



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

July 6, 2010

Mr. Martin F. Smith, Jr., PE
Bury + Partners
3810 Concorde Parkway, Suite 1000
Chantilly, VA 20151

Re: Interpretation for SEA 2005-SU-007, Korean Central Presbyterian Church Trustees,
Tax Map 64-2 ((13)) 18; 64-2 ((5)) 1, 2, 3; Landscaping, Fencing, Parking, Bridge, Sign

Dear Mr. Smith:

This is in response to your letters of February 11, 2010, replacement letter of April 26, 2010, and letter of May 20, 2010, requesting an interpretation of the Special Exception Amendment (SEA) Plat and development conditions approved by the Board of Supervisors in conjunction with the approval of SEA 2005-SU-007. As I understand it, you have several questions which will be addressed individually below. These determinations are based on the plans entitled "Korean Central Presbyterian Church - Landscape Relocation Exhibit - Original Layout," Sheet 1 of 2, and "Korean Central Presbyterian Church - Landscape Relocation Exhibit - Revised Layout," Sheets 2 of 2, 2A of 2 and 2B of 2, all dated April, 2010, and prepared by Bury + Partners; the plans entitled "Korean Central Presbyterian Church - Bridge Exhibit" Sheet 1 of 1, dated April 26, 2010, and prepared by Bury + Partners; and "Korean Central Presbyterian Church - Bridge" drawn by The Kachele Group. Copies of your letters and relevant exhibits are attached.

On April 3, 2006, the Board of Supervisors approved SE 2005-SU-007, subject to development conditions, for the church with a nursery school and private school of general education. On September 24, 2007, the Board of Supervisors approved Special Exception Amendment SEA 2005-SU-007 to permit a child care center in place of the previously approved nursery school with a total maximum enrollment of 100 children and associated modifications to the site design and development conditions. There have subsequently been three interpretation letters issued. The first interpretation letter, issued October 8, 2008, addressed modifications to the cross-sections, relocation of the travel aisle, modification to the final grading of the northwestern parking lot, modifications to the landscaping within the existing gas line easement and closure of the approved entrance in the far northwestern corner of the site. The second interpretation letter, issued October 8, 2008, addressed the proposed modifications to the transitional screening to accommodate the relocation of NOVEC utility poles and the relocation of trees and shrubs

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within the remaining open space and NOVEC easement. The third interpretation letter, issued July 30, 2009, addressed the uses associated with the church's ministry program as previously established in Vienna and the establishment of an adult day care center with a child care center limiting the enrollment to 100 at any one time.

Your current interpretation request includes six questions.

1. Relocation of Trees - The first question originally submitted was whether the relocation of 15 evergreen trees from the area south of Route 29, and north of the church, to south of the parking area west of the church would be in substantial conformance with the approved SEA Plat and development conditions. It is my understanding that this request has been withdrawn since the 15 trees initially proposed to be relocated have been planted as required by the site plan.

2. Fence Location - Your second question is whether the 7' board on board fence, which is approved to be located on the western side of the parking lot, may be shifted 6.5' to the west in order to clear a storm drainage ditch. The proposed location is shown on the submitted interpretation plan "Korean Central Presbyterian Church - Landscape Relocation Exhibit - Revised Layout," sheet 2B 2. You have confirmed that the proposed location of the fence maintains the 100 foot buffer required along the western side of the property and that the required landscaping on the western exposure of the fence will be provided. It is my determination that the proposed location of the 7' board on board fence would be in substantial conformance with the SEA Plat and development conditions.

In addition, you propose to add 250' of 7' board on board fence along the southwestern corner of the parking area and along the southern side of the parking area outside the limits of clearing and grading. You are proposing to add 15 trees inside the fence area to soften the impact of the fence for those visiting the site. It is my determination that the proposed additional fence and landscaping are in substantial conformance with the SEA Plat and development conditions.

3. NOVEC Easement - Your third question is whether the shifting of landscaping along the eastern side of the church building, in order to accommodate a NOVEC easement running 20 feet parallel to the building, would be in substantial conformance with the SEA Plat and development conditions. The plan entitled "Korean Central Presbyterian Church - Landscape Relocation Exhibit - Revised Layout," Sheet 2A of 2, provides detailed locations of the landscaping outside of the easement. The same number and quality of plantings would be provided in the shifted landscape area. It is my determination that the proposed relocation of landscaping outside the 20 foot easement is in substantial conformance with the SEA Plat and development conditions.

4. Footbridge Span Length - Your fourth question is whether the reduction in length of the bridge shown on the SEA Plat south of the southwestern parking area from 40 feet to 16 feet would be in substantial conformance with the SEA Plat and development conditions. You have provided the plan entitled "Korean Central Presbyterian Church - Bridge Exhibit" Sheet 1 of 1, dated April 26, 2010, and prepared by Bury + Partners and a detail drawing of the bridge on the plan entitled "Korean Central Presbyterian Church - Bridge" prepared by The Kachele Group. These two plans detail a 16 foot bridge span to cross the sensitive wetland area in this portion of the property. DPWES has indicated that the design and length of the bridge must not obstruct, interfere with or change the drainage in the wetland area and that the beams, piers and abutments

must not affect the flow of water. It is my determination that a reduction in the length of the bridge would be in substantial conformance with the SEA Plat and development conditions provided DPWES determines that the above conditions are met at the time of site plan approval. The amount of reduction, if any, shall be determined by DPWES.

5. Grasscrete Parking Area - Your fifth question is whether the overflow parking area shown on the SEA Plat east of the church may be labeled "grass" instead of "grasscrete." You have stated that grasscrete refers to a specific product for surfacing a parking area and you seek flexibility since many products are available to achieve the same objective.

Development condition number 41 approved with SEA 2005-SU-007 states the following:

The 198 spaces shown on the SE Plat as "overflow parking" shall be constructed with a pervious surface such as grasscrete pavers. Should a dustless surface waiver for these overflow spaces not be approved at the time of site plan approval, the overflow spaces shown on the SE Plat shall not be constructed and that area shall be maintained as undisturbed open space.

It is my determination that the designation of the overflow parking area as "grass" would not be in substantial conformance with the SEA Plat and development conditions. It is my determination that the use of a substitute material to grasscrete would be in substantial conformance with the SEA Plat and development conditions provided that DPWES determines the substitute material provides equivalent performance to grasscrete.

6. Relocate Site Sign - Your sixth question is whether the redirecting and relocating of the monument sign to be located at the site entrance would be in substantial conformance with the SEA Plat and development conditions. The approved monument sign is oriented perpendicular to Route 29 and located approximately 30 feet from the proposed right-of-way property line. You are proposing to orient the sign parallel to Route 29. In addition, the question is whether the monument sign maybe relocated closer to Route 29. Development condition number 10 states the following:

All signage shall be in conformance with Article 12 of the Zoning Ordinance. No more than one free-standing sign shall be installed on the subject property. Such sign shall be a monument sign a maximum of four feet in height, in substantial conformance with that shown on the SE Plat.

It is my determination that the proposed reorientation of the sign would be in substantial conformance with the SEA Plat and development conditions provided all requirements of Article 12 of the Zoning Ordinance and SEA Development Condition 10 are met and that the sign is no closer to the proposed right-of-way property line than shown on the SEA Plat.

These determinations have been coordinated with the Department of Public Works and Environmental Services and the Zoning Administration Division, DPZ, and have been made in my capacity as the duly authorized agent of the Zoning Administrator. If you have any questions regarding this matter, please contact Lisa Feibelman at (703) 324-1290.

Sincerely,



Regina C. Coyle, Director
Zoning Evaluation Division

N:\Interpretations\Special Exception\SEA 2005-SU-0007 Korean Pres Church - Bridge and fence.doc

cc: Michael R. Frey, Supervisor, Sully District
John L. Litzenberger, Planning Commissioner, Sully District
Diane Johnson-Quinn, Deputy Zoning Administrator, Zoning Permit Review Branch, DPZ
Jack Weyant, Director, Environmental and Facilities Inspection Division, DPWES
Ken Williams, Chief, Plan and Document Control, Land Development Services, DPWES
Kevin Guinaw, Chief, Special Projects/Applications Management Branch, DPZ
File: SEA 2005-SU-007, SEI 1002 002, Imaging, Reading File

May 20, 2010

Ms. Lisa Feibelman
Director of Zoning Evaluation Division
Department of Planning and Zoning
Fairfax County
12055 Government Center Parkway
Suite 801
Fairfax, Virginia 22035

RECEIVED
Department of Planning & Zoning

MAY 20 2010

Zoning Evaluation Division

**Subject: Korean Central Presbyterian Church
Special Exception Amendment: SEA2005-SU-007
Site Plan: 9630-SP-004-2
Letter of Interpretation for Landscaping and Fencing Adjustments
Comment Response**

Dear Ms. Feibelman,

We respectfully submit this letter and revised supporting exhibits in response to your initial comments on our recent submittal of the above referenced request for an interpretation of substantial conformance with the approved Special Exception Plan and Amendments for the Korean Central Presbyterian Church project (plan numbers as noted above). The intent of this letter is to address concerns and questions you raised in our phone conversation on May 3, 2010.

The original letter of interpretation encompassed six (6) items. The numbering in this letter refers back to the original letter. Additional supporting information is provided below and on the enclosed plans.

1. **Relocate Trees to Southwest** – This request is being withdrawn. The trees that were to be relocated have been planted in accordance with the approved site plans and Special Exception.
2. **Fence Location Adjustment** - The proposed fence location maintains the 100' buffer width and does not impact the tree save area. It should be noted that the landscaping required per the plans along the fence line will be planted in accordance with the approved plans. An additional plan sheet has been created to show in better detail that the fence will remain at the 100' buffer distance from the adjacent property.

