

PROJECT INFORMATION

SCOPE OF WORK: INSTALLATION OF A NEW 50'x50' COMPOUND AREA INSIDE AN EXISTING GRAVEL AREA AND INSTALLATION OF A NEW 125 FT. MONOPOLE WITH A 4' LIGHTNING ROD.

SITE ADDRESS: 4904 MATTIE MOORE CT. FAIRFAX, VA 22030

LATITUDE: N 38° 50' 07.671"

LONGITUDE: W 77° 20' 50.393"

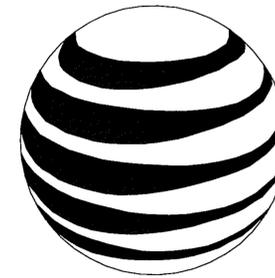
JURISDICTION: FAIRFAX COUNTY, VA

CURRENT USE: VACANT LOT

PROPOSED USE: TELECOMMUNICATIONS FACILITY

ZONING: RC (RES CONSERVATION 1DU/5AC)

**SPECIAL EXCEPTION / 2232
SE 2009-SP-019, 2232-S09-17**



at&t

**BOULEVARD ESTATES- MATTIE MOORE CT. NOVEC
10062878_461G1586**

DRAWING INDEX

REV

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TOTAL NET INCREASE TO IMPERVIOUS AREA: NONE

TOTAL DISTURBED AREA: 3600 SF

APPLICABLE BUILDING CODES AND STANDARDS

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

BUILDING CODE:
[IBC 2006]

ELECTRICAL CODE:
[NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70 - 1999, NATIONAL ELECTRICAL CODE]

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS.
AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION
TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-F, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES

INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM
IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT

IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")

TIA 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS

TELCORDIA GR-1503 COAXIAL CABLE CONNECTIONS

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

OWNER APPROVAL

OWNER REPRESENTATIVE: _____ DATE: _____

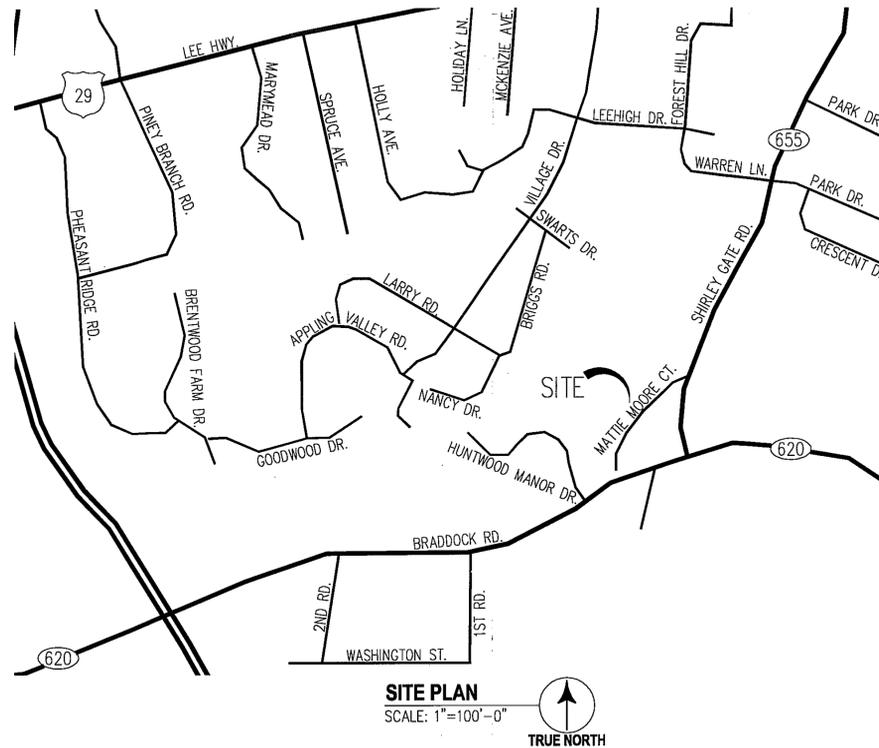
AT&T REPRESENTATIVE: _____ DATE: _____

SYMBOLS AND ABBREVIATIONS

ADJ	ADJUSTABLE	MECH	MECHANICAL	⊕	SPOT ELEVATION
APPROX	APPROXIMATE	MFR	MANUFACTURER	⊕	CENTERLINE
CAB	CABINET	MGB	MAIN GROUND BAR	⊕	PLATE
CLG	CEILING	MIN	MINIMUM	(No. SHT)	DETAIL NUMBER SHEET NUMBER
CONC	CONCRETE	MTL	METAL	— G —	GROUND WIRE
CONT	CONTINUOUS	NIC	NOT IN CONTRACT	—	COAXIAL CABLE
CJ	CONSTRUCTION JOINT	NTS	NOT TO SCALE	⊕	ANTENNA
DIA	DIAMETER	OC	ON CENTER	⊕	FUTURE ANTENNA
DWG	DRAWING	OPP	OPPOSITE		
EQB	EQUIPMENT GROUND BAR	SF	SQUARE FOOT		
EA	EACH	SHT	SHEET		
ELEC	ELECTRICAL	SIM	SIMILAR		
EL	ELEVATION	SS	STAINLESS STEEL		
EQ	EQUAL	STL	STEEL		
EQUIP	EQUIPMENT	TOC	TOP OF CONCRETE		
EXT	EXTERIOR	TOM	TOP OF MASONRY		
FF	FINISHED FLOOR	TOS	TOP OF STEEL		
GA	GAGE	TYP	TYPICAL		
GALV	GALVANIZED	VIF	VERIFY IN FIELD		
GB	GROUND BAR	UN	UNLESS OTHERWISE NOTED		
GC	GENERAL CONTRACTOR	WNF	WELDED WIRE FABRIC		
GRND	GROUND	W/	WITH		
LG	LONG	&	AND		
LLH	LONG LEG HORIZONTAL	@	AT		
MAX	MAXIMUM				

VICINITY MAP

DIRECTION: "FROM 7150 STANDARD DR. HANOVER, MD 21076. Take MD-100 W. Take exit 5 A-B onto I-95 S. Take right ramp at exit 27 onto I-495 W. Take exit 49 onto I-66 (Custis Memorial Pky.). Take exit 57A onto US-50 (Lee Jackson Memorial Hwy.). Turn right onto SR-665 (Waples Mill Rd.). Road name changes to SR-655 (Shirley Gate Rd.). Turn right onto Mattie Moore Ct. Arrive at 4904 Mattie Moore Ct., Fairfax, VA 22030.



SITE PLAN

SCALE: 1"=100'-0"



Application No. **SE2009-SP-019** Staff **DeManche**
APPROVED **SE** SP PLAN
SEE DEV CONDS DATED **12/10/09**
Date of **6051** (BZA) approval **1/12/10**
Sheet **1** of **7**

RECEIVED
Department of Planning & Zoning
JAN 20 2010
Zoning Evaluation Division

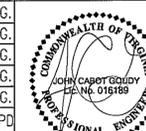


PROJECT NUMBER:
1072.071

**BOULEVARD ESTATES -
MATTIE MOORE CT. NOVEC
10062878_461G1586**
4904 MATTIE MOORE CT.
FAIRFAX, VA 22030

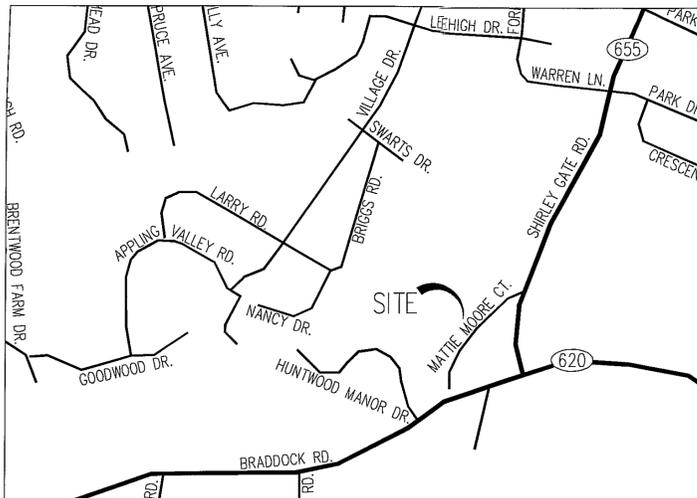


6	10/30/09	COUNTY COMMENTS	W.A.	C.G.	C.G.
5	10/26/09	COUNTY COMMENTS	W.A.	C.G.	C.G.
4	10/20/09	COUNTY COMMENTS	W.A.	C.G.	C.G.
3	09/14/09	COUNTY COMMENTS	M.A.	C.G.	C.G.
2	06/19/09	COUNTY COMMENTS	W.A.	C.G.	C.G.
NO.	DATE	REVISIONS	BY	CHK	APPD
SCALE: AS SHOWN		DESIGNED: C.G.	DRAWN: W.A.		



