



County of Fairfax, Virginia

May 12, 2010

STAFF REPORT

SPECIAL PERMIT APPLICATION NO. SP 2010-PR-017

PROVIDENCE DISTRICT

APPLICANT: Suliman Mansour Alshuaibi

OWNERS: Suliman Mansour Alshuaibi
Fawzeyah Mohmed Almahmoud

STREET ADDRESS: 8229 Madrillon Estates Drive

SUBDIVISION: Madrillon Estates

TAX MAP REFERENCE: 39-1 ((36)) 15

LOT SIZE: 8,543 square feet

ZONING DISTRICT: R-4

ZONING ORDINANCE PROVISION: 8-914, 8-922 and 8-923

SPECIAL PERMIT PROPOSAL: To permit reduction to minimum yard requirements based on error in building location to permit addition to remain 18.2 feet from a front lot line, to permit reduction of certain yard requirements to permit construction of addition 24.2 feet from a front lot line and to permit fence greater than 4.0 feet in height to remain in a front yard.

STAFF RECOMMENDATION: Staff recommends approval of SP 2010-PR-017 for a sunroom addition subject to the proposed development conditions contained in Appendix 1.

O:\dhedr\Special Permits\5-19) SP 2010-PR-017 Alshuaibi\SP 2010-PR-017 Alshuaibi staff report.doc
Deborah Hedrick

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals. A copy of the BZA's Resolution setting forth this decision will be mailed within five (5) days after the decision becomes final.

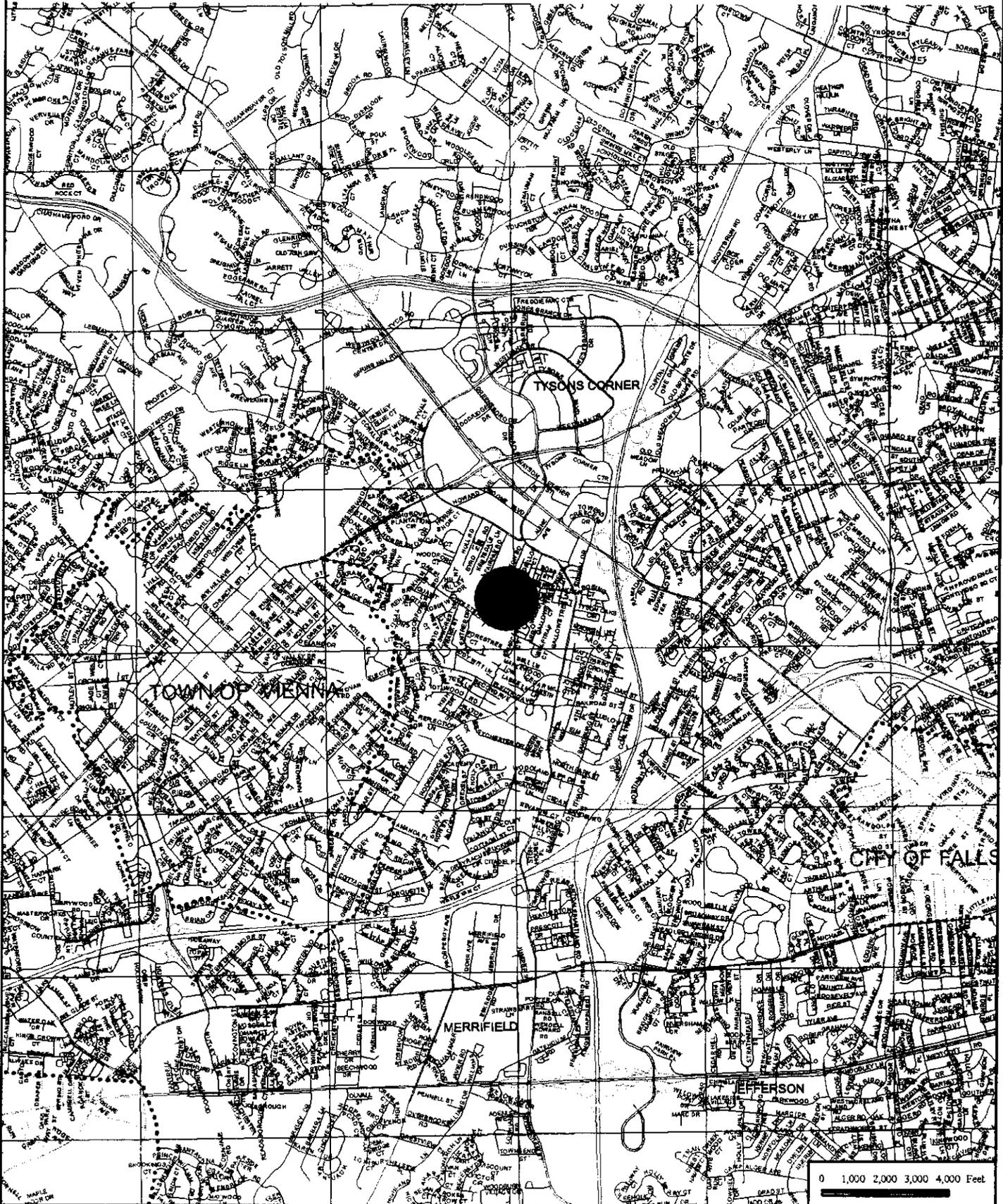
The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

For additional information, call Zoning Evaluation Division, Department of Planning and Zoning at 703-324-1280, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035. **Board of Zoning Appeals' meetings are held in the Board Room, Ground Level, Government Center Building, 12000 Government Center Parkway, Fairfax, Virginia 22035-5505.**

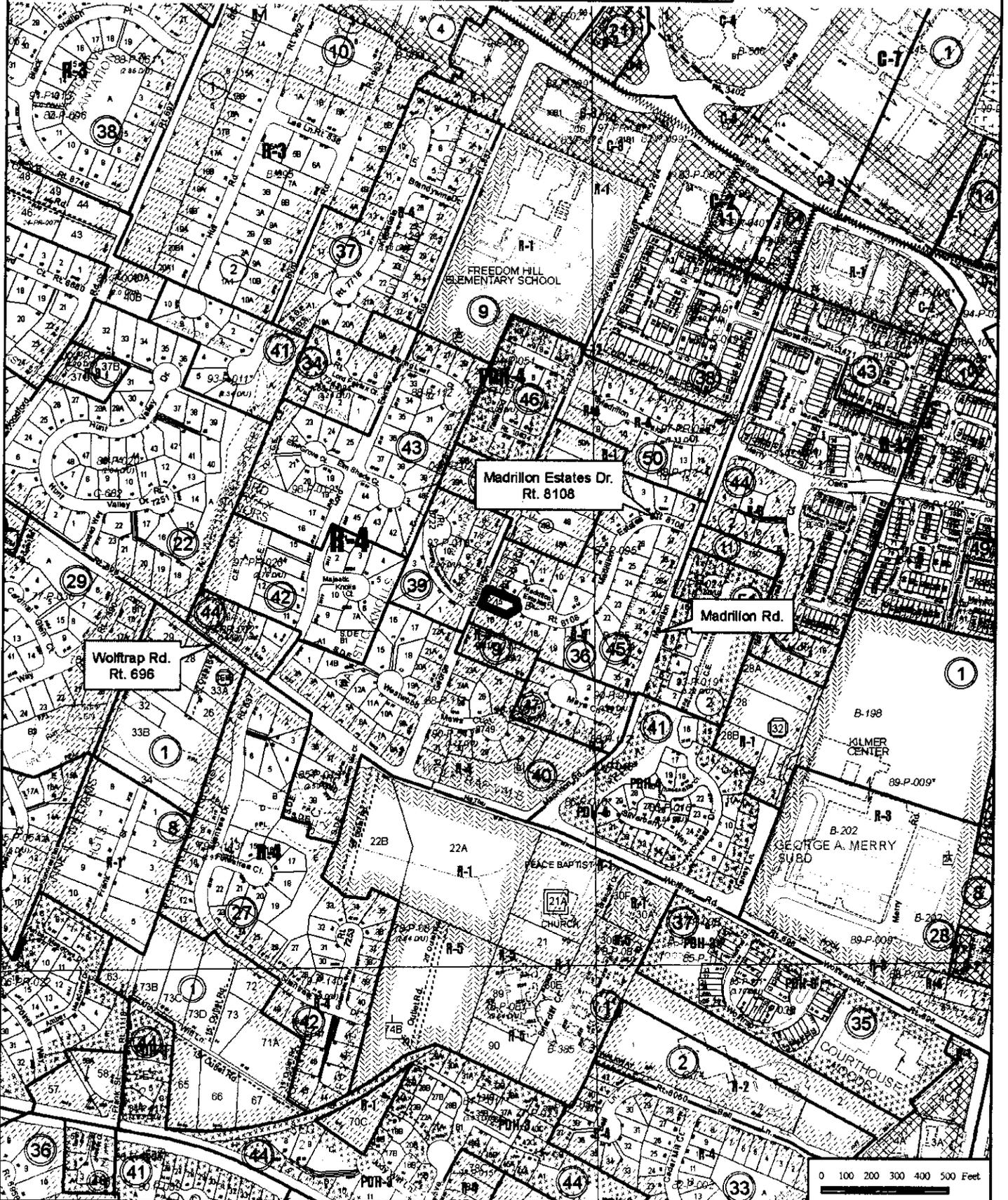


Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 7 days advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

Special Permit
SP 2010-PR-017
SULIMAN ALSHUAIBI

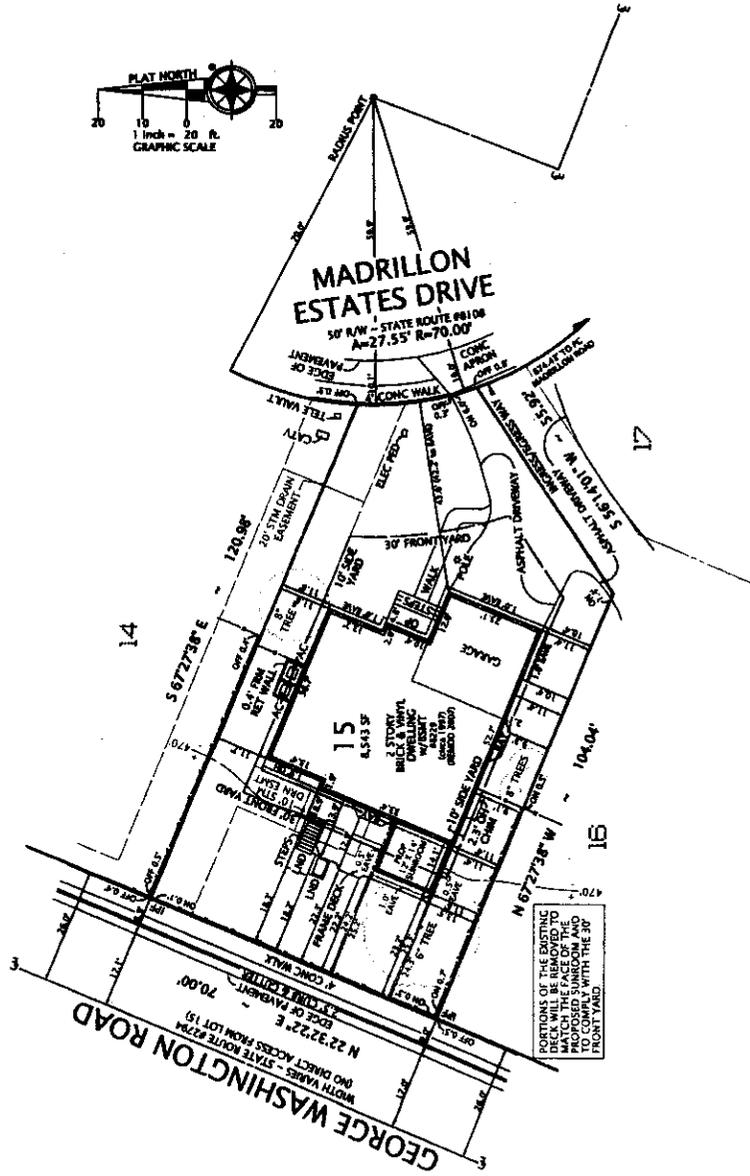
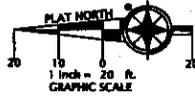


Special Permit
SP 2010-PR-017
SULIMAN ALSHUAIBI



NOTES

- TAX MAP: 39-1-36-0015
- ZONE: R-4 (RESIDENTIAL 4 DU/AQ)
- LOT AREA: 8,543 SF (0.1961 ACRE)
- REQUIRED YARDS:
 - FRONT: 30.0 FEET
 - SIDE: 10.0 FEET
 - FRONT: 30.0 FEET
- HEIGHTS:
 - EX DWELLING: 32.0 FEET
 - PROPOSED SUNROOM: 17.0 FEET
 - (9.0' ABOVE DECK)
 - DECK: 08.0 FEET
 - DECK RAIL: 11.1 FEET
 - DECK SCREEN: 15.4 FEET
- THIS PROPERTY IS SERVED BY PUBLIC WATER AND SEWER.
- THERE IS NO OBSERVABLE EVIDENCE OF GRAVE SITES OR BURIAL GROUNDS ON THIS PROPERTY.
- ALL IMPROVEMENTS SHOWN ON THIS PLAT ARE EXISTING UNLESS DENOTED AS PROPOSED.
- THE SURVEYOR IS NOT AWARE OF ANY UTILITY EASEMENTS 25 FEET IN WIDTH OR GREATER AFFECTING THIS PROPERTY.
- TOPOGRAPHY DELINEATED HEREON WAS TAKEN FROM AVAILABLE RECORDS, IS SHOWN AT 5' INTERVALS, AND IS AERIAL.
- THERE ARE NO FLOODPLAINS OR RESOURCE PROTECTION AREAS ON THIS PROPERTY. THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 515525 0100 D REVISED DATE MARCH 05, 1990.
- AREAS:
 - BASEMENT: 1,452 SF
 - FIRST FLOOR: 2,130 SF
 - SECOND FLOOR: 2,130 SF
 - EX GROSS FLOOR AREA: 5,712 SF
- FLOOR AREA RATIO: EX GFA (5712) / LOT AREA (8543) = 0.67
- PROP SUNROOM = 168 SF / EX GFA (5712) = 0.03
- PROP GFA = EX GFA (5712) + PROP SUNROOM (168) = 5,880 SF.
- PROP FLOOR AREA RATIO = PROP GFA (5,880) / LOT AREA (8543) = 0.69



PORTIONS OF THE EXISTING HOUSE AND PORCH TO REMAIN. MATCH THE FACE OF THE PROPOSED SUNROOM AND PORCH WITH THE 30' FRONT YARD.

PLAT
SHOWING THE IMPROVEMENTS ON
LOT 15

MADRILLON ESTATES
DEED BOOK 4703, PAGE 1807

FAIRFAX COUNTY, VIRGINIA
PROVIDENCE DISTRICT

SCALE: 1" = 20'
DECEMBER 18, 2009
MARCH 01, 2010 (REV. YARDS)

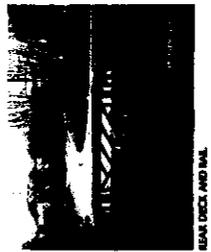
I HEREBY CERTIFY THAT THE PORTIONS OF ALL THE LOTS SHOWN ON THIS PLAT ARE CORRECTLY DIMENSIONED BY ALL THE NEIGHBORING OWNERS AND UNLESS SHOWN OTHERWISE ARE TRUE AND CORRECT DIMENSIONS AS OF THIS DATE.

THIS PLAT IS SUBJECT TO ALL RESTRICTIONS OF RECORD. A TITLE REPORT HAS NOT BEEN OBTAINED. NO CORNER MARKERS SET.