BURY+PARTNERS-VIRGINIA, INC.
3810 Concorde Parkway, Suite 1000
Chantilly, Virginia 20151

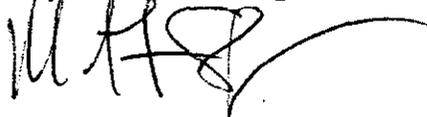
tel (703) 968-9090

fax (703) 968-4866

3. **Modifications for NOVEC Easement** – A NOVEC easement runs parallel with the property on eastern side of the building which is used to provide underground service to the property. Some of the original plantings in this area were shown in the easement. All of the plants in this area that were in the limits of the easement have been shifted outside of the easement. Additional detail has been provided on a new plan sheet (attached). No change to the number or species of plants is proposed. This is a location adjustment only.
4. **Reduce Footbridge Span Length** – It is our understanding at this time that this item is acceptable and no additional information is needed.
5. **Grass Parking Area Construction Method** – It was noted in our conversation that the development condition #41 specifying the use of “grasscrete” also indicates that materials “such as grasscrete” may be used. There is not a need, therefore, to request an interpretation for this item.
6. **Relocate Site Sign** – It is our understanding at this time that this item is acceptable and no additional information is needed.

I hope this additional information answers your questions and request for clarification. Should you have any questions or require additional information, please call me at (703)968-9090. Thank you again for your assistance with this project.

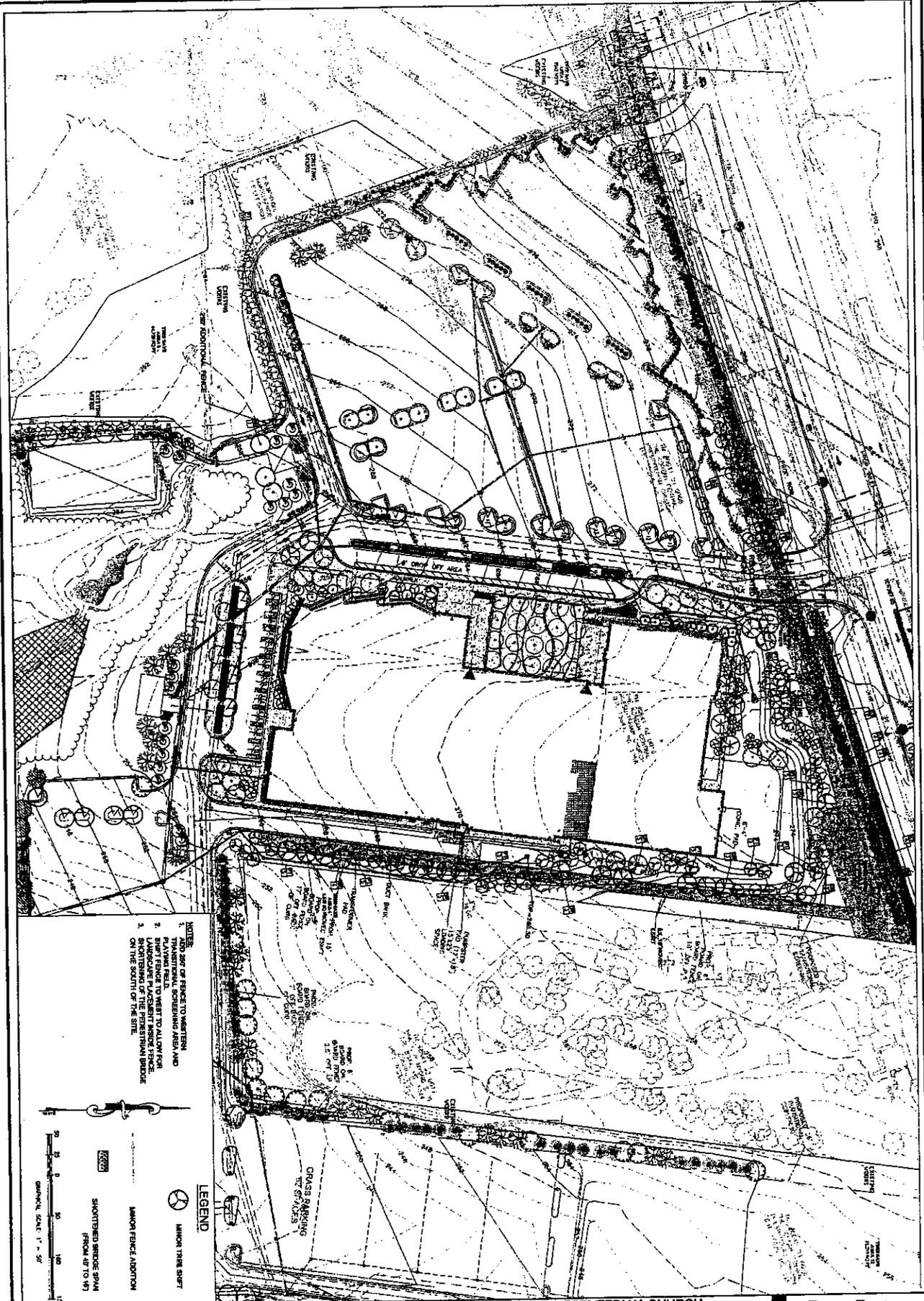
Sincerely,
Bury+Partners - Virginia, Inc.



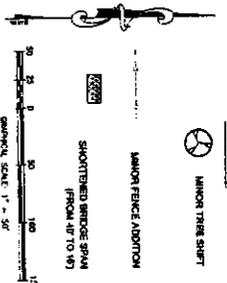
Martin F. Smith, Jr., PE
Project Manager/Associate

Cc: Michael Lee, MYL Development

01-12-10-2003-01 - Planning/Community Services Department 01-12-10-2003-01 - 15 - Worksheet - Rev 12, 2010



- NOTES:**
1. ADD 20' W OF FENCE TO WESTERN AND NORTHERN SIDE OF EXISTING AREA AND BRUSH FENCE TO WEST TO ALLOW FOR LANDSCAPE PLACEMENT PERSON SPACE ON THE SOUTH OF THE SITE.

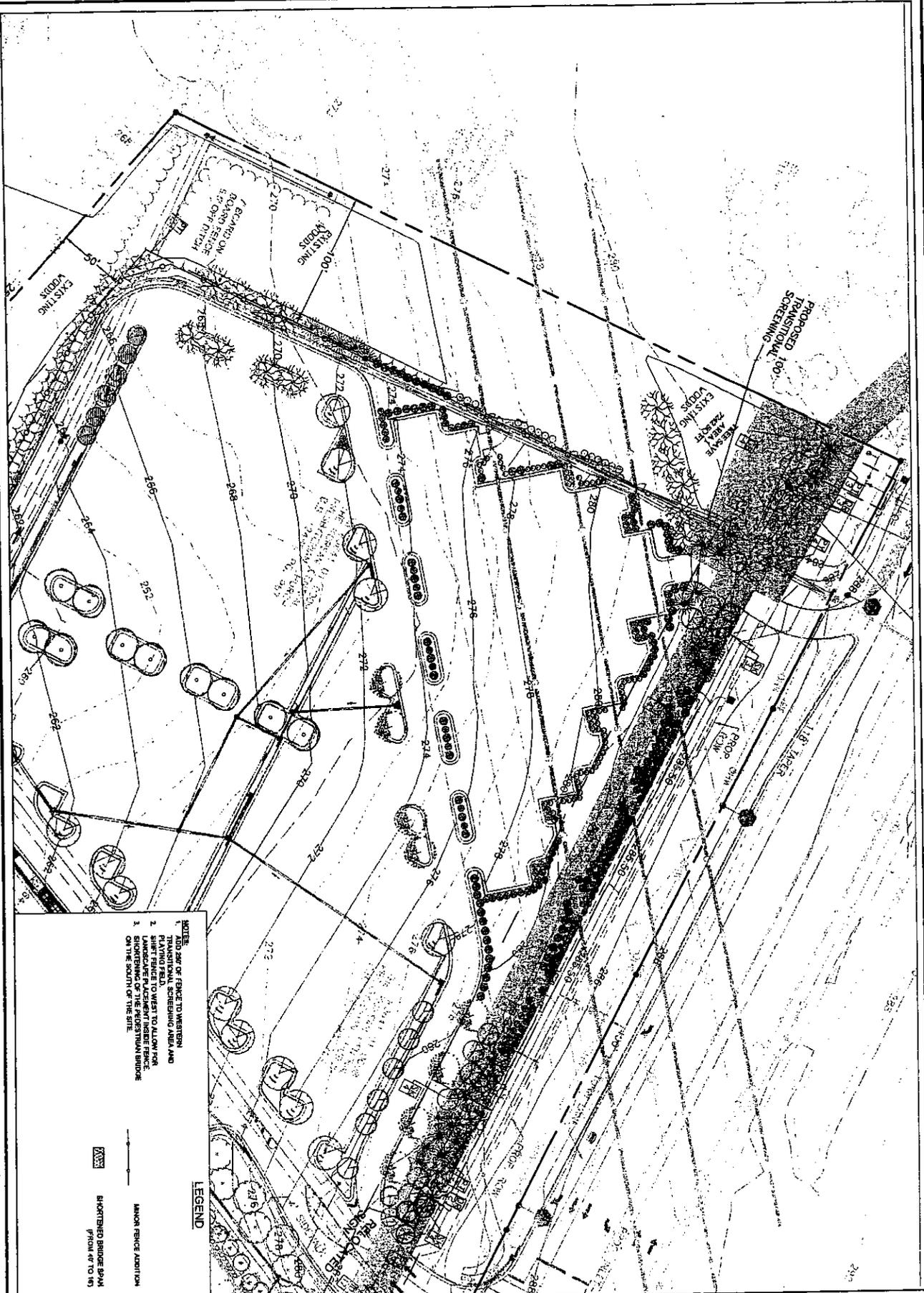


KOREAN CENTRAL PRESBYTERIAN CHURCH
 SULLY DISTRICT
 FAIRFAX COUNTY, VIRGINIA
 LANDSCAPE RELOCATION EXHIBIT - REVISED LAYOUT

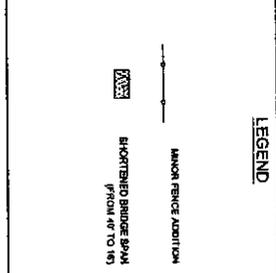
Bury-Partners
 ENGINEERING SOLUTIONS
 Consulting Engineers and Surveyors
 4818 Courthouse Parkway, Suite 1000
 Chantilly, VA 20151
 Tel: 703-998-2800 Fax: 703-998-4888
 Bury-Partners-LLC, Inc. © Copyright 2010

SCALE: 1" = 50'
 DATE: June 2010
 DRAWN BY: [initials]
 CHECKED BY: [initials]
 DESIGNED BY: [initials]
 REVIEWED BY: [initials]
 PROJECT NO.: 01-12-10-2003-01
 SHEET
2
 OF 2

10/1/2011 - 10/10/2011 - Korean Central Presbyterian Church - Landscape Relocation Exhibit - Revised Layout - 01-12-10A0203-01 13 10/25/2011 May 20, 2010



- NOTES:**
1. ADD 50' OF FENCE TO WESTERN TRANSPORTATION SCREENING AREA AND PLANTING AREA TO WEST TO ALLOW FOR LANDSCAPE PLACEMENT INSIDE FENCE.
 2. SHORTENING OF THE PERPETUUM BRIDGE ON THE SOUTH OF THE SITE.

