

COUNTY OF FAIRFAX, VIRGINIA

SPECIAL PERMIT RESOLUTION OF THE BOARD OF ZONING APPEALS

JANETTE SCHAEFFER, SP 2010-SP-033 Appl. under Sect(s). 8-922 of the Zoning Ordinance to permit reduction of certain yard requirements to permit construction of addition 16.1 ft. from rear lot line. Located at 6808 Marleigh Ct. on approx. 8,520 sq. ft. of land zoned R-3 (Cluster) and WS. Springfield District. Tax Map 65-4 ((5)) 23. Mr. Hart moved that the Board of Zoning Appeals adopt the following resolution:

WHEREAS, the captioned application has been properly filed in accordance with the requirements of all applicable State and County Codes and with the by-laws of the Fairfax County Board of Zoning Appeals; and

WHEREAS, following proper notice to the public, a public hearing was held by the Board on July 14, 2010; and

WHEREAS, the Board has made the following findings of fact:

1. The applicant is the owner of the land.
2. The Board has a favorable staff recommendation.
3. The rationale in the staff report is adopted.
4. This is a very difficult lot to place an addition by-right; there really is not much area on the lot in which an addition could be placed by-right.
5. The lot is fairly small.
6. The lot has a very narrow frontage, maybe 50 feet, or less.
7. The lot is very shallow, probably less than 100 feet.
8. To place the house on the lot so that the sides of it are legal, the house was shifted back to the rear, almost to the building line.
9. The house is being put in the logical place at the back of the property.
10. The house is at the basement level, and it is kind of down in the dip.
11. It should not have any visual impact on anybody.
12. It is also backing up on an Eiffel Tower's easement.
13. To the extent this would have any impact by going so far into the minimum rear yard, it is already impacted by the row of towers; it should not bother anybody.
14. There is significant tree vegetation on both sides of the easement, or so it appears from the photographs.
15. There is not going to be significant problem with allowing this.

AND WHEREAS, the Board of Zoning Appeals has reached the following conclusions of law:

THAT the applicant has presented testimony indicating compliance with the general standards for Special Permit Uses as set forth in Sect. 8-006 and the additional standards for this use as contained in the Zoning Ordinance.

NOW, THEREFORE, BE IT RESOLVED that the subject application is **APPROVED** with the following limitations:

1. These conditions shall be recorded by the applicant among the land records of Fairfax County for this lot prior to the issuance of a building permit. A certified copy of the recordation shall be provided to the Zoning Permit Review Branch, Department of Planning and Zoning.

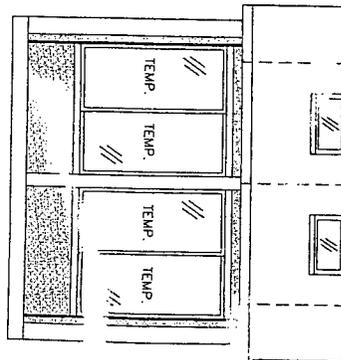
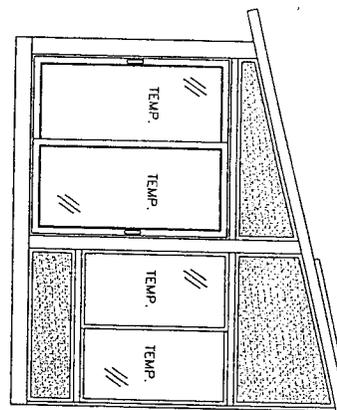
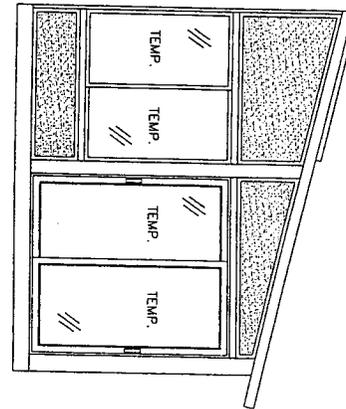
2. This special permit is approved for the location and size of a proposed sunroom addition as shown on the plat prepared by Laura A. Scott, Laura Lee Scott Surveys, Inc. dated March 26, 2010 and signed April 26, 2010, submitted with this application and is not transferable to other land.
3. Pursuant to Provision 4 of Section 8-922 of the Zoning Ordinance, the resulting gross floor area of the existing principal structures may be up to 150 percent of the gross floor area of the dwelling that existed at the time of the first expansion (2,469 square feet existing + 3,703.5 (150%) = 6,172.5 permitted) regardless of whether such addition complies with the minimum yard requirement or is the subject of a subsequent yard reduction, special permit or variance. Notwithstanding the definition of gross floor area as set forth in the Ordinance, the gross floor area of a single family dwelling for the purpose of this paragraph shall be deemed to include the floor area of any attached garage. Subsequent additions that meet minimum yard requirements shall be permitted without an amendment to this special permit.
4. The addition shall be consistent with the architectural renderings and materials included in Attachment 1 to these conditions.
5. Prior to final inspection for the one-story addition, the trellis/arbor above the existing deck shall be removed.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, thirty (30) months after the date of approval unless construction has commenced and been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