CASE NAME: ALHAMI AMERITECH CONSTRUCTION

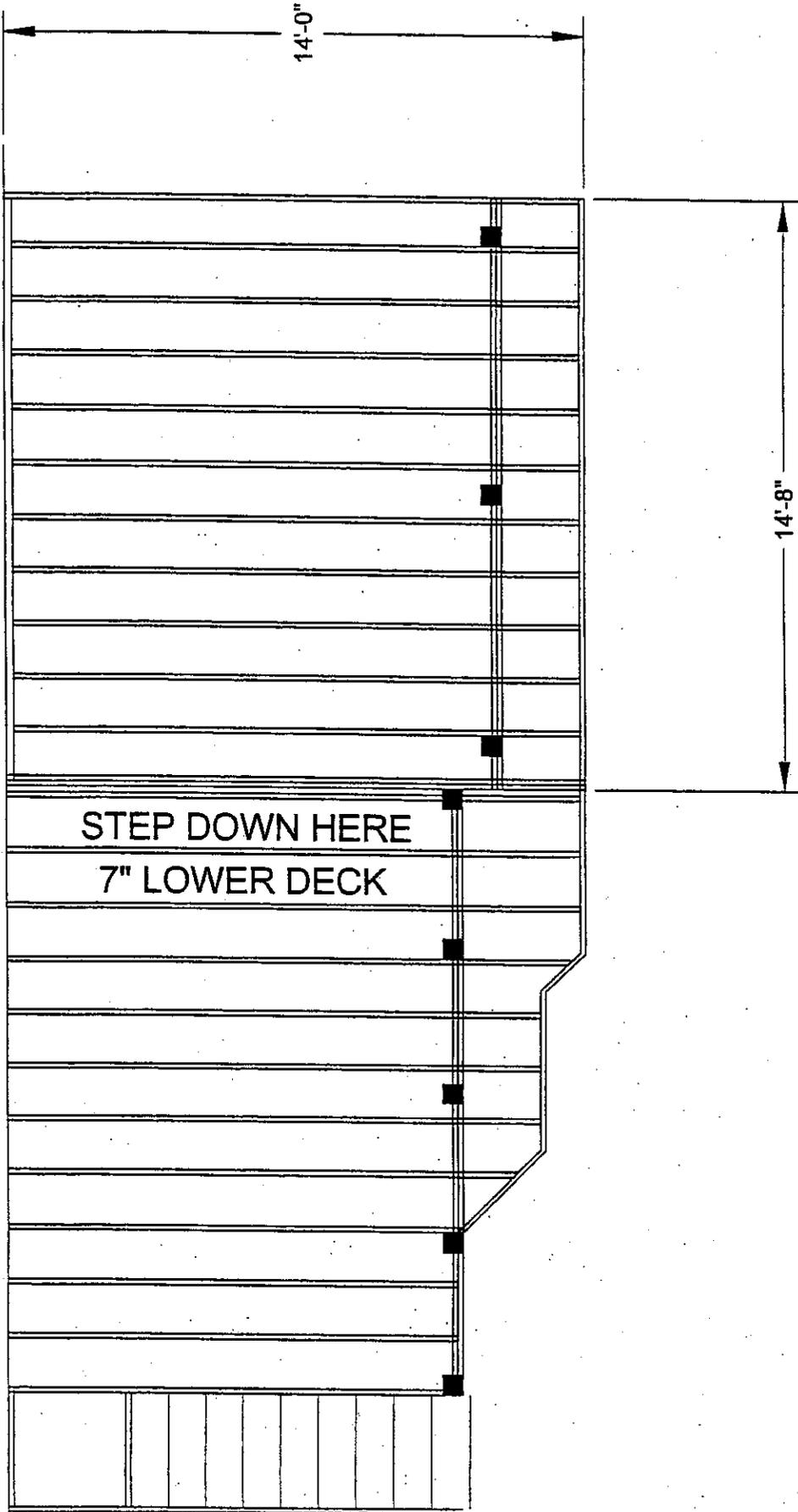
DOMINION SURVEYING, INC.
8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
TEL: 703-794-4112



Suliman Al Shualbi
8229 Madritlon Estate Dr.
Vienna, Va. 22182

Designer: Ron Swindoll
Sunroom Install Manager
Ameritech Construction Corp.
Cell # (703) 987-8706

HOUSE

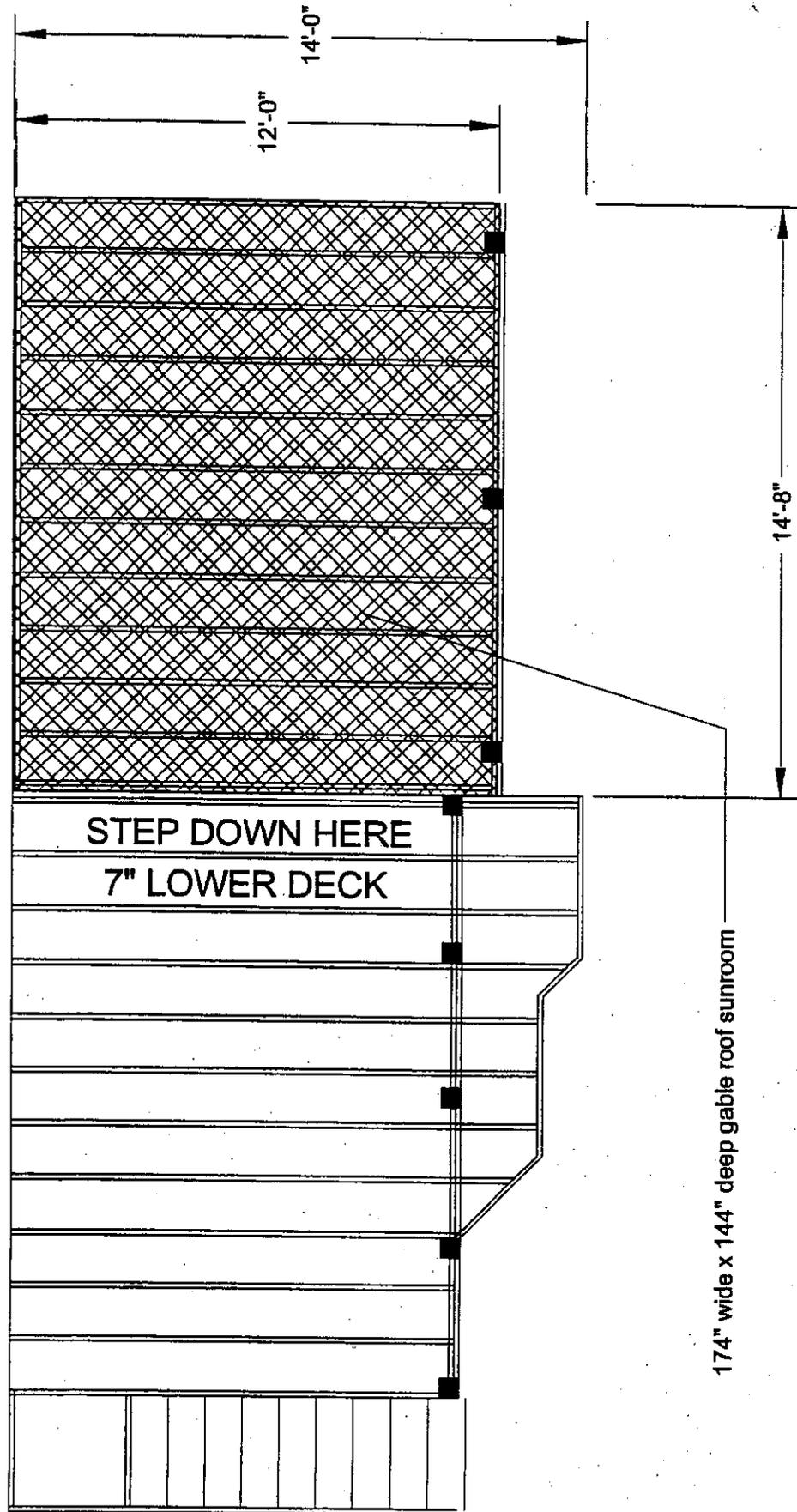


EXISTING DECK

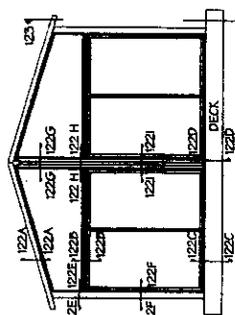
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HOUSE



TYPICAL FRONT WALL CONNECTION DETAILS

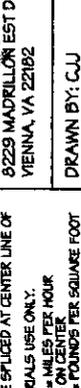
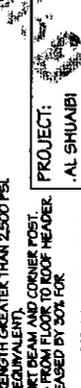
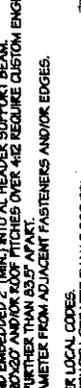
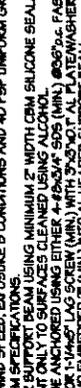
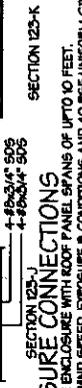
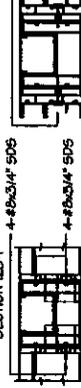
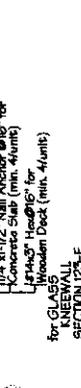
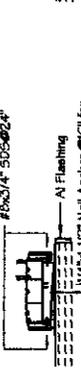
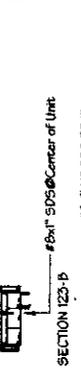
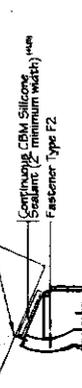
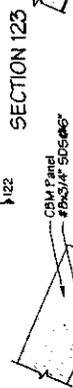
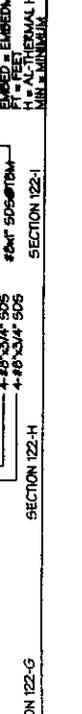
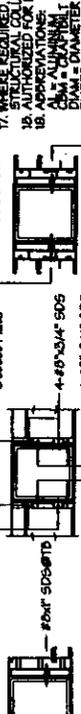
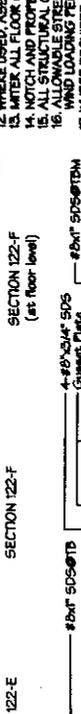
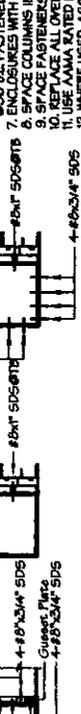
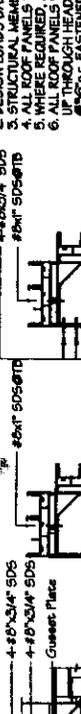
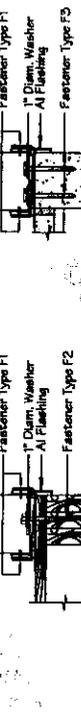
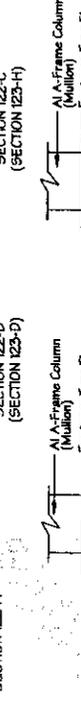
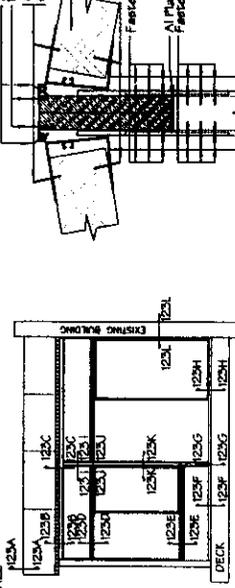


90 MPH WIND TABLE EXPOSURE B

Fastener Qty/Spacing	Room Size
123-0	9' x 9'
123-1	9' x 12'
123-2	12' x 12'
123-3	12' x 15'
123-4	15' x 15'
123-5	15' x 18'
123-6	18' x 18'
123-7	18' x 24'
123-8	24' x 24'
123-9	24' x 30'
123-10	30' x 30'

* TOTAL NUMBER OF FASTENERS

TYPICAL SIDE WALL CONNECTION DETAILS



NOTES FOR GABLE ENCLOSURE CONNECTIONS

1. TYPICAL CONNECTION DETAILS FOR VINYL GABLE ENCLOSURE WITH 200# PANEL STAYS OF UP TO 10 FEET.
2. DESIGN LOADS BASED ON ASCE 7-02, 90 MPH WIND SPEED, EXPOSURE B CONDITIONS AND 40 PSF UNIFORM GROUND SNOW LOAD.
3. STRUCTURAL MEMBERS SHALL CONFORM TO CM SPECIFICATIONS.
4. ALL ROOF PANELS TO BE ANCHORED TO HEADER SUPPORT BEAM USING MINIMUM 2" WIDTH CBM SILICONE SEALANT.
5. WHERE REQUIRED, APPLY CBM SILICONE SEALANT ONLY TO SURFACES CLEANED USING ALCOHOL.
6. ALL ROOF PANELS WITH SPANS UP TO 10 FT TO BE ANCHORED USING EITHER 4-#8x3/4" S05 (MIN.) @24" o.c. FASTENED THROUGH THE HEADER BEAM AND INTO EACH 1" OF 1-1/2" LAG SCREW (MIN.) WITH 3/8" x 3" o.c. AL PLATE WASHERS.
7. ENCLOSURES WITH DIMENSIONS LARGER THAN 20' x 20' MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER.
8. SPACE COLUMNS IN LOAD-BEARING WALLS NO FURTHER THAN 33" o.c. APART.
9. SPACE FASTENERS AT LEAST 2 x FASTENER DIAMETER FROM ADJACENT FASTENERS AND/OR EDGES.
10. REINFORCE ALL OVERDRIVEN FASTENERS.
11. USE ANMA RATED PENETRATION PRODUCTS PER LOCAL CODES.
12. WHERE USED, ASSUME CONCRETE TO HAVE STRENGTH GREATER THAN 2500 PSI.
13. WETTER FLOOR CHANNELS AT CORNERS (OR EQUIVALENT).
14. NOT TO BE USED FOR CORNER POST.
15. ALL STRUCTURAL CONNECTIONS TO BE CONSTRUCTED PER LOCAL CODE FOR JOINTS.
16. ALLOW LOADS PER AL ASSOCIATION SPECS.
17. WHERE REQUIRED, HEADER BEAM MAY ONLY BE SPLICED AT CENTER LINE OF ALLOWED JOINTS.
18. ALLOWED JOINTS:

MFG. = WELLS FERGUSON
 PSF = POUNDS PER SQUARE FOOT
 QTY = QUANTITY
 S05 = SELF-DRILLING SCREW
 TB = TOP OF BOTTOM
 MIN. = MINIMUM

VINYL GABLE ENCLOSURE CONNECTION DETAILS 90 MPH - EXPOSURE B

CONTRACTOR: AMERITECH
 9708 GUNSTON COVE RD
 LORTON, VA 22079

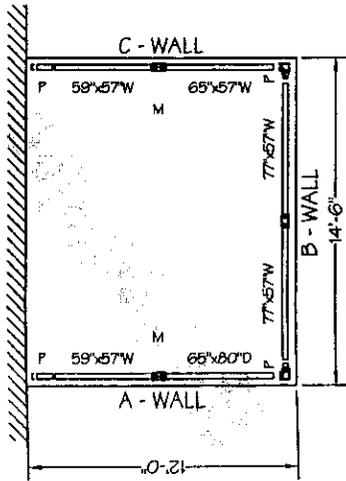
DWG NO.: A1 Shuabir-em40-cm-90B-v
 DATE: 6/10/2009
 REV. DATE: 6/16/2009

PROJECT: .AL SHUABIR
 8229 MADRILLON EST DK
 VIENNA, VA 22182

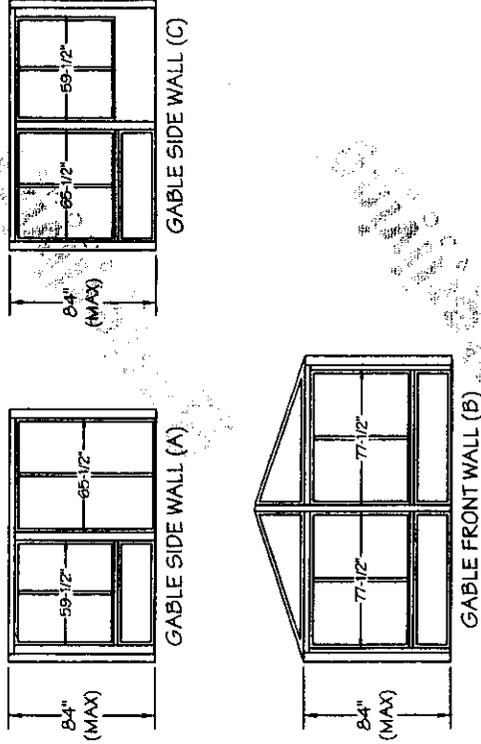
DRAWN BY: C.U
 SCALE: NTS

LAYOUT PLANS

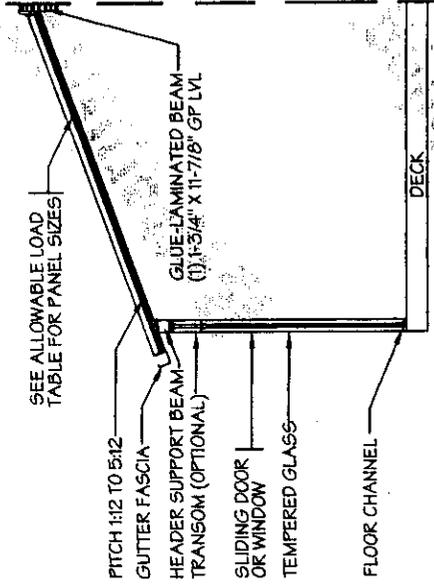
EXISTING BUILDING



WALL SECTIONS



ASSEMBLY DETAILS



TYPICAL GABLE SECTION
NOT TO SCALE

ALLOWABLE LIVE LOAD TABLE FOR 8 FT. PANEL (WITH 7 FT. OR LESS SPAN)