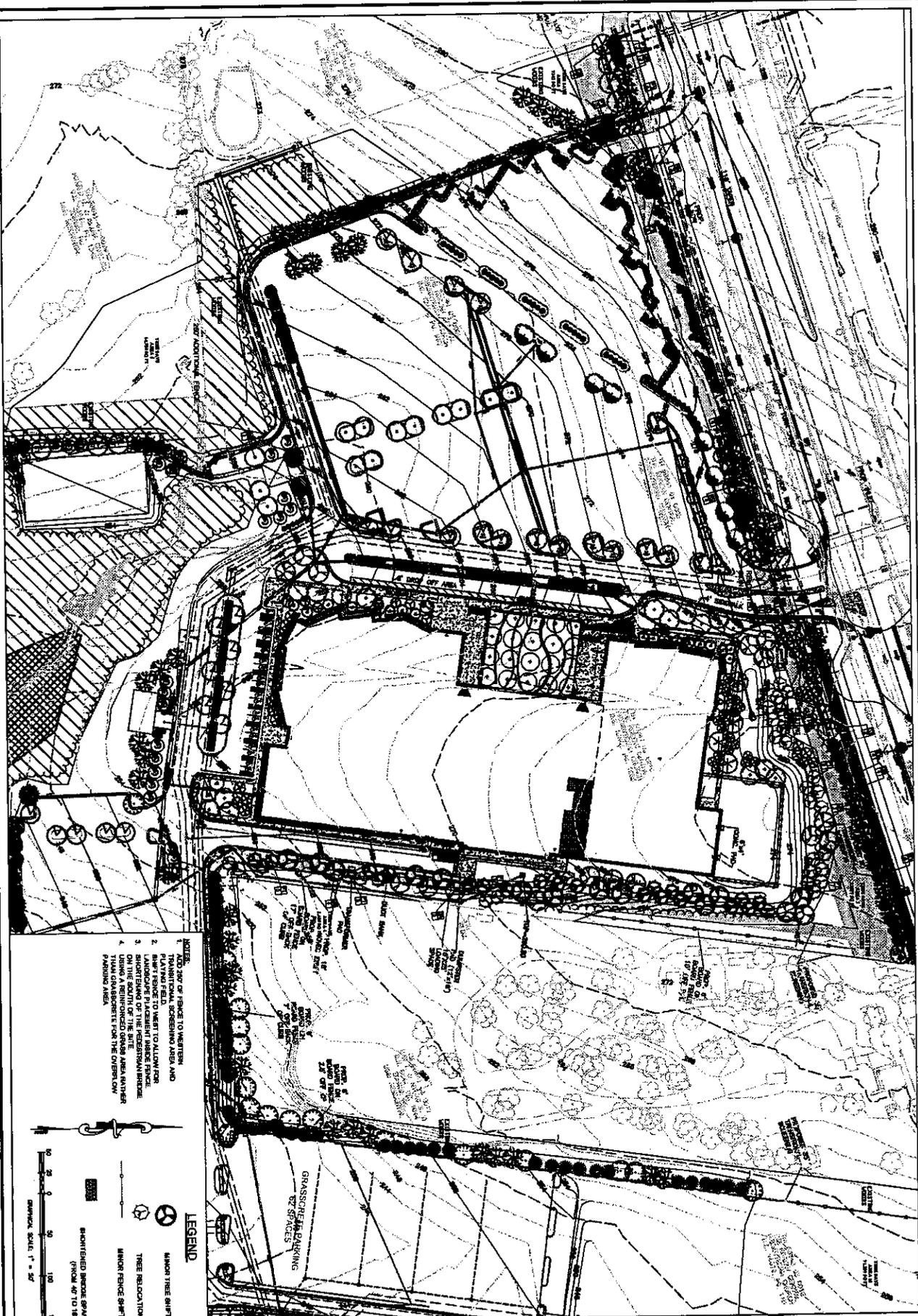


KOREAN CENTRAL PRESBYTERIAN CHURCH
 SULLY DISTRICT
 FAIRFAX COUNTY, VIRGINIA
LANDSCAPE RELOCATION EXHIBIT - REVISED LAYOUT

Bury+Partners
 ENGINEERING SOLUTIONS
 Consulting Engineers and Surveyors
 208 Cavendish Square, Suite 100
 Quantico, VA 22131
 Tel: 703.466.8888 Fax: 703.466.8888
 bury@buri.com Copyright 2009

DATE: 11.1.2010
SCALE: 1" = 20'
DESIGNER: JPM, SJO
CHECKED BY: JPM
APPROVED BY: JPM
DATE: 11.1.2010
PROJECT: 01-12-10A0203-01
SHEET: 2B
OF 2

01-12-10\20363-01 LS Original.dwg, 4/26/10



- NOTES:**
1. ADD 30' OF FENCE TO WESTERN AND PLAYING FIELD.
 2. 30' FENCE TO WEST TO ALLOW FOR SHEDDING OF THE RESEMBLANCE.
 3. ON THE SOUTH OF THE SITE.
 4. USING A REINFORCED GRASS AREA WITH PAVING AREAS.

LEGEND

- MINOR TREE SHIFTS
- TREE RELOCATION
- MINOR FENCE SHIFTS
- REINFORCED GRASS AREA WITH PAVING AREAS

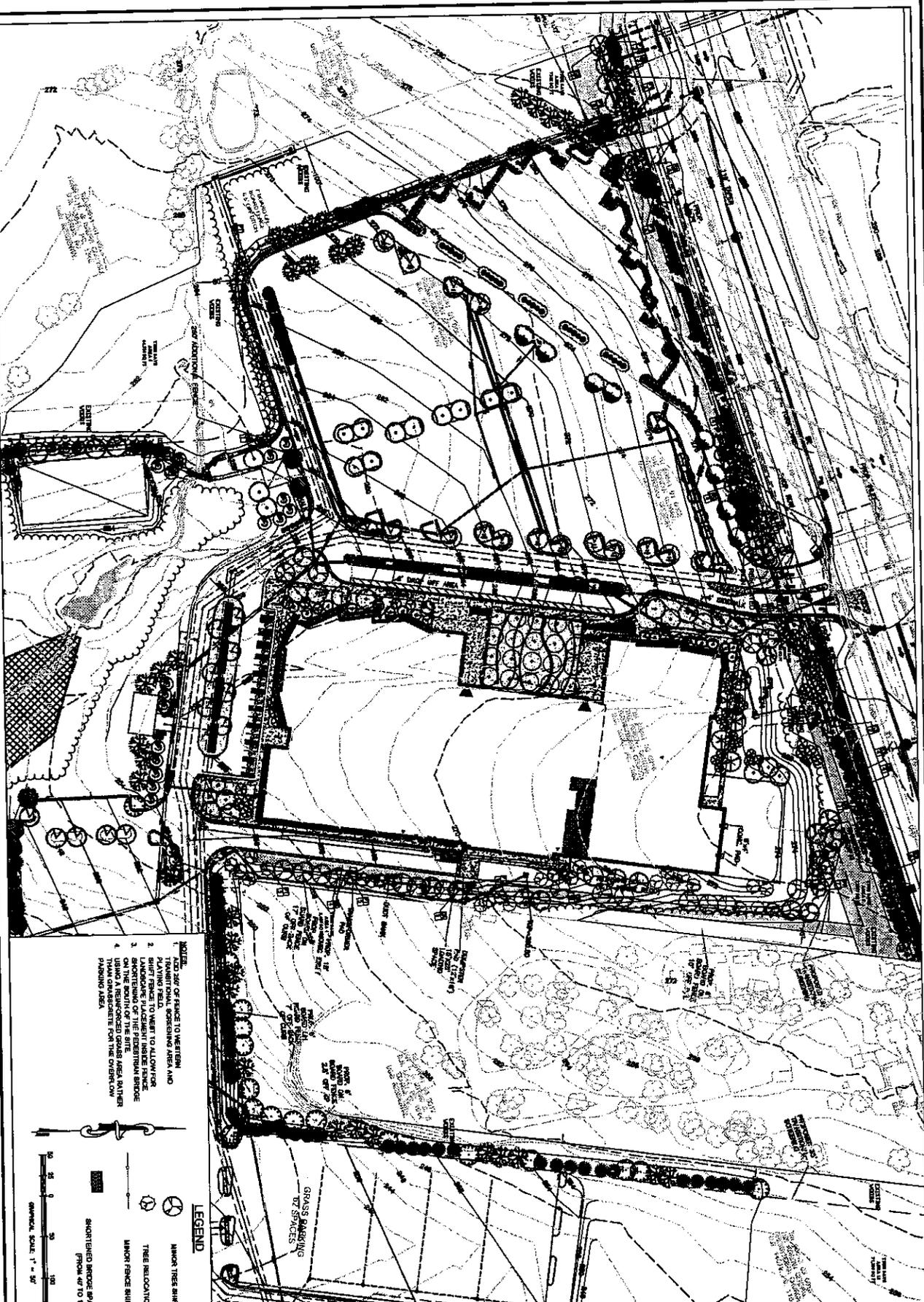
GRAPHIC SCALE: 1" = 20'