Mr. Hammack seconded the motion, which carried by a vote of 5-0. Mr. Byers and Mr. Smith were absent from the meeting.

ELEVATIONS



- MINIMUM DESIGN LOADS:
DEAD LOADS:
 1) ROOF: 6 PSF
 2) WALLS: 5 PSF
- LIVE LOADS:
 1) ROOF: 30 PSF
 2) WALLS: 90 MPH - 3 SEC. WIND GUST
- DEFLECTION LIMITS:
 1) ROOF: L/180
 2) WALLS: L/175

TOTAL WEIGHT OF PRODUCTS: 1560 lbs.

2 OF 4 SHEET

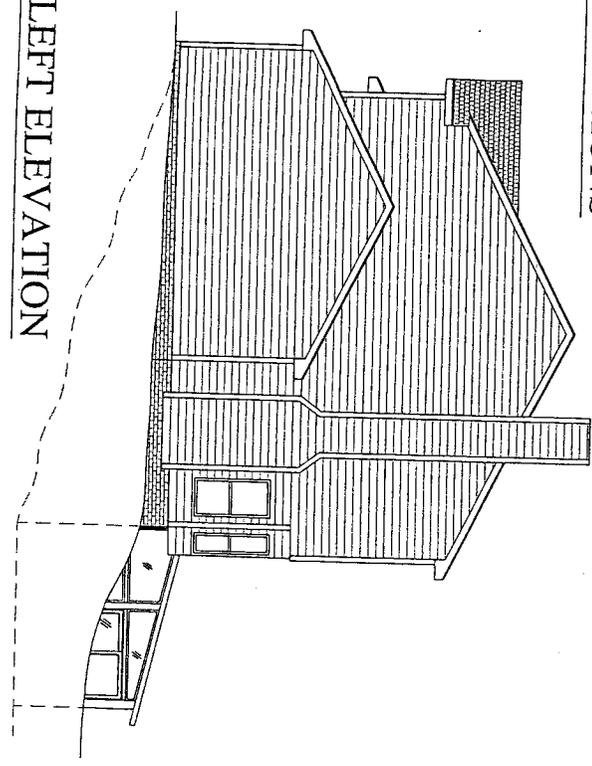
FILE # CWDC-AJ-SCHAEFFER DATE: 10/28/09
 DEALER: CHAMPION WINDOW OF WASHINGTON DC
 SCHAEFFER
 6808 MARLEIGH CT.
 CLIFTON, VA 20124
 DRAWN BY: ALEX BUECHEL SCALE: 1/4"=1'