TITLE SHEET

JOB NO. 24782-432
DRAWING NUMBER Z01



VICINITY MAP
SCALE: 1"=100'-0"
TRUE NORTH

- SITE NAME: BOULEVARD ESTATES
SITE NUMBER: 10062878_461G1586
- THIS IS NOT A BOUNDARY SURVEY AND IS NOT TO BE USED FOR THE TRANSFER OF PROPERTY.
- THE PARENT PARCEL INFORMATION:
OWNER: NORTHERN VIRGINIA ELECTRIC COOPERATIVE
PREMISES ADDRESS: 4904 MATTIE MOORE CT
FAIRFAX, VA 22030
MAILING ADDRESS: P.O. BOX 2710
MANASSAS, VA 20108
COUNTY: FAIRFAX COUNTY
MAP #: 0564 01 0020A
DISTRICT: 8000 SPRINGFIELD
ZONING: RC USE: VACANT LAND
- THE RECORDED REFERENCES FOR THE PARENT PARCEL ARE AS FOLLOWS:
DEED: LIBER 06023, FOLIO 0423
AREA: 1.3774 AC
- THE DATUM'S ARE NAD 83 AND NAVD 88, AND THE BEARING BASE IS STATE GRID.
- NO UNDERGROUND UTILITIES HAVE BEEN LOCATED, THE PRESENCE OF ANY SUCH UTILITIES MUST BE CONFIRMED BY THE CONTRACTOR BEFORE CONSTRUCTION.
- NO WETLANDS HAVE BEEN DEFINED AND ANY AREAS SHOWN AS MARSH, PONDS OR DITCHES ARE DONE SO FROM VISIBLE SURFACE FEATURES AND IN NO WAY CONSTITUTE A DEFINED WETLAND.
- THE FLOOD ZONE OF THE PROPOSED MONOPOLE IS AS FOLLOWS:
FLOOD ZONE X, AREA OF MINIMUM FLOODING. SOURCE, FEMA FLOOD MAP FOR FAIRFAX COUNTY, VA.
COMMUNITY PANEL NUMBER 515525 0075D.
REVISED, MARCH 5, 1990.
- NO TITLE REPORT WAS FURNISHED FOR THIS SURVEY.
- THE DATA COLLECTED AND SHOWN ON THIS DRAWING ARE FOR THE PURPOSES OF CONSTRUCTION OF A CELLULAR MONOPOLE, ANY NECESSARY ANCILLARY EQUIPMENT AND ALL APPROPRIATE EASEMENTS.
- NO UNRECORDED EASEMENTS ARE SHOWN ON THIS SURVEY AND IT IS POSSIBLE THAT SUCH EASEMENTS IMPACT THE SITE.
- THIS PROPERTY IS SUBJECT TO ALL MATTERS OF PUBLIC RECORD.
- THE LOCATION OF THE PROPOSED MONOPOLE IS AS FOLLOWS:
THE VALUES LISTED BELOW ARE WITHIN ±50' HORIZONTAL AND ±20' VERTICAL.
LATITUDE: N 38°50'07.671"
LONGITUDE: W 77°20'50.393"
ELEVATION: 441.2' AMSL AT BASE
- THERE ARE NO EXISTING BUILDINGS OR FENCES ON THE PROPERTY.
- THERE WILL BE NO SIGNAGE ON THE PROPERTY EXCEPT AS MAY BE REQUIRED BY FCC REGULATION (LESS THAN 24"x24") LOCATED IN OR NEAR THE COMPOUND.

	PROPOSED MONOPOLE SETBACKS	
	PROPOSED	MIN. REQUIRED
FRONT YARD (SOUTHEAST)	75.0'	40'
REAR YARD (NORTHWEST)	225.0'	25'
SIDE YARD (NORTHEAST)	75.0'	20'
SIDE YARD (SOUTHWEST)	125.0'	20'
CLOSEST ROAD	210.8'	N/A
CLOSEST RESIDENCE	547.8'	N/A

	STRUCTURE SETBACKS	
	EXISTING	PROPOSED
FRONT YARD (SOUTHEAST)	N/A	50.0'
REAR YARD (NORTHWEST)	N/A	200.0'
SIDE YARD (NORTHEAST)	N/A	50.0'
SIDE YARD (SOUTHWEST)	N/A	100.0'
CLOSEST ROAD	N/A	181.1'

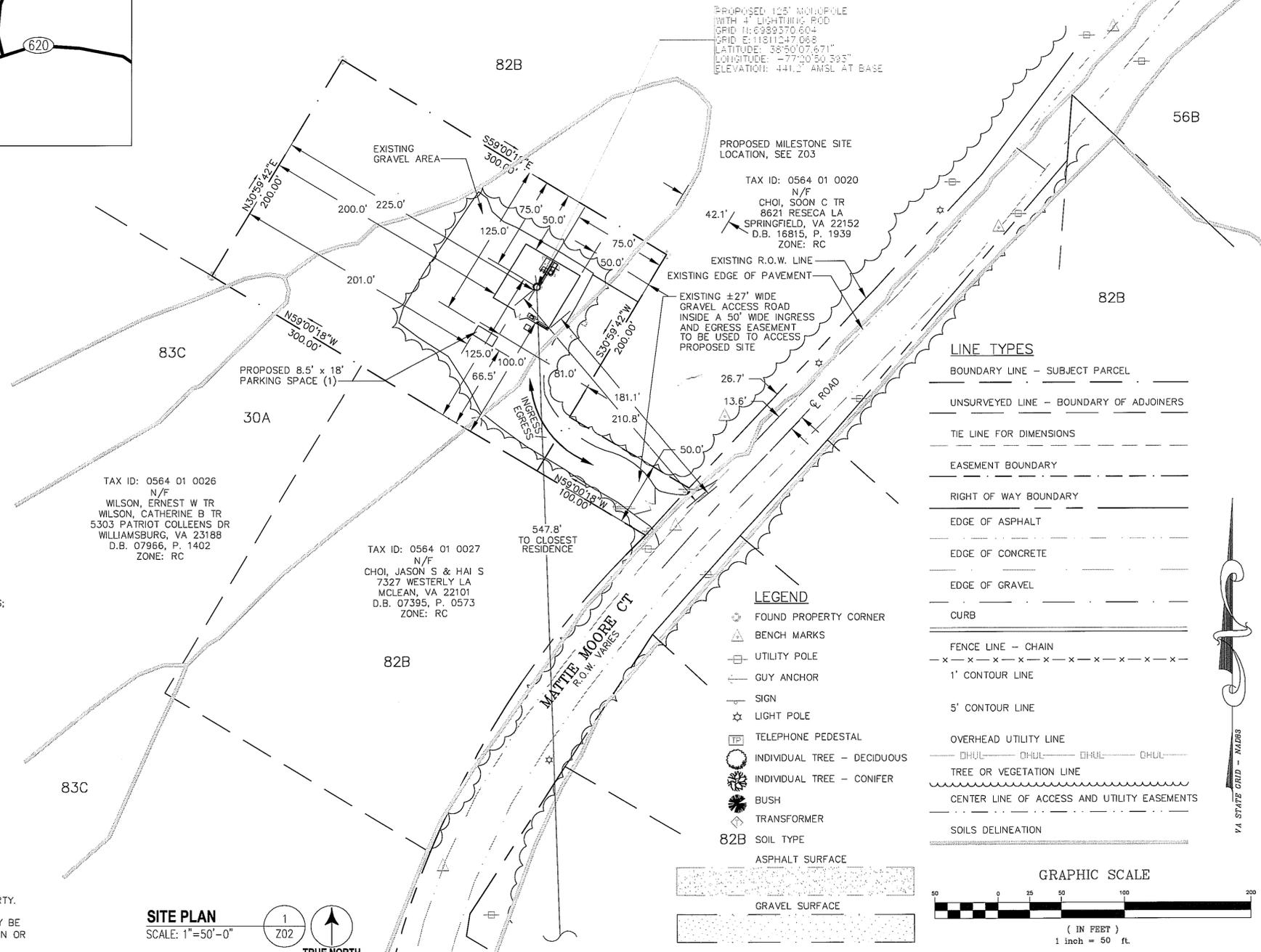
	PARKING SETBACKS	
	EXISTING	PROPOSED
FRONT YARD (SOUTHEAST)		81.0'
REAR YARD (NORTHWEST)		201.0'
SIDE YARD (NORTHEAST)		125.0'
SIDE YARD (SOUTHWEST)		66.5'

SITE PLAN NOTES

- SITE: BOULEVARD ESTATES - MATTIE MOORE CT. NOVEC
LATITUDE: 38°50'07.671" N
LONGITUDE: 77°20'50.393" W
- THESE DRAWINGS WERE PREPARED FROM A FIELD RUN SURVEY BY ENTREX COMMUNICATION SERVICES INC. DATED NOVEMBER 13, 2008
- OWNER: NORTHERN VIRGINIA, ELECTRIC COOPERATIVE
ADDRESS: 4904 MATTIE MOORE CT.
FAIRFAX, VA 22030
DEED: BOOK: 06023 PAGE: 0423
ZONE: RC

NOTES

- APPLICANT:
AT&T
7150 STANDARD DRIVE
HANOVER, MD 21076
- PROPERTY OWNER:
NORTHERN VIRGINIA, ELECTRIC COOPERATIVE
P.O. BOX 2710
MANASSAS, VA 20108
SITE ADDRESS:
4904 MATTIE MOORE CT.
FAIRFAX, VA 22030
- CURRENT ZONING: RC
- TOTAL DISTURBED AREA:
PROPOSED COMPOUND: 3,600 SF
TOTAL: 3,600 SF
- TOTAL INCREASE TO IMPERVIOUS AREA: NONE
- SITE DATA:
PIN: 0564 01 0020A
MAGESTERIAL DISTRICT: 80000 (SPRINGFIELD)
DEED BOOK: 06023 PAGE: 0423
CURRENT ZONE: RC
PROPERTY TYPE: VACANT LAND
LAND AREA: 1.3774 ACRES (60,000 SF)
- MINIMUM YARD REQUIREMENTS
A. SINGLE FAMILY DWELLINGS
FRONT 40'
SIDE 20'
REAR 25'
B. ALL OTHER STRUCTURES
FRONT: CONTROLLED BY A 50° ANGLE OF BULK PLANE, BUT NOT LESS THAN 40 FEET.
SIDE: CONTROLLED BY A 45° ANGLE OF BULK PLANE, BUT NOT LESS THAN 20 FEET.
REAR: CONTROLLED BY A 45° ANGLE OF BULK PLANE, BUT NOT LESS THAN 25 FEET.