SCALE: 1" = 20'
DATE: 04/26/10
BY: [Signature]
CHECKED BY: [Signature]
PROJECT: 20363-01
SHEET: 1 OF 2

KOREAN CENTRAL PRESBYTERIAN CHURCH
 BULLY DISTRICT
 FAIRFAX COUNTY, VIRGINIA
 LANDSCAPE RELOCATION EXHIBIT - ORIGINAL LAYOUT

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 Chesapeake, VA 23041
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 Fax: 757/536-8801
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01/20/2015 - 10:01:01 - Korean Central Presbyterian Church\1100 - Drawings\Exhibits\Special Exception Determination 01-12-10\20363-01 LS NOVEC.dwg Apr 26, 2015



- NOTE:
 1. ADD 2' OF FENCE TO WESTERN TRANSDITIONAL, COEXISTING AREA AND SHIRT FENCE TO WEST TO ALLOW FOR LANDSCAPE PLACEMENT INSIDE FENCE.
 2. SHORTENING OF THE WESTERN FENCE USING A REINFORCED GRASS AREA MATTER THAN OVERSICHT FOR THE OVERFLOW PARKING AREA.

LEGEND

- MANOR TREE SHIRT
- TREE RELOCATION
- MANOR FENCE SHIRT
- SHORTENED FENCE 2' W/ FROM 4' TO 2'

GRASS MARKING
 1' X 1' SPACES

GRAPHICAL SCALE: 1" = 30'

DATE: 11-10-14
 DRAWN: J. W. B. JR.
 CHECKED: J. W. B. JR.
 SCALE: 1" = 30'

2

OF 2

KOREAN CENTRAL PRESBYTERIAN CHURCH
 BULLY DISTRICT
 FAIRFAX COUNTY, VIRGINIA
 LANDSCAPE RELOCATION EXHIBIT - REVISED LAYOUT

Bury Partners
 LANDSCAPE ARCHITECTS

Consulting Engineers and Surveyors
 10000 Lee Road, Suite 200
 Fairfax, Virginia 22030
 Tel: 703-261-1000 Fax: 703-261-1001
 www.burypartners.com © Copyright 2004

April 26, 2010

Ms. Lisa Feibelman
Director of Zoning Evaluation Division
Department of Planning and Zoning
Fairfax County
12055 Government Center Parkway
Suite 801
Fairfax, Virginia 22035

RECEIVED
Department of Planning & Zoning
APR 26 2010
Zoning Evaluation Division

**Subject: Korean Central Presbyterian Church
Special Exception Amendment: SEA2005-SU-007
Site Plan: 9630-SP-004-2
Addendum to Letter of Interpretation for Landscaping and Fencing Adjustments
date February 11, 2010**

Dear Ms. Feibelman,

We respectfully submit this revised letter and supporting exhibits to request an interpretation of substantial conformance with the approved Special Exception Plan and Amendments for the Korean Central Presbyterian Church project (plan numbers as noted above). The intent of this letter is to replace the one previously submitted to your office on February 11, 2010.

The evolution of the project after approval of the Special Exception (SE) and through construction has brought about the need for some adjustments to landscaping and fencing shown on the SE. A previous letter of interpretation was issued October 8, 2008 that indicated the requirement to relocate existing NOVEC power lines, poles and associated overhead utilities along Route 29 frontage resulting in a significant adjustment to approved landscaping. Our recently submitted request (February, 2010) also asked for that adjustment. Subsequent to our most recent letter, additional meetings with VDOT and NOVEC have eliminated the need to relocate these poles and overhead wires. The landscaping along the frontage of Route 29 will remain as shown on the approved Site Plans. The underground service line to the church and its associated easement do, however, remain and require some landscape changes. Additionally, site conditions have made us aware of the need for a few minor changes to the location of some portions of the required fencing.

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TEL (703) 968-9090
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Descriptions of the items for which we are still requesting your determination of their substantial conformance with the SE are specifically listed as follows:

1. **Relocate Trees to Southwest** - We propose to relocate fifteen (15) evergreen trees currently shown to be planted in the low area near the proposed playground on the side of the building facing Route 29 to the southwestern property line. The owner desires to provide additional screening and noise reduction from the parking lot to satisfy neighbors' requests. These trees were originally shown in addition to the 50' Transitional Screening area plantings and were outside of the screening area. The playground area is approximately eight (8) feet below Route 29 and the adjacent property. Based upon these conditions, we feel the playground area is screened in accordance with the intent of the SE and ordinances and the relocation would improve screening in another portion of the site.
2. **Fence Location Adjustment** - The western property boundary is lined with a large stand of trees acting as a tree save area and has a 100' buffer. We are proposing to locate the fence required as part of the buffer running between the tree save area and parking lot in such a manner to allow for installation of some landscaping between the fence and the concrete drainage channel at the edge of the parking area. The proposed fence location maintains the 100' buffer width and does not impact the tree save area. Section A-A on Sheets 5 and 7 of the Special Exception Amendment indicate the location of this planting area. In addition to shifting the fence in this area, we propose to add an additional 250 feet of fence to the end of this fence to provide additional screening.
3. **Modifications for NOVEC Easement** - A NOVEC easement runs parallel with the property on eastern side of the building which is used to provide underground service to the property. Some of the original plantings in this area were shown in the easement. All of the plants in this area that were in the limits of the easement have been shifted outside of the easement.
4. **Reduce Footbridge Span Length** - Upon further engineering analysis and measurement of field conditions, the clear span required to cross the small drainage way and wetland area between the parking lot and the proposed playing field was found to be sixteen (16) feet. The SE plan had an assumed length of forty (40) feet. This length was estimated prior to more detailed site investigations and research on bridge materials. We propose to install a bridge and path in accordance with the SE but utilizing the shorter span needed to cross the sensitive area. A plan view of this area is attached to this letter for review. A copy of the plan illustrating the proposed footbridge is also included for reference.

5. **Grass Parking Area Construction Method** – The overflow parking area to the east of the property is indicated on the SE as “Grasscrete” parking area. This parking area is designed to be a pervious grass lot to allow for storm water infiltration and reduce runoff as well as provide other environmental benefits. The “grasscrete” referred to is a specific product utilized in grass parking areas. There are many other construction methods and products available to achieve a grass parking area. We are requesting to change the note on the SE to “grass” parking area to allow for flexibility in the selection of the actual construction method.
6. **Relocate Site Sign** – The site monument sign was shown on the SE and Site Plan located just to the west of the main entrance and oriented perpendicular to Route 29. At this time we are requesting to relocate the sign so that it is parallel with and slightly closer to Route 29 to improve visibility of the address for Fire and Rescue operations. No other adjustment to the sign is being proposed other than the locational change.

For the modifications noted above, we believe all changes are necessary, based on field conditions and are beneficial to the intent of the Special Exception Amendment. We have included revised Landscape plans from the Site Plan to illustrate the modifications.

We would like to thank you in advance for reviewing these minor changes and making a determination. Should you have any questions or require additional information, please call me at (703)968-9090.

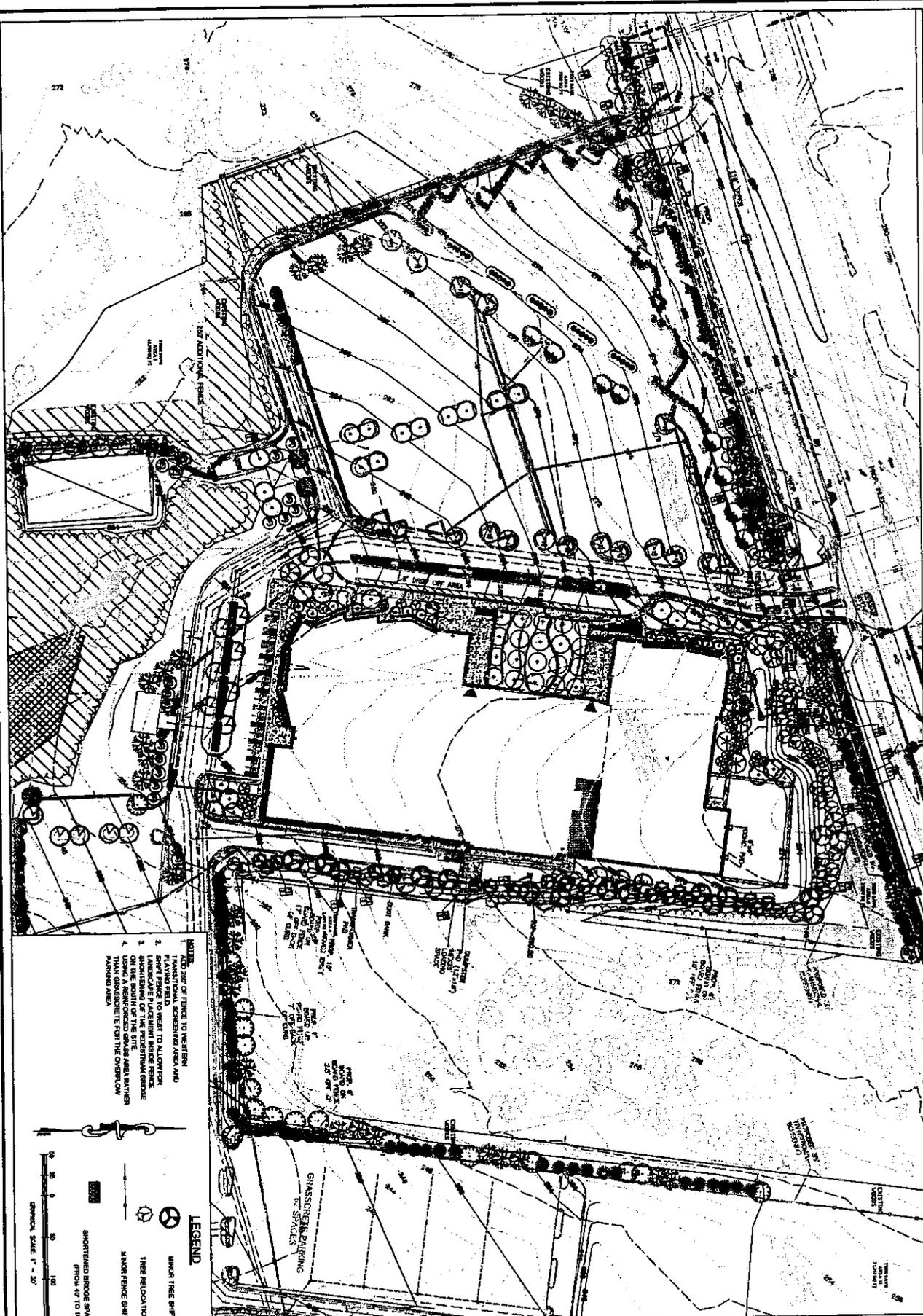
Sincerely,
Bury + Partners – Virginia, Inc.



