of Virginia, 1950, as amended, the property owners and the Applicant in this rezoning proffer that the development of the parcels under consideration and shown on the Fairfax County Tax Maps as Tax Map Reference No. 30-2((4))(D)11B, 47A (hereinafter referred to as the "Property") will be in accordance with the following conditions if, and only if, said rezoning request for the PDC District is granted by the Board of Supervisors of Fairfax County, Virginia (the "Board"). In the event said application request is denied or the Board's approval is overturned by a court of competent jurisdiction, these proffers shall be null and void. The Owners and the Applicant ("Applicant"), for themselves, their successors and assigns, agree that these proffers shall be binding on the future development of the Property unless modified, waived or rescinded in the future by the Board, in accordance with applicable County and State statutory procedures. The Proffered Conditions are:

GENERAL

1. Substantial Conformance. Subject to the proffers and the provisions of Article 16 of the Zoning Ordinance, under which minor modifications to an approved development plan are permitted, development of the Property shall be in substantial conformance with the Conceptual Development Plan/Final Development Plan ("CDP/FDP"), prepared by Walter L. Phillips, Inc., and dated February 4, 2010. The Applicant reserves the right to request a Final Development Plan Amendment ("FDPA") for elements other than the CDP elements from the Planning Commission for all or a portion of the CDP/FDP in accordance with Section 16-402 of the Zoning Ordinance if such an amendment is in accordance with the approved CDP and these proffers.

2. Minor Modifications. In addition to that described above, pursuant to paragraph 4 of Section 16-403 of the Zoning Ordinance, minor modifications to the CDP/FDP and these proffers may be permitted as determined by the Zoning Administrator.



3. Maximum Density. The maximum floor area ratio ("FAR") permitted on the Property shall be 1.22. Based on this maximum FAR, the maximum gross floor area ("GFA") that may be constructed shall be 141,770 square feet. The Applicant reserves the right to construct a lesser amount of GFA provided that the building and Property remain in substantial conformance with that shown on the CDP/FDP as determined by the Zoning Administrator.

4. Density Credit. Density credit shall be reserved for the Property as provided by Section 2-308 of the Zoning Ordinance for all dedications described herein and/or as shown on the CDP/FDP or as may reasonably be required by Fairfax County, VDOT or others at the time of site/subdivision plan approvals.

5. Architecture. The development of the proposed mini-warehouse building and existing office building on the Property shall incorporate landscaping, architectural design, and building materials, in substantial conformance with those shown on the CDP/FDP. Mini-warehouse building materials shall include either masonry, stone, precast concrete, metal and glass, or any combination thereof. The Applicants shall submit the final architectural design of the mini-warehouse building to the Dranesville District Supervisor for review and comment at the time building plans are submitted to Fairfax County. Rooftop mechanical equipment will be shielded from view from the ground-level of adjacent streets and by a trellis and planters to shield view from McLean House.

6. Signage. Signage for the Property shall be provided in accordance with the requirements of Article 12 of the Zoning Ordinance or pursuant to a Comprehensive Sign Plan ("CSP") that may be approved by the Planning Commission. The mini-warehouse building mounted and freestanding signs shall be in substantial conformance with that depicted on Sheet 17 of the CDP/FDP provided they are in accordance with Article 12.

7. Building Lighting. Exterior accent lighting of the architectural elements of the mini-warehouse building as shown on the CDP/FDP shall utilize lighting fixtures that are aimed and shielded so that light is directed only on the features intended to be illuminated to minimize light spill into the night sky. In addition, lighting fixtures shall not cause direct glare or direct light beyond the building façade onto neighboring residential property. The lighting fixtures type, number and location on and surrounding the mini-warehouse building shall be in substantial conformance with that shown on Sheet 17 of the CDP/FDP. This proffer shall be

considered supplemental to the glare standards contained in the Fairfax County Zoning Ordinance.

8. Site Lighting/Security. All on-site, outdoor lighting shall comply with the Outdoor Lighting Standards of Section 14-900 of the Zoning Ordinance. The Applicant shall provide a security lighting plan for the mid-block pedestrian walkway, as shown on Sheet 17 of the CDP/FDP.

USES

9. Principal and Secondary Uses. All principal and secondary uses referenced below shall be deemed to be "specifically designated on the FDP" such that approval of a separate special exception shall not be required to initiate such a use interior to the existing office building or within the footprint of the proposed mini-warehouse use pursuant to Section 6-405 of the Zoning Ordinance. The primary principal use of the existing building (Parcel 11B) shall be offices and the primary secondary use shall be a mini-warehouse between 58,000 to 60,590 square feet located within the proposed structure (Parcel 47A). Other principal and secondary uses permitted in the PDC Zoning District that are not specifically listed in this Proffer may be permitted with the approval of a PCA and/or a special exception or special permit as required. A PCA shall not be required as long as the proposal remains in substantial conformance with the CDP.

A. Other Principal Uses:

- Business Service and supply establishments;
- Financial institutions (without drive-through);
- Garment cleaning establishments (drop-off and pick-up only, no on-site processing);
- Offices;
- Personal service establishments;
- Public uses;
- Repair service establishments; and
- Retail sales establishments;

B. Other Secondary Uses:

- Accessory uses;
- Bank Teller machines, unmanned;
- Fast food restaurants (without drive-through);
- Quick service food stores;

- Vehicle rental establishments (cars only);
- Private School of special education
- Health clubs;
- Community clubs, centers, meeting halls;
- Private clubs and public benefit associations;
- Private schools of general education; and
- Telecommunications facilities limited to those that are mounted on the rooftop, mounted to the penthouse, or located within the building.

The Applicant agrees to limit the overall secondary use allocation to a maximum of 43% of the total gross floor area for mini-warehousing and up to 7% of the total gross floor area for all other secondary uses.

C. Cellar space within the mini-warehousing building shall be used solely for storage units, building utilities or parking and shall not be used for any use that would require additional parking.

TRANSPORTATION

10. Bicycle Lane. The Applicant shall provide signage for a bicycle lane along the Property's Beverly Road frontage as approved by FCDOT and VDOT.

11. Bicycle Parking. The Applicant shall install four (4) bicycle racks throughout the Property as generally shown on the CDP/FDP, and reviewed and approved by Fairfax County at the time of site plan approval. These facilities shall be provided in convenient and visible locations, as may be feasible, and shall be located so as not to impede pedestrian use of sidewalks. Bike parking shall be design and installed as inverted U-shaped racks, racks of equivalent or quality for users of the commercial spaces.

12. Right-of-Way Dedication. At the time of site plan approval or upon demand, whichever occurs first, the Applicant shall dedicate and convey in fee simple to the Board of Supervisors right-of-way up to a width of twenty-six (26) feet from the centerline along the Property's Beverly Road frontage as shown on the CDP/FDP.

STORMWATER MANAGEMENT

13. Stormwater Management Facilities. The Applicant shall provide underground on-site Stormwater Management (SWM) and Best Management Practices (BMPs) facilities as

shown on the CDP/FDP to satisfy detention and water quality requirements in accordance with the requirements of the Public Facilities Manual, DPWES.

LANDSCAPING

14. Landscaping. At the time of site plan review, the Applicant shall submit to DPWES, a landscape plan showing landscaping consistent with the quality, quantity and general location shown on the Landscape Plan on Sheet 4 for the CDP/FDP. This plan shall be subject to review and approval of Urban Forestry Management, DPWES. Actual types and species of vegetation shall be determined pursuant to more detailed landscape plans approved by Urban Forestry Management at the time of site plan approval.

15. Native Trees. Native trees that are conducive to air quality enhancement shall be used within the landscaping, streetscape and landscaped open space areas as determined appropriate by Urban Forest Management.

PEDESTRIAN IMPROVEMENTS

16. On-site Sidewalks and Crosswalks. Sidewalks and crosswalks shall be provided as shown on the CDP/FDP and in conformance with the McLean Design Guidelines commensurate with the development of the Property.

A. Crosswalks that are provided internal to the site shall be distinguishable in design from the internal drive aisles and other internal surface treatments. Crosswalks on the periphery of the development and those crossing Beverly Road and Old Chain Bridge Road shall be painted in accordance with applicable VDOT or County standards, subject to VDOT approval. In the event the crosswalks are not approved by VDOT, the Applicant shall contribute the cost (as estimated by DPWES) of the crosswalks to the Dranesville District Pedestrian Improvement Fund, prior to site plan approval.

B. The Applicant shall construct a 5 foot wide brick and concrete sidewalk along the frontages of Beverly Road and Old Chain Bridge Road. Street trees and streetscaping shall be provided as shown on the CDP/FDP, as approved by FCDOT and VDOT. Such improvement shall be in place prior to the issuance of a Non-RUP for the mini-warehouse building. Applicant shall enter into a maintenance agreement for said improvements, if requested by FCDOT and/or VDOT.

C. The owners of the 2 parcels shall each be responsible for maintaining the portions of sidewalks subject to VDOT maintenance agreements or that are on their parcel and the owner of parcel 47A shall be responsible for maintenance of the mid-block pedestrian sidewalk.

17. A. Mid-Block Pedestrian Walkway. The Applicant shall construct a pedestrian connection from the edge of right-of-way of Beverly Road to the edge of right-of-way of Old Chain Bridge Road as shown on the CDP/FDP. The Applicant shall dedicate a public sidewalk easement for this pedestrian improvement. Said connection shall be provided prior to the issuance of the Non-RUP for the mini-warehouse building.

B. ADA Pedestrian Treatment. The Applicant shall construct an ADA pedestrian treatment (handicap ramp) on both sides of Beverly Road and Old Chain Bridge Road as shown on the CDP/FDP provided permission is granted by VDOT and subject to available ROW. The improvement shall be complete prior to the issuance of the Non-RUP for the mini-warehouse building.

GREEN BUILDING PRACTICES

18. The Applicant will include, as part of the site plan submission and building plan submission for the building, a list of specific credits within the most current version of the U. S. Green Building Council's Leadership in Energy and Environmental Design - Core and Shell (LEED® -CS) rating system, or other LEED rating system determined to be applicable to the building by the U. S. Green Building Council (USGBC), that the Applicant anticipates attaining. At least one principal participant of the Applicant's project team shall be a LEED Accredited Professional, and such professional will provide certification statements at both the time of site plan review and the time of building plan review confirming that the items on the list are expected to meet at least the minimum number of credits necessary to attain LEED Silver certification for the building.

19. Prior to building plan approval for the building, the Applicant will submit, to the Environment and Development Review Branch of DPZ, documentation from the U. S. Green Building Council demonstrating that LEED Silver precertification under the Core and Shell program has been attained for that building. Prior to release of the bond for that building, the Applicant shall provide documentation to the Environment and Development Review Branch of

DPZ demonstrating the status of attainment of LEED Certification from the U. S. Green Building Council for the building.

20. If the Applicant fails to attain LEED Silver precertification prior to building plan approval, the Applicant will, prior to building permit approval, execute a separate agreement and post a "green building escrow," in the form of a cash or a letter of credit from a financial institute acceptable to DPWES as defined in the Public Facilities Manual, in the amount of \$2.00 per gross square foot of building. This escrow will be in addition to and separate from other bond requirements and will be released upon demonstration of attainment of certification, by the U.S. Green Building council, under the most current version of the LEED-CS rating system or other LEED rating system determined, by the U.S. Green Building council, to be applicable to the building. The provision to the Environment and Development Review Branch of DPZ of documentation from the U.S. Green Building Council that the building has attained LEED certification will be sufficient to satisfy this commitment. If the applicant fails to provide documentation to the Environment and Development Review Branch of DPZ demonstrating attainment of LEED certification within two years (or such longer time if the Applicant provided documentation to the satisfaction of the Environment and Development Review Branch of DPZ that USGBC review of the LEED certification has been delayed through no fault of the Applicant) of issuance of the first Non-RUP, exclusive of core and shell, for the building, the escrow will be released to Fairfax County and will be posted to a fund within the county budget supporting implementation of county environmental initiatives.

TREE PRESERVATION FENCING

21. All on and off-site trees and vegetation shown to be preserved shall be protected by tree protection fence. Tree protection fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart shall be erected at the limits of clearing and grading adjacent to any on or off-site vegetation to be preserved as shown on the phase I & II erosion and sediment control sheets.

22

TREE PRESERVATION

22. The applicant shall submit a Tree Preservation Plan and Narrative as part of the first and all subsequent site plan submissions. The preservation plan and narrative shall be prepared by a Certified Arborist or a Registered Consulting Arborist, and the plan, narrative and any requested deviation shall be subject to the review and approval of the Urban Forest Management Division, DPWES. The tree preservation plan shall include a tree inventory that identifies the location, species, critical root zone, size, crown spread and condition analysis percentage rating for all individual trees to be preserved, as well as all on and off-site trees, living or dead with trunks 8 inches in diameter and greater (measured at 4 1/2 -feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) located within 25 feet to either side of the limits of clearing and grading. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of clearing and grading shown on the CDP/FDP and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in PFM 12-0506 and 12-0508. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such as: crown pruning, root pruning, mulching, fertilization, and others as necessary, shall be included in the plan.

TREE PRESERVATION WALK-THROUGH

23. The Applicant shall retain the services of a certified arborist or landscape architect, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree-preservation walk-through meeting, the Applicant's certified arborist or landscape architect shall walk the limits of clearing and grading with an UFMD, DPWES, representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump-grinding machine in a

manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions.