20 PSF	25 PSF	30 PSF	35 PSF	40 PSF	45 PSF	50 PSF
3"HC						
3"EPS+H						

NOTES FOR GABLE CONSTRUCTION

- ALLOWABLE LOADS ARE BASED UPON THE LESSOR OF THE ULTIMATE LOADS OR THE LOAD AT SPANIZED.
- HC/EPS REFERS TO CMBS STRUCTURAL PANELS WITH ALUMINUM SKINS BONDED TO HONEYCOMB/POLYSTYRENE CORES (3", 4" AND 6" IN THICKNESS). ADJACENT PANELS ARE CONNECTED USING VINYL CLEATS OR H₆.
- 90 MPH DESIGN WIND SPEED, EXPOSURE D.
- DESIGN ROOF PANEL DEAD LOAD = 5 PSF.
- DOOR AND WINDOW LOCATIONS/SIZES ARE INTERCHANGEABLE PER MFG'S SPECS.
- ROOM PROJECTION (A OR C WALL WIDTH) MAY VARY PER DOOR/WINDOW LAYOUT & RIDGE BEAM/COLUMN DESIGN (UP TO 16 FT).
- PANELS MAY ONLY BE USED IN ROOFS AND WALLS OF ONE STORY BUILDINGS OF CONSTRUCTION: TYPE VB (FOR IBC).
- PANELS MAY ONLY BE USED IN ROOFS WHERE CLASS B OR CLASS II INTERIOR FINISHES ARE PERMITTED BY CODE.
- HORIZONTAL JOINTS BETWEEN THE ENDS OF PANELS ARE NOT PERMITTED.
- CONTRACTOR TO PROVIDE FALL PROTECTION PER LOCAL CODES FOR ALL ELEVATED SUNROOMS.
- STRUCTURAL FRAMING AND CONNECTIONS TO BE INSTALLED PER CBM SPECS.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND AS NECESSARY REPAIR AND/OR REPLACE ALL MATERIALS AS REQUIRED TO RENDER THEM STRUCTURALLY SOUND AND COMPLETE.
- AUTHORIZED FOR BETTERLIVING DEALER/MATERIALS USE ONLY.

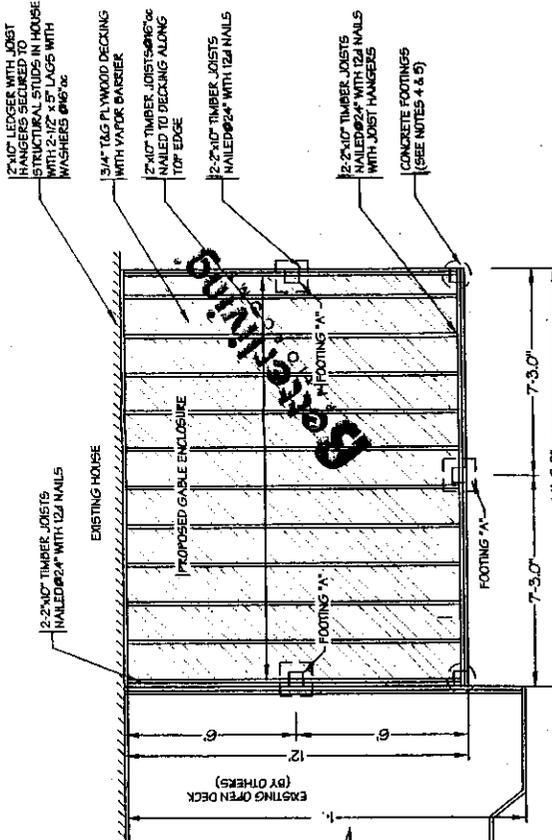
ABBREVIATIONS:

- D = DOOR
- M = MULLION
- W = WINDOW
- HC = HONEYCOMB PANELS
- EPS = POLYSTYRENE PANELS
- H = THERMALLY-BROKEN ALUMINUM H-STIFFENER
- P = PANEL
- MPH = MILES PER HOUR

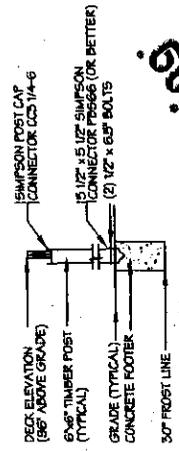
- CBM = CRAFT-BUILT MANUFACTURING
- PSF = POUNDS / SQ. FOOT
- FT = FEET
- BC = BUILDING CODE
- IBC = INTERNATIONAL BC
- UBC = UNIFORM BC
- NBC = NATIONAL BC
- SBC = STANDARD BC
- MFG = MANUFACTURER
- SPECS = SPECIFICATIONS
- MAX = MAXIMUM

PROJECT: AL SHUAIBI 8229 MADRILLON ESTATE DR WIENNA, VA 22182	CONTRACTOR: AMERITECH LORTON, VA 22079
DRAWN BY: C.JJ	DWG NO.: Al Shuaibi-Gbl-Encl-14x14-y
SCALE: 1" = 75"	DATE: 6/10/2009

12'-0" x 14'-6"
VINYL
GABLE ENCLOSURE
GENERAL LAYOUT



DECK FRAMING PLAN



TYPICAL POST DETAIL

- NOTES:**
- TIMBER DESIGN STRESSES: ASSUMES:
SPECIES: SPAN FIVE NO. 2
DESIGN STRESS: F_b = 1,100 PSI
COMPR. STRESS: F_c = 1,500 PSI
COMPR. PARALLEL TO GRAIN: F_c = 1,500 PSI
SHEAR PARALLEL TO GRAIN: F_v = 1,000 PSI
MODULUS OF ELASTICITY: E = 1,600,000 PSI
EXTERIOR LUMBER SHALL BE PRESERVATIVELY TREATED.
*PUBLISHED IN 2001 NDS "DESIGN VALUES FOR WOOD CONSTRUCTION"
 - DESIGN LOADS:
*ATO (DECK LIVE LOAD) = 40 PSF, DEAD LOAD = 10 PSF
*ATO (ROOF, GROUND SNOW LOAD) = 30 PSF, DEAD LOAD = 5 PSF
*ATO (DECK) = 40 PSF, DEAD LOAD = 10 PSF
*AUTHORIZED FOR BETTER LIVING DEALER USE ONLY.
 - REQUIRED MINIMUM FOOTING DIAMETERS:
SOIL BEARING OF 2,000 PSF, SANDY SOIL PER TABLE 1904.2, IRC 2006
FOOTING "A" = 10" x 10" SQUARE
OTHER FOOTINGS = 16" DIAMETER
 - FOOTINGS SHALL EXTEND BELOW FROST LINE.
CONCRETE IS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
 - ALL ELEVATED DECKS, THE CONTRACTOR TO PROVIDE NECESSARY KNEE BRACING AT ALL VERTICAL POSTS TO RESIST LATERAL LOADS AND FALL PROTECTION PER LOCAL CODES.
 - CONTRACTOR TO PROVIDE MISDPAN BLOCKING FOR ALL JOISTS 6 FT OR GREATER IN LENGTH.
 - DRAWING SHOWS MINIMUM STRUCTURAL REQUIREMENTS FOR DESIGN VALUES SHOWN.
 - CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND AS NECESSARY REPAIR AND/OR REPLACE ALL MATERIALS AS REQUIRED TO RENDER THEM STRUCTURALLY SOUND AND COMPLETE.

PROJECT:		DRAWN BY: RC	
AL SHUAIBI		8229 MADRILLON EST DR	
VIENNA, VA 22182		VIENNA, VA 22182	
CONTRACTOR:		SCALE: 1/4" = 1'-0"	
AMERTECH		DATE: 6/07/2009	
9700 WINSTON COVE RD		REV. DATE: 5/6/2009	
LORTON, VA 22079			

12'-0" X 14'-0" DECK
FRAMING PLAN
FOR GABLE ENCLOSURE

NOV 09 2009
Zhang
Date
Reference

Better Living
BY THE WAY

Better Living
BY THE WAY

Better Living
BY THE WAY

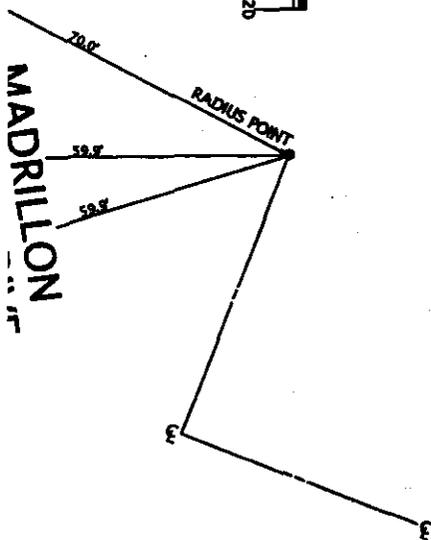
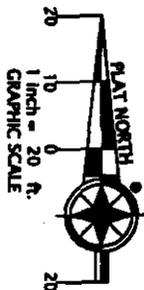
NOTES

1. TAX MAP: 39-1-36-0015
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DECK RAIL	=	11.1 FEET
DECK SCREEN	=	15.4 FEET
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PROP FLOOR AREA RATIO = PROP GFA (5,880) / LOT AREA (8543) = 0.69

PLAT

SHOWING THE IMPROVEMENTS ON

LOT 15

MADRILLON ESTATES

(DEED BOOK 8703, PAGE 1907)

FAIRFAX COUNTY, VIRGINIA

PROVIDENCE DISTRICT

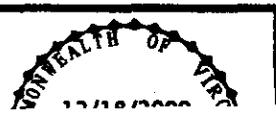
SCALE: 1" = 20'

DECEMBER 18, 2009

MARCH 01, 2010 (REV YARDS)



I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO



CASE NAME:
ALSHUARI

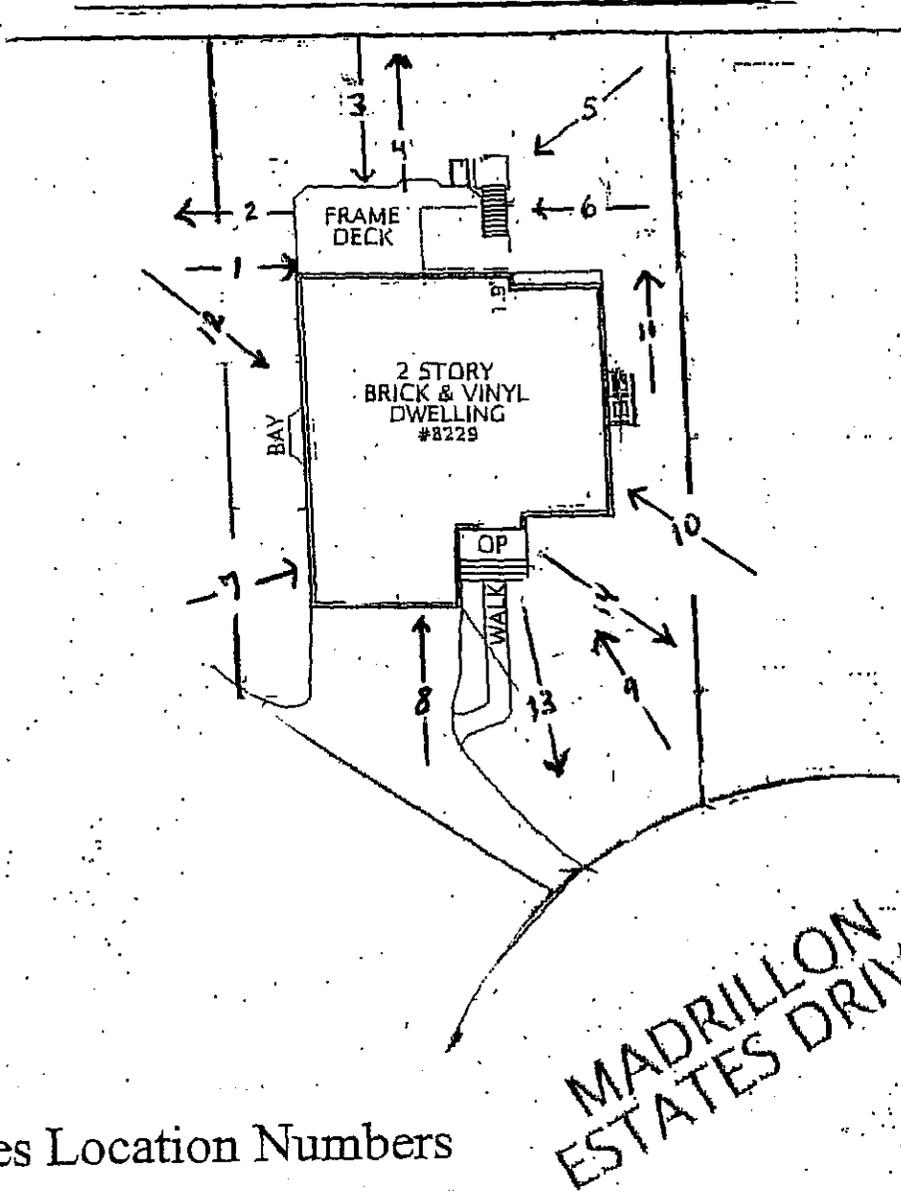
Photo key

RECEIVED
Department of Planning & Zoning

JAN 04 2010

Zoning Evaluation Division

GEORGE WASHINGTON
ROAD



Pictures Location Numbers

8229 Madrillon Estate Dr., Vienna, Va. 22182

NOV 03 2009

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Pic 2



Pic 1

Pic
3



Pic
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Pic 6



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Pic 13

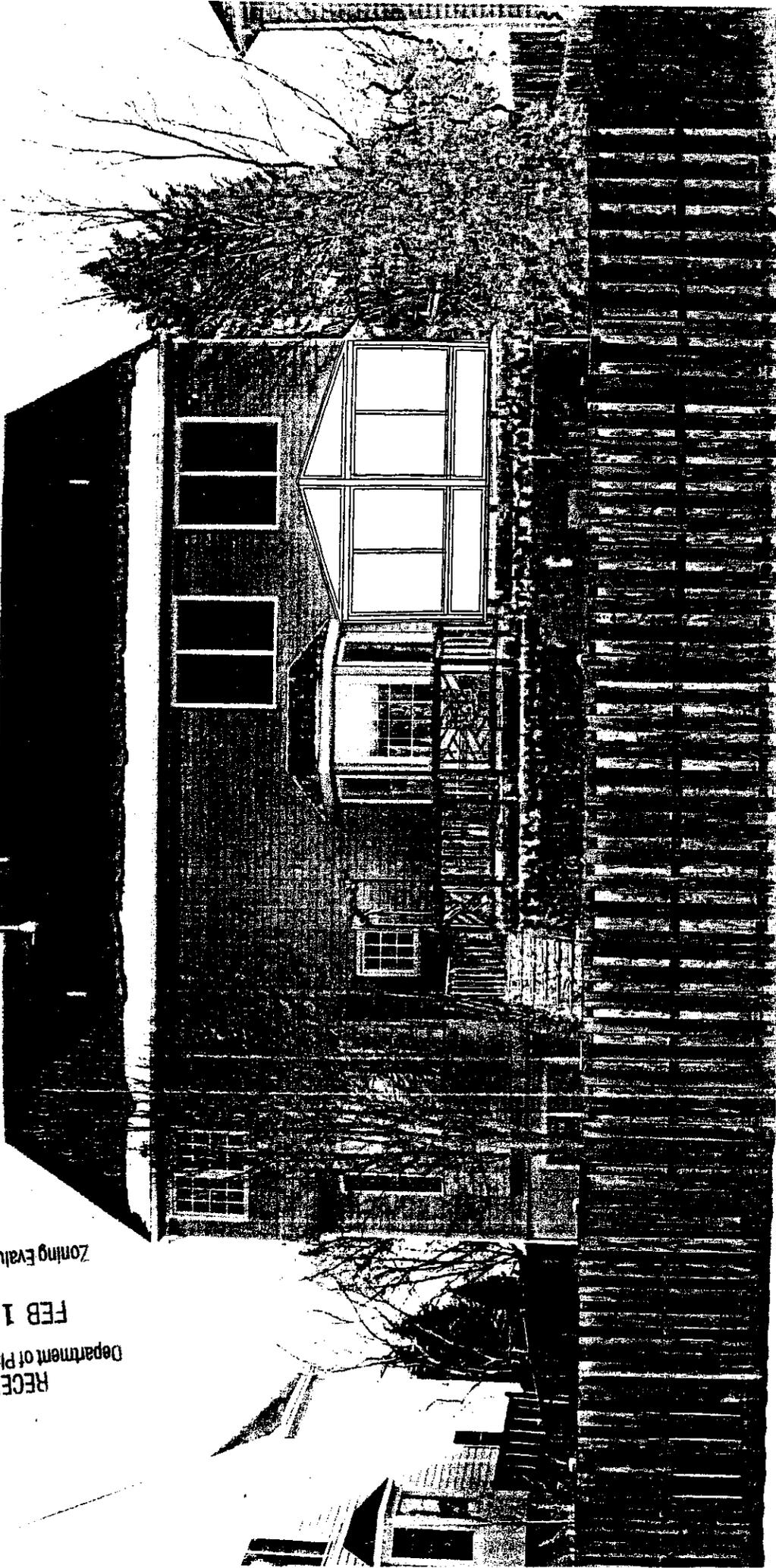


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Zoning Evaluation Division

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DESCRIPTION OF THE APPLICATION

The applicant is requesting three separate special permit requests. The first request is to permit reduction to minimum yard requirements based on error in building location to permit an addition (deck with lattice) to remain 18.2 feet from a front lot line of a through lot.