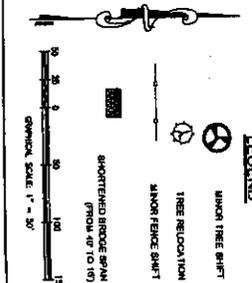
Martin F. Smith, Jr., PE
Project Manager/Associate

Cc: Michael Lee, MYL Development

01/20/2011 - KCPC\01 - Korean Central Presbyterian Church\1100 - Drawings\Exhibits\Special Exception Determination 01-12-10\20363-01 LS Original.dwg, Apr 26, 2011



1. EXISTING: PART OF FENCE TO WESTERN TRANSITIONAL SCREENING AREA AND PLAYING FIELD.
2. NEW: FENCE TO ALLOW FOR SHIRT FENCE TO EXIST INSIDE FENCE SHORTENING OF THE PRESBYTERIAN BRIDGE ON THE SOUTH OF THE SITE.
3. NEW: MINOR FENCE SHIRT SHORTENING FOR THE OVERLOOK PARKING AREA.

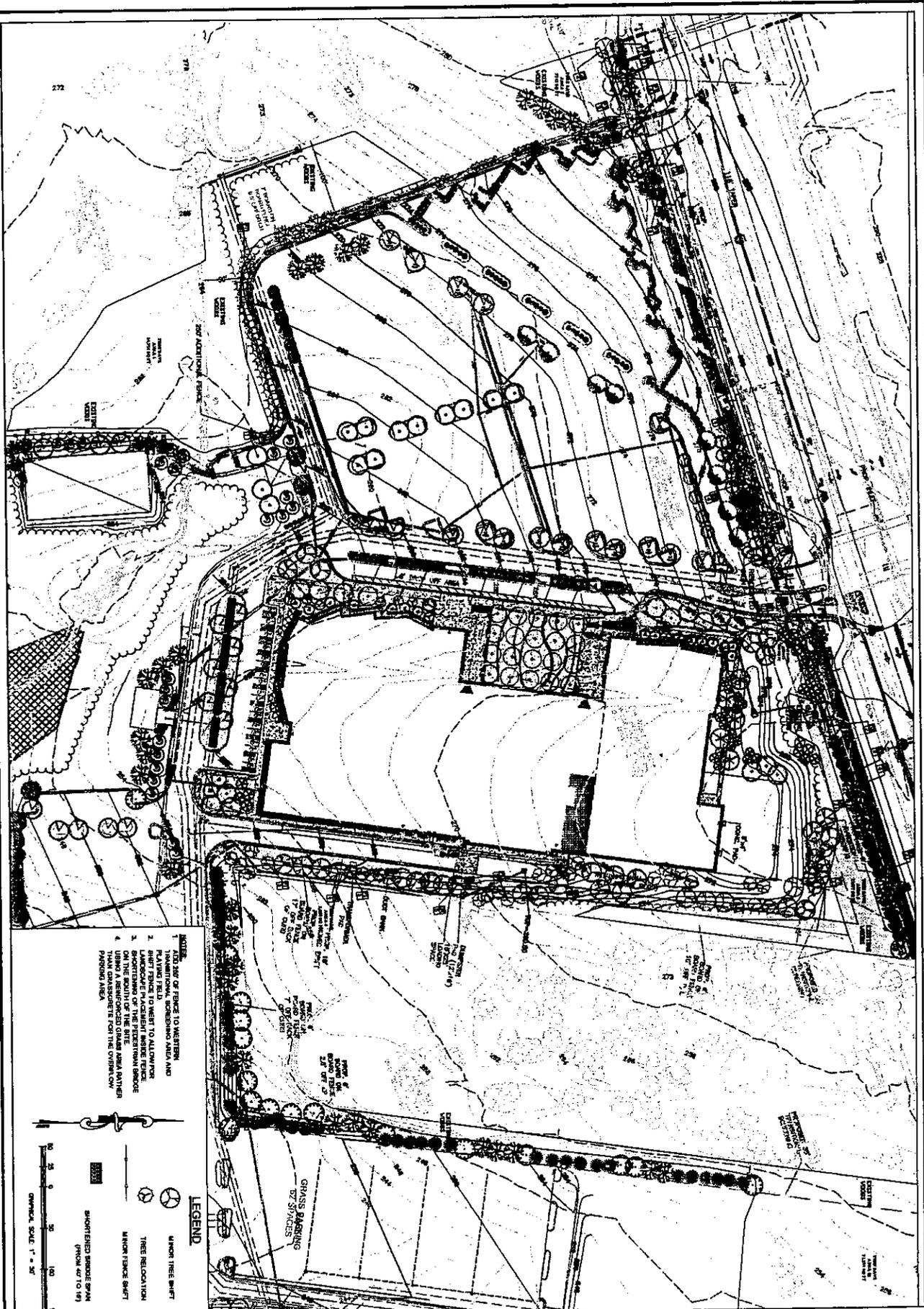


SHEET 1 OF 2
 SCALE: 1" = 20'
 DATE: 04/26/11
 DRAWN BY: [unintelligible]
 CHECKED BY: [unintelligible]
 TITLE: LANDSCAPE RELOCATION EXHIBIT - ORIGINAL LAYOUT

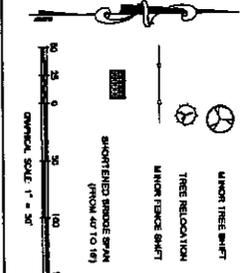
KOREAN CENTRAL PRESBYTERIAN CHURCH
 BULLY DISTRICT
 FAIRFAX COUNTY, VIRGINIA
 LANDSCAPE RELOCATION EXHIBIT - ORIGINAL LAYOUT

Bury-Partners
 ENGINEERING SOLUTIONS
 Consulting Engineers and Surveyors
 2000 Columbia Parkway, Suite 200
 Charlottesville, VA 22904
 Tel: 434-973-1111
 Fax: 434-973-1112
 www.burypartners.com

2/20/2010 - KCPC\01 - Korean Central Presbyterian Church\1100 - Drawings\Exhibits\Special Exception Determination 01-12-10\20363-01 LS NOVEC.dwg Apr 26, 2010



NOTE:
 1. ADD SET OF FENCE TO WESTERN PORTION OF SENSITIVE AREA AND
 2. SHIRT FINISH TO WEST TO ALLOW FOR
 LANDSCAPE PLANTING INSIDE FENCE
 ON THE SOUTH OF THE SITE
 3. URBAN A REINFORCED GRASS AREA RATHER
 THAN CONCRETE FOR THE OVERLOOK
 PARKING AREA