BW
 ENGINEERING
 WALZ ENGINEERING LLC
 11111 HALL RD., SUITE 110
 UTICA, MI 48317

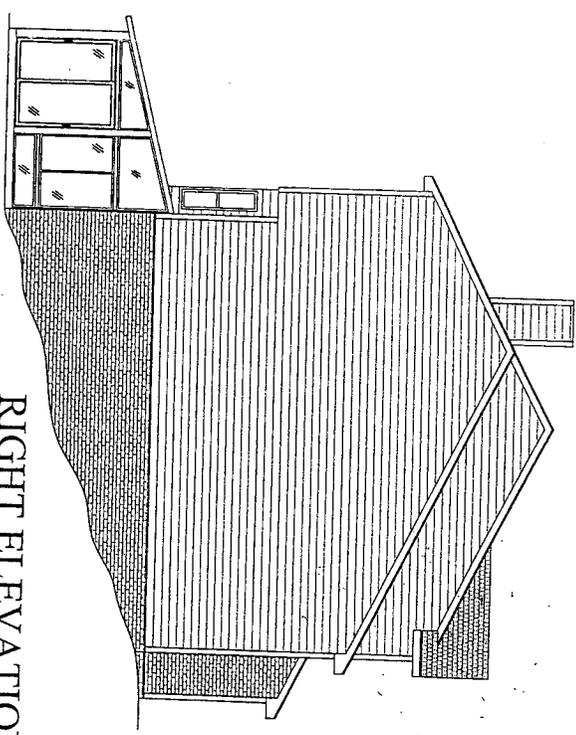
COMMONWEALTH OF VIRGINIA
 ROBERT ALAN WALZ
 No. 0402-035439
 PROFESSIONAL ENGINEER
 PRINTED, SIGNED AND SEALED ON 10/30/09
 ROBERT A. WALZ
 PHONE: (888) 262-9259 FAX: (586) 323-1645

ELEVATIONS

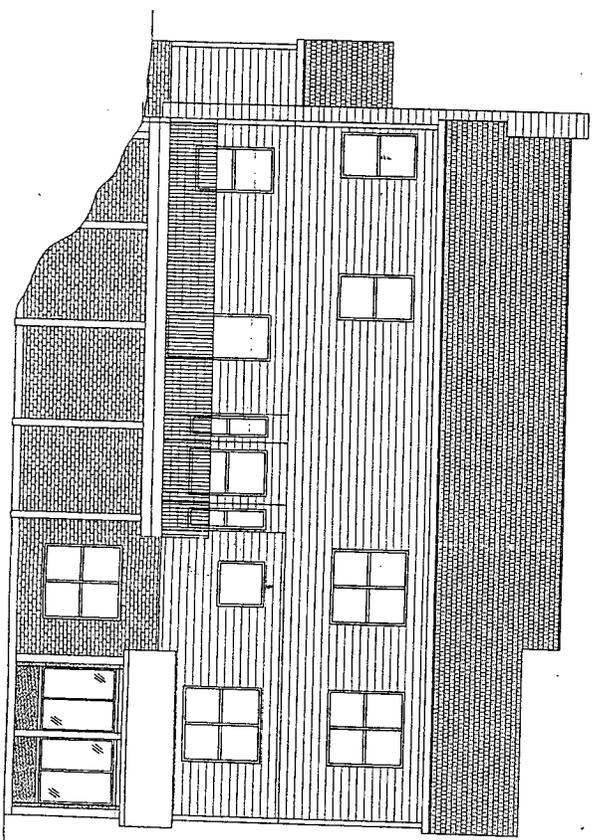
LEFT ELEVATION



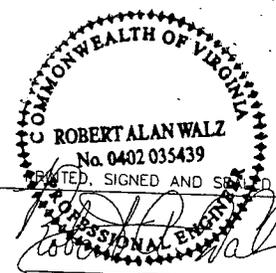
RIGHT ELEVATION



FRONT ELEVATION



RECEIVED
 APR 19 2010
 Department of Planning & Zoning
 Zoning Evaluation Division



FILE #: CWDC-AJ-SCHAEFFER	DATE: 10/28/09	 PROFESSIONAL ENGINEER
DEALER: CHAMPION WINDOW OF WASHINGTON DC		
SCHAEFFER 6808 MARLEIGH CT. CLIFTON, VA 20124		ENGINEERING WALZ ENGINEERING LLC 11111 HALL RD., SUITE 110 UTICA, MI 48317
DRAWN BY: ALEX BUECHEL	SCALE: 1/4"=1'	

SHEET

E1

ROBERT A. WALZ P.E.
 PHONE: (888) 262-9259 FAX: (586) 323-1645