TREE APPRAISAL

24. The Applicant shall retain a professional arborist with experience in plant appraisal, to determine the replacement value of all trees 8 inches in diameter or greater located on the Application Property that are shown to be saved on the Tree Preservation Plan. These trees and their value shall be identified on the Tree Preservation Plan at the time of the first submission of the respective site plan(s). The replacement value shall take into consideration the age, size and condition of these trees and shall be determined by the so-called "Trunk Formula Method" contained in the latest edition of the Guide for Plan Appraisal published by the International Society of Arboriculture, subject to review and approval by UFM.

At the time of the respective site plan approvals, the Applicant shall post a cash bond or a letter of credit payable to the County of Fairfax to ensure preservation and/or replacement of the trees for which a tree value has been determined in accordance with the paragraph above (the "Bonded Trees") that die or are dying due to unauthorized construction activities. The letter of credit or cash deposit shall be equal to 50% of the replacement value of the Bonded Trees. At any time prior to final bond release for the improvements on the Application Property constructed adjacent to the respective tree save areas, should any Bonded Trees die, be removed, or are determined to be dying by UFMD due to unauthorized construction activities, the Applicant shall replace such trees at its expense. The replacement trees shall be of equivalent size, species and/or canopy cover as approved by UFMD. In addition to this replacement obligation, the Applicant shall also make a payment equal to the value of any Bonded Tree that is dead or dying or improperly removed due to unauthorized construction activity. This payment shall be determined based on the Trunk Formula Method and paid to a fund established by the County for furtherance of tree preservation objectives. Upon release of the bond for the improvements on the Application Property constructed adjacent to the respective tree save areas, any amount remaining in the tree bonds required by this proffer shall be returned/released to the Applicant.



ROOT PRUNING

25. The Applicant shall root prune, as needed to comply with the tree preservation requirements of these proffers. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the site plan submission. The details for these treatments shall be reviewed and approved by the UFMD, DPWES, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:

- Root pruning shall be done with a trencher or vibratory plow to a depth of 18 inches.
- Root pruning shall take place prior to any clearing and grading, or demolition of structures.
- Root pruning shall be conducted with the supervision of a certified arborist.
- An UFMD, DPWES, representative shall be informed when all root pruning and tree protection fence installation is complete.

SITE MONITORING

26. During any clearing or tree/vegetation/structure removal on the Applicant Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as proffered and as approved by the UFMD. The Applicant shall retain the services of a certified arborist or landscape architect to monitor all construction and demolition work and tree preservation efforts in order to ensure conformance with all tree preservation proffers, and UFMD approvals. The monitoring schedule shall be described and detailed in the Landscaping and Tree Preservation Plan, and reviewed and approved by the UFMD, DPWES.

MISCELLANEOUS

27. Mini-warehouse Hours of Operation. The hours of operation of the mini-warehouse facility shall be limited to 7:00 a.m. to 8:00 p.m. Monday through Saturday and 9 a.m. to 6 p.m. Sunday. Limited 24 hour access by tenants shall be allowed by appointment only.

28. Mini-warehouse storage units shall not be visible from outside the building.

29. Tenants shall not park their vehicles on-site overnight. ✓

30. Noise from the HVAC rooftop units shall not exceed a level of 55dBA LMAX at the property line along Beverly Road.

31. There shall be no truck, trailer, and/or van rentals conducted from the site.

32. There shall be no amplified music or commercial messages broadcast within the loading area of the mini-warehousing building.

UNDERGROUND UTILITIES

33. The Applicant shall provide a 15' wide utility easement along the Property's Old Chain Bridge road frontage replacing the existing overhead utility easement. Wider easements adjacent to each property line shall be provided for future potential ground mounted transformers or switches. All utility easements shall meet the requirements of and be reviewed and approved by the respective utility companies.

34. A. Prior to the issuance of a Non-RUP for the mini-warehouse building, the Applicant shall underground the existing overhead Dominion Power, Verizon and Cox lines that currently run along the Property's Old Chain Bridge Road frontage between Dominion Pole RA82 and Dominion Pole SA03 (removing Dominion Poles SA05 and RA72), pursuant to Dominion Power, Verizon and Cox specifications and consistent with the design specification for the duct bank and conduits to be installed in the initial phase of utility undergrounding at the intersection of Old Dominion and Chain Bridge Roads. The wires shall be installed in duct banks that shall run from property line to property line. The Dominion pole directly across Old Chain Bridge Road shall be removed, provided that no additional expense is incurred by Applicant associated with Verizon wires on that pole. The 2 Verizon wires that cross Old Chain Bridge Road shall be removed during the underground work. Commencement of the undergrounding work shall occur upon approval from all required agencies and the County's approval of the Site Plan such that, in the course of standard construction practices, this work can be coordinated with required streetscape improvements.

B. The Applicant shall notify the Dranesville District Supervisor's office and Environmental and Facilities Inspection Division ("EFID") 2 business days prior to the installation of the conduit and shall provide written certification that all of the work outlined in paragraph 34.a. has been completed to the Dranesville District Supervisor's office and EFID

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within 2 business days of completion. The Applicant shall provide the Dranesville Supervisors bimonthly updates on the progress of the under grounding work after the initial notification.

ESCALATION

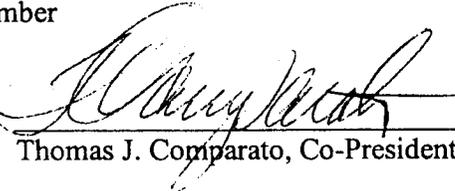
35. All monetary contributions required by these proffers shall be adjusted upward or downward based on the percentage change in the annual rate of inflation as calculated by referring to the Consumer Price Index for all urban customers (CPI-U), (not seasonally adjusted) as reported by the United States Department of Labor, Bureau of Labor Statistics occurring subsequent to the date of rezoning approval and up to the date of payment. In no event shall an adjustment increase exceed the annual rate of inflation as calculated by the CPI-U.

APPLICANT/TITLE OWNERS

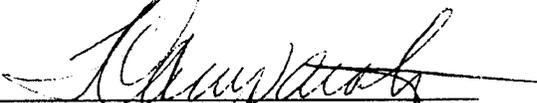
Madison Building Associates, LLC

By: Madison Building Manager, LLC, its
Member/Manager

By: Madison Building, Inc., its Managing
Member

By: 
Thomas J. Comparato, Co-President

Second Madison Building Associates, LLC

By: 
Thomas J. Comparato
Title: Member/Manager

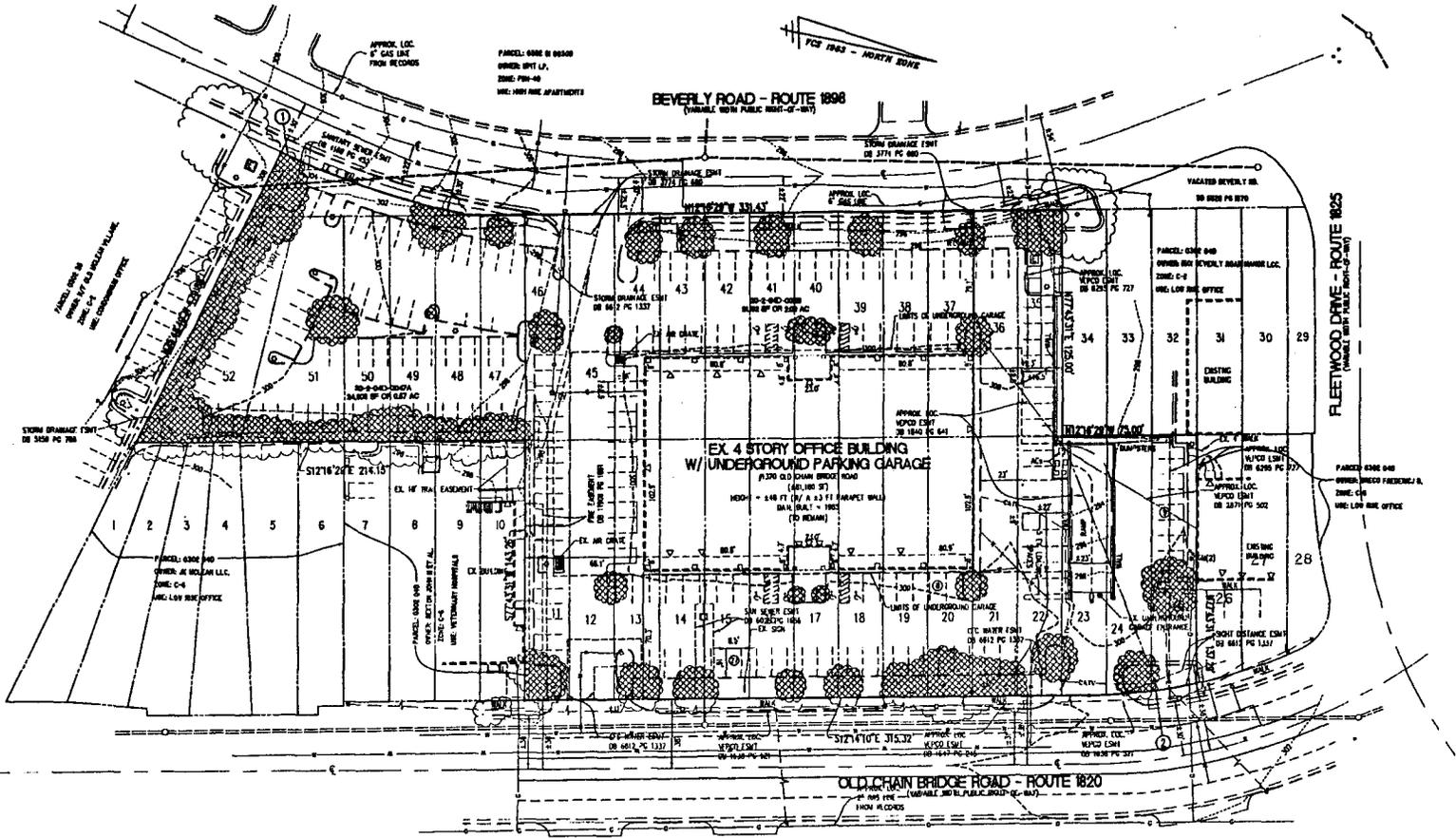
FINAL DEVELOPMENT PLAN CONDITIONS

FDP 2009-DR-016

February 25, 2010

If it is the intent of the Planning Commission to approve FDP 2009-DR-016 located at 1320 Old Chain Bridge Road [Tax Map 30-2 ((4)) D-11B and D-47A] to permit a new mini-warehouse building and existing commercial building, the staff recommends that the Planning Commission condition the approval by requiring conformance with the following development conditions.

1. A maintenance agreement shall be executed with the Virginia Department of Transportation (VDOT) for the streetscape and sidewalk areas within the right-of-way.



CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING
1	440.00'	308.02'	243.31'	34.80'
2	288.00'	89.17'	112.56'	30.12'



EXISTING VEGETATION MAP INFORMATION

LEGEND	COVER TYPE	PRIMARY SPECIES	SUCCESSIONAL STAGE	CONDITION	ACREAGE	COMMENTS
[Hatched Box]	MAINTAINED CRASSLANDS	MAPLES, OAKS, BRADFORD PEARS	EARLY SUCCESSIONAL TO SUB-CLIMAX	FAR TO POOR	116,895 SF OR 2.67 AC	INCLUDES UNDERRABLE SPECIES SUCH AS BRADFORD PEAR AND LETLAND CYPRESS. ALL LETLAND CYPRESS ARE LOCATED MAINLY IN STORM SEWER EASEMENT. MOSTLY NON-HIGH VEGETATION THAT HAS BEEN PLANTED AS LANDSCAPE AREAS.
[Solid Box]	DEVELOPED	BUILDINGS, PARKING, DRIVEWAYS, WALLS	N/A	N/A	498,275 SF OR 11.28 AC	
					TOTAL:	615,170 SF OR 13.95 AC