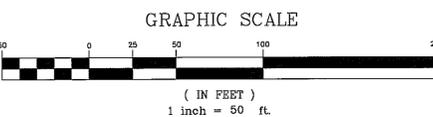
LINE TYPES

- BOUNDARY LINE - SUBJECT PARCEL
- UNSURVEYED LINE - BOUNDARY OF ADJOINERS
- TIE LINE FOR DIMENSIONS
- EASEMENT BOUNDARY
- RIGHT OF WAY BOUNDARY
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- EDGE OF GRAVEL
- CURB

- FENCE LINE - CHAIN
- 1' CONTOUR LINE
- 5' CONTOUR LINE
- OVERHEAD UTILITY LINE
- TREE OR VEGETATION LINE
- CENTER LINE OF ACCESS AND UTILITY EASEMENTS
- SOILS DELINEATION

LEGEND

- FOUND PROPERTY CORNER
- BENCH MARKS
- UTILITY POLE
- GUY ANCHOR
- SIGN
- LIGHT POLE
- TELEPHONE PEDESTAL
- INDIVIDUAL TREE - DECIDUOUS
- INDIVIDUAL TREE - CONIFER
- BUSH
- TRANSFORMER
- 82B SOIL TYPE
- ASPHALT SURFACE
- GRAVEL SURFACE



SITE PLAN
SCALE: 1"=50'-0"
TRUE NORTH

SOILS LEGEND:	
SYMBOL	SOIL TYPE
30A	CODORUS AND HATBORO SOILS, 0 TO 2 PERCENT SLOPES, OCCASIONALLY FLOODED.
56B	HATTON TOWN ORANGE COMPLEX, 2 TO 7 PERCENT SLOPES.
82B	ORANGE SILT LOAM, 2 TO 7 PERCENT SLOPES.
83C	ORANGE SILT LOAM, 7 TO 15 PERCENT SLOPES, VERY STONY.

Application No. **SP2009-SP-019** Staff **DeManche**

APPROVED **SP** PLAN

SEE DEV CONDS DATED **12/10/09**

Date of **BOS** (BZA) approval **1/12/10**

Sheet **2** of **7**

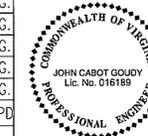


PROJECT NUMBER:
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**BOULEVARD ESTATES -
MATTIE MOORE CT. NOVEC**
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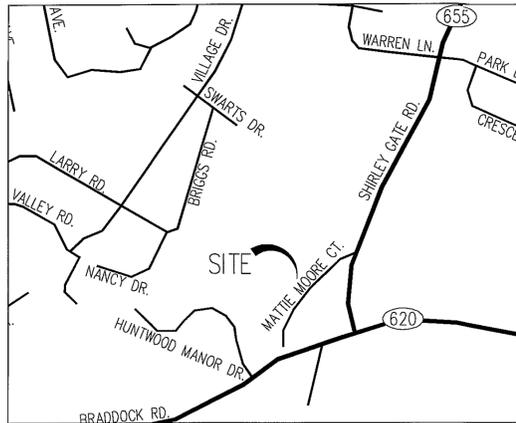
6/10/30/09	COUNTY COMMENTS	W.A.	C.G.	C.G.
5/10/26/09	COUNTY COMMENTS	W.A.	C.G.	C.G.
4/10/20/09	COUNTY COMMENTS	W.A.	C.G.	C.G.
3/09/14/09	COUNTY COMMENTS	M.A.	C.G.	C.G.
2/06/19/09	COUNTY COMMENTS	W.A.	C.G.	C.G.
NO.	DATE	REVISIONS	BY	CHK APPD
SCALE: AS SHOWN		DESIGNED: C.G.	DRAWN: W.A.	



SITE PLAN

JOB NO.	DRAWING NUMBER
24782-432	Z02

Application No. **SE2009-SP01** Staff: **DeManche**
 APPROVED **SP** PLAN
 SEE DEV CONDS DATED **12/10/09**
 Date of **BOS** (BZA) approval **1/12/10**
 Sheet **3** of **7**



VICINITY MAP
 SCALE: 1"=100'-0"
 TRUE NORTH

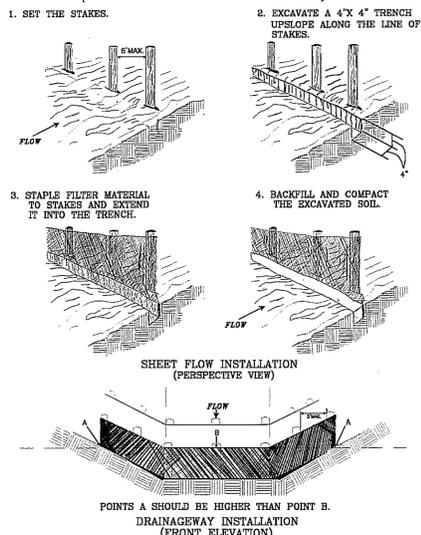
STORMWATER MANAGEMENT WAIVER REQUEST

A STORMWATER MANAGEMENT WAIVER IS REQUESTED FOR THIS PROJECT.
 THIS PROJECT DOES NOT INCREASE THE EXISTING IMPERVIOUS AREA AND NO REGRADING IS REQUIRED FOR THE CONSTRUCTION OF THIS SITE.

AREA TABLE

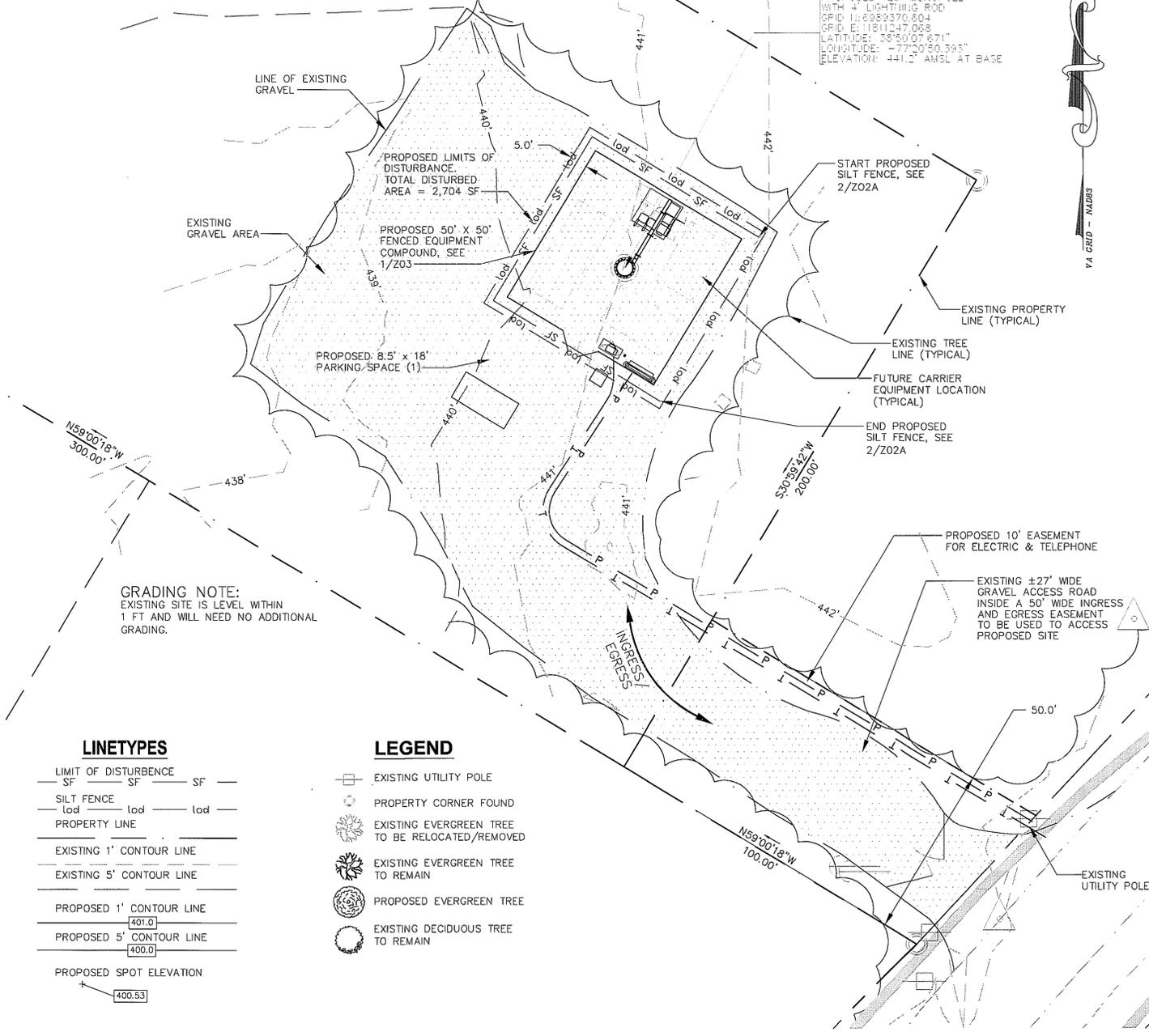
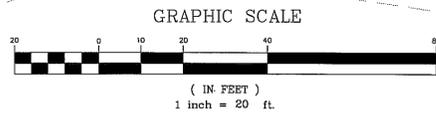
AT&T LEASE AREA =	2,500 SF (0.057 AC)
TOTAL DISTURBED AREA =	3,600 SF (0.082 AC)
EXISTING IMPERVIOUS AREA COMPOUND =	16,206 SF (0.372 AC)
TOTAL PROPOSED IMPERVIOUS AREA =	16,206 SF (0.372 AC)
TOTAL GRAVEL VOLUME =	0 CY