	Structure	Yard	Minimum Yard Required*	Proposed Location	Proposed Reduction	Percentage of Reduction Requested
Special Permit	Addition	Front	30.0 feet	18.2 feet	11.8 feet	39%

*Minimum yard requirement per Section 3-407

The second request is to permit reduction of certain yard requirements to permit construction of a sunroom addition to be located 24.2 feet from a front lot line of a through lot.

	Structure	Yard	Minimum Yard Required*	Proposed Location	Proposed Reduction	Percentage of Reduction Requested
Special Permit	Addition	Front	30.0 feet	24.2 feet	5.8 feet	19%

*Minimum yard requirement per Section 3-407

The third request is to permit an existing fence greater than 4.0 feet in height to remain in a front yard. The board-on-board wood privacy fence measures 6.0 feet in height and is located in the front yard facing George Washington Road, which serves as the applicant's rear yard on this through lot. The Zoning Ordinance currently permits fences 4.0 feet in height by-right; however, through a special permit, an applicant can request a fence in the front yard up to 6.0 feet in height. The front entrance of the dwelling faces Madrillon Estates Drive.

	Structure	Yard	Height Permitted By right	Maximum Height Requested	Modification Requested
Special Permit	Fence	Front	4.0 feet	6.0 feet	2.0 feet

EXISTING SITE DESCRIPTION

The site is currently zoned R-4 and contains a two-story single family detached dwelling with an attached deck with lattice, built in 1997. The lot consists of 8,543 square feet and is surrounded by single family detached homes on all lot lines. There is an existing storm sewer easement located along the entire northern side lot line. The lot is irregularly shaped and is accessed via an asphalt driveway on Madrillon Estates Drive. The yard is well manicured with low lying shrubs and mature trees. An existing 6.0 foot high wood fence is located along the side lot lines and along the front lot line facing George Washington Road.

CHARACTER OF THE AREA

	Zoning	Use
North	R-4	Single Family Detached Dwellings
East	R-4	Single Family Detached Dwellings
South	R-4	Single Family Detached Dwellings
West	R-4	Single Family Detached Dwellings

BACKGROUND

The lot is considered a through lot with two public streets, Madrillon Estates Drive and George Washington Road. The applicant was issued a building permit to permit construction of the proposed sunroom addition; however, it was rescinded by the Zoning Administration Division due to the front yard determination on George Washington Road. The Zoning Administration determination and building permit history is attached as Appendix 4.

As shown on the special permit plat, there is a 10 foot storm drain easement shown along a portion of the rear yard at the back of the dwelling. As noted in a memorandum dated March 24, 2010, attached as Appendix 5, from the Environmental and Site Review Division, the existing deck, stairs and bay window encroach into a portion of the storm drain easement. In their review of the application, they have determined that the easement on this property was vacated and that the plat for the vacation was recorded on December 17, 1996. The applicant's engineer was unable to verify this information and therefore the depiction is still shown on the plat. However, given that the as-built drawings for the subdivision indicate that the inlet and pipe were not constructed and were vacated, notwithstanding what is shown on the plat, staff is certain that the easement has been vacated and therefore these structures can be permitted to remain.

Records indicate there were no other similar applications for properties in the vicinity of the application site heard by the BZA.

ANALYSIS

- **Title of Plat:** Plat, Showing the Improvements on Lot 15, Madrillon Estates
- **Prepared by:** Dominion Surveyors Inc., dated December 18, 2009 as revised through April 27, 2010
- **Building Permits required:** Yes, and were obtained
- **Error Made by:** The previous homeowner

Proposal:

The applicant proposes to construct a sunroom addition to be located 25.2 feet with eave 24.2 feet from a front lot line. The applicant proposes to replace a portion of existing decking with the proposed sunroom addition, which will consist of 168 square feet. The applicant also proposes to retain the existing deck with lattice above and below to remain 18.2 feet from the front lot line, as well as the existing 6.0 foot high wood privacy fence.

ZONING ORDINANCE REQUIREMENTS

Applicable bulk regulation(s) and additional location regulations are set forth on Page 1.

The application must meet all of the following standards, copies of which are attached as Appendix 6:

- Sect. 8-006 General Special Permit Standards
- Sect. 8-903 Group 9 Standards
- Sect. 8-922 Provisions for Reduction of Certain Yard Requirements

Sect. 8-006 General Special Permit Standards

Staff believes that the application for the addition meets all of the 8 General Special Permit Standards. Of particular note regarding this application are General Standards 3 and 5.

General Standard 3 requires that the proposed use be harmonious with and not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. *Staff believes by observation of the neighborhood through submitted photographs that the construction of the sunroom addition will not adversely affect the use or development of neighboring properties since the structure will be located in place of an existing deck which was constructed by building permit in 1998. Although the lots are relatively small, they contain well manicured lawns and ample mature vegetation. Therefore, staff does not believe the addition would adversely affect the use or development of neighboring properties and this standard has been met.*

General Standard 5 requires that in addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13. *The proposed addition will consist of a 168 square foot sunroom where there currently exists a deck along the rear of the dwelling. No vegetation is proposed to be removed to accommodate the construction. There is existing mature vegetation as well as a 6 foot high wood fence in the rear yard. Directly adjacent to the rear yard is a street rather than another dwelling. Therefore, staff believes no additional landscaping or screening would be required and this standard has been met.*

Sect. 8-922 Provisions for Reduction of Certain Yard Requirements

This special permit application must satisfy all of the provisions contained in Sect. 8-922, Provisions for Reduction of Certain Yard Requirements. Standards 1, 2, 3, 11 and 12 relate to submission requirements and were satisfied at the time of submission. Standard 5 relates to accessory structures, which does not apply to this application and Standard 10 allows the BZA to impose development conditions. Staff believes that the application has met all of the remaining standards, specifically Standards 4, 6, 7, 8, and 9.

Standard 4 states that the resulting gross floor area of an addition to an existing principal structure may be up to 150 percent of the total gross floor area of the principal structure that existed at the time of the first yard reduction request. In such instance, if a portion of the principal structure is to be removed; no more than fifty (50) percent of the gross floor area of the existing principal structure at the time of the first yard reduction shall be removed. *The existing dwelling is 5,430 square feet in size. Therefore 150% of the total gross floor area could result in an addition up to 8,145 square feet in size for a possible total square footage at build out of 13,575. The proposed sunroom addition is 168 square feet, for a total square footage of the house with the addition of 5,598 square feet. Therefore the application meets this provision.*

Standard 6 states that the BZA shall determine that the proposed development will be in character with the existing on-site development in terms of the location, height, bulk and scale of the existing structure(s) on the lot. *The elevation drawings and pictures submitted indicate that the materials, size and scale of the proposed sunroom addition will be compatible with the architecture of the existing dwelling on the lot. The addition will be placed on a portion of the footprint of an existing deck and is proposed to be one*

story in height, constructed on the second level of the house (17.0 feet total in height – 9.0 feet in height from the floor of the deck). The existing dwelling is 32.0 feet in height; therefore, the proposed sunroom addition will be in character with existing on-site development. Staff believes that the application meets this provision.

Standard 7 states that the BZA shall determine that the proposed development is harmonious with the surrounding off-site uses and structures in terms of location, height, bulk and scale of surrounding structures, topography, existing vegetation and the preservation of significant trees as determined by the Director. The applicant proposes to construct the sunroom addition on a portion of the same footprint of an existing deck. There is ample mature vegetation located both on and off-site, consisting of mature trees and shrubs. No vegetation is proposed to be removed with the new construction and the existing 6 foot high wood fence enclosing the entire side and what the applicant uses as the rear yard, along George Washington Road, is proposed to remain. Staff believes the addition will be harmonious with surrounding off-site uses and meets this provision.

Standard 8 states that the BZA shall determine that the proposed development shall not adversely impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air, safety, erosion, and stormwater runoff. Staff believes that the application meets the erosion and stormwater runoff portion of the standards since DPWES has indicated that there are no drainage complaints on file related to this property. Staff believes that the addition of a sunroom, in the same footprint of the existing deck, can serve to reduce noise by replacing a portion of an open deck, and will not increase runoff or erosion. Additionally, the area under the deck is mostly impervious material. Staff believes that the application meets this provision.

Standard 9 states that the BZA shall determine that the proposed reduction represents the minimum amount of reduction necessary to accommodate the proposed structure on the lot. Specific factors to be considered include, but are not limited to, the layout of the existing structure; availability of alternate locations for the addition; orientation of the structure(s) on the lot; shape of the lot and the associated yard designations on the lot; environmental characteristics of the site, including presence of steep slopes, floodplains and/or Resource Protection Areas; preservation of existing vegetation and significant trees as determined by the Director; location of a well and/or septic field; location of easements; and/or preservation of historic resources. The request to construct a sunroom addition, which will replace a portion of an existing wood deck, is the most logical location given that no additional impervious surfaces will be created to accommodate the addition. The irregularly shaped lot, with an existing storm sewer easement located along the entire northern side lot line, and the determination of having two front yards, limits the use of the property. Given that no existing vegetation is proposed to be removed, and the addition will replace a portion of an existing structure on the site, staff believes the addition can in fact lessen the overall noise impact from the property and believes the application meets this provision. Other issues of well, floodplains and/or Resource Protection Areas and preservation are not applicable to this site.

CONCLUSION

Staff believes that the request is in conformance with the applicable Zoning Ordinance provisions with the implementation of the Proposed Development Conditions contained in Appendix 1 of the staff report.

RECOMMENDATION

Staff recommends approval of SP 2010-PR-017 for a sunroom addition subject to the Proposed Development Conditions contained in Appendix 1 of the staff report. It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

APPENDICES

1. Proposed Development Conditions
2. Applicant's Affidavit
3. Applicant's Statement of Justification
4. Zoning Administration Determination and Building Permit History
5. Environmental and Site Review Division Memorandum dated March 24, 2010
6. Applicable Zoning Ordinance Provisions

PROPOSED DEVELOPMENT CONDITIONS**SP 2010-PR-017****May 12, 2010**

If it is the intent of the Board of Zoning Appeals to approve SP 2010-PR-017 located at Tax Map 39-1 ((36)) 15 to permit reduction of certain yard requirements pursuant to Sections 8-922 of the Fairfax County Zoning Ordinance, staff recommends that the Board condition the approval by requiring conformance with the following development conditions.

1. These conditions shall be recorded by the applicant among the land records of Fairfax County for this lot prior to the issuance of a building permit. A certified copy of the recorded conditions shall be provided to the Zoning Permit Review Branch, Department of Planning and Zoning.
2. This special permit is approved for the location and size of a sunroom addition (168 square feet), addition (deck with lattice) and existing fence, as shown on the plat prepared by Dominion Surveyors Inc., dated December 18, 2009, as revised through April 27, 2010, as submitted with this application and is not transferable to other land.
3. Pursuant to Paragraph 4 of Section 8-922 of the Zoning Ordinance, the resulting gross floor area of an addition to the existing principal structure may be up to 150 percent of the gross floor area of the dwelling that existed at the time of the first expansion (5,430 square feet existing + 8,145 square feet (150%) = 13,575 square feet maximum permitted on lot) regardless of whether such addition complies with the minimum yard requirement or is the subject of a subsequent yard reduction special permit. Notwithstanding the definition of gross floor area as set forth in the Ordinance, the gross floor area of a single family dwelling for the purpose of this paragraph shall be deemed to include the floor area of any attached garage. Subsequent additions that meet minimum yard requirements shall be permitted without an amendment to this special permit.
4. The addition shall be consistent with the architectural renderings and materials as shown on Attachment 1 to these conditions.

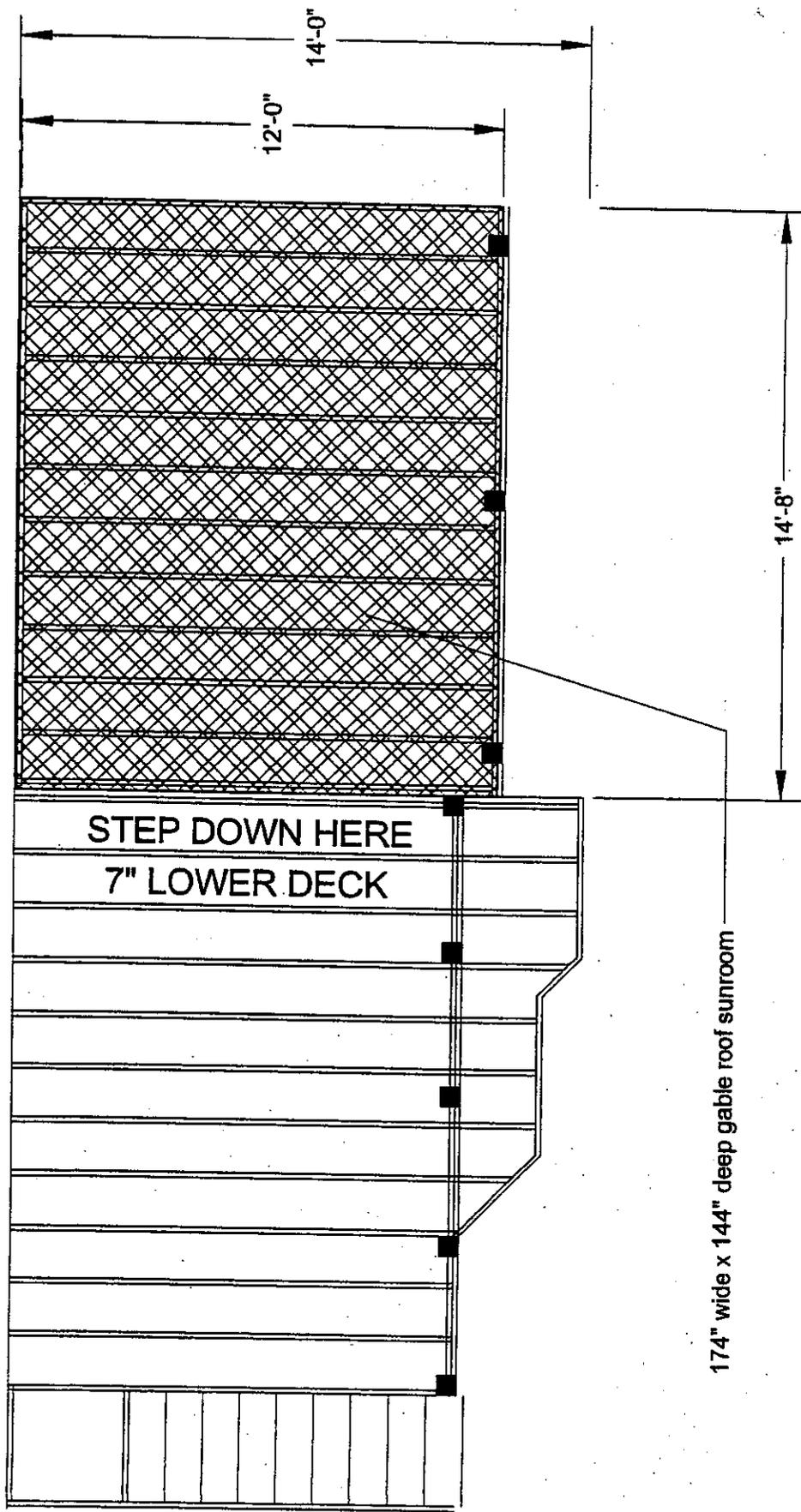
This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, thirty (30) months after the date of approval unless construction has commenced and has been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