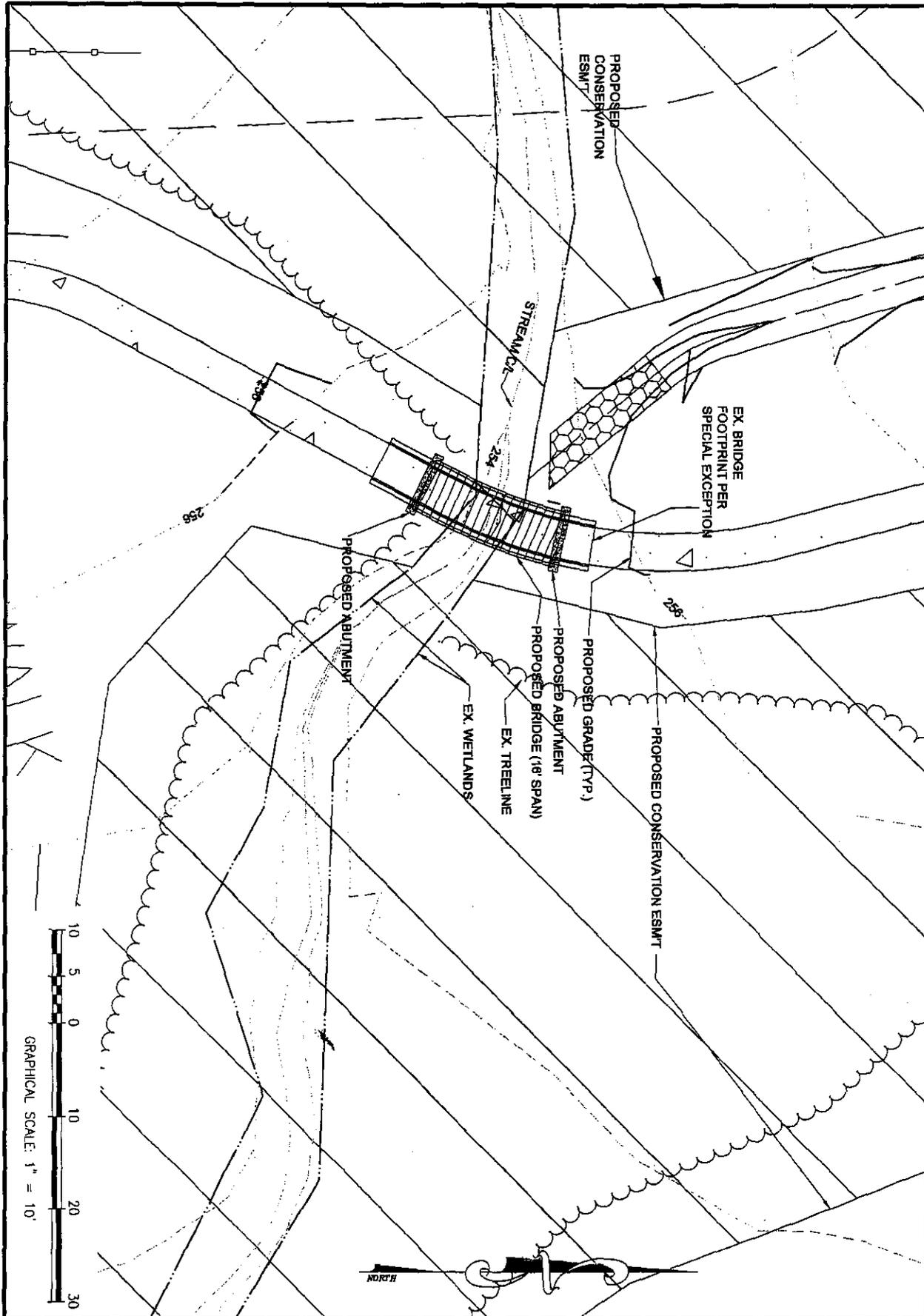


LEGEND
 MINOR TREE SHIRT
 TREE RELOCATION
 MINOR FENCE SHIRT
 SHORTENED BRIDGE SWAN (FROM 40 TO 30)

KOREAN CENTRAL PRESBYTERIAN CHURCH
 BULLY DISTRICT
 FAIRFAX COUNTY, VIRGINIA
 LANDSCAPE RELOCATION EXHIBIT - REVISED LAYOUT

Bury-Partners
 ENGINEERING SOLUTIONS
 Consulting Engineers and Surveyors
 2000 Commonwealth Parkway, Suite 200
 Chesapeake, Virginia 23041
 Tel: 757/536-2000 Fax: 757/536-2001
 www.bury-partners.com © Copyright 2010

SHEET
2
 OF 2



SHEET
1
OF **1**

Scale: 1" = 10'
Date: 4-26-20110
Designed by: ATO
Drawn by: ATO
Checked by: MFS
Project No. 20363-01

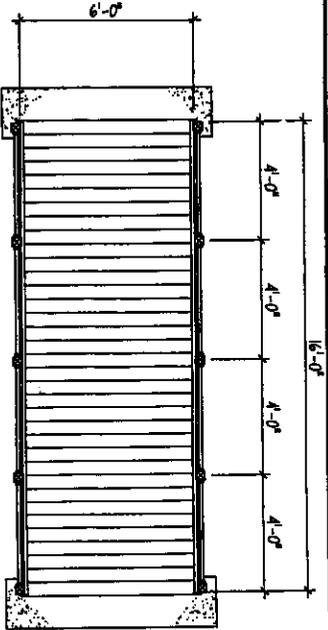
PROJECT NAME
KOREAN CENTRAL
PRESBYTERIAN CHURCH

BRIDGE EXHIBIT

SULLY DISTRICT
FAIRFAX COUNTY

Bury+Partners
 ENGINEERING SOLUTIONS

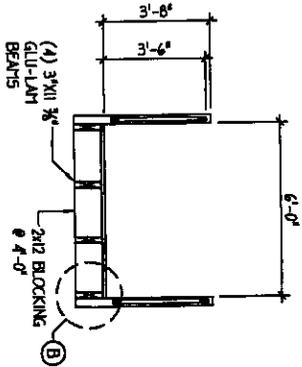
Consulting Engineers and Surveyors
 3810 Concorde Parkway, Suite 1000
 Chantilly, Virginia 20151
 Tel 703/968-9090 Fax 703/968-4866
 Bury+Partners-VA, Inc. © Copyright 2007



PLAN

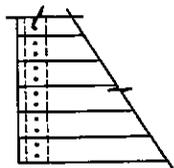
SCALE 1/4" = 1'-0"

(6'-0" x 16'-0" BRIDGE)



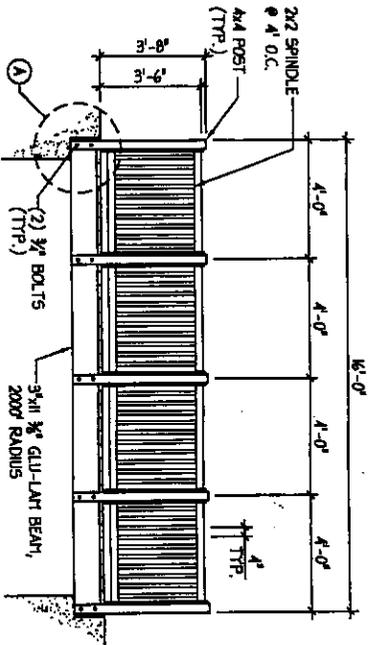
SECTION

SCALE 1/4" = 1'-0"



PLANK CONNECTION

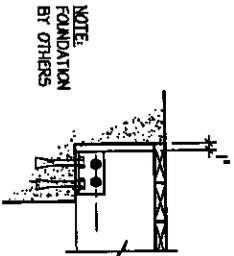
SCALE 3/4" = 1'-0"



ELEVATION

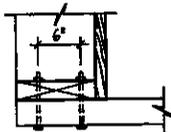
SCALE 1/4" = 1'-0"

(6'-0" x 16'-0" BRIDGE)



DETAIL A

SCALE 3/4" = 1'-0"



DETAIL B

SCALE 3/4" = 1'-0"

GENERAL NOTES

1. THE CEDAR STORE IS NOT RESPONSIBLE FOR PROPER USE OF ITS PRODUCTS. THE CEDAR STORE ASSUMES NO RESPONSIBILITY FOR THE DESIGN, CONSTRUCTION AND INSTALLATION OF ANY MATERIAL SUPPLIED BY OTHERS.
2. DESIGN LOADS: 10 PSF DEAD LOAD, 60 PSF LIVE LOAD.
3. DIMENSIONAL LUMBER SHALL BE SOUTHERN YELLOW PINE NO.1 OR BETTER, GRADED IN ACCORDANCE WITH THE NFPA NATIONAL DESIGN SPECIFICATION. PRESERVATIVE TREAT WITH ACO 0.40 RETENTION.
4. STRUCTURAL GLUED LAMINATED TIMBER (GLT) SHALL BE HORIZONTALLY LAMINATED MEMBERS MANUFACTURED IN ACCORDANCE WITH THE "TIMBER CONSTRUCTION MANUAL" OF THE AITC, LATEST EDITION. LUMBER SHALL BE SOUTHERN PINE WITH A MINIMUM BENDING STRESS OF 2400 PSI. PRESERVE TREAT LUMBER PRIOR TO GLUING IN ACCORDANCE WITH AITC 001.
5. STEEL SHALL CONFORM TO ASTM - A36. HOT DIP GALVANIZE ACCORDING TO ASTM-A653, G95. WOOD SCREWS, PHILLAGUARD PHILLIPS EXTERIOR SCREW OR EQUAL. GALVANIZE IN ACCORDANCE WITH ASTM - A553.
6. BOLTS CONFORM TO ASTM A307 OR A36. GALVANIZE IN ACCORDANCE WITH ASTM - A553. EXPANSION BOLTS SHALL BE HILTI GIBCK BOLT 3 EXPANSION ANCHOR OR EQUAL. GALVANIZE IN ACCORDANCE WITH ASTM - A553.
7. THE SURROUNDING FOUNDATION AND/OR SUPPORTS MUST BE DESIGNED TO WITHSTAND ALL RESULTANT FORCES TRANSMITTED BY THE BRIDGE. CONSULT A REGISTERED PROFESSIONAL ARCHITECT OR ENGINEER LICENSED IN THE STATE WHERE THE BRIDGE IS LOCATED.
8. DO NOT SCALE DRAWINGS.



Karon Central Presbyterian Church
Herndon, Va

Product: Bridge

Size: 6'-0" x 16'-0"

Type: Pedestrian

CAD Drawing
Floor Plan, Elevation,

Scale: As Noted

Supervisor: MD

Drawn by: JLT

February 11, 2010

Ms. Regina Coyle
Director of Zoning Evaluation Division
Department of Planning and Zoning
Fairfax County
12055 Government Center Parkway
Suite 801
Fairfax, Virginia 22035

**Subject: Korean Central Presbyterian Church
Special Exception Amendment: SEA2005-SU-007
Site Plan: 9630-SP-004-2
Letter of Interpretation for Landscaping and Fencing Adjustments**

Dear Ms. Coyle,

We respectfully submit this letter and supporting exhibits to hereby request an interpretation of substantial conformance with the approved Special Exception Plan and Amendments for the Korean Central Presbyterian Church project (plan numbers as noted above).

The evolution of the project after approval of the Special Exception (SE) and through construction has brought about the need for some adjustments to landscaping and fencing shown on the SE. Most notably, the requirement to relocate existing NOVEC power lines, poles and associated overhead utilities along Route 29 frontage has caused a significant adjustment to approved landscaping. Additionally, site conditions have made us aware of the need for a few minor changes to the location of some portions of the required fencing.