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)



SOURCE: Adapted from Installation of Stone and Fabric Filter Barriers for Sediment Control, VA DSWC Sherwood and Wypat. PLATE 316-2

SILT FENCE DETAIL
 SCALE: N.T.S.



LINETYPES

LIMIT OF DISTURBANCE	SF	SF	SF
SILT FENCE	lod	lod	lod
PROPERTY LINE	---	---	---
EXISTING 1' CONTOUR LINE	---	---	---
EXISTING 5' CONTOUR LINE	---	---	---
PROPOSED 1' CONTOUR LINE	---	---	---
PROPOSED 5' CONTOUR LINE	---	---	---
PROPOSED SPOT ELEVATION	400.53		

LEGEND

- EXISTING UTILITY POLE
- PROPERTY CORNER FOUND
- EXISTING EVERGREEN TREE TO BE RELOCATED/REMOVED
- EXISTING EVERGREEN TREE TO REMAIN
- PROPOSED EVERGREEN TREE
- EXISTING DECIDUOUS TREE TO REMAIN

GRADING, EROSION AND SEDIMENT CONTROL PLAN
 SCALE: 1"=20'-0"

EXCAVATION AND GRADING NOTES

- CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
- ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
- AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
- BACKFILLING SHALL:
 - BE STATE DOT APPROVED MATERIALS CONSISTING OF EARTH, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE.
 - BE FREE FROM CLOUDS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS
 - BE PLACED IN 6" LAYERS AND COMPACTED TO 95% STANDARD PROCTOR EXCEPT IN GRASSED/LANDSCAPING AREAS, WHERE 90% STANDARD PROCTOR IS REQUIRED.
- PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAMAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
- REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES OF GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE FILLED AND COMPACTED WITH STATE DOT APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL MAY BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE, SUBJECT TO OWNER'S APPROVAL.
- DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED/REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
- ALL CUT AND FILL SLOPES SHALL BE 3 : 1 MAXIMUM, UNLESS OTHERWISE NOTED.
- ENSURE POSITIVE DRAINAGE FROM SITE AT ALL TIMES. AVOID TRAPPING WATER.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
- THE CONTRACTOR SHALL APPLY PERMANENT OR TEMPORARY SOIL STABILIZATION TO ALL DENUDED OR DISTURBED AREAS WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MUST ALSO BE APPLIED TO DENUDED OR DISTURBED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WHICH WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. SOIL STABILIZATION MEASURES INCLUDE VEGETATIVE ESTABLISHMENT, MULCHING, AND THE EARLY APPLICATION OF GRAVEL BASE MATERIAL ON AREAS TO BE PAVED.
- ALL SEDIMENT AND CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN LAND DISTURBANCE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND CLEANUP OF THE SEDIMENTATION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL LIMIT SITE ACCESS BY CONSTRUCTION VEHICLES TO ENTRANCES PROTECTED BY A STONE CONSTRUCTION ENTRANCE (VESH STD. & SPEC. 3.02) OR AND APPROVED COMPARABLE CONTROL MEASURE. SEDIMENT SHALL BE REMOVED FROM PAVED AREAS ON A DAILY BASIS.
- STOCKPILES OF SOIL AND OTHER ERODIBLE MATERIALS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION FOR STOCKPILES ON SITE AS WELL AS FOR MATERIALS TRANSPORTED FROM THE PROJECT SITE.
- THE CONTRACTOR SHALL MONITOR AND TAKE PRECAUTIONS TO CONTROL DUST, INCLUDING (BUT NOT LIMITED TO) USE OF WATER, MULCH, OR CHEMICAL DUST ADHESIVES AND CONTROL OF CONSTRUCTION SITE TRAFFIC.
- EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES, WETLANDS, WATERWAYS OR THE STORM DRAINAGE SYSTEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ANY ADDITIONAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED NECESSARY BY THE PLAN APPROVING AUTHORITY.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. AFTER STABILIZATION IS COMPLETE, ALL MEASURES SHALL BE REMOVED WITHIN 30 DAYS. TRAPPED SEDIMENT SHALL BE SPREAD AND SEED.

entrex
 communication services, inc.
 1575 Eye Street, N.W. Suite 350
 WASHINGTON, D.C. 20005
 PHONE: (202)408-0960
 FAX: (202)408-0961

PROJECT NUMBER:
 1072.071

**BOULEVARD ESTATES -
 MATTIE MOORE CT. NOVEC**
 10062878_461G1586
 4904 MATTIE MOORE CT.
 FAIRFAX, VA 22030

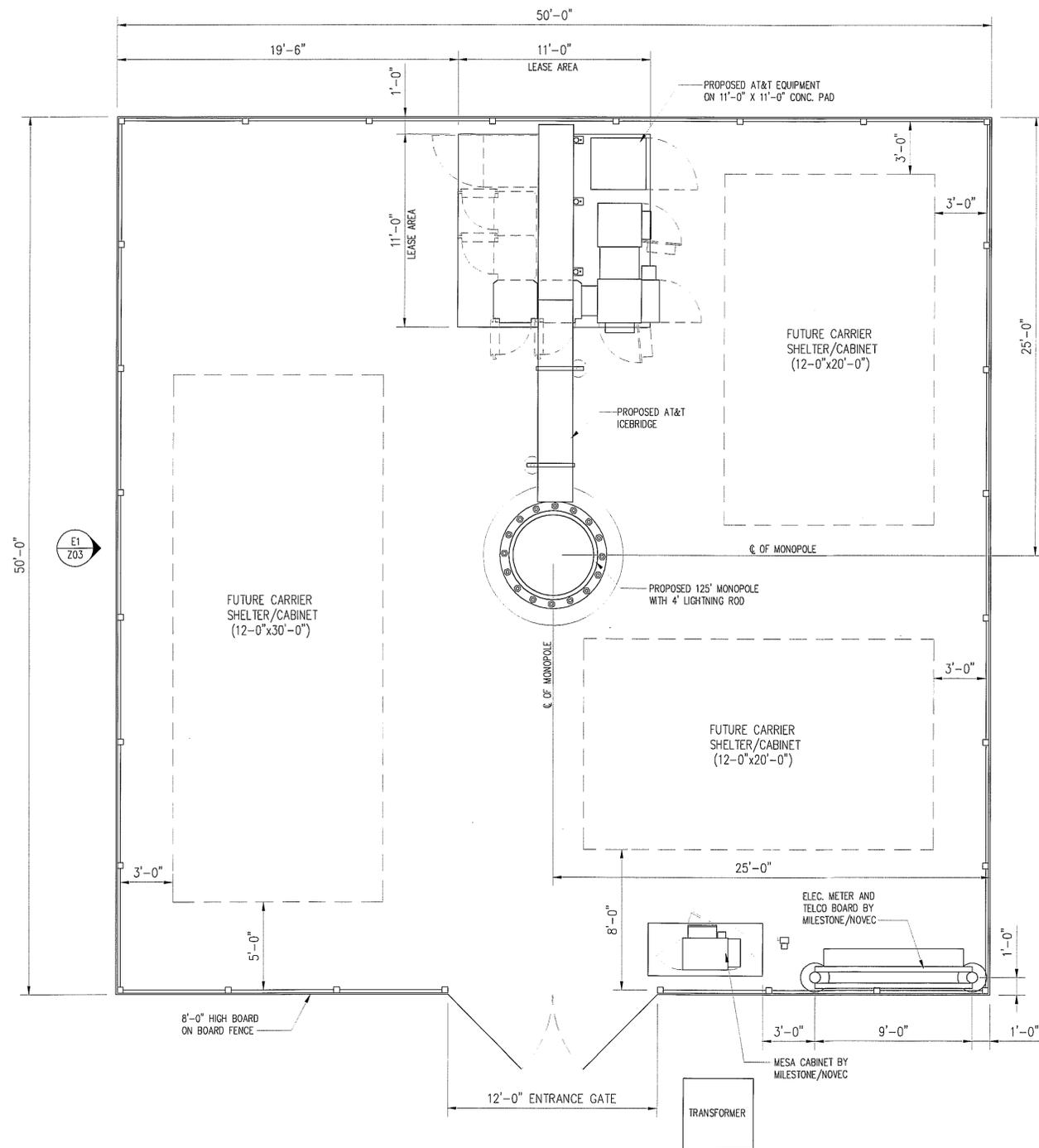
at&t
 7150 STANDARD DRIVE
 HANOVER, MD 21076

6	10/30/09	COUNTY COMMENTS	W.A.	C.G.	C.G.
5	10/26/09	COUNTY COMMENTS	W.A.	C.G.	C.G.
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2	06/19/09	COUNTY COMMENTS	W.A.	C.G.	C.G.
NO.	DATE	REVISIONS	BY	CHK	APPD
SCALE: AS SHOWN		DESIGNED: R.S.	DRAWN: C.G.		