Designer: Ron Swindoll
Sunroom Install Manager
Ameritech Construction Corp.
Cell # (703) 967-8706

HOUSE

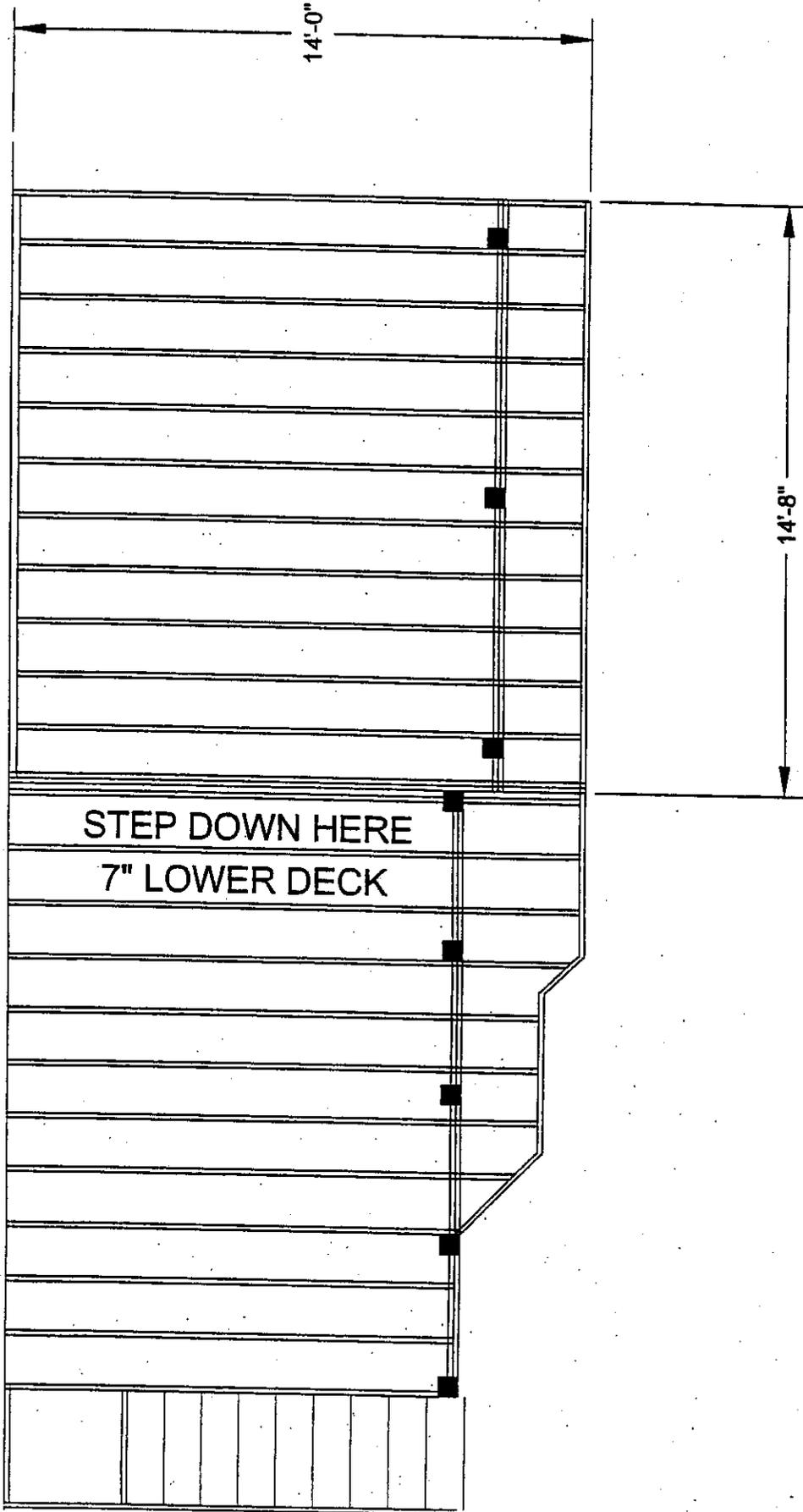
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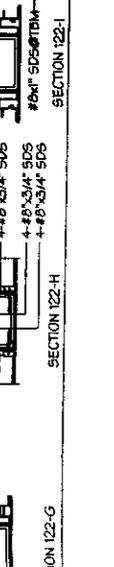
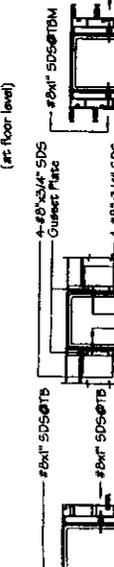
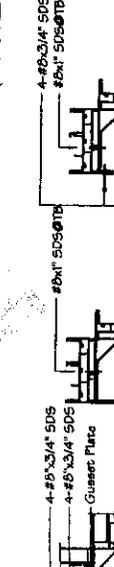
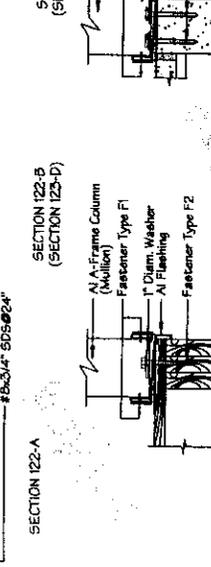
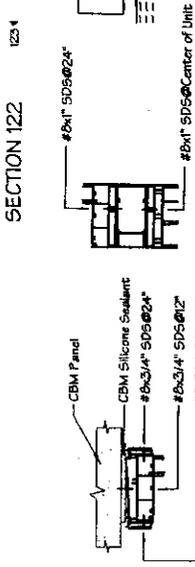
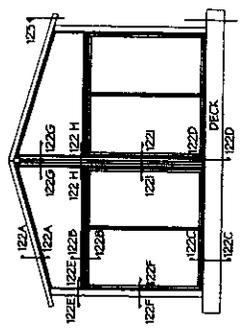
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HOUSE



EXISTING DECK

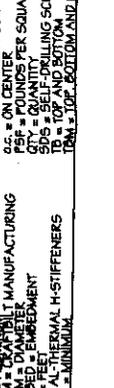
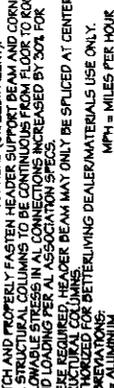
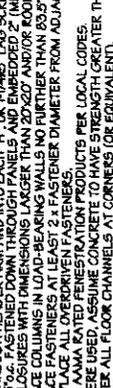
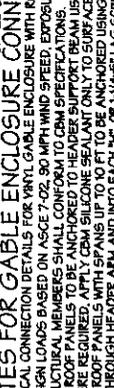
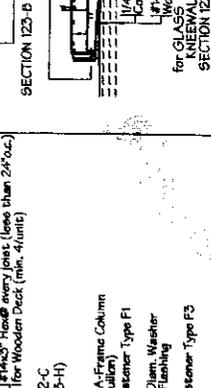
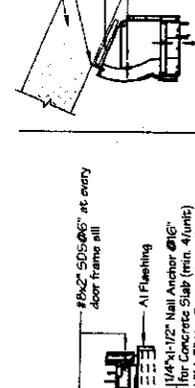
TYPICAL FRONT WALL CONNECTION DETAILS



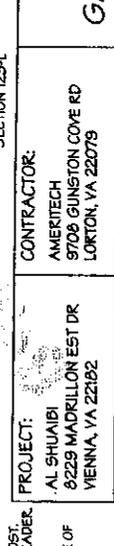
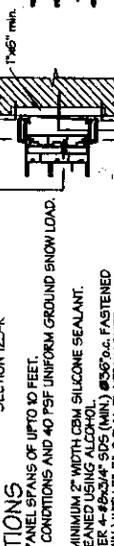
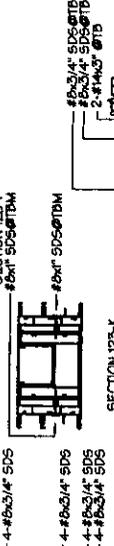
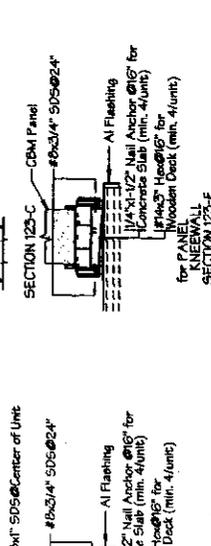
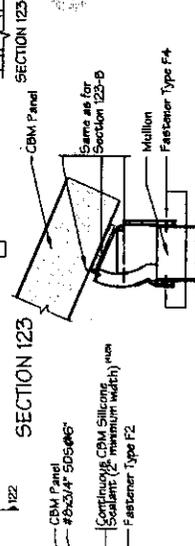
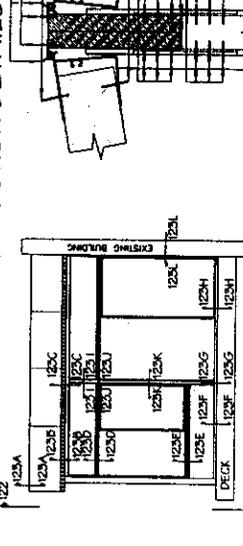
90 MPH WIND TABLE EXPOSURE B

Fastener Qty/Spacing	Account Size	Type
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122-E	122E	F5
122-F	122F	F6
122-G	122G	F7
122-H	122H	F8
122-I	122I	F9
122-J	122J	F10
122-K	122K	F11
122-L	122L	F12
122-M	122M	F13
122-N	122N	F14
122-O	122O	F15
122-P	122P	F16
122-Q	122Q	F17
122-R	122R	F18
122-S	122S	F19
122-T	122T	F20
122-U	122U	F21
122-V	122V	F22
122-W	122W	F23
122-X	122X	F24
122-Y	122Y	F25
122-Z	122Z	F26

TOTAL NUMBER OF FASTENERS:



TYPICAL SIDE WALL CONNECTION DETAILS

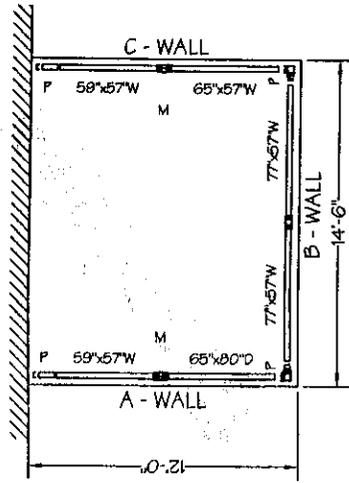


NOTES FOR GABLE ENCLOSURE CONNECTIONS

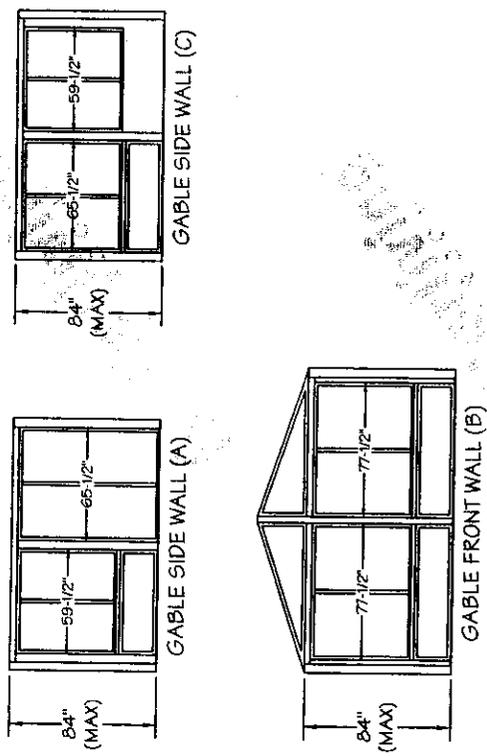
1. TYPICAL CONNECTION DETAILS FOR VINYL GABLE ENCLOSURE WITH ROOF PANEL SPANS OF UP TO 30 FEET.
2. DESIGN LOADS BASED ON ASCE 7-02, 90 MPH WIND SPEED, EXPOSURE B CONDITIONS AND 40 PSF UNIFORM GROUND SNOW LOAD.
3. STRUCTURAL MEMBERS SHALL CONFORM TO CBM SPECIFICATIONS.
4. ALL ROOF PANELS TO BE ANCHORED TO HEADER SUPPORT BEAM USING MINIMUM 2" WIDTH CBM SILICONE SEALANT.
5. ALL ROOF PANELS TO BE ANCHORED TO HEADER SUPPORT BEAM USING MINIMUM 2" WIDTH CBM SILICONE SEALANT.
6. ALL ROOF PANELS TO BE ANCHORED TO HEADER SUPPORT BEAM USING MINIMUM 2" WIDTH CBM SILICONE SEALANT.
7. UP THROUGH HEADER BEAM AND INTO WALL TO BE ANCHORED USING EITHER 4-#6x3/4" S05 (MIN.) @ 56" o.c. FASTENED @ 56" o.c. FASTENED THROUGH PANELS AND EMBEDDED 2" (MIN.) INTO THE CONCRETE AT PLATEWASHER.
8. ENCLOSE COLLUMS WITH DIMENSIONS LARGER THAN 20"20" AND/OR ROOF PITCHES OVER 4:12 REQUIRE CUSTOM ENGINEERING.
9. SPACE FASTENERS AT LEAST 2" FASTENER DIAMETER FROM ADJACENT FASTENERS AND/OR EDGES.
10. USE AAMA 6000 SERIES FASTENERS.
11. WHERE USED, ASSUME CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF AT LEAST 4000 PSI.
12. MIXER ALL FLOOR CHANNELS AT CORNERS (OR EQUIVALENT).
13. NOTCH AND PROPERLY FASTEN HEADER SUPPORT BEAM AND CORNER POST.
14. ALL STRUCTURAL COLLUMS TO BE CONTINUOUS FROM FLOOR TO ROOF HEADER.
15. ALLOWABLE STRESS IN AL CONNECTIONS INCREASED BY 30% FOR
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18. AUTHORIZED FOR BETTER LIVING DEALER MATERIALS USE ONLY.
19. ABBREVIATIONS:
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21. DIAM. = DIAMETER
22. QTY. = QUANTITY
23. P/F = POUNDS PER SQUARE FOOT
24. MPH = MILES PER HOUR
25. O.C. = ON CENTER
26. MIN. = MINIMUM
27. H = AL-THERMAL H-STIFFENERS
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LAYOUT PLANS

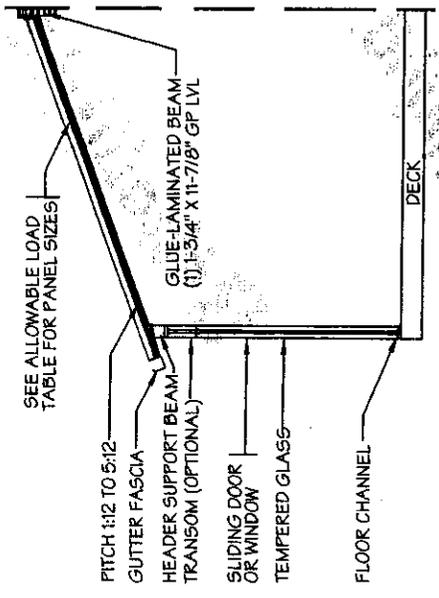
EXISTING BUILDING



WALL SECTIONS



ASSEMBLY DETAILS



TYPICAL GABLE SECTION
NOT TO SCALE

ALLOWABLE LIVE LOAD TABLE FOR 8 FT. PANEL (WITH 7 FT. OR LESS SPAN)

20 PSF	25 PSF	30 PSF	35 PSF	40 PSF	45 PSF	50 PSF
3"HC						
3"EPS+H						

NOTES FOR GABLE CONSTRUCTION

- ALLOWABLE LOADS ARE BASED UPON THE LESSOR OF THE ULTIMATE LOAD/2.5 OR THE LOAD AT SPAN/120.
- HC/EPS REFERS TO CBM'S STRUCTURAL PANELS WITH ALUMINUM SKINS BONDED TO HONEYCOMB/POLYSTYRENE CORES (3", 4 1/4" AND 6" IN THICKNESS). ADJACENT PANELS ARE CONNECTED USING VINYL CLEATS OR H's.
- 90 MPH DESIGN WIND SPEED, EXPOSURE B.
- DESIGN ROOF PANEL DEAD LOAD = 5 PSF.
- DOOR AND WINDOW LOCATIONS/SIZES ARE INTERCHANGEABLE PER MFG'S SPECS.
- ROOM PROJECTION (A OR C WALL WIDTH) MAY VARY PER DOOR/WINDOW LAYOUT & RIDGE BEAM/COLUMN DESIGN (UP TO 16 FT).
- PANELS MAY ONLY BE USED IN ROOFS AND WALLS OF ONE STORY BUILDINGS OF CONSTRUCTION TYPE VB (FOR IBC).
- PANELS MAY ONLY BE USED IN ROOFS AND WALLS WHERE CLASS B OR CLASS II INTERIOR FINISHES ARE PERMITTED BY CODE.
- HORIZONTAL JOINTS BETWEEN THE ENDS OF PANELS ARE NOT PERMITTED.
- CONTRACTOR TO PROVIDE FALL PROTECTION PER LOCAL CODES, FOR ALL ELEVATED SUNROOMS.
- STRUCTURAL FRAMING AND CONNECTIONS TO BE INSTALLED PER CBM SPECS.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND AS NECESSARY REPAIR AND/OR REPLACE ALL MATERIALS AS REQUIRED TO RENDER THEM STRUCTURALLY SOUND AND COMPLETE.
- AUTHORIZED FOR BETTERLIVING DEALER/MATERIALS USE ONLY.