Descriptions of the items for which we are requesting your determination of their substantial conformance with the SE are specifically listed as follows:

1. **Remove Fence From Tree Save Area** - The original Special Exception Amendment and the Site Plan show board on board fence located east of the "piano key" property (TM # 0641-03-0017), entering a large existing stand of trees prescribed as a tree save area. We are proposing to relocate approximately 250 linear feet of fence to the southwestern portion of the main parking lot since constructing fence within the Tree Save Area will ultimately require removal of existing trees. It is our opinion that the existing tree stand provides the screening intended by the SE and county ordinances.

BURY+PARTNERS-VIRGINIA, INC.
3810 Concorde Parkway, Suite 1000
Chantilly, Virginia 20151

TEL (703) 968-9090

FAX (703) 968-4866

2. **Relocate Trees to Southwest** - In addition to locating the fence noted above for additional screening, we propose to relocate fifteen (15) evergreen trees currently shown to be planted in the low area near the proposed playground on the side of the building facing Route 29 to the southwestern property line. The owner desires to provide additional screening and noise reduction from the parking lot to satisfy neighbors' requests. These trees were originally shown in addition to the 50' Transitional Screening area plantings and were outside of the screening area. The playground area is approximately eight (8) feet below Route 29 and the adjacent property. A significant amount of new trees are still proposed to be planted in this same area due to relocation of trees from the NOVEC easement (see #4 below). Based upon these conditions, we feel the playground area is screened in accordance with the intent of the SE and ordinances while improving screening in another portion of the site.

3. **Fence Location Adjustment** - The western property boundary is lined with a large stand of trees acting as a tree save area and has a 100' buffer. We are proposing to locate the fence required as part of the buffer running between the tree save area and parking lot in such a manner to allow for installation of some landscaping between the fence and the concrete drainage channel at the edge of the parking area. The proposed fence location maintains the 100' buffer width and does not impact the tree save area. Section A-A on Sheets 5 and 7 of the Special Exception Amendment indicate the location of this planting area.

4. **Modifications for NOVEC Easement** - After SE approval, the need to create a new NOVEC easement running along property frontage, relocate existing lines and poles to this new easement, and create an easement extending behind the building to the transformer was finalized. Creation of these easements has required a shift in many tree locations indicated in the SE in order to meet NOVEC requirements. NOVEC is very selective regarding allowable plantings within their easements and their restrictions do not permit most trees. The majority of trees originally shown on the SE in the NOVEC easement have been moved to other locations along Route 29 frontage. Others were moved to the rear of the property near the proposed playing field adding additional screening in that area, per neighbors' requests.

5. **Reduce Footbridge Span Length** - Upon further analysis and measurement of field conditions, the clear span required to cross the small drainage way and wetland area between the parking lot and the proposed playing field was found to be sixteen (16) feet. The SE plan had an assumed length of forty (40) feet. This length was estimated prior to more detailed site investigations and research on bridge materials. We propose to install a bridge and path in accordance with the SE but utilizing the shorter span needed to cross the sensitive area.

6. **Grass Parking Area Construction Method** - The overflow parking area to the east of the property is indicated on the SE as "Grasscrete" parking area. This parking area is designed to be a pervious grass lot to allow for storm water infiltration and reduce runoff as well as provide other environmental benefits. The "grasscrete" referred to is a specific product utilized in grass parking areas. There are many other construction methods and products available to achieve a grass parking area. We are requesting to change the note on the SE to "grass" parking area to allow for flexibility in the selection of the actual construction method.

For the modifications noted above, we believe all changes are necessary, based on field conditions and are beneficial to the intent of the Special Exception Amendment. We have included revised Landscape plans from the Site Plan to illustrate the modifications. Additional sheets from the approved Site Plan and Special Exception Amendment have been included for your reference as well.

We would like to thank you in advance for reviewing these minor changes and making a determination. Should you have any questions or require additional information, please call me at (703)968-9090.

Sincerely,
Bury+Partners - Virginia, Inc.



William D. "Mark" Hume, PE
Director of Engineering

Cc: Martin F. Smith, PE
Michael Lee, MYL Development



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

September 26, 2007

Lynne J. Strobel
Walsh, Colucci, Lubely, Emrich & Walsh, P.C.
2200 Clarendon Boulevard, 13th Floor
Arlington, Virginia 22201

Re: Special Exception Amendment Application SEA 2005-SU-007

Dear Ms. Strobel:

At a regular meeting of the Board of Supervisors held on September 24, 2007, the Board approved Special Exception Amendment Application SEA 2005-SU-007 in the name of Trustees of Korean Central Presbyterian Church. The subject property is located at 15308 Compton Road and 15315, 15403, and 15451 Lee Highway, on approximately 80.22 acres of land zoned R-C and WS in the Sully District [Tax Map 64-1 ((1)) 8, 9, 25, 26, and 27; 64-1 ((3)) 16; 64-2 ((3)) 18; 64-2 ((5)) 1, 2, and 3]. The Board's action amends Special Exception Application SE 2005-SU-007, previously approved for a church with nursery school and private school of general education, to permit a child care center to replace the nursery school with a total maximum enrollment of 100 children and associated modifications to site design and development conditions pursuant to Section 3-C04 of the Fairfax County Zoning Ordinance, by requiring conformance with the following development conditions, which supersede all previous conditions (those conditions carried forward from previous approval are marked with an asterisk):

1. This Special Exception is granted for and runs with the land indicated in this application and is not transferable to other land. *
2. This Special Exception is granted only for the purpose(s), structure(s) and/or use(s) indicated on the special exception plat approved with the application, as qualified by these development conditions. *
3. This Special Exception is subject to the provisions of Article 17, Site Plans, as may be determined by the Director, Department of Public Works and Environmental Services (DPWES). Any plan submitted pursuant to this special exception shall be in substantial conformance with the approved Special Exception Plat entitled "Korean Central Presbyterian Church", prepared by Bury + Partners and dated June 21, 2007 as revised through August 17, 2007, and these conditions. Minor modifications to the approved special exception may be permitted pursuant to Par. 4 of Sect. 9-004 of the Zoning Ordinance. *

Office of Clerk to the Board of Supervisors
12000 Government Center Parkway, Suite 533
Fairfax, Virginia 22035

Phone: 703-324-3151 ♦ Fax: 703-324-3926 ♦ TTY: 703-324-3903
Email: clerktothebos@fairfaxcounty.gov
<http://www.fairfaxcounty.gov/bosclerk>

4. A copy of these special exception conditions shall be posted in both English and Korean in a conspicuous place, and made available to the public and all departments of the County of Fairfax during hours of operation. *
5. The maximum number of seats within the main area of worship and the Chapel combined shall not exceed 2,100. *
6. Services in the Chapel and the main area of worship shall not begin or end within 30 minutes of each other, though the services may overlap. *
7. No regular evening church services shall be scheduled which commence between 4:30 pm and 7:30 pm, Monday through Friday evenings. *
8. Construction of the church shall be in substantial conformance with the architectural elevations shown on the SE Plat. Building materials shall primarily consist of masonry, which may include brick or pre-cast concrete, and glass. Vinyl siding, aluminum siding, or cinder block shall not be utilized on the main church buildings (except on the rectory). Final architectural elevations, final landscape plans, and final grading plans shall be forwarded to the Planning Commission for administrative review prior to site plan approval. *
9. Any cellar space provided shall be limited to a maximum of 5,600 square feet, and shall be used only for loading, storage and mechanical equipment. *
10. All signage shall be in conformance with Article 12 of the Zoning Ordinance. No more than one free-standing sign shall be installed on the subject property. Such sign shall be a monument sign a maximum of four feet in height, in substantial conformance with that shown on the SE Plat. *
11. No retaining walls in excess of two feet in height shall be constructed unless they are shown on the SE Plat. Any retaining walls constructed shall be in substantial conformance with the details shown on the SE Plat. *
12. The rectory shall be utilized for housing only for clergy and/or another employee of the Church. *
13. A sanitary sewer easement, in a location acceptable to the Applicant and Fairfax County, shall be provided for the benefit of property identified as Tax Map Parcels 64-1 ((3)) 1, 2 and 2A (Parcels 1,2 and 2A). If an appropriate location is identified at time of site plan approval, said easement shall be included and recorded with the applicant's on-site easement plat. In the event that an appropriate location has not been determined at time of site plan approval, said easement shall be granted upon request by either Fairfax County or the owners of Parcels 1, 2 and 2A at no cost to said owners. At such time, the Applicant shall be

responsible for granting the easement only, and shall not be responsible for any costs associated with preparing and recording necessary plats. The location of the easement and its future construction shall not interfere with the Applicant's intended use of its property, nor shall the Applicant be responsible for any costs associated with construction and/or future maintenance of the sewer line. Restoration of the Applicant's property subsequent to construction shall be performed in accordance with Fairfax County standards. *

Child Care Center and Private School of Education

14. The Private School of Education shall be limited to grades kindergarten through 2nd grade, with a maximum daily enrollment of 100 students. *
15. The child care center shall be limited to a maximum daily enrollment of 100 children.
16. Hours of operation shall be limited to:
 - (a) Child Care Center: 6:30 AM to 7:00 PM, Monday through Friday.
 - (b) * Private School of General Education Classes: 8:00 AM to 3:00 PM, Monday through Friday; school administration and teacher preparation and administration may be conducted before and after classes. Students enrolled in the private school of general education may participate in before and after school care, which shall not commence prior to 6:30 AM or end after 7:00 PM.
17. The child care center and private school of education shall be subject to Chapter 30 of The Code or Title 63.1, Chapter 10 of the Code of Virginia, as applicable. *
18. Subject to availability, the applicant shall work with Community Recreational Services (CRS) to permit CRS to schedule recreational activities within the gymnasium. *
19. Subject to availability, the applicant will provide the community mutually agreeable access to the main facility, chapel and sanctuary to support community activities and events (including groups such as homeowners associations, Girl Scouts, and Boy Scouts, and activities such as graduation ceremonies). *