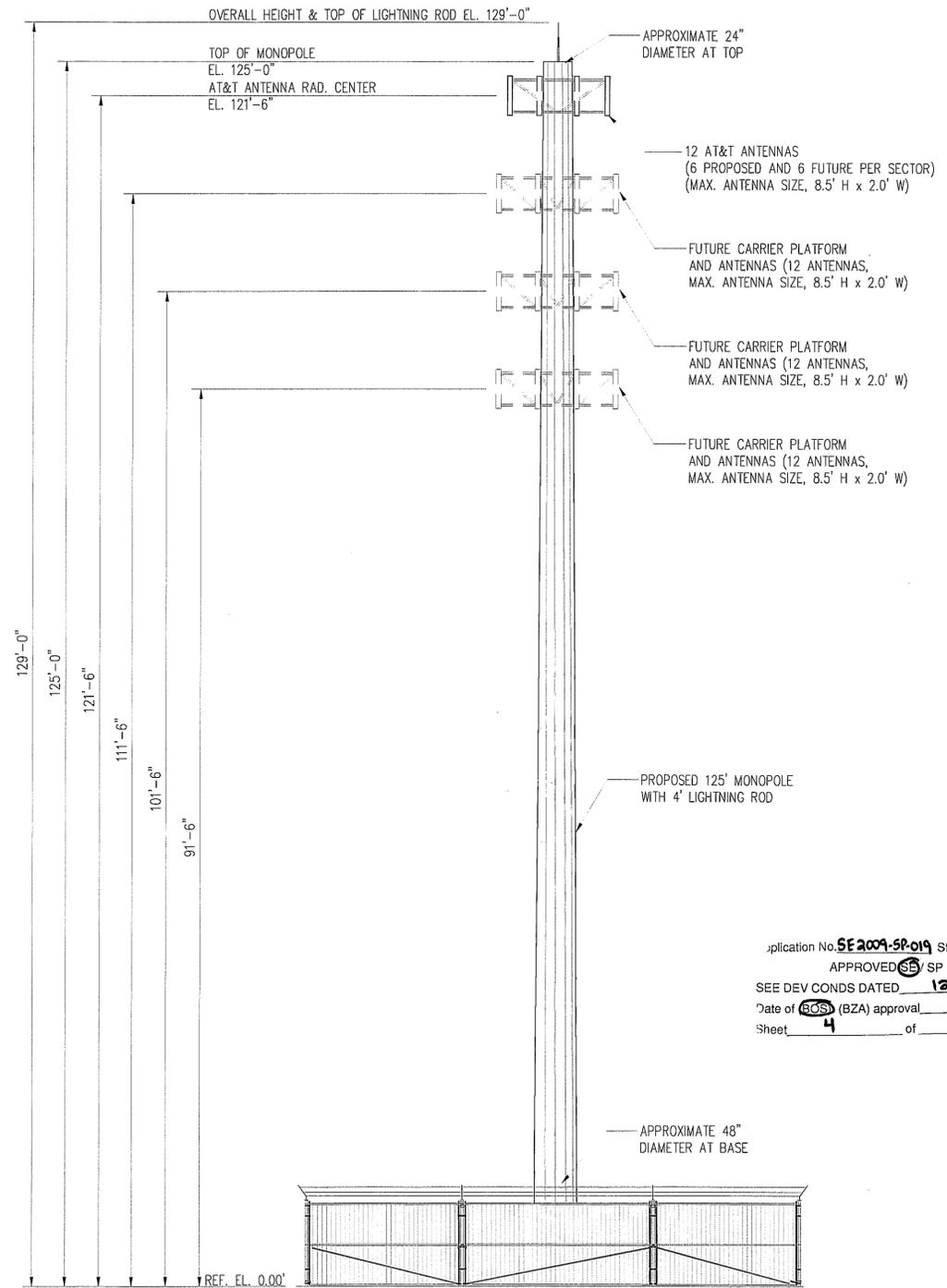


GRADING, EROSION AND SEDIMENT CONTROL PLAN

JOB NO.	DRAWING NUMBER
24782-432	Z02A



COMPOUND LAYOUT
SCALE: 1/4"=1'-0"
E1 Z03
TRUE NORTH



MONOPOLE ELEVATION
SCALE: 1/8"=1'-0"
E1 Z03

Application No. **SE2009-SP-019** Staff: **DeMunche**
APPROVED **SS** SP PLAN
SEE DEV CONDS DATED **12/10/09**
Date of **SS** (BZA) approval **1/12/10**
Sheet **4** of **7**

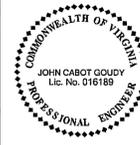


PROJECT NUMBER:
1072.071

**BOULEVARD ESTATES -
MATTIE MOORE CT. NOVEC**
10062878_461G1586
4904 MATTIE MOORE CT.
FAIRFAX, VA 22030

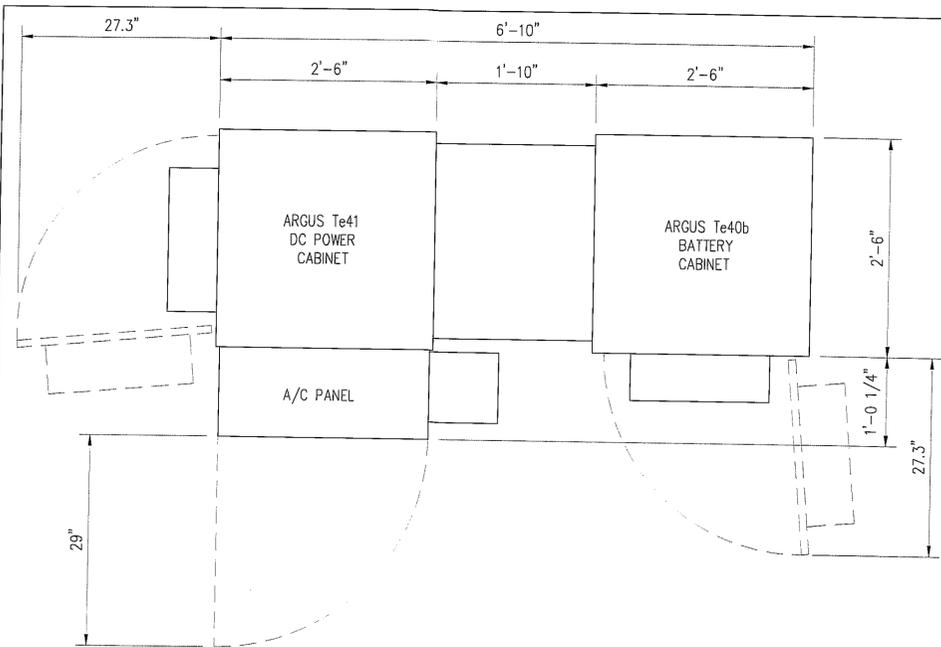


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NO.	DATE	REVISIONS	BY	CHK	APPD
SCALE: AS SHOWN			DESIGNED: W.A.	DRAWN: C.G.	