ABBREVIATIONS:

- D = DOOR
- M = MULLION
- W = WINDOW
- HC = HONEYCOMB PANELS
- EPS = POLYSTYRENE PANELS
- H = THERMALLY-BROKEN ALUMINUM H-STIFFENER
- P = PANEL
- MPH = MILES PER HOUR

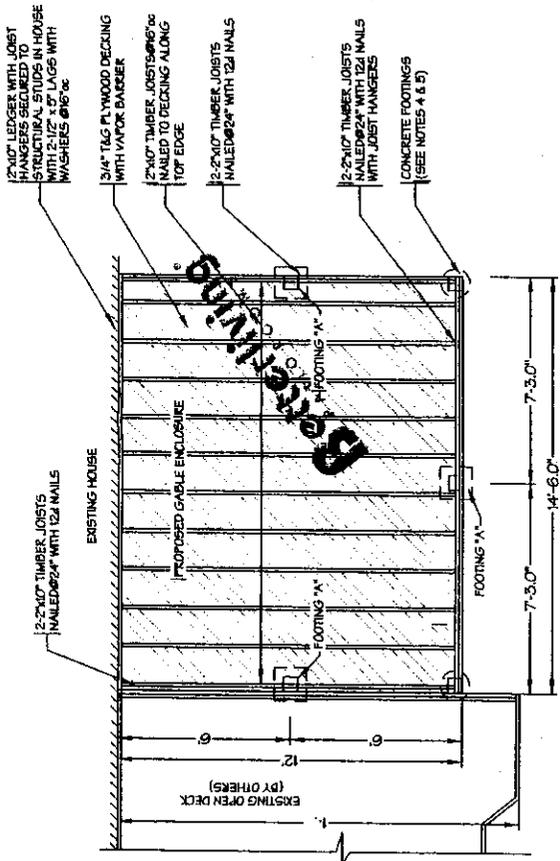
- CBM = CRAFT-BILT MANUFACTURING
- PSF = POUNDS / SQ. FOOT
- FT = FEET
- IBC = BUILDING CODE
- IBC = INTERNATIONAL BC
- UBC = UNIFORM BC
- NBC = NATIONAL BC
- SBC = STANDARD BC
- MFG = MANUFACTURER
- SPECS = SPECIFICATIONS
- MAX = MAXIMUM

PROJECT:	CONTRACTOR:
AL SHUKABI	AMERITECH
8229 MADRILLON ESTATE DR	9708-A GUNSTON COVE RD
VIENNA, VA 22182	LORTON, VA 22079
DRAWN BY: CUJ	DWG NO:
SCALE: 1" = 75"	Al Shukabi-Gbl-Encl-14x14-v
	DATE: 6/10/2009

12'-0" x 14'-6"
VINYL
GABLE ENCLOSURE
GENERAL LAYOUT

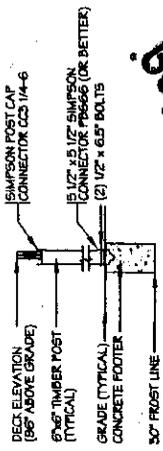
Bertel Engineering

Bertel Engineering



DECK FRAMING PLAN

- NOTES:**
- TIMBER DESIGN STRESS ASSUMES:
 - SPECIES: SOUTHERN PINE NO. 2
 - BRACING STRESS PER: 1,000 PSI
 - COMP. PERP. TO GRAIN: 568 PSI
 - COMP. PARALLEL TO GRAIN: 1,500 PSI
 - SHEAR PARALLEL TO GRAIN: 1,000 PSI
 - MODULUS OF ELASTICITY: 1,800,000 PSI
 - EXTERIOR LUMBER SHALL BE PRE-TREATED.
 - *PUBLISHED IN 2001 NDS "DESIGN VALUES FOR WOOD CONSTRUCTION"
 - DESIGN LOADS:
 - PATIO DECK: LIVE LOAD = 40 PSF, DEAD LOAD = 10 PSF
 - PATIO ROOF: GROUND SNOW LOAD = 30 PSF, DEAD LOAD = 5 PSF
 - OPEN DECK: 40 PSF, DEAD LOAD = 10 PSF
 - AUTHORIZED FOR BETTELING DEALER USE ONLY.
 - REQUIRED MINIMUM FOOTING DIAMETERS:
 - SOIL BEARING CAPACITY: SANDY SOIL
 - FOOTING "K" = 18" DIA. SQUARE
 - OTHER FOOTINGS = 18" DIAMETER
 - FOOTING DESIGN ASSUMES:
 - FOOTINGS SHALL EXTEND BELOW FROST LINE
 - CONCRETE IS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
 - ALL ELEVATED DECKS, THE CONTRACTOR TO PROVIDE NECESSARY KNEE BRACING AT ALL VERTICAL POSTS TO RESIST LATERAL LOADS AND FALL PROTECTION PER LOCAL CODES.
 - CONTRACTOR TO PROVIDE MIDSPEAN BRACING FOR ALL JOISTS 9 FT OR GREATER IN LENGTH.
 - DRAWING SHOWS MINIMUM STRUCTURAL REQUIREMENTS FOR DESIGN VALUES SHOWN.
 - CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND AS NECESSARY REPAIR AND/OR REPLACE ALL MATERIALS AS REQUIRED TO RENDER THEM STRUCTURALLY SOUND AND COMPLETE.



PROJECT:		DRAWN BY: EC	
AL SHUAIBI		DWG. NO.:	
8229 MADRILLON EST DR		A1 Shuaib-GH-Deck-1444	
VIENNA, VA 22182		SCALE: 1/4" = 1'-0"	
CONTRACTOR:		DATE: 6/10/2009	
AMEERTECH		REV. DATE: 6/16/2009	
9709 GUNSTON COVE RD			
LORTON, VA 22079			

12'-0" X 7'-3" DECK
 FRAMING PLAN
 FOR GABLE ENCLOSURE

Bertel Engineering
 November 03, 2009

Application No.(s): SP 2010-PR-017
 (county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 12/22/09
 (enter date affidavit is notarized)

I, Ron Swindoll, Manager, Ameritech Construction Corporation, do hereby state that I am an
 (enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below 106597a

and that, to the best of my knowledge and belief, the following is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,* and, if any of the foregoing is a **TRUSTEE,**** each **BENEFICIARY** of such trust, and all **ATTORNEYS and REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
Suliman Mansour Alshuaibi	8229 Madrillion Estate Dr., Vienna, Va. 22182	Applicant/Title Owner
Fawzeyah Mohmed Almahmoud	8229 Madrillion Estate Dr., Vienna, Va. 22182	Co-Title Owner
Ameritech Construction Corporation	2841 Hartland Rd. Suite 306, Falls Church, Va. 22043	Agent
Ron S. Swindoll	2841 Hartland Rd. Suite 306, Falls Church, Va. 22043	Agent

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Special Permit/Variance Attachment to Par. 1(a)" form.

* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.

** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Application No.(s): SP 2010 - PR - 017
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 12/22/09
(enter date affidavit is notarized)

106597a

1(b). The following constitutes a listing*** of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

(NOTE: Include **SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS** herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)
Ameritech Construction Corporation, 2841 Hartland Rd. Suite 306, Falls Church, Va. 22043

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF SHAREHOLDERS: (enter first name, middle initial, and last name)
Gary J. Lancz

(check if applicable) There is more corporation information and Par. 1(b) is continued on a "Special Permit/Variance Attachment 1(b)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): SP 2010-PR-017
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 12/22/09
(enter date affidavit is notarized)

106597a

1(c). The following constitutes a listing*** of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state, and zip code)

(check if applicable) The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. General Partner, Limited Partner, or General and Limited Partner)

(check if applicable) There is more partnership information and Par. 1(c) is continued on a "Special Permit/Variance Attachment to Par. 1(c)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): SP 2010-PR-017
(county-assigned application number(s), to be entered by County Staff)

Page Four

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 12/22/09
(enter date affidavit is notarized)

106597a

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land.

2. That no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on the line below.)
NONE

(check if applicable) There are more interests to be listed and Par. 2 is continued on a "Special Permit/Variance Attachment to Par. 2" form.

Application No.(s): SP 2010-PR-017
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 12/22/09
(enter date affidavit is notarized)

106597a

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)
NONE

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [] There are more disclosures to be listed and Par. 3 is continued on a "Special Permit/Variance Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one)

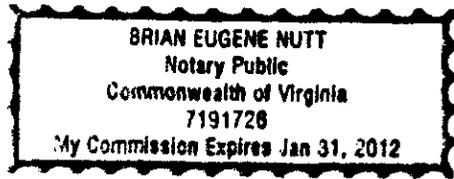
[] Applicant Applicant's Authorized Agent

Rob Swindall, Manager
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 22 day of December 2009, in the State/Comm. of Virginia, County/City of Fairfax.

[Signature]
Notary Public

My commission expires: 1/31/2012





February 3, 2010

RECEIVED
Department of Planning & Zoning

FEB 12 2010

Zoning Evaluation Division

Special Permit Statement of Justification, 8-922

Re: 8229 Madrillion Estate Drive, Vienna, Va. 22182

Ameritech Construction Corporation has been contracted to build a vinyl Better Living sunroom at the above address. We propose building this sunroom on top of existing deck on the back of the home. The room itself is manufactured by Craftbilt Manufacturing Company. The dimensions of the room are 14'5" wide and 12' projection from the house. The purpose of this room is to be for leisure and additional living space by the owners, Suliman and Fawzeyah Alshuaibi. Both of the adjacent neighbors have agreed they are fine with Mr. Alshuaibi's request for this home improvement.

- This sunroom will not be a detached accessory structure to the house. It will not be placed in the front yard.
- The sunroom addition is within the minimum yard requirement that was established when the home was originally built.
- The sunroom will be in character with the existing home. The location, height, and size are proportionate to the house.
- The sunroom addition will also be in character with other homes in the neighborhood. Surrounding homes and vegetation will not be affected.
- No adjacent homes will be affected by this addition. It will not create excess noise, light, or other type of pollution.
- Square foot (SF) of existing house is 5702 SF and the new sunroom is 168 SF. Percentage of the room to house is: 0.029 %
- The resulting gross floor area of an existing accessory structure and any addition to it shall be clearly subordinate in purpose, scale, use, and intent to the principal structure on the site.
- The BZA shall determine that the proposed development shall not adversely impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air, safety, erosion, and storm water runoff.
- The BZA shall determine that the proposed development is harmonious with the surrounding off-site uses and structures in terms of location, height, bulk and scale of surrounding structures, topography, existing vegetation and the preservation of significant trees as determined by the Director.
- The BZA shall determine that the proposed reduction represents the minimum amount of reduction necessary to accommodate the proposed structure on the lot. Specific factors to be considered include, but are not limited to, the layout of the existing structure; availability of alternate locations for the addition; orientation of the structure(s) on the lot; shape of the lot and the associated yard designations on the lot; environmental characteristics of the site, including presence of steep slopes, floodplains and/or Resource Protection Areas; preservation of existing vegetation and significant trees as determined by the Director; location of a well and/or septic field; location of easements; and/or preservation of historic resources.
- Ameritech asks for the minimum amount of space needed to build this sunroom. Existing environmental features of the lot will not be affected.



AMERITECH
CONSTRUCTION

February 3, 2010

Special Permit Statement of Justification, 8-914

Re: 8229 Madrillion Estate Drive, Vienna, Va. 22182

Ameritech Construction Corporation has been contracted to build a vinyl Better Living sunroom at the above address. We propose building this sunroom on top of existing deck on the back of the home. The room itself is manufactured by Craftbilt Manufacturing Company. The dimensions of the room are 14'5" wide and 12' projection from the house. The purpose of this room is to be for leisure and additional living space by the owners, Suliman and Fawzeyah Alshuaibi. Both of the adjacent neighbors have agreed they are fine with Mr. Alshuaibi's request for this home improvement.

- The error exceeds ten (10) percent of the measurement involved, and 30 only 18.2 feet
- The noncompliance was done in good faith, or through no fault of the property owner, and was built by previous owners w/ permits and just being told that's it's a front lot.
- Such reduction will not impair the purpose and intent of this Ordinance.
- It will not be detrimental to the use and enjoyment of other property in the immediate vicinity, and has been there for more than 10 years.
- It will not create an unsafe condition with respect to both other property and public streets.
- To force compliance with the minimum yard requirements would cause unreasonable hardship upon the owner because it was approved by the county.
- The reduction will not result in an increase in density or floor area ratio from that permitted by the applicable zoning district regulations.
- Ameritech asks for the minimum amount of space needed to build this sunroom. Existing environmental features of the lot will not be affected.



October 29, 2009

Special Permit Statement of Justification

RE: 8229 Madrillon Estate Drive Vienna VA 22182

Ameritech Construction Corporation has been contracted to build a vinyl Better Living sunroom at the above mentioned property. We propose building this sunroom on top of the existing deck on the back of the home. The room itself is manufactured by Craftbilt Manufacturing Company. The dimensions of the room are 14'5" wide and 12' projection from the house. The purpose of this room is to be used for leisure and additional living space by the owners, Suliman and Fawzeyah Alshuaibi. Both of the adjacent neighbors have agreed they are fine with Mr. Alshuaibi's request for this home improvement.

RECEIVED
Department of Planning & Zoning
NOV 03 2009
Zoning Evaluation

Agreement

Date: December 26, 2008

I, ~~SOKHENG TUN~~ the undersigned and the owner of property located 8227 Madrillon Estate Drive I am providing this statement to acknowledge that I have no objections, disputes or comments in respect to Mr. Suliman AL- Shuaibi to construct a sunroom on his existing deck which when finished will still leave 23 feet from the edge of the sunroom to his property line which adjoins a sidewalk and street in the rear.

If you have any questions, please do not hesitate to contract me at (202) 684 1000.

Signed by: 
Address: 8227 Madrillon Estates Drive
Vienna, VA 22182

RECEIVED
Department of Planning & Zoning
NOV 03 2009
Zoning Evaluation Division

My Dear Neighbors

I would like to introduce myself to you; my name is Suliman Al- Shuaibi. I live at 8229 Madrillon Estate Drive and I moved to this location during August of 2008. I plan on building a sunroom on my deck. I would like to assure you that this would not cause any inconvenience to you or your family.

I would like to request that you would kindly agree to allow my project, by signing the enclosed agreement. Enclosed, please find an envelope to return you signed agreement.

If you have any questions, feel free to contact me at my cell number (202) 684 1000. I am looking forward to meet with you or hear from you in the near future.

Sincerely,

Suliman Al Shuaibi

Dear Suliman :

Thank you for this notice. This is something that would be necessary if we had a neighborhood homeowners' association. We do not have one of these.

We wish you good luck on the project and hope that it turns out nicely.

Sincerely, Dana Brown

P.S. Happy New Year to you & your family.

Ameritech

CONSTRUCTION CORPORATION
SPECIALISTS IN HOME IMPROVEMENT PRODUCTS & SERVICES

TO: Susan Langdon @ FFX Co.

Company: FFX Co.

Phone: 703-324-1290

Fax: 703-324-1207

Date: 4/22/10

Ron Swindoll

Sunroom Manager

Phone: (703)967-8706

Fax: (703)372-1300

Email: rswindoll@superwindows.com

RE: SP 2010-PR-017 (special permit plat 8229 Madrillon Estates Dr.) Pages Inc. Cover:2

MEMO:

Letter to customer from Dominion Survey about easement. Ameritech Construction is the lead on this application and we are trying to figure out if anything must be done before our public hearing on May 19.