Environmental

20. A Landscape Plan in substantial conformance with that shown on the SE Plat shall be filed with the site plan for review and approval by Urban Forest Management, DPWES (UFM). *
21. A fence shall be constructed around the playground as shown on the SE Plat. This fence shall be solid with no gaps or openings to provide noise attenuation from Route 29 to a maximum of 65 dBA. Such fence shall meet all Zoning Ordinance standards, and shall not exceed a maximum of seven feet in height. *
22. No loudspeakers shall be utilized outdoors on the subject property. *
23. All outdoor lighting shall be in accordance with the provisions of Part 9 of Article 14 of the Zoning Ordinance. The combined height of the parking light standards and fixtures shall not exceed 15 feet, as measured from the ground to the top of the fixture. All parking lot lights shall be controlled with an automatic shut-off device, and shall be turned off when the site is not in use. This shall not preclude the provision of security lighting on the building, so long as such lighting is in accordance with the provisions of Part 9 or Article 14. *
24. The recreational facility shall not be lighted. *
25. A minimum of 58% of the site (net area after dedication) shall be maintained as undisturbed open space. Should dedication for the Tri-County Parkway be required, such area of dedication shall not count against the undisturbed open space area. *
26. Dead, dying, or invasive vegetation may be removed from the undisturbed open space area if approved by UFM. *
27. The applicant shall conform strictly to the limits of clearing and grading as shown on the SE Plat, subject to the installation of utilities and/or trails as determined necessary by the Director of DPWES. If it is determined necessary to install utilities and/or trails within of the limits of clearing and grading as shown on the SE Plat, they shall be located in the least disruptive manner necessary as determined by UFM. A replanting plan shall be developed and implemented, subject to approval by UFM, for any areas within the limits of clearing and grading that must be disturbed. *
28. Tree protection fencing consisting of four foot high, 14 gauge welded wire attached to 6 foot steel posts driven 18 inches into the ground and placed no further than 10 feet apart, shall be erected at the limits of clearing and grading as shown on the SE Plat. All tree protection fencing shall be installed prior to any clearing and grading activities. The installation of all tree protection fence types shall be performed under the supervision of a certified arborist, and accomplished in a

manner that does not harm existing vegetation that is to be preserved. Three days prior to the commencement of any clearing, grading, or demolition activities, but subsequent to the installation of the tree protection devices, UFM shall be notified and given the opportunity to inspect the site to assure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by UFM. *

29. Prior to issuance of a Non-Residential Use Permit (Non-RUP), Tax Map Parcels 64-2 ((5)) 1, 2, 3, located on Compton Road, shall be planted with seedlings, to promote reforestation. Seedlings shall be a minimum of three different native tree species suitable for the proposed site conditions, and shall be planted by hand and spaced at appropriate intervals to maximize survival, per specifications included in PFM Section 12-0805.5. Appropriate measures to ensure survival, as recommended by UFM, (such as seedling tubes) shall be provided. This shall be a one-time commitment; the expenditure on seedlings (exclusive of labor for planting and cost of survival measures/mechanisms) shall not be required to exceed \$2,000. *
30. If DPWES determines that a potential health risk exists due to the presence of asbestos-containing rock or soil on the application property, the applicant shall:
 - (a) Take appropriate measures as determined by the Health Department to alert all construction personnel as to the potential health risks, and
 - (b) Commit to appropriate construction techniques as determined by DPWES in coordination with the Health Department to minimize this risk. Such techniques may include, but are not limited to, dust suppression measures during all blasting and drilling activities and covered transportation of removed materials presenting this risk, and appropriate disposal of such materials. *
31. Should asbestos be found in those areas proposed for outdoor recreation, the applicant shall provide for mitigation or containment methods as deemed appropriate by the Health Department, which may include but shall not be limited to removal of contaminated soil and replacement with uncontaminated soil. *
32. At time of site plan approval, a floodplain study shall be submitted to establish the 100-year flood plain and storm drainage easement within the subject property. Should such study establish a floodplain or storm drainage easement which is not in substantial conformance with the SE Plat, a Special Exception Amendment shall be required. *

33. The stormwater management facility shown on the SE Plat shall be constructed as an Enhanced Extended Detention Facility per the Va. State SWM Handbook, and shall have a low marsh constructed within the lower pond area. *
34. That area shown as undisturbed open space on the SE Plat shall be placed within a conservation easement in a form approved by the Fairfax County Attorney and recorded among the Fairfax County land records. Said easement shall be recorded subsequent to recordation of any necessary utilities and planting of seedlings as described in these conditions. Such conservation easement shall exclude any area potentially necessary for Alignment E or F of the Tri-county Parkway, as depicted on the SE Plat, as well as any area potentially necessary for Alternative G of the Battlefield Bypass. *

Transportation / Parking

35. Right-of-way along Route 29 (for service drive and trail construction) as shown on the SE Plat shall be dedicated to the Board of Supervisors in fee simple at the time of site plan approval or upon demand, whichever occurs first. *
36. If a waiver of construction of the service drive along Route 29 is approved, an escrow shall be provided for construction of the service drive, to include the cost of all necessary utility relocation, in an amount determined by DPWES. If said escrow is not utilized for construction of the service drive within ten years of the date of approval of this application, the escrow may be utilized by DOT and DPWES for other construction projects in the vicinity. *
37. The "proposed gravel access road" parallel to the Route 29 frontage as shown on the SE Plat, may be eliminated and replaced with landscaped open space, subject to DOT approval. *
38. A warrant study shall be performed by the applicant for the intersection of Route 29 and the main property entrance. Should VDOT determine that a traffic signal is warranted, a signal shall be installed prior to the issuance of a Non-RUP. However, upon demonstration by the applicant that, despite diligent efforts, the improvement has been delayed, the Zoning Administrator may agree to a later date for the installation of the signal. The design and operation of the signal shall be subject to review and approval by VDOT and the Fairfax County Department of Transportation (Fairfax County DOT). *
39. The transition of the eastbound lanes of Route 29 shall be constructed by the applicant as deemed appropriate by VDOT. *

40. Parking shall be provided as shown on the SE Plat. The removal of parking spaces to accommodate dedication for or construction of the Battlefield Bypass may be allowed, so long as such reduction and redesign is in substantial conformance with the SE Plat. *
41. The 198 spaces shown on the SE Plat as "overflow parking" shall be constructed with a pervious surface such as grasscrete pavers. Should a dustless surface waiver for these overflow spaces not be approved at the time of site plan approval, the overflow spaces shown on the SE Plat shall not be constructed and that area shall be maintained as undisturbed open space. *
42. All construction access shall be from Route 29. *
43. No access to the proposed use, including maintenance access, shall be provided from Naylor Road. No parking for the proposed use shall utilize Naylor Road. *
44. No access to the subject property, including maintenance access, shall be provided from Compton Road. *
45. A 200 foot wide corridor for the E or F Alignment of the Tri-county Parkway shall be reserved, as depicted on the SE Plat. In the event an alternative alignment of the Tri-county Connector is selected, and upon completion of construction of the alternative alignment, the Applicant shall be released from the obligation of maintaining the reservation. Should the E or F Alignment be selected, right-of-way as needed shall be dedicated to the Board of Supervisors upon demand, in fee simple and at no cost. *
46. At least three months prior to the issuance of a Non-RUP, the Applicant shall coordinate with the Department of Planning and Zoning (DPZ) and the Fairfax County DOT to review the service times of other churches in the corridor (along Route 29 within 1.5 miles of the application property), and to set appropriate service times for this facility in order to reduce the cumulative impacts on traffic demand. Service times may be adjusted in the future, in coordination with DPZ and Fairfax County DOT. *
47. Notwithstanding, Condition #43 above, access from adjacent Parcel 64-1 ((1)) 29 may be provided to Naylor Road across the application property, provided the owner of said parcel has received all other necessary permissions. This condition shall not obligate the applicant to provide such access, but if provided, said access shall be designed to minimize clearing and grading as deemed appropriate by DPWES, and shall not count against the minimum undisturbed open space requirement.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The applicant shall be himself responsible for obtaining the required Non-Residential Use Permit through established procedures, and this Special Exception Amendment shall not be valid until this has been accomplished.

Pursuant to Section 9-015 of the Zoning Ordinance, this special exception amendment shall automatically expire, without notice, thirty (30) months after the date of approval unless the use has been established or construction has commenced and been diligently prosecuted. The Board of Supervisors may grant additional time to establish the use or to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special exception. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

The Board also:

- Reaffirmed a modification of the transitional screening requirement on all sides of the property, to allow the use of existing vegetation.
- Reaffirmed the waiver of the barrier requirement on all sides of the property, except as shown on the SEA Plat.
- Reaffirmed a waiver of construction only of the service drive along Route 29.

Sincerely,

Nancy Vehrs
dms
bc

Nancy Vehrs
Clerk to the Board of Supervisors
NV/dms

Cc: Chairman Gerald E. Connolly
Supervisor Michael Frey, Sully District
Janet Coldsmith, Director, Real Estate Division. Dept. of Tax Administration
Regina Coyle, Director, Zoning Evaluation Division, DPZ
Diane Johnson-Quinn, Deputy Zoning Administrator, Dept. of Planning and Zoning
Thomas Conry, Dept. Manager. – GIS - Mapping/Overlay
Angela K. Rodeheaver, Section Chief, Transportation. Planning Division
Ellen Gallagher, Capital Projects and Operations Div., Dept. of Transportation
Audrey Clark, Director – Building Plan Review, DPWES
Ken Williams, Plans & Document Control, ESRD, DPWES
Department of Highways-VDOT
Sandy Stallman, Park Planning Branch Manager, FCPA
Charlene Fuhrman-Schulz, Development Officer, DHCD/Design Development Division
District Planning Commissioner
Barbara J. Lippa, Executive Director, Planning Commission
Jose Comayagua, Director, Facilities Management
Gary Chevalier, Office of Capital Facilities/Fairfax County Public Schools
Karyn Moreland, Chief Capital Projects Sections, Dept. of Transportation