EXISTING CONDITIONS/EXISTING VEGETATION MAP

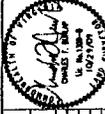
MCLEAN PERSONAL STORAGE

DRAMSVILLE DISTRICT

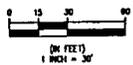
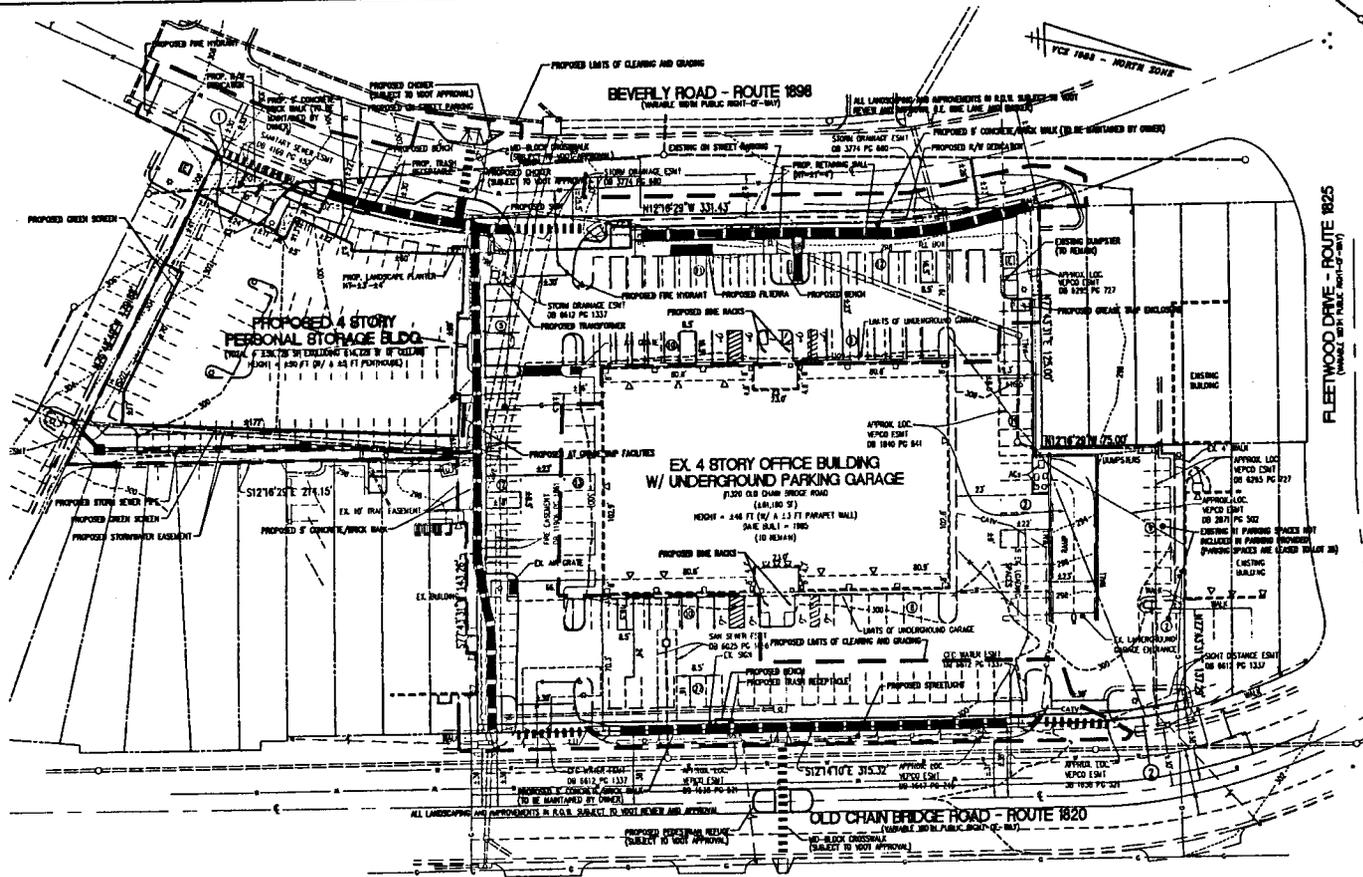
FAIRFAX COUNTY, VIRGINIA

REVISION APPROVED BY:

NO.	DESCRIPTION	DATE	BY	APPROVED	DATE



WALTER L. PHILLIPS
 LICENSED PROFESSIONAL ENGINEER
 CIVIL ENGINEERS, LAND SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 1000 WEST WINDY HILL ROAD, SUITE 200, VIRGINIA BEACH, VA 23462
 WWW.WLPINC.COM



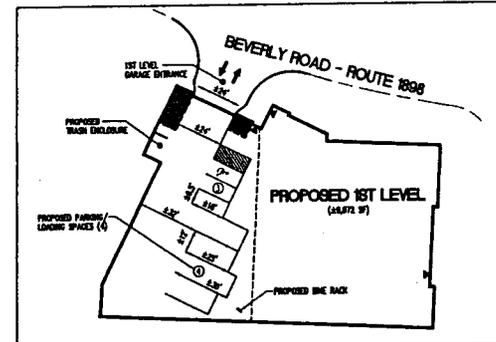
CURVE TABLE

CURVE	RADIUS	LENGTH	BEARING	TANGENT	CHORD	CHORD BEARING
1	150.00'	188.56'	113.13°	54.86'	186.25'	N129.54°E
2	225.00'	85.14'	112.51°	36.57'	85.92'	S121.24°E

SIDEWALK NOTE:

1) IF IT IS DETERMINED THAT FAIRFAX COUNTY OR OWNER ARE NOT APPROVED TO MAINTAIN THE BRICK/CONCRETE SIDEWALK THEN AS AN ALTERNATIVE, A 5" CONCRETE SIDEWALK WILL BE PROVIDED.

1ST LEVEL DETAIL (7 PARKING SPACES)



CONCEPTUAL/FINAL DEVELOPMENT PLAN

MCLEAN PERSONAL STORAGE

DRANESVILLE DISTRICT

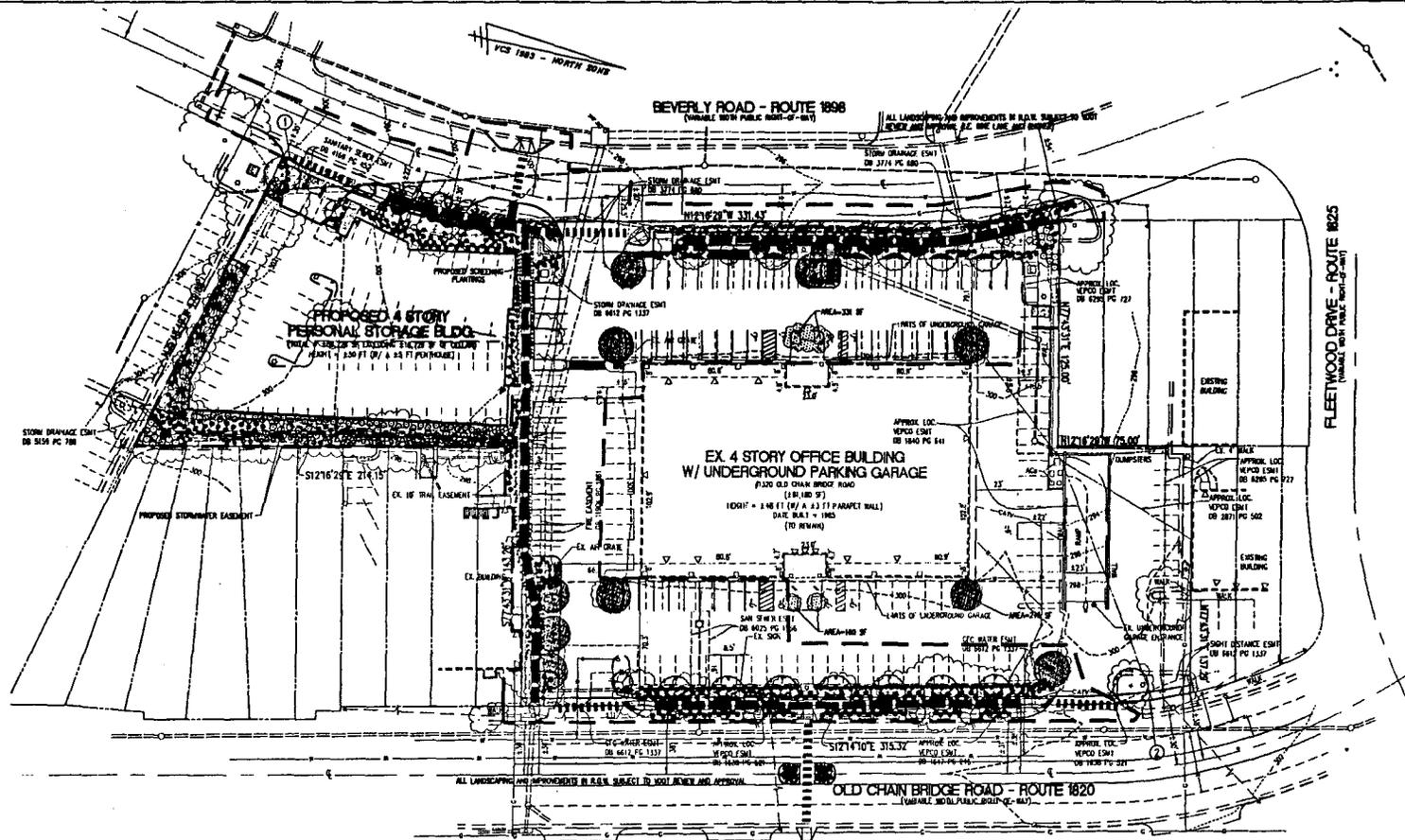
FAIRFAX COUNTY, VIRGINIA



WALTER L. PHILLIPS
 INCORPORATED
 CIVIL ENGINEERS, LAND SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 207 PARK AVENUE, FLOOR 2000, SUITE 2000, WINDY HILLS, VIRGINIA 22040
 (703) 522-0000 FAX (703) 522-0001 WWW.WLPINC.COM
 DATE: 11/17/10
 SHEET: 1 OF 2

REVISION APPROVED BY:

NO.	DESCRIPTION	DATE	BY	APPROVED	DATE



TREE COVER CALCULATIONS

TOTAL SITE AREA	8115,970 SF.
RIGHT OF WAY DEDICATION	- 84,377 SF.
ADJUSTED SITE AREA	8,031,593 SF.
PERCENT REQUIRED	3.80%
TREE COVER REQUIRED	307,208 SF.
TREE COVER PROVIDED (PLANTED)	
21 LARGE DECODUOUS TREES (CATEGORY IV - 3-3.5' CH.) @ 250 SF	5,250 SF.
6 LARGE EVERGREEN TREES (CATEGORY IV) @ 200 SF	1,200 SF.
3 FLOWERING TREES @ 100 SF	300 SF.
IMPROVED CULTIVARS AND VARIETIES CREDIT (SEE TABLE 12.12) OF 1.25	4,786 SF.
	1,487 SF.
	6,437 SF.
EXISTING TREE COVERAGE	8738 SF.
TOTAL TREE COVERAGE PROVIDED	29,773 SF.
TREES IN UTILITY EASEMENT ALONG OLD CHAIN BRIDGE ROAD - ADDITIONAL NOT COUNTED AS TREE COVER COVERAGE, FOR INFORMATION ONLY	
7 LARGE DECODUOUS TREES (CATEGORY IV - 2-2.5' CA.) @ 200 SF	1,400 SF.

INTERIOR PARKING LOT LANDSCAPING CALCULATION

TOTAL PARKING AREA	618,100 SF.
PERCENT REQUIRED	3.80%
REQUIRED	23,688 SF.
PROVIDED @ CATEGORY IV TREES @ 250 SF	22,250 SF.
EXISTING TREES	1,438 SF.
PROVIDED	23,688 SF.

NOTES

PROPOSED PLANTING IN RIGHT OF WAY ARE SUBJECT TO MOOT APPROVAL.
 NO TREES IN RIGHT OF WAY HAVE BEEN TAKEN FOR TREE CANOPY CREDIT.
 A WAIVER HAS BEEN REQUESTED FOR REDUCTION OF TREE COVERAGE, SEE SHEET 1
 SEE SHEET 1 & TABLE 12.12 FOR AMOUNT OF CONTRIBUTION TO BE MADE TO TREE FUND

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
1	450.00'	108.00'	111.31°	30.80'	108.00'	87.71° 21'
2	300.00'	60.00'	71.52°	20.17'	60.00'	51.11° 21'

TABLE 12.3

SEE SHEET 1, TREE INVENTORY

TABLE 12.12

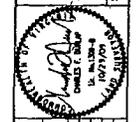
SEE SHEET 1, TREE INVENTORY

LEGEND

- PROPOSED DECODUOUS TREES (QUERCUS PHELLODES, ACER RUBRUM, TILIA AMERICANA)
- PROPOSED DECODUOUS TREES (COUNTRIED KWANON ANERIOR PARKING LOT LANDSCAPING) (QUERCUS PHELLODES, ACER RUBRUM, TILIA AMERICANA)
- PROPOSED CATEGORY IV EVERGREEN TREES (MAGNOLIA GRANDIFLORA)
- PROPOSED CATEGORY III FLOWERING TREES (FAMELIANOR CHANADISES, DROXANTILLUS VIRGINICUS, LERIS CHANADISES, MAGNOLIA VIRGINICA)
- PROPOSED LARGE SHRUBS
- PROPOSED MEDIUM SHRUBS
- PROPOSED PERENNIALS, GRASSES, GROUND COVER
- EXISTING DECODUOUS TREES (COUNTED TOWARDS INTERIOR PARKING LOT LANDSCAPING)
- EXISTING TREES COUNTED TOWARDS TREE COVER

CONCEPTUAL LANDSCAPE PLAN
MCLEAN PERSONAL STORAGE
 DRAWINGS DISTRICT
 FAIRFAX COUNTY, VIRGINIA

WALTER L. PHILLIPS
 INCORPORATED
 CIVIL ENGINEERS AND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
 207 PARK AVENUE FALLS CHURCH VIRGINIA 22046
 WWW.WLPINC.COM
 (703) 532-6853 FAX (703) 532-6851
 DATE: 11-2-20



REVISION APPROVED BY:

NO.	DESCRIPTION	DATE	BY	APPROVED	DATE

Step	Totals	Reference
A. Tree Preservation Target and Statement		
A1	Place the Tree Preservation Target calculations and statement here preceding the 10-year tree canopy calculations	SEE TABLE 12.3 see § 12-0507.2 for list of required elements and worksheet
B. Tree Canopy Requirement		
B1	Identify gross site area =	118,920 § 12-0510.1A
B2	Subtract area dedicated to parks, road frontages, and	12-0510.1B
B3	Subtract area of exemptions =	- 4,327 § 12-0510.1C(1) through § 12-0510.1C(6)
B4	Adjusted gross site area (B1 - B2) =	111,643
B5	Identify site's zoning and/or use	C-6
B6	Percentage of 10-year tree canopy required =	10% § 12-509.1 and Table 12.4
B7	Area of 10-year tree canopy required (B4 x B5) =	11,164 § 12-509.1 and Table 12.4
B8	Modification of 10-year Tree Canopy Requirements requested?	NO Yes or No
B9	If B8 is yes, then list plant about where modification request is located	N/A Short number
C. Tree Preservation		
C1	Tree Preservation Target Area =	1,600 SEE TABLE 12.3 AND B&E(1)
C2	Total canopy area species standards of § 12-0509 =	730 § 12-0509.3B
C3	NO. 80% PLANTER LAGER C2 x 1.25 =	0
C4	Total canopy area provided by unique or valuable forest or wooded communities =	0 § 12-0509.3B(1)
C5	Total canopy area provided by "Historic," "Memorial," "Specimen," or "Street" trees =	0 § 12-0509.3B(2)
C6	Total canopy area provided by "Historic," "Memorial," "Specimen," or "Street" trees =	0 § 12-0509.3B(2)
C7	Canopy area of trees within Resource Protection Areas and 100-year floodplains =	0 § 12-0509.3C(1)
C8	Total of C1, C3, C7 and C9 =	730
C9		
C10	Total of C1, C3, C7 and C9 =	730
D. Tree Planting		
D1	Area of canopy to be met through tree planting (B7-C10) =	0,000
D2	Area of canopy planned for air quality benefits =	0 § 12-0509.4B(1)
D3	Area of canopy planned for energy conservation =	0 § 12-0509.4B(2)
D4	Area of canopy planned for water quality benefits =	0 § 12-0509.4B(3)
D5	Area of canopy planned for wildlife benefits =	0 § 12-0509.4B(4)
D6	Area of canopy provided by native trees =	0 § 12-0509.4B(5)
D7	Area of canopy provided by improved cultivars and varieties =	6,700 § 12-0509.4B(6)
D8	Area of canopy provided through tree seedlings =	0 § 12-0509.4D(1)
D9	Area of canopy provided through native shrubs or woody seed mix =	0 § 12-0509.4D(1)(a)
D10	Percentage of D14 represented by D15 =	1.0
D11	Total canopy area provided through tree planting =	6,700
D12	Is an offset planting relief requested?	YES Yes or No
D13	Tree Bank or Tree Fund?	NO § 12-0511
D14	Canopy area requested to be provided through offset banking or tree fund =	1,000
D15	Amount to be deposited into the Tree Preservation and Planting Fund =	\$4,000 (1,000 x 200) x \$500
E. Total of 10-year Tree Canopy Provided		
E1	Total of canopy area provided through tree preservation (C10) =	730
E2	Total of canopy area provided through tree planting (D17) =	6,437
E3	Total of canopy area provided through offset banking (D15) =	1,000
E4	Total of 10-year Tree Canopy Provided =	11,168 Total of B1 through B3. Area should meet or exceed area in B6.

12-0501.3B Pre-made Tree Canopy Cost. The cost to establish 2000 square feet (16.8 square meters) of 10-year tree canopy using 2-inch caliper landscape trees shall be set at five hundred dollars (\$500). The price covers the cost typically associated with purchasing, planting, watering, and cost associated with watering, corrective pruning and removal of any dying and dying during a one-year period.

12-0501.3D Any fee collected for these purposes must be spent within a five-year period established by the collector date of the fee will be returned to the original contributor or legal successor.

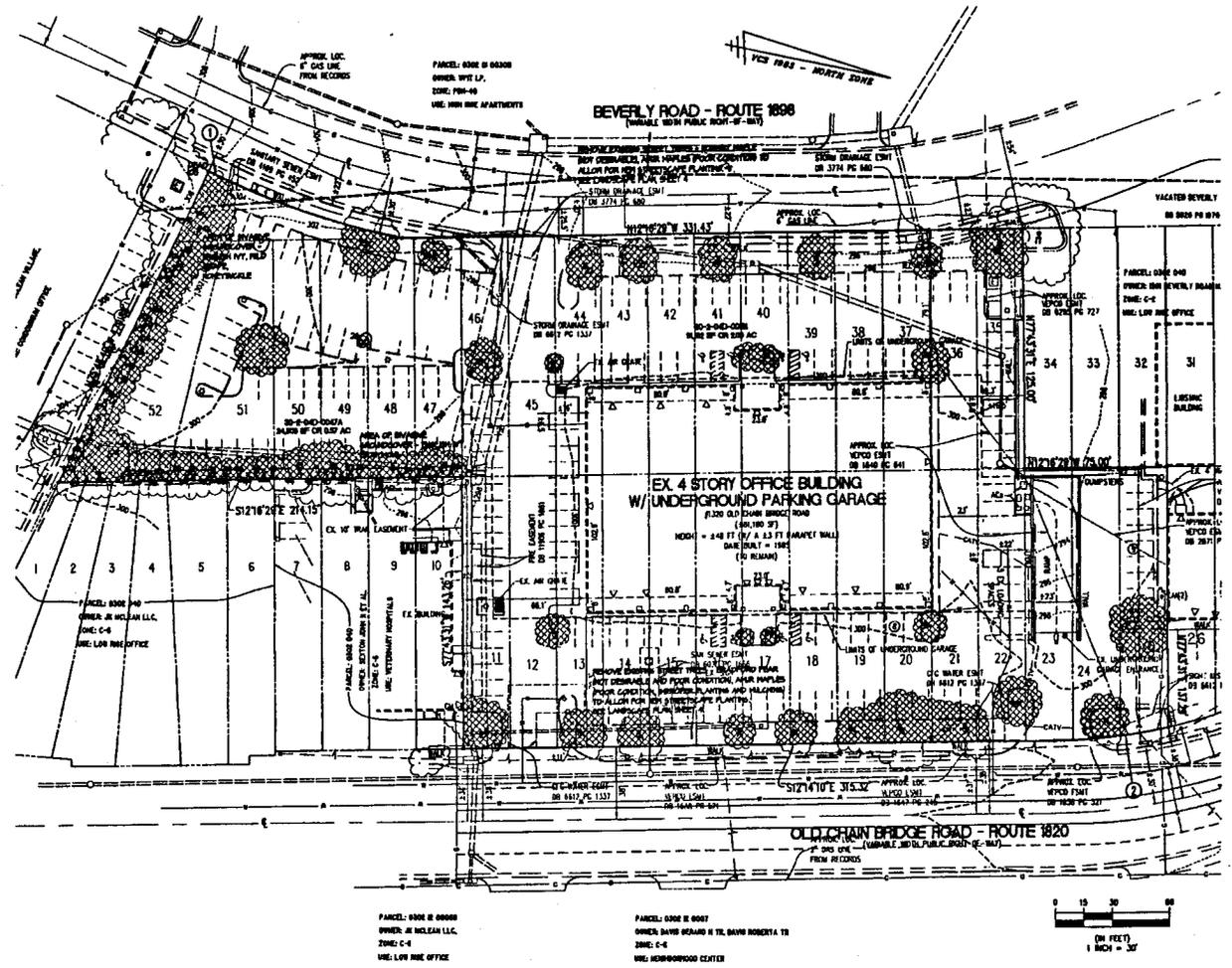


TABLE 12.3

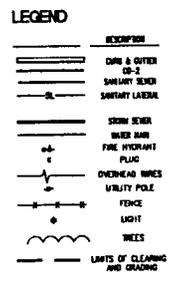
TABLE 12.3 TREE PRESERVATION TARGET CALCULATIONS AND STATEMENT

A. PRE-DEVELOPMENT AREA OF EXISTING TREE CANOPY (FROM CND)	16,845 SF	TOTAL SITE AREA	615,970 SF.
B. PERCENTAGE OF GROSS SITE AREA COVERED BY EXISTING TREE CANOPY: 14.4 %		RIGHT OF WAY DEDICATION	- 44,327 SF.
C. PERCENTAGE OF 10-YEAR TREE CANOPY REQUIRED FOR SITE	10% (11,168 SF)	ADJUSTED SITE AREA	571,643 SF.
D. PERCENTAGE OF 10-YEAR TREE CANOPY REQUIREMENT THAT SHOULD BE MET THROUGH TREE PRESERVATION	11,165 x 144 = 1,600 SF		
E. PROPOSED PERCENTAGE OF CANOPY REQUIREMENT THAT WILL BE MET THROUGH TREE PRESERVATION	730/11,168 = 6.5%		
F. HAS THE TREE PRESERVATION TARGET HAD BEEN MET?	NO		

COMPARISON RECOMMENDED DUE TO JUSTIFICATION OR

THE QUALITY OF THE EXISTING VEGETATION IS CONSIDERED UNDESIRABLE AND/OR UNDESIRABLE AND DOES NOT MEET THE STANDARDS FOR HEALTH AND STRUCTURAL CONDITION. ADDITIONALLY, A LARGE PORTION OF THE EXISTING VEGETATION IS WITHIN A STORM SEWER EASMENT.

NO WAIVER REQUESTED, SEE B&E(1)



TREE INVENTORY

MCLEAN PERSONAL STORAGE

DIAMONDSVILLE DISTRICT

FAIRFAX COUNTY, VIRGINIA

REVISION APPROVED BY:

NO.	DESCRIPTION	DATE	BY	APPROVED

WALTER L. PHILLIPS
INCORPORATED

CIVIL ENGINEERS AND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
307 PARK AVENUE FALLS CHURCH, VIRGINIA 22046
WWW.WLPINC.COM
TEL: 703-441-7000 FAX: 703-441-7007
DATE: 07/24/2018 10:00 AM
SHEET: 2 OF 17

ID	Tree Name	Common Name	DBH	CRZ	Health	Notes
1	Pyrus calleryana	Callery pear	13"	13'	20%	65%
2	Acer ginnala	Amur maple	12"	12'	80%	55%
3	Pyrus calleryana	Callery pear	12"	12'	20%	50%
4	Pyrus calleryana	Callery pear	18"	18'	20%	38%
5	Pyrus calleryana	Callery pear	8"	8'	20%	60%
6	Acer ginnala	Amur maple	10"	10'	80%	55%
7	Acer ginnala	Amur maple	7"	8'	80%	65%
8	Pyrus calleryana	Callery pear	12"	12'	20%	65%
9	Pyrus calleryana	Callery pear	12"	12'	20%	65%
10	Acer ginnala	Amur maple	13"	13'	80%	60%
11	Ilex x attenuata	Foster Holly	5"	8'	80%	84%
12	Quercus rubra	Northern red oak	8"	8'	85%	30%
13	Prunus cerasifera	Purple leaf plum	4"	8'	50%	84%
14	Prunus cerasifera	Purple leaf plum	4"	8'	50%	84%
15	Prunus spp.	Ornamental Cherry	7"	8'	70%	38%
16	Prunus spp.	Ornamental Cherry	7"	8'	70%	38%
17	Quercus phellos	Willow oak	24"	24'	80%	78%
18	Prunus spp.	Ornamental Cherry	5"	8'	70%	70%
19	Prunus spp.	Ornamental Cherry	5"	8'	70%	75%
20	Acer ginnala	Amur maple	12"	12'	80%	25%
21	Acer ginnala	Amur maple	7"	8'	80%	65%
22	Acer ginnala	Amur maple	8"	8'	80%	72%
23	Quercus rubra	Northern red oak	9"	9'	85%	55%
24	Acer ginnala	Amur maple	12"	12'	80%	68%
25	Acer ginnala	Amur maple	15"	15'	80%	65%
26	Prunus spp.	Ornamental Cherry	4"	8'	70%	20%
27	Tilia cordata	Littleleaf linden	12"	12'	80%	78%
28	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
29	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
30	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
31	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
32	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
33	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
34	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
35	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
36	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
37	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
38	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
39	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
40	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
41	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
42	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
43	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
44	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
45	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
46	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
47	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
48	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
49	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
50	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%

Outside LOC, preserve tree existing tree pit too small to plant replacement. No tree cover credit taken.

Outside LOC, tree is diseased existing tree pit too small to plant replacement tree, replace with shrubs.

Outside LOC over 30'

Outside LOC over 30'

Outside LOC over 30'

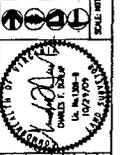
Outside LOC over 30' - Remove and replace for tree credit as tree is in poor condition.