Please contact Ron w/ Ameritech Construction ASAP on this matter. Thanks Ron 703-967-8706

RECEIVED
DEPARTMENT OF PLANNING
AND ZONING

APR 22 2010

SPECIAL PERMIT &
VARIANCE BRANCH



Servicing your local land surveying needs

8808-H Pear Tree Village Ct.
Alexandria, VA 22309
703.619.6555 fax: 703.799.6412
www.dominionsurveyors.com

RE: Special Permit Plat 8229 Madrillon Estates Drive

Dear Mr. Alshuaibi,

A problem has been brought to my attention by Fairfax County reviewer Debbie Hedrick.

Our special permit plat shows a 10' Storm Drainage Easement running beneath the rear bay and overhang on the back of your house. Your dwelling encroaches onto this easement as it is shown now. Ms. Hedrick told me this portion of the easement was vacated on December 17th, 1996 by the builder. Unfortunately, the document vacating the easement has no recording information filed with it on County Land Records. Do you have a title report with this document? We cannot remove the easement until we have the recorded document that vacates it. If you don't have your title report with this document you may have to get a new title report and forward the vacation document to me.

If you have any questions, please call me at 703 619 6555.

Best regards,

A handwritten signature in black ink that reads "Derek Daniels". The signature is written in a cursive style with a large initial "D".

Derek Daniels

RECEIVED
DEPARTMENT OF PLANNING
AND ZONING

APR 22 2010

SPECIAL PERMIT &
VARIANCE BRANCH



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

September 10, 2009

Ron Swindoll
2841 Hartland Road, Suite 306
Falls Church, VA 20142

Re: Building Permit #91970088
8229 Madrillon Estate Drive
Madrillon Estate Subdivision
Tax Map Ref: 039-1 ((36)) 0015
Zoning District: R-4

Dear Mr. Swindoll:

Pursuant to your phone conversation with Rebecca Goodyear, I am sending this letter to provide the following information in writing to you, pertaining to Building Permit # 91970088.

According to our records, the above-referenced Building Permit was issued on August 18, 2009, to allow construction of a 12-foot by 14-foot sunroom addition to the existing house on the above-referenced property. The plat accompanying the Building Permit depicts the sunroom, which is hand drawn onto the plat, to be located along the rear wall of the existing house. According to the plat, the sunroom is to be setback from the left side lot line 12 feet, and 25 feet from the lot line abutting George Washington Road.

The purpose of this letter is to advise you that the Building Permit was erroneously approved by this office. The 25-foot setback from George Washington Road was treated as a rear yard setback during the Zoning review which was approved on July 28, 2009, however, since the lot abuts two public streets, it is a Through Lot, and thus has two front yards, rather than a front and a rear yard. The property is located in the R-4 District, wherein the minimum front yard (or setback) requirement is 30 feet. The terms "through lot" and "front yard" are defined in Sect. 20-300 of the Zoning Ordinance and read as follows:

Department of Planning and Zoning
Zoning Administration Division
Zoning Permit Review Branch
12055 Government Center Parkway, Suite 250
Fairfax, Virginia 22035-5508
Phone 703-324-1359 FAX 703-324-2301
www.fairfaxcounty.gov/dpz/



Lot, Through: An interior lot, but not a corner lot, abutting on two (2) or more public streets, but not including an alley. For the purpose of this Ordinance, a through lot shall be subject to the regulations of an INTERIOR LOT.

Yard, Front: On a through lot, the two (2) yards lying between the principal building and the two (2) or more public streets shall be deemed to be front yards and shall be controlled by the provisions for same, except as qualified in Sect. 2-413 for residential lots having reverse frontage, and except in those instances where one (1) of the public streets is an alley.

Given the definitions, and the configuration of the subject lot, the lot is a through lot and the sunroom must comply with the 30-foot minimum required front setback from George Washington Road. The permit was issued, with the sunroom setback 25 feet from George Washington Road and as such, the permit was issued in error. A hold has been placed on the Building Permit due to this error. You may choose to revise your plans to reduce the size of the sunroom, thus complying with the 30-foot required setback, or you may choose to apply for a special permit to allow for an encroachment into the minimum required yard. Please contact Rebecca Goodyear at 703-324-1376, if you decide to amend the permit to reduce the size of the sunroom to comply with minimum front yard requirement. For more information about applying for a special permit, please contact the Zoning Evaluation Division at 703-324-1290.

Sincerely,



Tammy Miller
Planning Technician III
Zoning Permit Review Branch

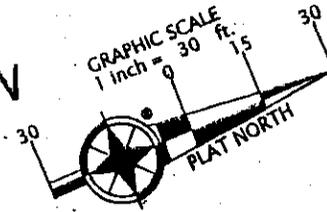
cc: Rebecca Goodyear, Planning Technician II

NOTES: 1. FENCES ARE FRAME.
2. UTILITIES ARE UNDERGROUND.

GEORGE WASHINGTON ROAD

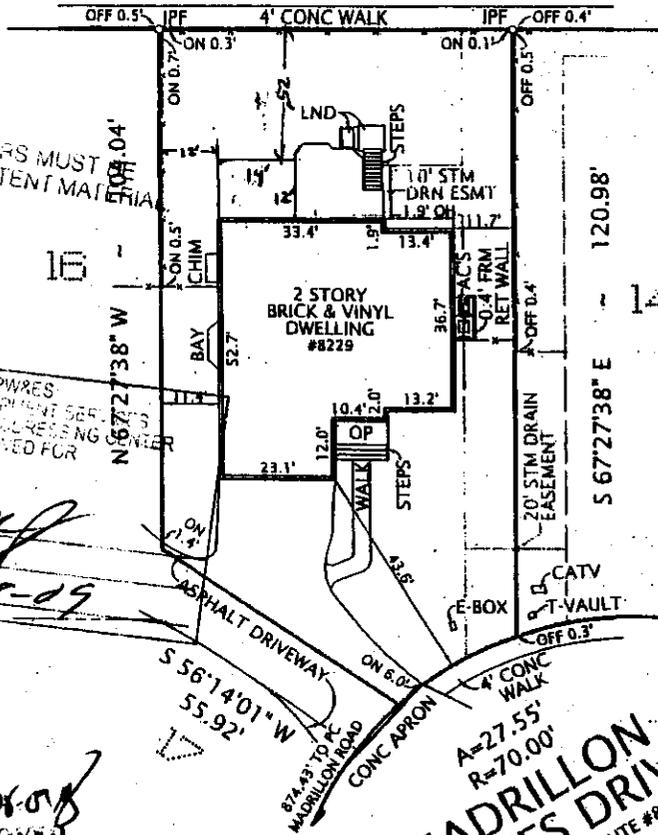
50' WIDE - STATE ROUTE #2794

N 22°32'22" E ~ 70.00'



W/MP PROOFING/WATERPROOFING
REQUIRED IN ACCORDANCE WITH
BUILDING CODES

ALL UTILITIES AND PIERS MUST
BE LOCATED ON COMPETENT MATERIAL



DPWRES
LAND DEVELOPMENT SERVICES
SITE PERMITTING ADDRESSING CENTER
APPROVED FOR

Adrian
DATE 7-25-09

7/25/09
APPROVED

Edison M. Malone
Zoning Administrator

**MADRILLON
ESTATES DRIVE**
50' R/W - STATE ROUTE #8108

Total earth disturbance on this lot shall
not exceed 2500 sq. ft. - Earth
disturbance in excess of 2500 shall
constitute a violation and require the
submission of a grading plan.

MADRILLON ESTATES

(DEED BOOK 8703, PAGE 1907)

FAIRFAX COUNTY, VIRGINIA
PROVIDENCE DISTRICT

SCALE: 1" = 30' JULY 15, 2008

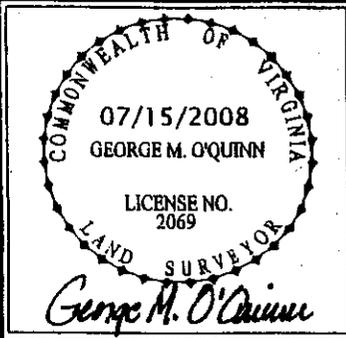
COPYRIGHT BY DOMINION SURVEYORS, INC. THE INFORMATION CONTAINED ON THIS DOCUMENT MAY NOT BE COPIED, REPRODUCED OR ALTERED IN ANY FORM WITHOUT PERMISSION IN WRITING FROM THE COPYRIGHT OWNER.

I HEREBY CERTIFY THAT THE POSITIONS OF
ALL THE EXISTING IMPROVEMENTS HAVE BEEN
CAREFULLY ESTABLISHED BY A CURRENT FIELD
SURVEY AND UNLESS SHOWN THERE ARE NO
VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO
RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.

NO CORNER MARKERS SET.



CLIENT: Settlement Services, LLC
1355 Beverly Road
Suite 320
McLean, Virginia 22101
703-848-2300

DOMINION Survey Inc.
8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

BUILDING PERMIT APPLICATION

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 FAIRFAX COUNTY, VIRGINIA
 PERMIT APPLICATION CENTER
 12055 Government Center Parkway, 2nd Floor
 Fairfax, Virginia 22035-5504
 (703) 222-0801

PERMIT # 9617750150
 FOR INSPECTIONS CALL: (703) 222-0455

FILL IN ALL APPROPRIATE INFORMATION IN THIS COLUMN
 (PLEASE PRINT OR TYPE)

JOB LOCATION:

ADDRESS 8229 Madrilan Estates
 LOT # 15 BUILDING _____
 FLOOR _____ SUITE _____
 SUBDIVISION Madrilan Estates
 TENANT'S NAME _____

OWNER INFORMATION: OWNER TENANT

NAME MP II LC
 ADDRESS 1313 Dolly Madison Blvd
 CITY Hamlet VA STATE VA ZIP 22101
 TELEPHONE 6431300

CONTRACTOR INFORMATION: 1415

CHECK IF SAME AS OWNER
 COMPANY NAME Cornstock Homes
 ADDRESS same as owner
 CITY _____ STATE _____ ZIP _____
 TELEPHONE _____
 LOCAL CONTRACTOR LICENSE # _____
 STATE CONTRACTORS LICENSE # A105077
 COUNTY BUSINESS ACCOUNT # A3316
 APPLICANT Sharon

DESCRIPTION OF WORK

New SF

m/f 9615980540

HOUSE TYPE Covington
 ESTIMATED COST OF CONSTRUCTION 100,000
 BLDG AREA (SQ FT OF FOOTPRINT) _____
 USE GROUP OF BUILDING R4
 TYPE OF CONSTRUCTION SB

SEWER SERVICE: PUBLIC SEPTIC OTHER
 WATER SERVICE: PUBLIC WELL OTHER
 OTHER PLEASE SPECIFY _____

DESIGNATED MECHANICS' LIEN AGENT:
 (Residential Construction Only)

NAME: Lawyers Title/NS Corp
 ADDRESS: PO Box 1030
Fx VA 22033

NONE DESIGNATED: PHONE: 6910050

CHARACTERISTICS FOR NEW SFD, TH, APT & CONDOS:

# KITCHENS	<u>1</u>	EXTER. WALLS	<u>BR</u>
# BATHS	<u>3</u>	INTER. WALLS	<u>dy</u>
# HALF BATHS	<u>1</u>	ROOF MATERIAL	<u>SH</u>
# BEDROOMS	<u>4</u>	FLOOR MATERIAL	<u>CP</u>
# OF ROOMS	<u>9</u>	FIN. BASEMENT	<u>ORT %</u>
# STORIES	<u>2</u>	HEATING FUEL	<u>GAS</u>
BUILDING HEIGHT	<u>26</u>	HEATING SYSTEM	<u>HP</u>
BUILDING AREA	<u>1716</u>	# FIREPLACES	<u>1</u>
BASEMENT	<u>F</u>		

DO NOT WRITE IN THIS SPACE - COUNTY USE ONLY

PLAN # 96-00567
 TAX MAP # 07-1-36 001

ROUTING	DATE	APPROVED BY:
ZONING	<u>6/21/96</u>	<u>Bb</u>
SITE PERMITS	<u>6/21/96</u>	<u>B</u>
SANITATION	<u>6/21/96</u>	<u>Reu</u>
HEALTH DEPT.		
FIRE MARSHAL		
BUILDING REVIEW	<u>6/21/96</u>	<u>Bms</u>
LICENSING	<u>6/25/96</u>	<u>JK</u>
ASBESTOS		

FEE \$ _____
 FILING FEE \$ _____
 AMOUNT DUE \$ -0-

BUILDING PLAN REVIEW
 REVIEWER _____ # OF HOURS _____
 REVISION FEES \$ _____
 FIRE MARSHAL FEES \$ _____
 FIXTURE UNITS _____ PLAN LOC J R

APPROVED FOR ISSUANCE OF BUILDING PERMIT

BY _____ DATE _____

ZONING REVIEW: ZONING CLASS R-4
 USE single family - new
 ZONING CASE # _____

GROSS FLOOR AREA OF TENANT SPACE _____

YARDS: FRONT 44' REAR 32'
 FRONT 37' L SIDE 10'
 R SIDE 12'

GARAGE: 1 2 3
 OPTIONS: YES NO
 REMARKS: per approved plan on file

GRADING AND DRAINAGE REVIEW
 SOILS: # _____ A B C
 HISTORICAL DISTRICT _____
 AREA TO BE DISTURBED (TOTAL SQ FT) _____
 ADD'L IMPERVIOUS AREA (ADDED SQ FT) _____
 PROFFERS _____
 PLAN # 7795 5001 APPR. DATE _____

STAMPS:
 PROBLEM SOILS
 SEE APPROVED GRADING PLAN
 SITE PLAN AND/OR SOILS REPORT
 (See reverse side of application)

REMARKS:
pd conservation escrow to Butcher

Any and all information and/or stamps on the reverse side of this form are a part of this application and must be complied with. I hereby certify that I have authority of the owner to make this application, that the information is complete and correct, and that the construction and/or use will conform to the building code, the zoning ordinance and other applicable laws and regulations which relate to the property.

Signature of Owner or Agent Sharon Date _____

Notary Signature _____ Date _____
 (Notarization required if owner not present at time of application)

BUILDING PERMIT APPLICATION

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 FAIRFAX COUNTY, VIRGINIA
 PERMIT APPLICATION CENTER
 12055 Government Center Parkway, 2nd Floor
 Fairfax, Virginia 22035-5504
 (703) 222-0801

PERMIT # 08160BD300
 FOR INSPECTIONS CALL: (703) 222-0455

DO NOT WRITE IN THIS SPACE - COUNTY USE ONLY

PLAN #	N	
TAX MAP #	29-1-36-15	
ROUTING	DATE	APPROVED BY:
ZONING	6-9-98	98 [Signature]
SITE PERMITS	6-9-98	[Signature]
SANITATION		
HEALTH DEPT.		
FIRE MARSHAL		
BUILDING REVIEW		
LICENSING	6-9-98	MA
ASBESTOS		
FEE	\$	
FILING FEE	\$	
AMOUNT DUE	\$	56.00
BUILDING PLAN REVIEW		
REVIEWER		# OF HOURS
REVISION FEES \$		
FIRE MARSHAL FEES \$		
FIXTURE UNITS		PLAN LOC: <input type="checkbox"/> R <input type="checkbox"/>
APPROVED FOR ISSUANCE OF BUILDING PERMIT		
BY	[Signature]	DATE

FILL IN ALL APPROPRIATE INFORMATION IN THIS COLUMN (PLEASE PRINT OR TYPE)

JOB LOCATION:
 ADDRESS 8229 MADRILLON ESTATES DR., VIENNA
 LOT # 15 BUILDING _____
 FLOOR _____ SUITE _____
 SUBDIVISION MADRILLON ESTATES
 TENANT'S NAME TODD NICHOLS

OWNER INFORMATION: OWNER TENANT
 NAME TODD NICHOLS
 ADDRESS 8229 MADRILLON ESTATES DR.
 CITY VIENNA STATE VA ZIP 22182
 TELEPHONE 760-4972

CONTRACTOR INFORMATION:
 CHECK IF SAME AS OWNER
 COMPANY NAME CORPE CONSTRUCTION
 ADDRESS 21098 RAINTREE CT.
 CITY ASHBURN STATE VA ZIP 20147
 TELEPHONE 729-4875
 LOCAL CONTRACTOR LICENSE # _____
 STATE CONTRACTORS LICENSE # 205 022937 A
 COUNTY BUSINESS ACCOUNT # 23-9832

APPLICANT RICHARD CORPE

DESCRIPTION OF WORK
ADD DECK TO REAR OF HOUSE.
34x14 ~ 8' HIGH. W/ STAIRS
per Co. Details.