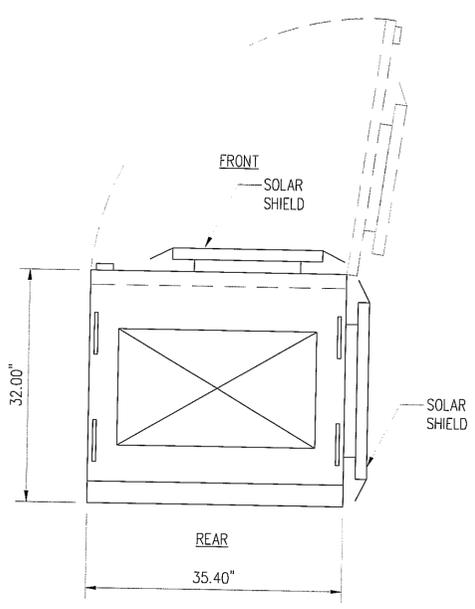


**COMPOUND PLAN
AND UTILITY POLE ELEVATION**

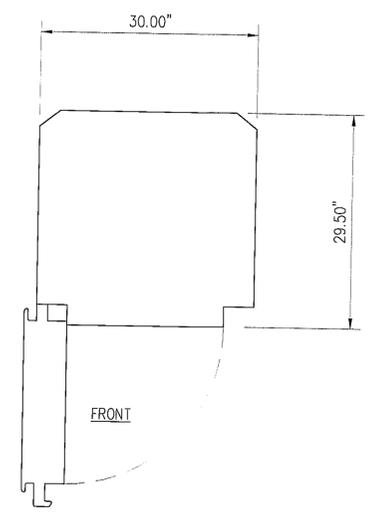
JOB NO.	DRAWING NUMBER
24782-432	Z03



ARGUS EQUIPMENT LAYOUT
SCALE: 1"=1'-0"
1
Z04

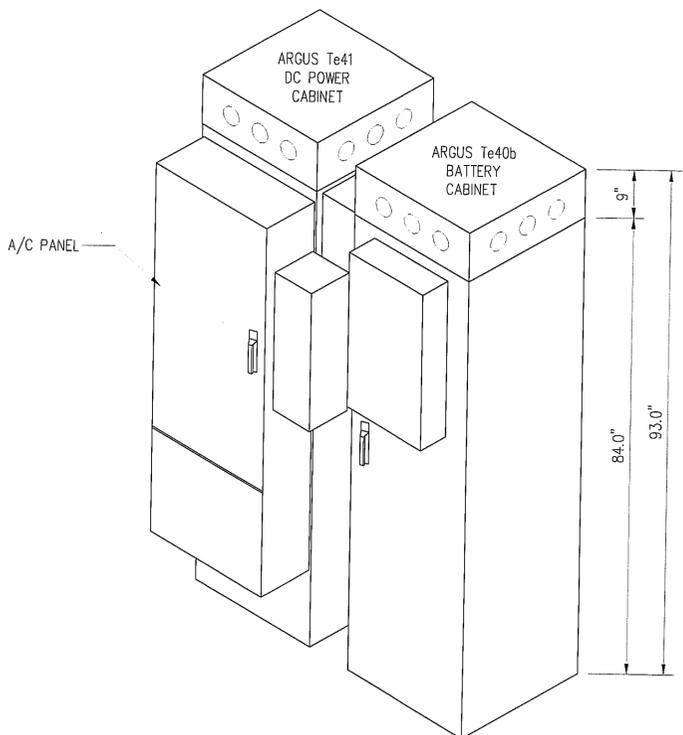


LUCENT UMTS EQUIPMENT LAYOUT
SCALE: 1"=1'-0"
3
Z04

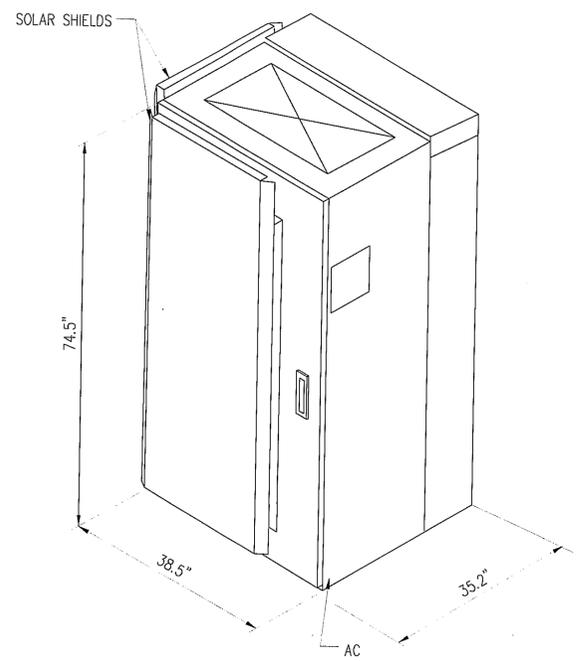


**NOKIA ULTRA EDGE
BTS OUTDOOR CABINET LAYOUT**
SCALE: 1"=1'-0"
5
Z04

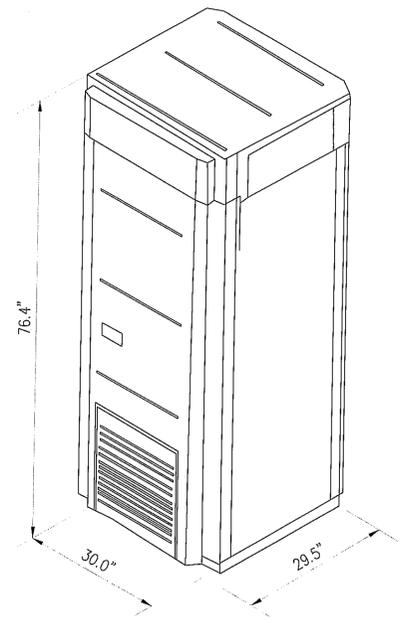
Application No. **SE 2009-019** Staff **DeManche**
APPROVED **SE** SP PLAN
SEE DEV CONDS DATED **12/10/09**
Date of **ECOS** (BZA) approval **1/12/10**
Sheet **5** of **7**



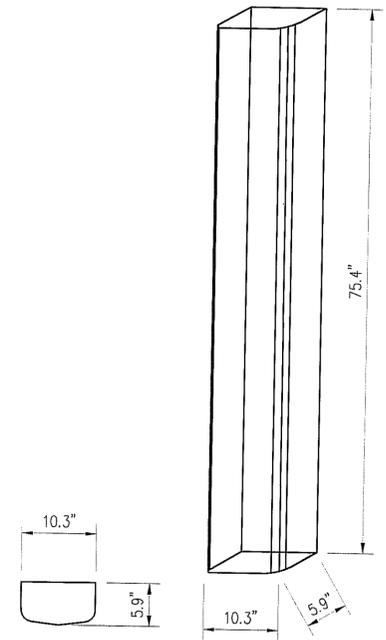
ARGUS EQUIPMENT DETAIL
SCALE: N.T.S.
2
Z04



LUCENT UMTS EQUIPMENT DETAIL
SCALE: N.T.S.
4
Z04



**NOKIA ULTRA EDGE
BTS OUTDOOR CABINET DETAIL**
SCALE: N.T.S.
6
Z04



PLAN ISOMETRIC VIEW
ANTENNA DETAIL
SCALE: N.T.S.
7
Z04

entrex
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WASHINGTON, D.C. 20005
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FAX: (202)408-0961