Outside LOC over 30'

51	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
52	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
53	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
54	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
55	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
56	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
57	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
58	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
59	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
60	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
61	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
62	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
63	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
64	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
65	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
66	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
67	Quercus rubra	Northern red oak	16"	16'	85%	80%
68	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
69	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
70	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
71	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
72	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
73	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
74	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
75	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
76	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
77	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
78	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
79	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
80	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
81	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
82	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
83	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
84	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
85	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
86	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
87	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	65%
88	Acer rubrum	Red maple	8"	8'	80%	70%
89	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
90	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
91	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
92	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
93	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	60%
94	Robinia pseudoacacia	Black locust	8"	8'	65%	40%
95	Robinia pseudoacacia	Black locust	8"	8'	65%	60%
96	x Cupressocyparis leylandii	Leyland cypress	8"	8'	40%	38%
97	Pyrus calleryana	Callery pear	9"	9'	20%	45%
98	Acer platanoides	Norway maple	14"	14'	30%	40%
99	Acer ginnala	Amur maple	8"	8'	80%	22%
100	Acer ginnala	Amur maple	8"	8'	80%	40%
101	Prunus spp.	Ornamental Cherry	6"	8'	70%	80%
102	Tilia cordata	Littleleaf linden	13"	13'	80%	75%
103	Dead	Dead	10"	0'	0%	0%

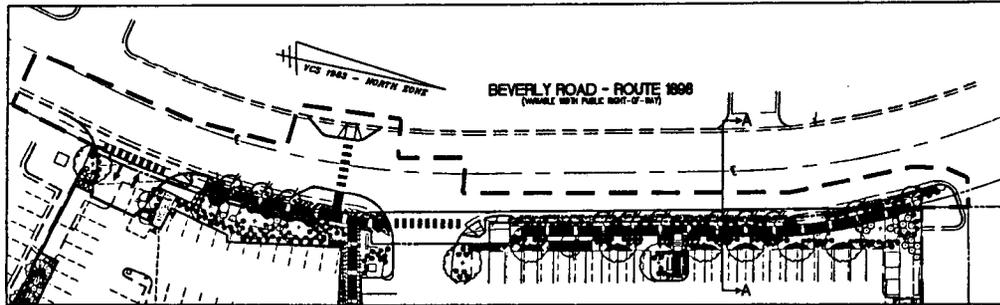
DBH = Diameter at Breast Height (measured 4.5 feet above ground)
 CRZ = Critical Root Zone (measured per inch of tree diameter, trees over 30" DBH = 15% of tree diameter)
 CRZ values for trees with multiple stems will be calculated using the diameter of a tree with the largest diameter to the limit of the basal areas for all stems.
 Crown Clean Pruning: Remove all dead, dying, and diseased limbs 2" in diameter and larger measured at the point of attachment.
 Mulching: Chips or shredded hardwood mulch shall be placed in the preservation area to a maximum depth of 4 inches. The limits of clearing and grading shall be returned to the original ground level.
 Mulch shall be protected from the wind by motorized equipment (e.g., windbreakers) and will be distributed uniformly.
 Tree Survey Information Completed by: Walter L. Phillips, Inc. on 07/29/2009

WALTER L. PHILLIPS
 INCORPORATED
 CIVIL ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
 307 PARK AVENUE FALLS CHURCH, VIRGINIA 22046
 (703) 532-0800 FAX (703) 532-0801
 WWW.WLPINC.COM
 SCALE: 1/8" = 1'-0"

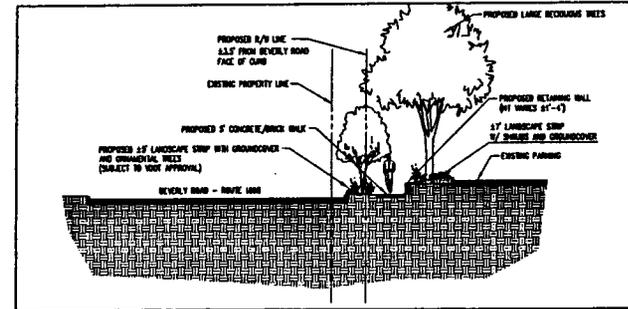


NO.	DESCRIPTION	DATE	BY	APPROVED BY

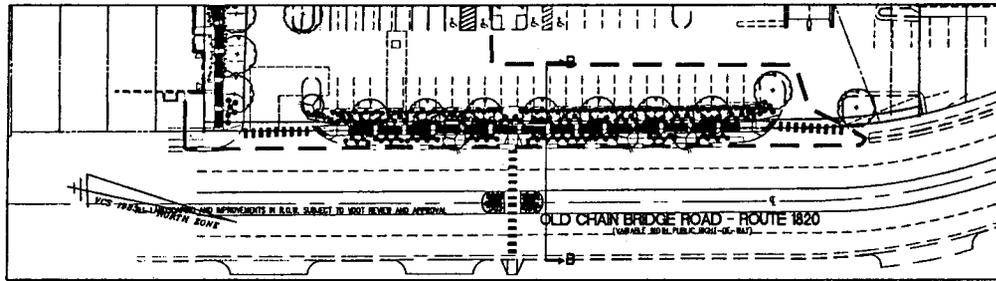
TREE INVENTORY
MCLEAN PERSONAL STORAGE
 DRANESVILLE DISTRICT
 FAIRFAX COUNTY, VIRGINIA



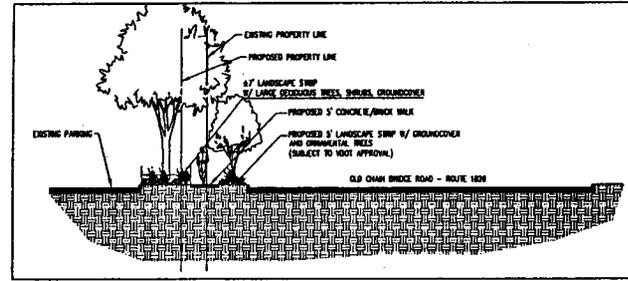
SECTION A - PLAN VIEW
SCALE: 1" = 30'



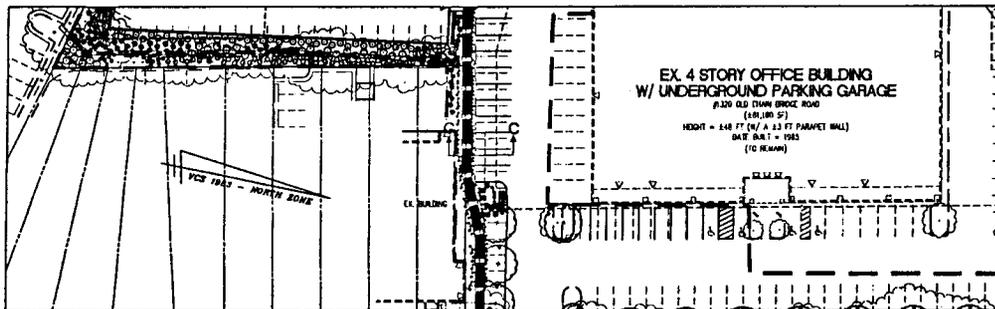
SECTION A - CROSS-SECTION
SCALE: 1" = 1'



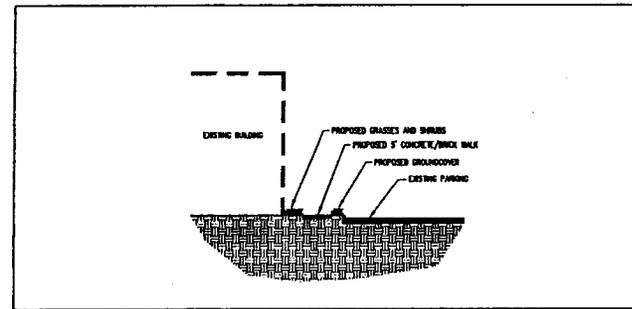
SECTION B - PLAN VIEW
SCALE: 1" = 30'



SECTION B - CROSS-SECTION
SCALE: 1" = 1'

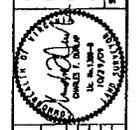


SECTION C - PLAN VIEW
SCALE: 1" = 30'



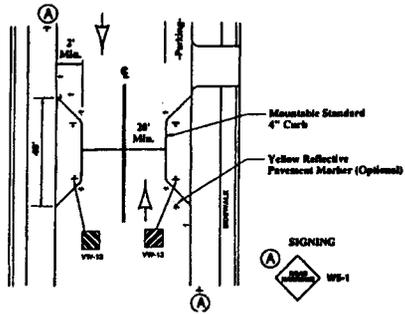
SECTION C - CROSS-SECTION
SCALE: 1" = 1'

WALTER L. PHILLIPS
INCORPORATED
CIVIL ENGINEERS AND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
207 PARK AVENUE FALLS CHURCH, VIRGINIA 22046
(703) 552-8857 FAX (703) 552-5501
WWW.WLPINC.COM
ONE 207 PARK AVENUE, FALLS CHURCH, VIRGINIA 22046
SCALE: 1/8" = 1'-0"



NO.	DESCRIPTION	DATE	BY	APPROVED	DATE

STREETSCAPE CROSS-SECTIONS
MCLEAN PERSONAL STORAGE
DRAKESVILLE DISTRICT
FAIRFAX COUNTY, VIRGINIA



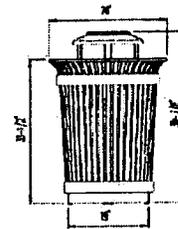
TRAFFIC CALMING DETAIL
 THIS DETAIL WAS TAKEN FROM THE MOST TRAFFIC CALMING GUIDE FOR LOCAL RESIDENTIAL STREETS
 DATED 10/2002; REV. 7/2008

ON STREET PARKING	8'
TRAVEL LANE ←	11'
TRAVEL LANE →	11'
BIKE LANE (NO STRIPING)	5'
ON STREET PARKING	8'

TYPICAL SECTION ALONG BEVERLY ROAD
 SCALE: 1" = 20'

All street furnishings shall be Black in color.

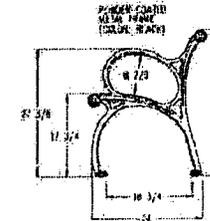
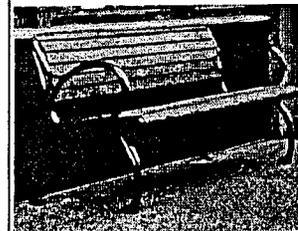
Victor Stanley RB-36S-2A with ashtray (not pictured in photo):



TRASH RECEPTACLE DETAIL

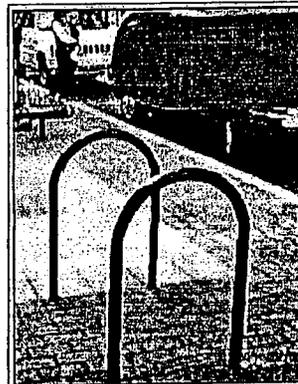
NOT TO SCALE
 THIS DETAIL WAS TAKEN FROM THE MCLEAN OPEN SPACE DESIGN STANDARDS FROM THE FAIRFAX COUNTY COMPREHENSIVE PLAN.

Landscape Forms Plainwell bench with wood back and seat:



BENCH DETAIL

NOT TO SCALE
 THIS DETAIL WAS TAKEN FROM THE MCLEAN OPEN SPACE DESIGN STANDARDS FROM THE FAIRFAX COUNTY COMPREHENSIVE PLAN.



BIKE RACK
 NOT TO SCALE

WALTER L. PHILLIPS
 INCORPORATED
 CIVIL ENGINEERS AND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS
 307 PARK AVENUE FALLS CHURCH, VIRGINIA 22048
 (703) 532-8853 FAX (703) 532-3001
 WWW.WLP.COM
 DATE: 02/10/2010 10:07:00 AM
 SCALE: AS SHOWN



NO.	REVISION	APPROVED BY	
		DATE	DATE

SITE DETAILS
MCLEAN PERSONAL STORAGE
 CHANESVILLE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown or provided in writing specifications, or a minor request of the applicant may be made with justification shall be provided. Note: Without this information, the applicant is not allowed to submit the required information for review for a permit to proceed with the application.

This information is required under the following Zoning Ordinance paragraphs:

Special Permit (9-411.2) A, B, C
 Chapter 16-1-10 (9-411.2) A, B, C
 Development Plan (9-411.2) A, B, C
 PUP - P District (except PUC) (9-411.2) A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z

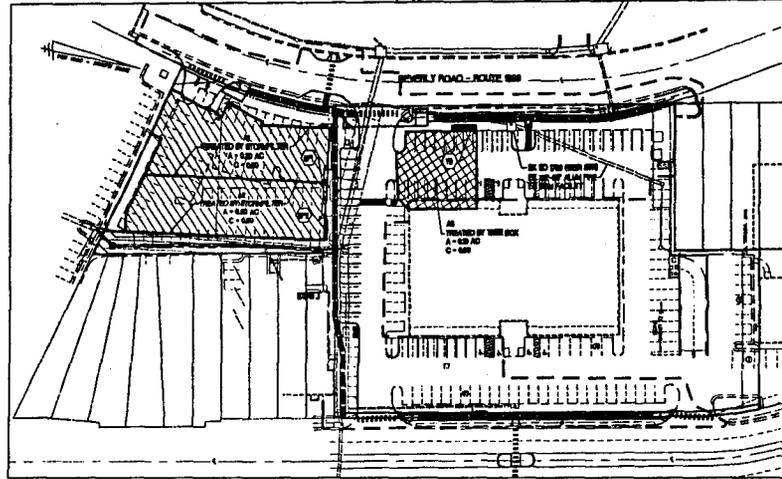
1. Plot to be a minimum of 17'-0" (width) to be depicted on site plan with a minimum width of 17'-0".
2. A graphic depicting the stormwater management facility (SWM) and limits of clearing and grading to demonstrate the stormwater management facility (SWM) design, stormwater pipe system, and stormwater management facility (SWM) design, stormwater pipe system, and stormwater management facility (SWM) design.
3. Provide:

Facility Name (Type & Size)	On-Site Area (Square Feet)	Off-Site Area (Square Feet)	Drainage (CFS)	Permeable (SQ FT)	Storage (CUBIC FEET)	Height (FT)
EXISTING 13'-0" ALUMINUM PIPE	210 AC	0/A	0.15 CFS	210 AC	4872 CF	0/A
4. Check drainage channels, outlets and pipe systems are shown on sheet II.
5. Check label and outlet pipe systems, see sheet on sheet II/A.
6. Stormwater management facility (SWM) to be shown on sheet II/A.
7. Type of maintenance access and location of the site to be shown on sheet II/A.
8. Landscaping and site preservation shown to be used for stormwater management facility (SWM) shown on sheet II/A.
9. A "stormwater management to be shown" which includes a description of how stormwater and land management practices will be provided on sheet II/A.
10. A description of the existing conditions of each watershed area within the watershed area from the site to a point which is at least 100 feet from the site, or which has a storage area of at least one acre (1.0 acre) is provided on sheet II/A.
11. A description of how the stormwater management facility (SWM) design changes to contribute drainage area (D.A.) drainage characteristics of the Public Facilities District will be included in provided on sheet II/A.
12. Existing topography with minimum contour interval of one (1) foot and a note as to whether it is an old survey or field run to be provided on sheet II/A.
13. A submission which is requested for:

NOTE: IS NO INCREASE IN THE PEAK FLOW AND THE OUTFALL IS ADEQUATE.