HOUSE TYPE SINGLE FAM.
 ESTIMATED COST OF CONSTRUCTION 8000
 BLDG AREA (SQ FT OF FOOTPRINT) 476
 USE GROUP OF BUILDING _____
 TYPE OF CONSTRUCTION _____

SEWER SERVICE: PUBLIC SEPTIC OTHER
 WATER SERVICE: PUBLIC WELL OTHER
 OTHER PLEASE SPECIFY _____

DESIGNATED MECHANICS' LIEN AGENT:
 (Residential Construction Only)
 NAME: _____
 ADDRESS: _____

NONE DESIGNATED: PHONE: _____

ZONING REVIEW: ZONING CLASS R-4
 USE SFD
 ZONING CASE # _____

GROSS FLOOR AREA OF TENANT SPACE

YARDS:	GARAGE:	1 <input type="checkbox"/>	2 <input type="checkbox"/>	3 <input type="checkbox"/>
FRONT <u>M</u>	OPTIONS:	YES <input type="checkbox"/>	NO <input type="checkbox"/>	
FRONT	REMARKS:	<u>after</u>		
L SIDE <u>M</u>		<u>34x14 Deck +</u>		
R SIDE <u>M</u>		<u>with stairs</u>		
REAR <u>9FT</u>				

GRADING AND DRAINAGE REVIEW
 SOILS: # _____ A B C
 HISTORICAL DISTRICT _____
 AREA TO BE DISTURBED (TOTAL SQ FT) _____
 ADD'L IMPERVIOUS AREA (ADDED SQ FT) _____
 PROFFERS _____
 PLAN # _____ APPR. DATE _____

STAMPS:
FFOVER
 (See reverse side of application)

REMARKS:
[Signature]

Any and all information and/or stamps on the reverse side of this form are a part of this application and must be complied with. I hereby certify that I have authority of the owner to make this application, that the information is complete and correct, and that the construction and/or use will conform to the building code, the zoning ordinance and other applicable laws and regulations which relate to the property.

Richard Corpe 6/9/98
 Signature of Owner or Agent Date
RICHARD CORPE, CONTRACTOR

Notary Signature _____ Date _____
 (Notarization required if owner not present at time of application)



County of Fairfax, Virginia

MEMORANDUM

DATE: March 24, 2010

TO: Debbie Hedrick, Staff Coordinator
Zoning Evaluation Division
Department of Planning and Zoning

FROM: Beth Forbes, Stormwater Engineer *BF*
Environmental and Site Review Division
Department of Public Works and Environmental Services

SUBJECT: Special Permit Application #SP 2010-PR-017, Alshuaibi Property at
8229 Madrillon Estate Drive, Plat dated March 1, 2010, LDS Project #7795-
ZONA-002-1, Tax Map #39-1-36-0015, Providence District

RECEIVED
Department of Planning & Zoning

MAR 31 2010

Zoning Evaluation Division

We have reviewed the subject application and offer the following stormwater management comments.

Chesapeake Bay Preservation Ordinance (CBPO) -- There is no Resource Protection Area (RPA) on this site. Since in infill grading plan will not be required for the proposed work, water quality controls will not be required.

Floodplain -- There are no regulated floodplains on the property.

Downstream Drainage Complaints -- There are no downstream drainage complaints on file.

Stormwater Detention and Outfall -- Since an infill grading plan will not be required for the proposed work, neither detention or an outfall analysis will be required.

Stormwater Easement -- An existing deck, stairs, and bay window occupy an area in a stormdrain easement. It appears that a yard inlet and storm drain were originally designed for the rear yard of this lot. According to the as-built drawings for the subdivision, the inlet and pipe were not constructed. DPWES records show that a 10-foot storm drain easement on this property was vacated and that the plat for the vacation was recorded on December 17, 1996.

Please contact me at 703-324-1720 if you require additional information.

BF/

cc: Craig Carinci, Director, Stormwater Planning Division, DPWES
Jeremiah Stonefield, Chief, Stormwater & Geotechnical Section, ESRD, DPWES
Zoning Application File

Department of Public Works and Environmental Services
Land Development Services, Environmental and Site Review Division
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Detail Overview

Madison Est. Lt 15 (P) Vac 01 10' Sde Dm Esst NSR: SH: PF: 0

Status	Outstanding Item	Participant	Site Location	Related Submission	Submission Id	Dist Purpose	Assignee	Status	Date Sent	Date Due	Action
	DOCUMENTS		REVIEW			REVIEW		DP FINAL	12/13/1996		APPROVE
	DOCUMENTS		REVIEW			REVIEW		DP FINAL	12/13/1996		REVIEW COMPLETE
	DP-WES DECISION DP		REVIEW			REVIEW	EJOHNS	DP FINAL	11/27/1996		APPROVE
	LAND RECORDS		REVIEW			REVIEW		DP FINAL	12/17/1996		APPROVE
	MICROFILM		REVIEW			REVIEW		DP FINAL	01/16/1997		REVIEW COMPLETE
	PROJECT APPROVAL DP		REVIEW			REVIEW	JEVANI	DP FINAL	11/14/1996		REVIEW COMPLETE
	SITE REVIEW BR CHIEF DP		REVIEW			REVIEW	ANYOUB	DP FINAL	11/15/1996		APPROVE
	SITE REVIEW DP		REVIEW			REVIEW	GSIDHU	DP FINAL	10/22/1996		APPROVE

Life Cycle State:

LCS	Date Achieved	Date
RECORDED	12/17/1996	
APPROVED	11/27/1996	
DISTRIBUTED TO BONDING	11/14/1996	
DISTRIBUTED	10/21/1996	
ACCEPTED	10/16/1996	

Pending Process Change:

Change	Date

Final Decision: APPROVE

Date Returned/Modified: 03/19/1997

Life Cycle State:	Date	Final Decision:	Date	Decision By
LCS	12/17/1996	APPROVE	11/27/1996	EJOHNS
RECORDED	12/17/1996			
APPROVED	11/27/1996			

Homeowners Association Document Required

Other Key Event:	Name	Date
DATE RECEIVED		10/16/1996
RETURNED TO ENGINEER		03/19/1997
DATE SUBMITTED		10/16/1996

Processing Change Option:	Date of Request	Action	Overridden	Document	Reason

View Plat Recordation Details

Plat Recordation Detail:	Date Recorded	Deed Book Number	Deed Book Page Number
	12/17/1996	09880	1348

Print

8-006 General Standards

In addition to the specific standards set forth hereinafter with regard to particular special permit uses, all special permit uses shall satisfy the following general standards:

1. The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.
2. The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations.
3. The proposed use shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.
4. The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.
5. In addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13.
6. Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.
7. Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11.
8. Signs shall be regulated by the provisions of Article 12; however, the BZA, under the authority presented in Sect. 007 below, may impose more strict requirements for a given use than those set forth in this Ordinance.

8-903 Standards For All Group 9 Uses

In addition to the general standards set forth in Sect. 006 above, all Group 9 special permit uses shall satisfy the following standards:

1. All uses shall comply with the lot size and bulk regulations of the zoning district in which located, except as may be qualified below.
2. All uses shall comply with the performance standards specified for the zoning district in which located.
3. Before establishment, all uses, including modifications or alterations to existing uses, shall be subject to the provisions of Article 17, Site Plans, or other appropriate submission as determined by the Director.

8-914 Provisions for Approval of Reduction to the Minimum Yard Requirements Based on Error in Building Location

The BZA may approve a special permit to allow a reduction to the minimum yard requirements for any building existing or partially constructed which does not comply with such requirements applicable at the time such building was erected, but only in accordance with the following provisions:

1. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by ten (10) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia and such plat shall contain the following information:
 - A. Boundaries of entire property, with bearings and distances of the perimeter property lines and of each zoning district.
 - B. Total area of the property and of each zoning district in square feet or acres.
 - C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
 - D. Location of all existing structures, with dimensions, including height of any structure and penthouse, and if known, the construction date(s) of all existing structures.
 - E. All required minimum yards to include front, side and rear, and a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing structures to lot lines.
 - F. Means of ingress and egress to the property from a public street(s).
 - G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).
 - H. If applicable, the location of well and/or septic field.
 - I. For nonresidential uses, a statement setting forth the maximum gross floor area and FAR for all uses.
 - J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.

K. Seal and signature of professional person certifying the plat.

In addition, the application shall contain a statement of justification explaining how the error in building location occurred and any supportive material such as aerial photographs, Building Permit applications, County assessments records, a copy of the contract to build the structure which is in error, or a statement from a previous owner indicating how the error in building location occurred.

2. The BZA determines that:
 - A. The error exceeds ten (10) percent of the measurement involved, and
 - B. The noncompliance was done in good faith, or through no fault of the property owner, or was the result of an error in the relocation of the building subsequent to the issuance of a Building Permit, if such was required, and
 - C. Such reduction will not impair the purpose and intent of this Ordinance, and
 - D. It will not be detrimental to the use and enjoyment of other property in the immediate vicinity, and
 - E. It will not create an unsafe condition with respect to both other property and public streets, and
 - F. To force compliance with the minimum yard requirements would cause unreasonable hardship upon the owner.
 - G. The reduction will not result in an increase in density or floor area ratio from that permitted by the applicable zoning district regulations.
3. In granting such a reduction under the provisions of this Section, the BZA shall allow only a reduction necessary to provide reasonable relief and may, as deemed advisable, prescribe such conditions, to include landscaping and screening measures, to assure compliance with the intent of this Ordinance.
4. Upon the granting of a reduction for a particular building in accordance with the provisions of this Section, the same shall be deemed to be a lawful building.
5. The BZA shall have no power to waive or modify the standards necessary for approval as specified in this Section.

8-922 Provisions for Reduction of Certain Yard Requirements

The BZA may approve a special permit to allow a reduction of certain yard requirements subject to all of the following:

1. Only the following yard requirements shall be subject to such special permit:
 - A. Minimum required yards, as specified in the residential, commercial, industrial and planned development districts in Articles 3, 4, 5 and 6, provided such yards are not subject to proffered conditions or development conditions related to yards and/or such yards are not depicted on an approved conceptual development plan, final development plan, development plan, special exception plat, special permit plat or variance plat.
 - B. Yard regulations for pipestem lots and lots contiguous to pipestem driveways set forth in Sect. 2-416.
 - C. Accessory structure location requirements set forth in Sect. 10-104.
 - D. Regulations on permitted extensions into a minimum required yard as set forth in Sect. 2-412.

Approval of a reduction of yard requirements specified in Paragraphs A, B and C above shall not result in any yard that is less than fifty (50) percent of the requirement and shall not result in any yard of less than five (5) feet, as measured from the lot line to the closest point of the proposed structure.

Approval of a reduction of yard requirements specified in Par. D above shall not result in an extension that exceeds the applicable distances set forth in Sect. 2-412 by more than fifty (50) percent. Where no extension is permitted by the provisions of Sect. 2-412, the BZA shall not approve a special permit that results in a structure that extends into a minimum required yard by more than fifty (50) percent.

2. Such reduction shall not result in the placement of a detached accessory structure in a front yard where the placement of such accessory structure is not otherwise permitted in that yard.
3. This special permit shall only apply to those lots that contain a principal structure and use that complied with the minimum yard requirements in effect when the use or structure was established.
4. The resulting gross floor area of an addition to an existing principal structure may be up to 150 percent of the total gross floor area of the principal structure that existed at the time of the first yard reduction request. In such instance, if a portion of the principal structure is to be removed, no more than fifty (50) percent of the gross floor area of the existing principal structure at the time of the first yard reduction shall be removed.
5. The resulting gross floor area of an existing accessory structure and any addition to it shall be clearly subordinate in purpose, scale, use and intent to the principal structure on the site.
6. The BZA shall determine that the proposed development will be in character with the existing on-site development in terms of the location, height, bulk and scale of the existing structure(s) on the lot.
7. The BZA shall determine that the proposed development is harmonious with the surrounding off-site uses and structures in terms of location, height, bulk and scale of surrounding structures, topography, existing vegetation and the preservation of significant trees as determined by the Director.
8. The BZA shall determine that the proposed development shall not adversely impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air, safety, erosion, and stormwater runoff.
9. The BZA shall determine that the proposed reduction represents the minimum amount of reduction necessary to accommodate the proposed structure on the lot. Specific factors to be considered include, but are not limited to, the layout of the existing structure; availability of alternate locations for the addition; orientation of the structure(s) on the lot; shape of the lot and the associated yard designations on the lot; environmental characteristics of the site, including presence of steep slopes, floodplains and/or Resource Protection Areas; preservation of existing vegetation and significant

trees as determined by the Director; location of a well and/or septic field; location of easements; and/or preservation of historic resources.

10. The BZA may impose such conditions as it deems necessary to satisfy these criteria, including, but not limited to imposition of a maximum gross floor area, floor area ratio, lot coverage, landscaping and/or screening requirements.
11. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by fifteen (15) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia. Such plat shall contain the following information:
 - A. Boundaries of entire property, with bearings and distances of the perimeter property lines, and of each zoning district.
 - B. Total area of the property and of each zoning district in square feet or acres.
 - C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
 - D. The location, dimension and height of any building, structure or addition, whether existing or proposed. In addition, for decks, the height of the finished floor above finished ground level.
 - E. All required minimum yards to include front, side and rear, a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing and proposed structures to lot lines.
 - F. Means of ingress and egress to the property from a public street(s).
 - G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).

- H. If applicable, the location of a well and/or septic field.
 - I. Existing and proposed gross floor area and floor area ratio.
 - J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.
 - K. The location, type and height of any existing and proposed landscaping and screening.
 - L. Approximate delineation of any floodplain designated by the Federal Insurance Administration, United States Geological Survey, or Fairfax County, the delineation of any Resource Protection Area and Resource Management Area, and the approximate delineation of any environmental quality corridor as defined in the adopted comprehensive plan, and, if applicable, the distance of any existing and proposed structures from the floodplain, Resource Protection Area and Resource Management Area, or environmental quality corridor.
 - M. Seal and signature of professional person certifying the plat.
12. Architectural depictions of the proposed structure(s) as viewed from all lot lines and street lines to include building materials, roof type, window treatment and any associated landscaping and/or screening shall be provided.

8-923 Provisions for Increase in Fence and/or Wall Height in Any Front Yard

The BZA may approve a special permit to allow an increase in fence and/or wall height in any front yard subject to all of the following:

1. The maximum fence and/or wall height shall not exceed six (6) feet and such fence and/or wall shall not be eligible for an increase in fence and/or wall height pursuant to Par. 3I of Sect. 10-104.
2. The fence and/or wall shall meet the sight distance requirements contained in Sect. 2-505.
3. The BZA shall determine that the proposed fence and/or wall height increase is warranted based upon such factors to include, but not limited to, the orientation and location of the principal structure on the lot, the orientation and location of nearby off-site structures, topography of the lot, presence of multiple front yards, and concerns related to safety and/or noise.
4. The BZA shall determine that the proposed fence and/or wall height increase will be in character with the existing on-site development and will be harmonious with the surrounding off-site uses and structures in terms of location, height, bulk, scale and any historic designations.
5. The BZA shall determine that the proposed fence and/or wall height increase shall not adversely impact the use and/or enjoyment of other properties in the immediate vicinity.
6. The BZA may impose such conditions as it deems necessary to satisfy these criteria, including but not limited to imposition of landscaping or fence and/or wall design requirements.
7. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by fifteen (15) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia. Such plat shall contain the following information:

- A. Boundaries of entire property, with bearings and distances of the perimeter property lines, and of each zoning district.
- B. Total area of the property and of each zoning district in square feet or acres.
- C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
- D. The location, dimension and height of any building or structure, to include existing or proposed fences and/or walls.
- E. All required minimum yards to include front, side and rear, a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing structures to lot lines.
- F. Means of ingress and egress to the property from a public street(s).
- G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).
- H. If applicable, the location of a well and/or septic field.
- I. If applicable, existing gross floor area and floor area ratio.
- J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.
- K. The location, type and height of any existing and proposed landscaping and screening.
- L. Approximate delineation of any floodplain designated by the Federal Insurance Administration, United States Geological Survey, or Fairfax County, the delineation of any Resource Protection Area and Resource Management Area, and the approximate delineation of any environmental quality corridor as defined in the adopted comprehensive plan, and, if applicable, the distance of any existing and proposed structures from the floodplain, Resource Protection Area

and Resource Management Area, or environmental quality corridor.

- M. Seal and signature of professional person certifying the plat.
8. Architectural depictions of the proposed fence and/or wall to include height, building materials and any associated landscaping shall be provided.