PROJECT NUMBER:
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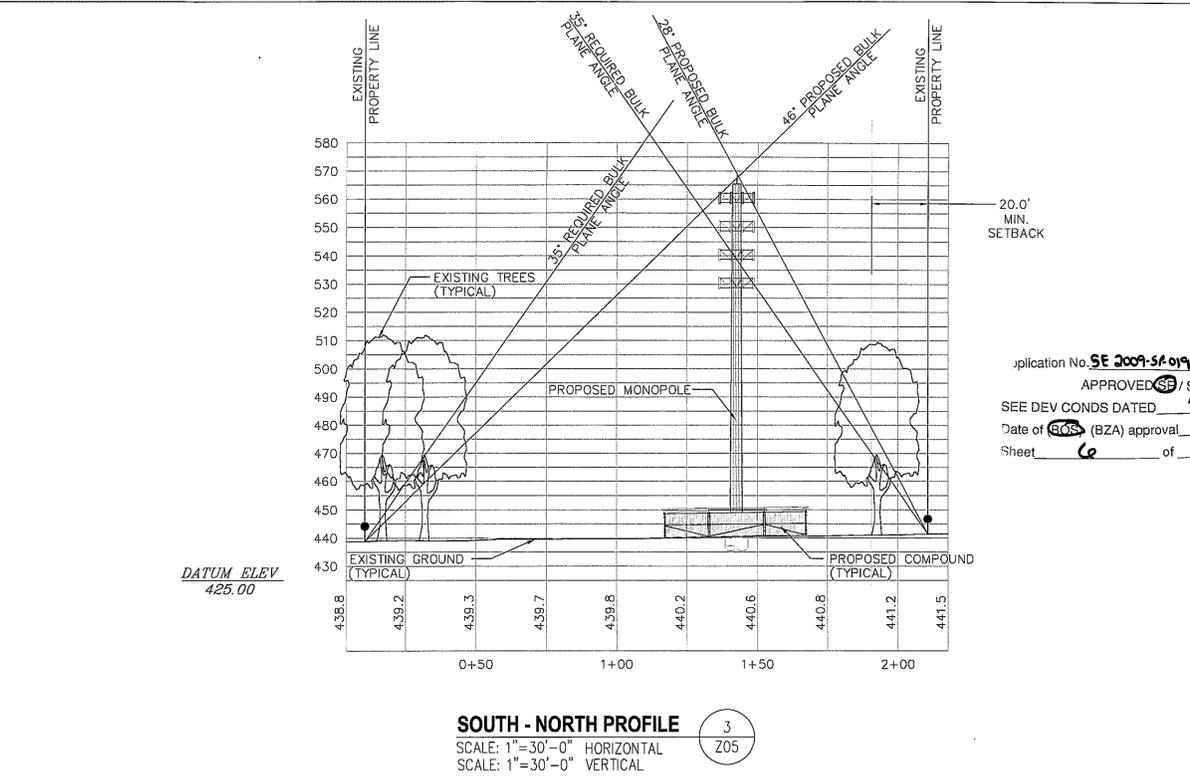
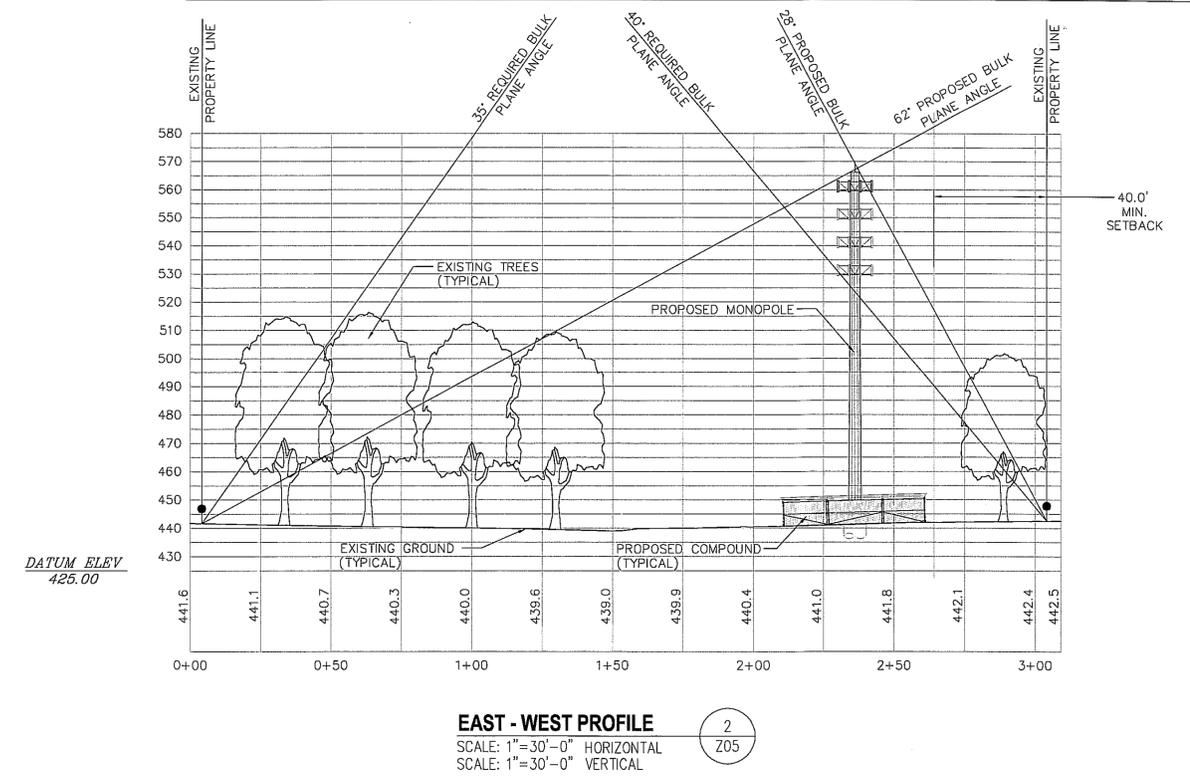
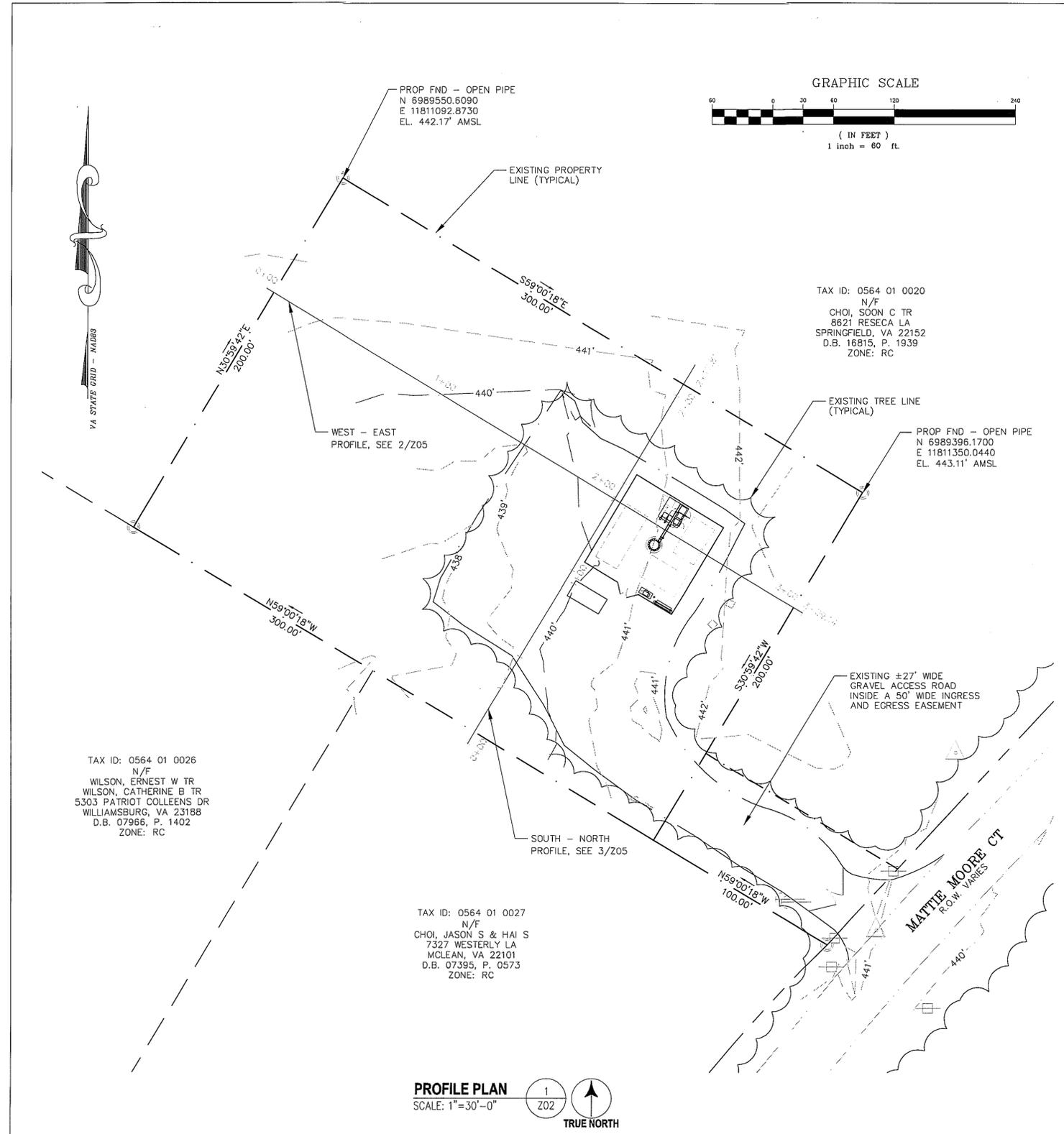
**BOULEVARD ESTATES -
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10062878_461G1586
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FAIRFAX, VA 22030

at&t
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NO.	DATE	REVISIONS	BY	CHK	APPD
SCALE: AS SHOWN		DESIGNED: N.B.	DRAWN: C.G.		

COMMONWEALTH OF VIRGINIA
JOHN CABOT GOUDY
Lic. No. 016189
PROFESSIONAL ENGINEER

EQUIPMENT DETAILS
JOB NO. 24782-432
DRAWING NUMBER Z04



Application No. **SE 2009-5409** Staff: **DeManche**
APPROVED / SP PLAN
SEE DEV CONDS DATED **12/10/09**
Date of **605** (BZA) approval **1/12/10**
Sheet **6** of **7**

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PHONE: (202)408-0960
FAX: (202)408-0961