Revised 7-21-2004

OVERALL BMP AREA MAP
1"=50'



BMP/SWM NARRATIVE:

THE SITE IS CURRENTLY DEVELOPED WITH A FOUR STORY BUILDING AND ASSOCIATED ASPHALT PARKING AREAS. THE EXISTING 13'-0" ALUMINUM PIPE AND A HIGH STRUCTURE LABELED 3D 1783, PROVIDE SWM FOR THE SITE, AND THERE IS NO BMP PROVIDED.

THE PROPOSED RE-DEVELOPMENT PROPOSES A 217,023 SF FOOTPRINT STORAGE BUILDING IN THE EXISTING SOUTHERN PARKING AREA, NECESSARY UTILITY CONNECTIONS AND ADJUSTMENTS TO THE LANDSCAPE AREAS AND WALKS.

AS SHOWN ON THIS SHEET, THE PROPOSED RE-DEVELOPMENT DOES NOT RESULT IN AN INCREASE OF THE PEAK FLOW. ALSO, BASED ON THE PRELIMINARY OUTFALL STUDY SHOWN ON SHEET B, THE DOWNSTREAM PIPES ARE ADEQUATE. THUS, THE EXISTING 13'-0" ALUMINUM PIPE IS SUFFICIENT AND NO ADDITIONAL SWM IS REQUIRED.

BMP: USING THE RE-DEVELOPMENT REQUIREMENT SET FORTH IN THE GRAY ORDINANCE, THE PROPOSED RE-DEVELOPMENT REQUIRES 210.00X PHOSPHORUS REMOVAL. THE PROJECT PROPOSES TWO (2) STORMWATER CATCHBASINS TO TREAT THE ROOF AND A TREE BOX FILTER TO TREAT A PORTION OF THE SURFACE PARKING LOT. APPROXIMATELY, 210.00X PHOSPHORUS REMOVAL IS ACHIEVED. THE BMP DESIGN WILL BE FINALIZED AT THE TIME OF SITE PLAN.

THIS ANALYSIS IS PRELIMINARY AND SUBJECT TO REVISION AT TIME OF SITE PLAN.

STORMWATER MANAGEMENT SUMMARY

I. PRE-DEVELOPMENT (EXISTING CONDITIONS), (ENTIRE SITE PRE-RELOCATION)

- CONTRIBUTING AREAS:**
 - 0.37 AC. 0.0 30 (GREEN AREA, DN-SITE)
 - 0.29 AC. 0.0 30 (CROFS, DRIVEWAYS, SIDEWALKS, ETC.)
 - 2.54 AC.
- WEIGHTED "C":**

$$\frac{(0.37)(0.30) + (0.29)(0.30)}{2.66} = 0.32$$
- TIME OF CONCENTRATION = 5 MIN**
- RUNOFF:**

$$Q2 = (2.66)(15.4)(0.32) = 11.99 \text{ CFS}$$

$$Q10 = (2.66)(17.27)(0.32) = 15.96 \text{ CFS}$$

II. POST-DEVELOPMENT (ENTIRE SITE PRE-RELOCATION)

- CONTRIBUTING AREAS:**
 - 0.36 AC. 0.0 30 (GREEN AREA, DN-SITE)
 - 0.30 AC. 0.0 30 (CROFS, DRIVEWAYS, SIDEWALKS, ETC.)
 - 2.64 AC.
- WEIGHTED "C":**

$$\frac{(0.36)(0.30) + (0.30)(0.30)}{2.66} = 0.32$$
- TIME OF CONCENTRATION = 5 MIN**
- RUNOFF:**

$$Q2 = (2.66)(15.4)(0.32) = 11.99 \text{ CFS}$$

$$Q10 = (2.66)(17.27)(0.32) = 15.96 \text{ CFS}$$

THE PEAK FLOW IS NOT INCREASED AND THE OUTFALL IS ADEQUATE AS SHOWN ON SHEET II. THEREFORE, NO SWM IS REQUIRED.

BMP FACILITY DESIGN CALCULATIONS

PART 1. LIST ALL OF THE SUBAREAS AND "C" FACTORS USED IN THE BMP CALCULATIONS

SUBAREA DESIGNATION AND DESCRIPTION	"C"	ACRES
(1)	(2)	(3)
A ₁ ROOF TO STORMFILTER	0.90	0.20
A ₂ ROOF TO STORMFILTER	0.90	0.20
A ₃ PAVEMENT TO TREE BOX	0.85	0.10

PART 2. COMPUTE THE WEIGHTED AVERAGE "C" FACTOR FOR THE SITE

- AREA OF THE SITE = 2.80 ACRES (AFTER 2,800 SF OF DEDICATION)
- WEIGHTED AVERAGE "C" FACTOR = 0.82 (PER STORMWATER MANAGEMENT SUMMARY THIS SHEET)

PART 3. COMPUTE THE TOTAL PHOSPHORUS REMOVAL FOR THE SITE

SUBAREA DESIGNATION	BMP TYPE	REMOVAL EFF. (%)	RATIO	"C" FACTOR	PRODUCT
(1)	(2)	(3)	(4)	(5)	(6)
A ₁	STORMFILTER	50	± 0.18/2.80	± 0.90/0.82	± 2.11
A ₂	STORMFILTER	50	± 0.18/2.80	± 0.90/0.82	± 2.11
A ₃	TREE BOX	50	± 0.10/2.80	± 0.90/0.82	± 2.08
					(a) TOTAL = 210.28X

DETERMINE COMPLIANCE WITH PHOSPHORUS REMOVAL REQUIREMENT

- SELECT REQUIREMENT (a) 23.8X

- * WATER SUPPLY OVERLAY DISTRICT (OCCOQUAN WATERSHED) = 50 X
- * CHESAPEAKE BAY PRESERVATION AREA (NEW DEVELOPMENT) = 40 X
- * CHESAPEAKE BAY PRESERVATION AREA (REDEVELOPMENT) = [1-0.9 ± (0.061/0.061)] ± 100 = 210.00X

PRELIMINARY STORMWATER MANAGEMENT/BEST MANAGEMENT PRACTICES PLAN

MCLEAN PERSONAL STORAGE

DRANESVILLE DISTRICT

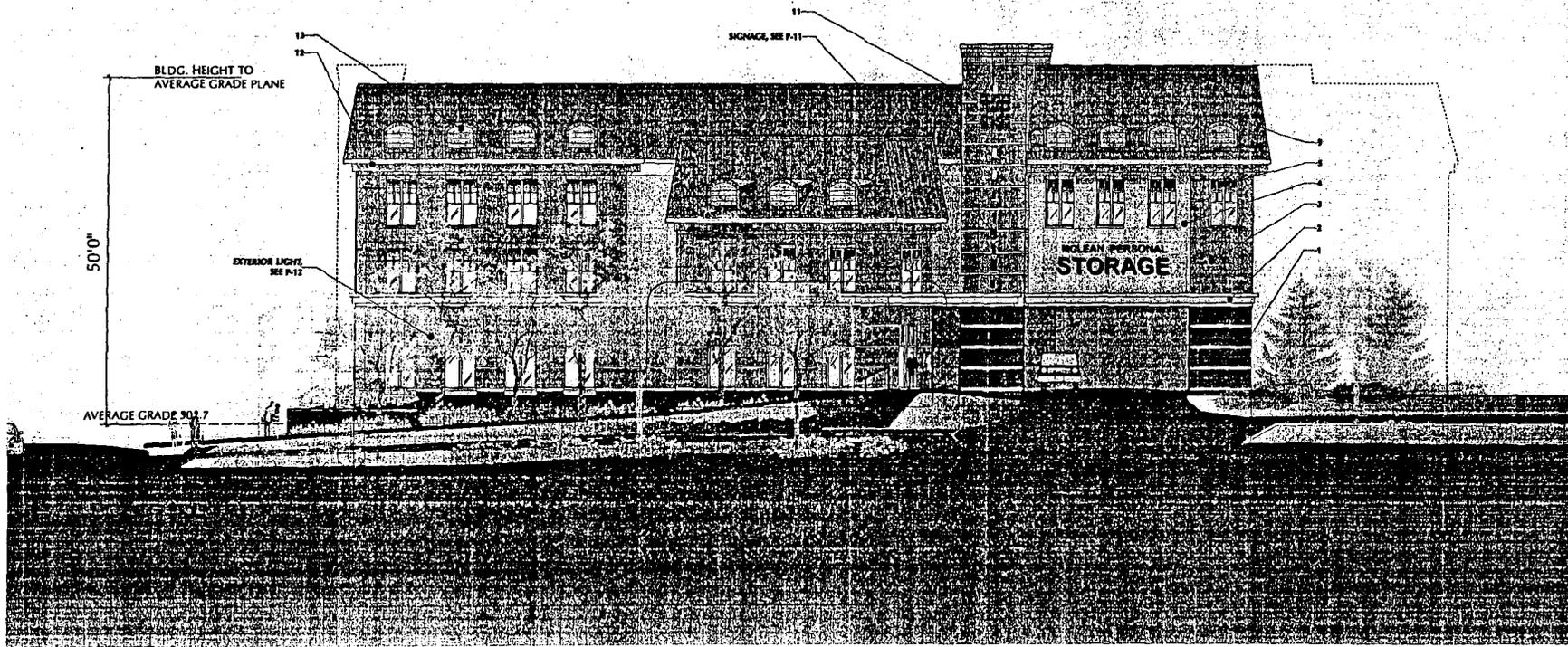
FAIRFAX COUNTY, VIRGINIA



WALTER L. PHILLIPS
 LICENSED PROFESSIONAL ENGINEER
 CIVIL ENGINEER, LAND SURVEYOR, PLANNERS, LANDSCAPE ARCHITECTS
 2200 W. WISCONSIN AVENUE, SUITE 200, FARMERS MARKET, VIRGINIA 22046
 (703) 532-9937 FAX: (703) 532-9937 WWW.WLPINC.COM

NO.	REVISION	DATE	BY	CHK

EXTERIOR FINISH MATERIALS			
EF#	DESCRIPTION	MATERIAL	COLOR
1	BUILDING BASE	MASONRY	SPLIT FACE
2	ACCENT BAND	MASONRY	GROUND FACE
3	BRICK FIELD	BRICK	EXTRUDED SERIES
4	BRICK ACCENT	BRICK	TUSCAN SERIES
5	SPANDREL PANELS	VENEER SYSTEM	TO MATCH STOREFRONT
6	STOREFRONT	CLEAR ANODIZED	HARMONY GREY
7	EPS FIELD	EPS/DRYVIT	SANDPEBBLE FINE
8	EPS - CONTRAST	EPS/DRYVIT	SANDBLAST
9	ARCHITECTURAL ROOF	PREFINISHED METAL	PREFINISHED METAL
10	GREEN SCREEN & TRELIS	PREFINISHED METAL	PREFINISHED METAL
11	SHUTTERS	EPS/DRYVIT	SANDPEBBLE FINE
12	MANHOLE FASCIA	EPS/DRYVIT	SANDPEBBLE FINE
13	DORMER	BRICK	TUSCAN SERIES
14	BRICK CORNICE	BRICK	TUSCAN SERIES
15	JAWNING	FABRIC	MATCH FINISH 9