PROJECT NUMBER:
1072.071

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FAIRFAX, VA 22030

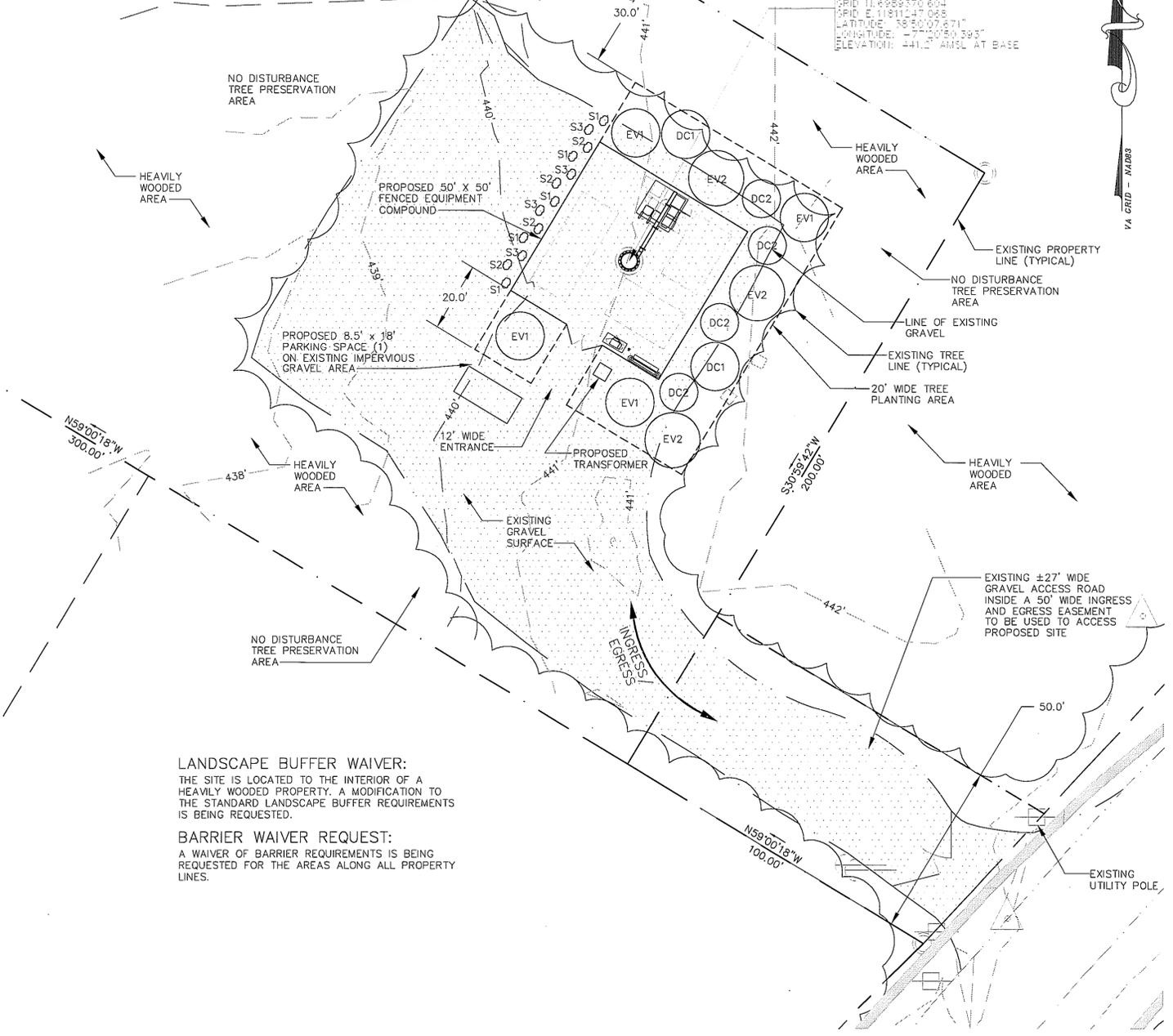
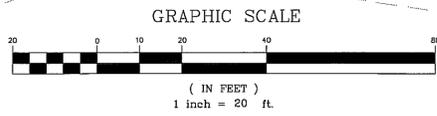
at&t
7150 STANDARD DRIVE
HANOVER, MD 21076

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4/10/20/09	COUNTY COMMENTS	W.A.	C.G.	C.G.	
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2/06/19/09	COUNTY COMMENTS	W.A.	C.G.	C.G.	
NO.	DATE	REVISIONS	BY	CHK APPD	
SCALE:	AS SHOWN	DESIGNED:	C.G.	DRAWN:	W.A.



PROFILE PLAN & BULK ANGLE PROFILES

JOB NO.	24782-432	DRAWING NUMBER	205
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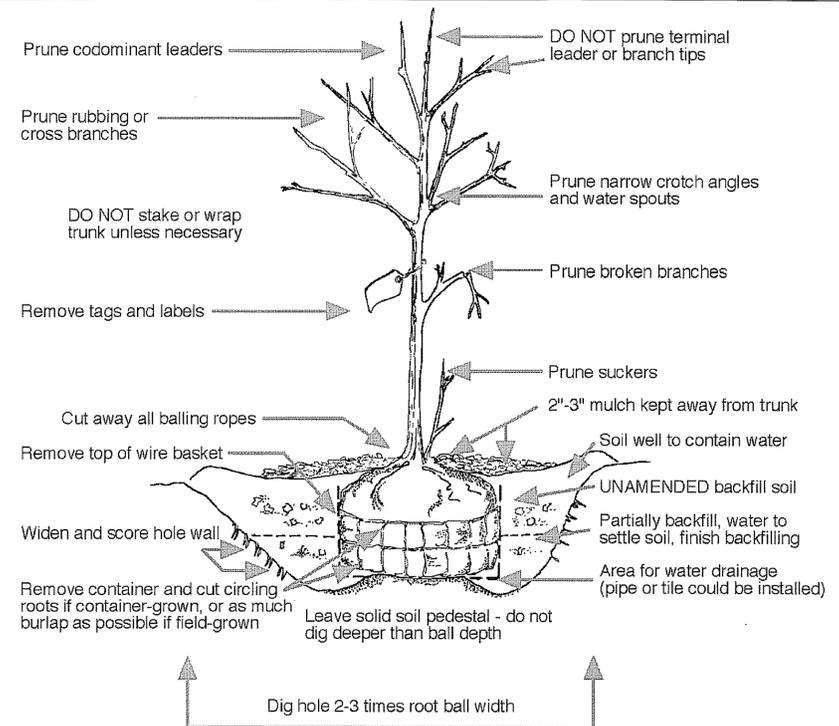


LANDSCAPE BUFFER WAIVER:
THE SITE IS LOCATED TO THE INTERIOR OF A HEAVILY WOODED PROPERTY. A MODIFICATION TO THE STANDARD LANDSCAPE BUFFER REQUIREMENTS IS BEING REQUESTED.

BARRIER WAIVER REQUEST:
A WAIVER OF BARRIER REQUIREMENTS IS BEING REQUESTED FOR THE AREAS ALONG ALL PROPERTY LINES.

LANDSCAPING PLAN
SCALE: 1"=20'-0"
1 Z06 TRUE NORTH

PROPOSED 125' MONOPOLE WITH 4' LIGHTNING ROD
GRID: 11.898370 604
GRID: E 11811247 068
LATITUDE: 39°00'07.871"
LONGITUDE: -77°00'50.393"
ELEVATION: 441.0' AMSL AT BASE



TREE PLANTING DETAIL
SCALE: N.T.S.
2 Z06

GENERAL PLANTING NOTES:

- ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS SHALL BE CONTAINER-GROWN OR BALLED AND BURLAPPED.
- ALL TREES SHALL BE STRAIGHT TRUNKED, FULL HEADED.
- ALL PLANTS INCLUDED IN THE PLANT LIST AND NOTED ON THE LANDSCAPE PLAN ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AND FAIRFAX COUNTY URBAN FOREST MANAGEMENT DIVISION STAFF BEFORE, DURING AND AFTER CONSTRUCTION.
- ALL PLANTS AND PLANTING AREAS SHALL BE COMPLETELY MULCHED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZATION, ETC.) OF PLANTING AREAS AND LAWNS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER'S REPRESENTATIVE.
- THE OWNER'S REPRESENTATIVE WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
- ALL TREES AND SHRUBS SHALL BE PLANTED AS SPECIFIED IN THE LATEST EDITION OF THE "TREE AND SHRUB PLANTING GUIDELINES" PREPARED BY VIRGINIA COOPERATIVE EXTENSION, VPI&SU.
- ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- CONTRACTOR TO WATER AND WARRANTY TREES FOR 1 YEAR.
- TO MITIGATE SOIL COMPACTION PRIOR TO PLANTING, THE PLANTING AREA SHALL BE TILLED TO A DEPTH OF ONE FOOT (1") TO LOOSEN SOIL AND AMENDED OVER THE ENTIRE AREA AS NEED BASED ON SOIL SAMPLES. SOIL WITHIN INDIVIDUAL PLANTING HOLES SHALL NOT BE AMENDED.

PLANT LIST

PLANTING TYPE	TYPE IDENTITY #	QTY.	COMMON NAME	SPECIES NAME	SIZE AT PLANTING	10 YEAR TREE CANOPY AREA (SQ. FT.)
EVERGREEN	EV1	4	NORWAY SPRUCE	PICEA ABIES	8 - 10 FT. TALL	150
EVERGREEN	EV2	3	SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	8 - 10 FT. TALL	200
DECIDUOUS	DC1	2	RIVER BIRCH	BETULA NIGRA	2 IN. CAL.	150
DECIDUOUS	DC2	4	EASTERN REDBUD	CERCIS CANADENSIS	2 IN. CAL.	100
SHRUB	S1	5	ARROWOOD VIBURNUM	VIBURNUM DENTATUM	24 - 36 IN. HT/SPRD	
SHRUB	S2	4	NANNYBERRY	VIBURNUM LENTAGO	24 - 36 IN. HT/SPRD	
SHRUB	S3	4	BAYBERRY	MYRICA PENNSYLVANICA	24 - 36 IN. HT/SPRD	

Application No. SE2009-0209 Staff: DeManche
APPROVED [Signature] SP PLAN
SEE DEV CONDS DATED 12/10/09
Date of CS (BZA) approval 1/12/10
Sheet 7 of 7

entrex
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2	06/19/09	COUNTY COMMENTS	W.A.	C.G.	C.G.

SCALE: AS SHOWN DESIGNED: W.A. DRAWN: C.G.



LANDSCAPING PLAN

JOB NO.	DRAWING NUMBER
24782-432	Z06