BEVERLY RD - FRONT ELEVATION

FOR ILLUSTRATIVE PURPOSES ONLY

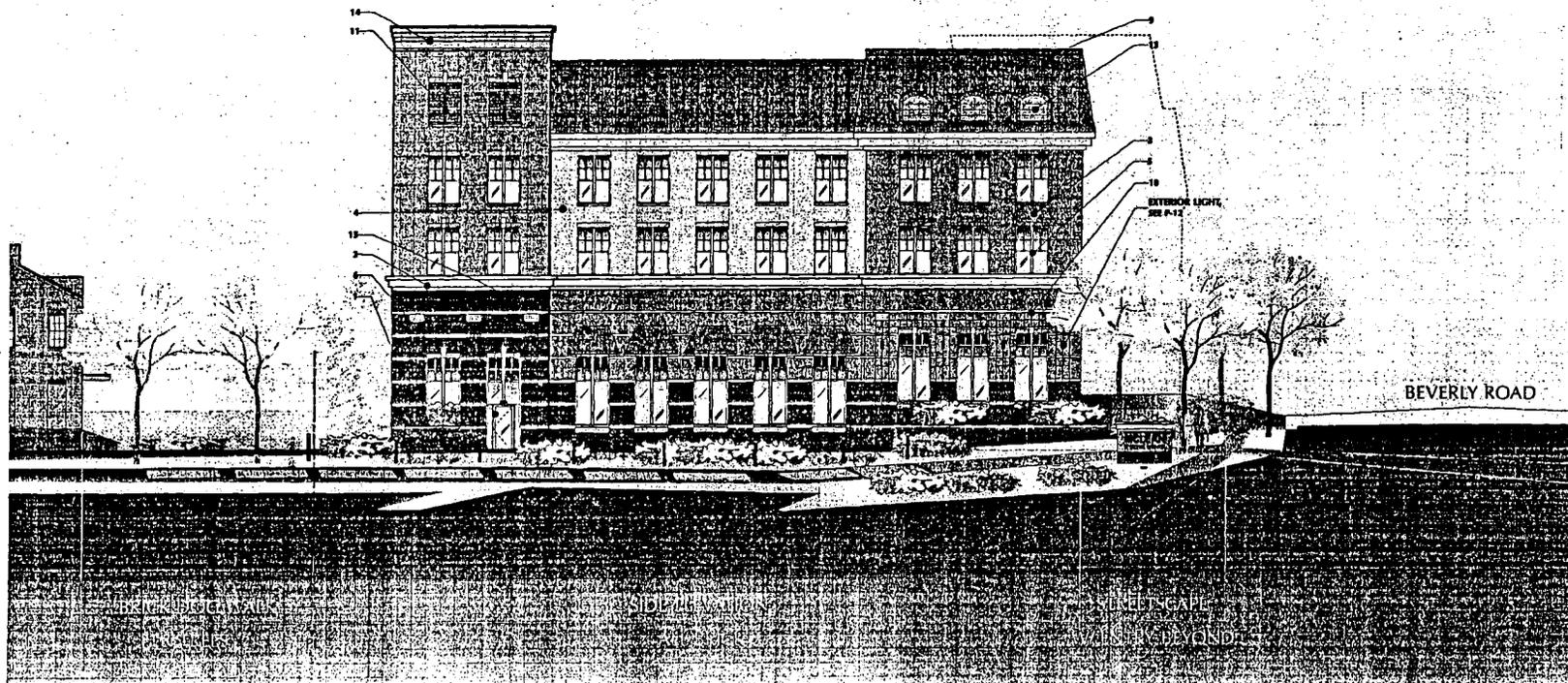
McLean Personal Storage
 A Compass Development Project
 Beverly Manor, Lot 47 Hwy 51
 McLean, Virginia

BUTZ WILBERN

Architects • Planning
 Interiors • Property Valuation
 4714 Whitaker Ave. # 100
 McLean, Virginia 22104
 703-261-6271 Fax 703-261-9110

P-3
 SHEET 12 OF 17

EXT. DESCRIPTION	MATERIAL	FINISH	COLOR
1 BUILDING BASE	MASONRY	SPITE FACE	DARK BROWN
2 ACCENT BAND	MASONRY	CROCKED FACE	CREAM
3 BRICK FIELD	BRICK	EXTRUDED SERIES	RED
4 BRICK ACCENT	BRICK	TUSCAN SERIES	BLU
5 SPANDREL PANELS	VENEER SYSTEM	TO MATCH STOREFRONT	HARMONY GREY
6 STOREFRONT	CLEAR ANODIZED		
7 EFS - FIELD	EFS / DRYVT	SANDPEBBLE FIN	MATCH FINISH 4
8 EFS - CONTRAST	EFS / DRYVT	SANDBLAST	MATCH FINISH 3
9 ARCHITECTURAL ROOF	PREFINISHED METAL	PREFINISHED METAL	BROWN SLATE
10 GREEN SCREEN & TRELLIS	PREFINISHED METAL	PREFINISHED METAL	GREEN
11 SHUTTERS			MATCH FINISH 9
12 HANGARD FASCIA	EFS / DRYVT	SANDPEBBLE FIN	MATCH FINISH 3
13 DORMER	EFS / DRYVT	SANDPEBBLE FIN	MATCH FINISH 9
14 BRICK CORNICE	BRICK	TUSCAN SERIES	BLU
15 AWNING	FABRIC		MATCH FINISH 9



MIDBLOCK WALK - SIDE ELEVATION



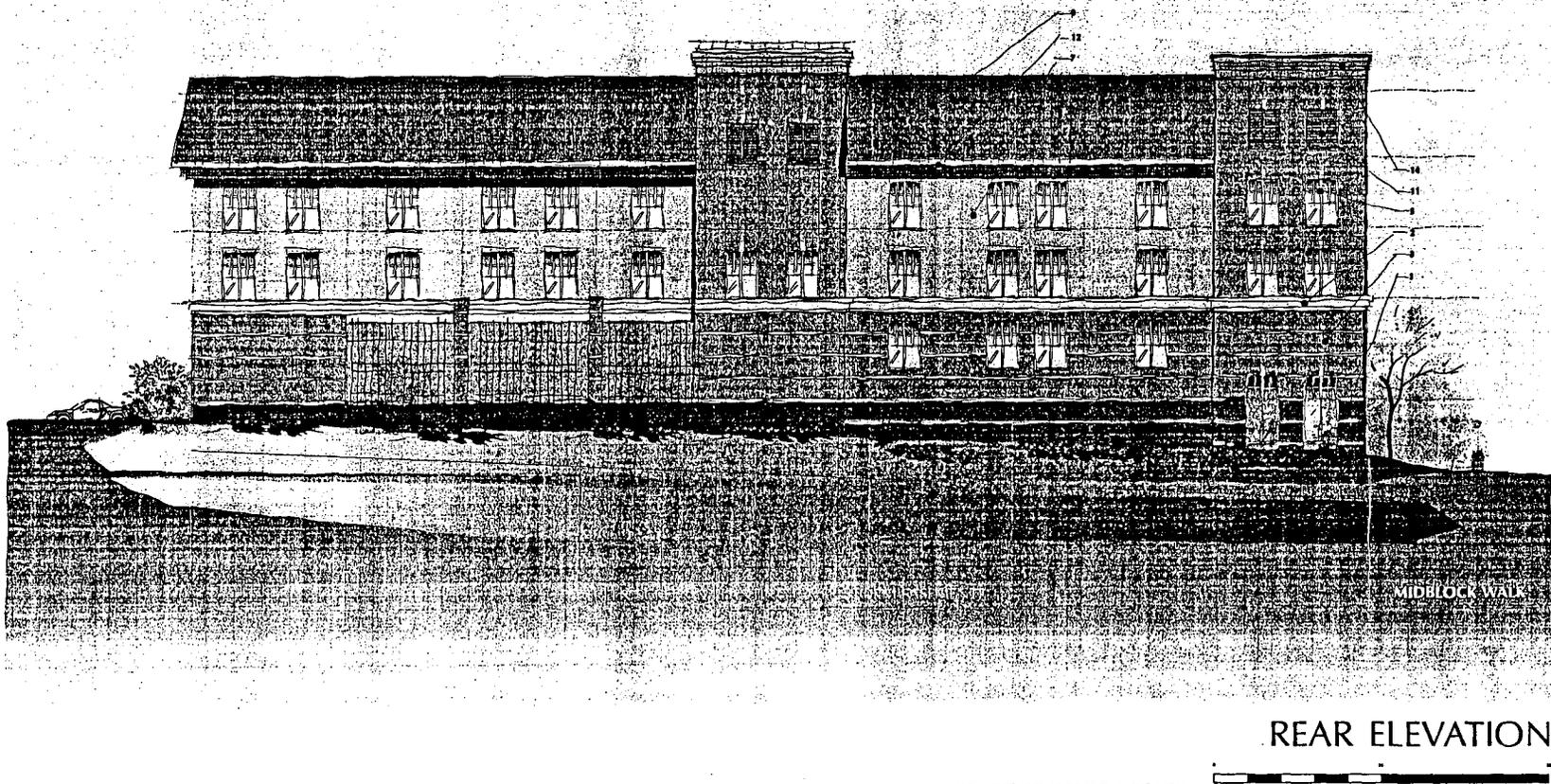
McLean Personal Storage
 A Compass Development Project
 Beverly Manor, Lots 47 thru 52
 McLean, Virginia

BUTZ WILBERN

Architects / Planners
 Interiors / Property Management
 6715 Potomac Avenue, # 100
 McLean, Virginia 22101
 703-255-4771 Fax 703-255-7916

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EXTERIOR FINISH MATERIALS			
EFF. DESCRIPTION	MATERIAL	FINISH	COLOR
1. BUILDING BASE	MASONRY	SPLIT FACE	DARK BROWN
2. ACCENT BAND	MASONRY	CORNER FACE	CREAM
3. BRICK FIELD	BRICK	EXTRUDED SERIES	RED
4. BRICK ACCENT	BRICK	TUSCAN SERIES	BEIGE
5. SPANDREL PANELS	VENER SYSTEM	TO MATCH STOREFRONT	HARMONY GREY
6. STOREFRONT	CLEAR ANODIZED		
7. EPS - FIELD	EPS / DRYVIT	SANDIBLE FINE	MATCH FINISH 4
8. EPS - CONTRAST	EPS / DRYVIT	SANDBLAST	MATCH FINISH 3
9. ARCHITECTURAL ROOF	PREFINISHED METAL	PREFINISHED METAL	BROWN SLATE
10. GREEN SCREEN & TRELIS	PREFINISHED METAL	PREFINISHED METAL	GREEN
11. SHUTTERS			MATCH FINISH 2
12. HANDSAID FASCIA	EPS / DRYVIT	SANDIBLE FINE	MATCH FINISH 3
13. DORMER			MATCH FINISH 9
14. BRICK CORNICE	BRICK	TUSCAN SERIES	BEIGE
15. AWNING	FABRIC		MATCH FINISH 9



REAR ELEVATION

FOR ILLUSTRATIVE PURPOSES ONLY

REVISED DATE
 05/2005 PRELIMINARY
 07/2006 PRELIMINARY Rev.
 09/2006 REVISIONS
 10/2006 REVISIONS

McLean Personal Storage
 A Compass Development Project
 Beverly Avenue, Lot 47 #10 52
 McLean, Virginia

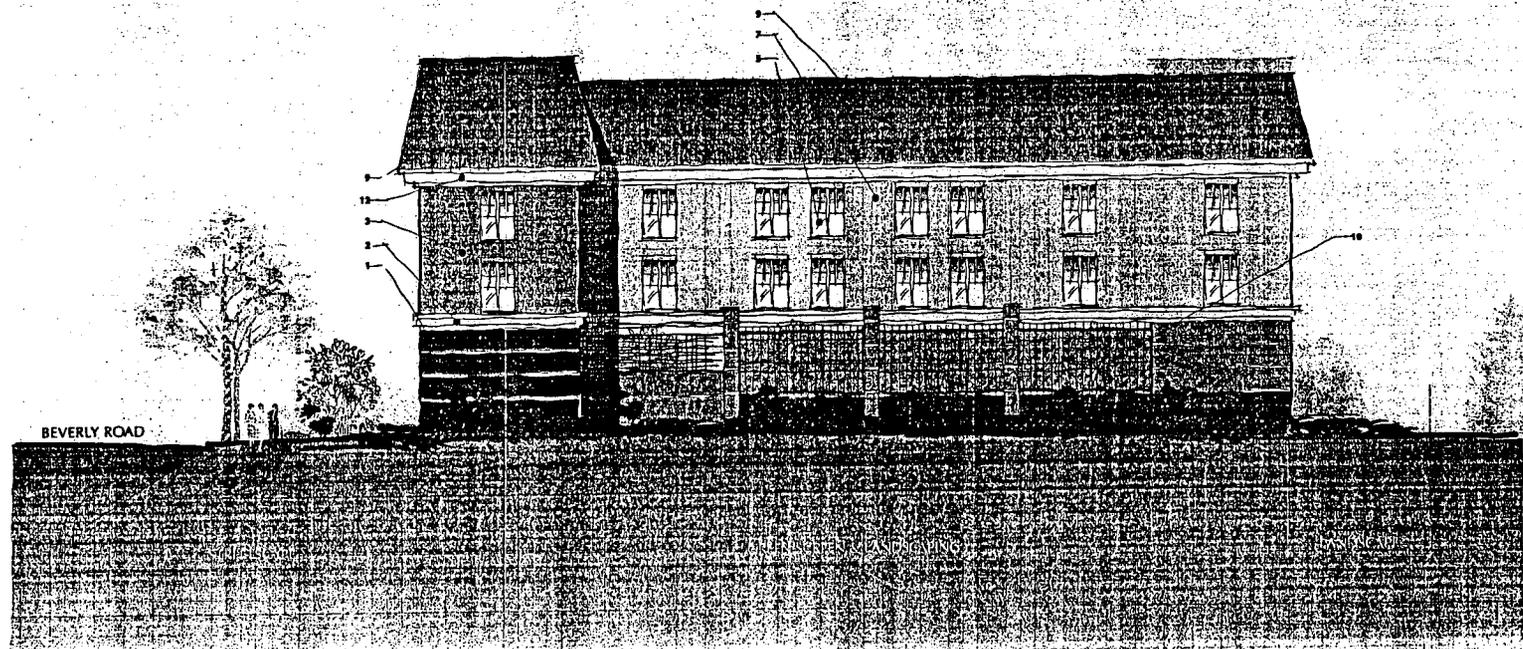
BUTZ
WILBERN

Architectural Planning
 Interiors • Property • Viewing
 6710 Wilburton Ave. # 100
 McLean, Virginia 22101
 703-326-6771 Fax 703-799-1212



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EFF DESCRIPTION	MATERIAL	FINISH	COLOR
1. BUILDING BASE	MASONRY	SPLIT FACE	DARK BROWN
2. ACCENT BAND	MASONRY	GROUND FACE	CREAM
3. BRICK FIELD	BRICK	EXTRUDED SERIES	RED
4. BRICK ACCENT	BRICK	TUSCAN SERIES	BEIGE
5. SPANDREL PANELS	VENEER SYSTEM	TO MATCH STONEFRONT	HARMONY GREY
6. STONEFRONT	CLEAR ANODIZED		
7. EPS - FIELD	EPS / DRYVIT	SANDPBLE FINE	MATCH FINISH 8
8. EPS - CONTRAST	EPS / DRYVIT	SANDBLAST	MATCH FINISH 1
9. ARCHITECTURAL ROOF	PREFINISHED METAL	PREFINISHED METAL	BROWN SLATE
10. GREEN SCREEN & TRELLIS	PREFINISHED METAL	PREFINISHED METAL	GREEN
11. SHUTTERS			MATCH FINISH 9
12. MANSARD FASCIA	EPS / DRYVIT	SANDPBLE FINE	MATCH FINISH 2
13. DORMER			MATCH FINISH 9
14. BRICK CORNICE	BRICK	TUSCAN SERIES	BEIGE
15. FINISHING	PARK		MATCH FINISH 9



RIGHT SIDE ELEVATION

FOR ILLUSTRATIVE PURPOSES ONLY

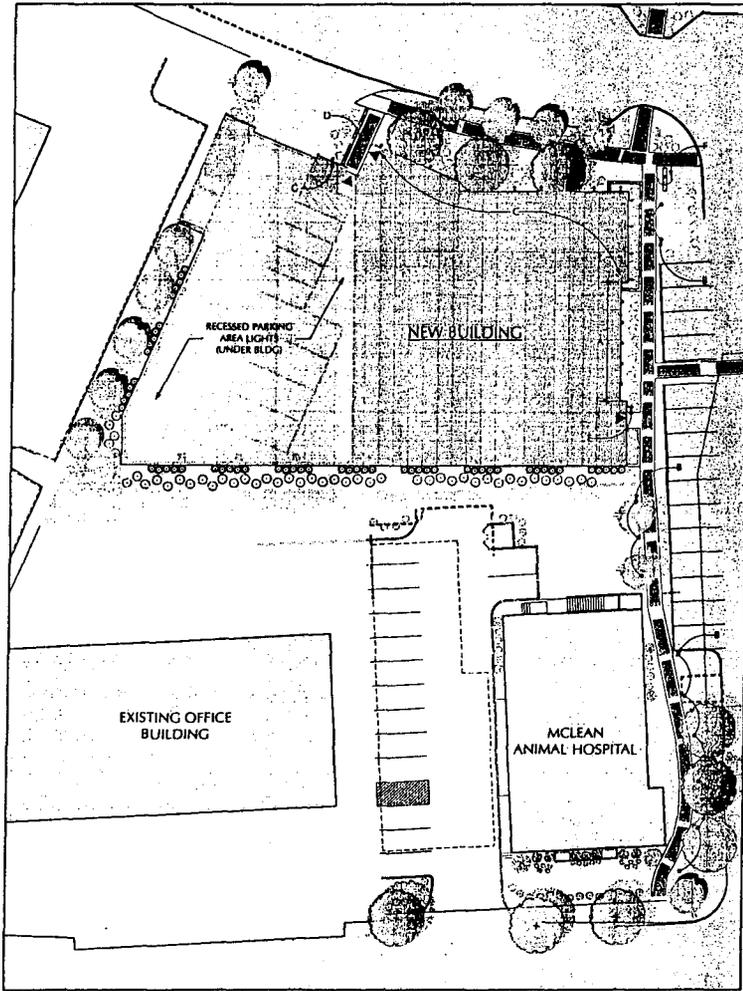


McLean Personal Storage
 A Corpopon Development Project
 Beverly Manor Lots 47 thru 52
 McLean, Virginia

BUTZ WILBERN
 Architects • Planning
 Interiors • Property Valuation
 6718 Whittier Ave., # 130
 McLean, Virginia 22101
 703.356.4771 Fax 703.356.2618

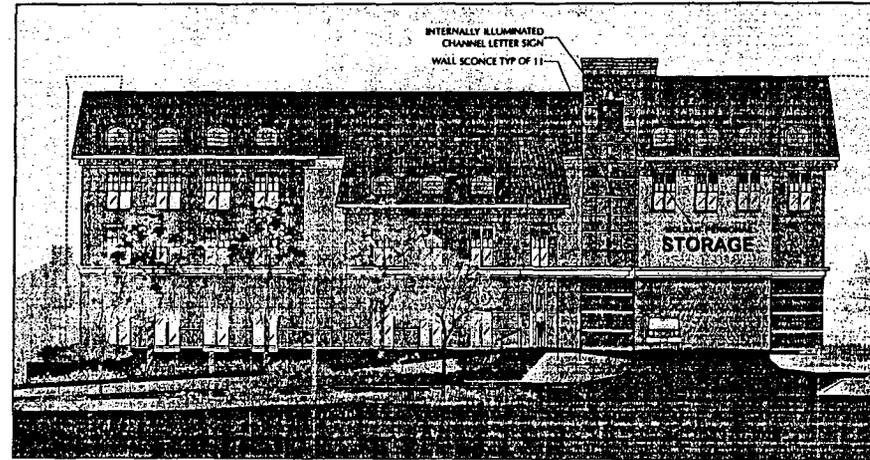
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P-6

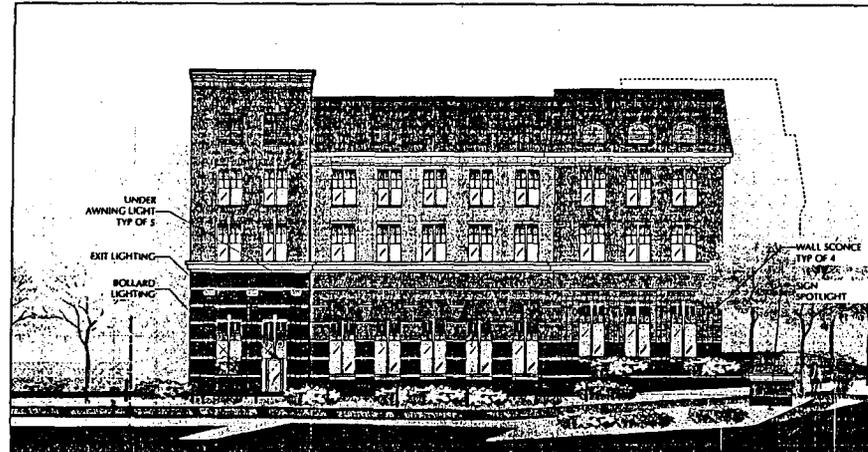


3 Lighting Plan
P-12 Scale: 1" = 20 ft

APPLICABLE LIGHTING REGULATION SUMMARY			
CODE	REGULATION	CALCULATIONS	COMPLY
14-902	2 A ALL OUTDOOR LIGHTING ARE FULL CUT-OFF FIXTURES	N/A	YES
	C SPOTLIGHTING IS TO BE FULL CUTOFF OR DIRECTIONALLY SHIELDED	N/A	YES
	4 ALL OUTDOOR LIGHTING FIXTURES SHALL PRODUCE NO GLARE	N/A	YES



1 Front Lighting
P-12 Scale: 3/32" = 1'-0"



2 Side Lighting
P-12 Scale: 3/32" = 1'-0"

LIGHTING SYMBOLS		
SYMBOL	LIGHT TYPE	ESTIMATED #
A	AWNING LIGHT	56 WATT FLUORESCENT LIGHT 5
B	BOLLARD LIGHT	42" PEDESTRIAN DOWN LIGHT 11
C	WALL SCONCE	56 WATT DARK SKY COMPLIANT SCONCE 16
D	CANOPY LIGHT	RECESSED FLUORESCENT SOFFIT LIGHT 2
E	REQUIRED EXIT LIGHT	DARK SKY COMPLIANT DOWN LIGHT 1
F	MONUMENT SIGN SPOTLIGHT	DARK SKY COMPLIANT DIRECTIONALLY SHIELDED SPOTLIGHT 2

• LICENSE LIST •
817049 FELLOWSHIP
812249 FELLOWSHIP Exp.
891701 RESUBMITTAL
181649 RESUBMITTAL

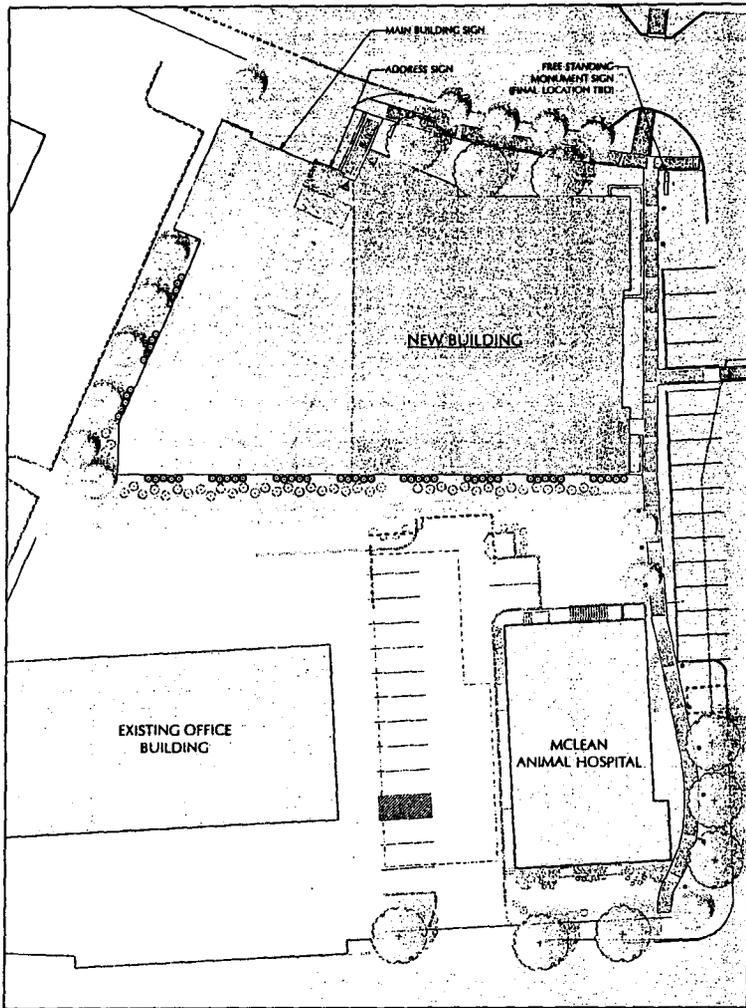
McLean Personal Storage
A Compass Development Project
Recently Master Lease #7 thru 52
McLean, Virginia

• BUTZ •
• WILBERN •

Architecture • Planning
Interiors • Property Management

6716 Wyndham Ave., # 230
McLean, Virginia 22101
TEL: 571-771-5571 FAX: 571-281-9111

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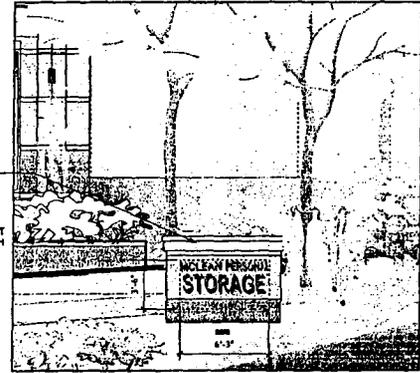
3 Signage Plan
P-11 Scale: 1" = 20 ft



ADDRESS SIGN
• 11 SF
• ILLUMINATED BY DARK SKY COMPLIANT UP AND DOWN LIGHTS
• 3 DIMENSIONAL BUILDING MOUNTED LETTERS

MAIN BUILDING SIGN
• 84 SF
• INTERNALLY ILLUMINATED CHANNEL LETTERS
• DIGITAL TIMER FROM DUSK UNTIL 10 PM

1 Front Signage
P-11 Scale: 1/4" = 1'-0"
SEE P-3 FOR FULL ELEVATION



FREE STANDING MONUMENT SIGN
• 2 SIDED
• 6' TALL
• BRICK
• 21 SF SIGN AREA EACH SIDE
• ILLUMINATED BY 1 DARK SKY COMPLIANT GROUND MOUNTED SPOTLIGHT ON EACH SIDE

2 Side Signage
P-11 Scale: 1/4" = 1'-0"
SEE P-4 FOR FULL ELEVATION

APPLICABLE SIGN REGULATION SUMMARY			
CODE	REGULATION	CALCULATIONS	COMPLY
12-203	20' MAXIMUM HEIGHT OF A FREESTANDING SIGN	N/A	YES
	MINIMUM 5' DISTANCE FROM CURB FOR ALL FREESTANDING SIGNS	N/A	YES
12-205	1) 110 SF OF SIGN PER FIRST 100' OF FRONTAGE, PLUS 1 SF PER EACH ADDITIONAL LINEAR FOOT. MAXIMUM SIGN AREA 200 SF	158'0" LINEAR FEET (100 X 1.51+58 X 1.1)	YES
		204 SF SIGNAGE ALLOWED	175 SF PROVIDED

FOR ILLUSTRATIVE PURPOSES ONLY!

• RELEASE DATE
• 07/20/09 PRELIMINARY
• 07/20/09 PRELIMINARY
• 09/17/09 REVISION/ISSUE
• 10/16/09 REVISION/ISSUE

McLean Personal Storage
A Companion Development Project
Beverly Moore, Lot 47 Area 52
McLean, Virginia

• BUTZ •
WILBERN

Architecture • Planning
Interiors • Property Management

4710 Waterloo Ave., # 120
McLean, Virginia 22101
703.510-6771 Fax 703-510-7958

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SHEET 17 OF 17