



APPLICATION ACCEPTED: November 6, 2009  
PLANNING COMMISSION: June 24, 2010  
PLANNING COMMISSION DECISION ONLY: November 3, 2010  
BOARD OF SUPERVISORS: November 16, 2010 @ 3:30 P.M.

## County of Fairfax, Virginia

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November 1, 2010, 2010

### STAFF REPORT ADDENDUM

### APPLICATION PRC 86-C-121-03

### HUNTER MILL DISTRICT

**APPLICANT:** Reston Excelsior, LLC

**ZONING:** PRC

**PARCEL(S):** 17-4 ((1)) 7B

**ACREAGE:** 5.0 acres

**DENSITY:** 20.55 du/ac (457 multifamily units over the 22.24-acre Oracle campus)

**OPEN SPACE:** 20%

**PLAN MAP:** Planned Residential Community

**PROPOSAL:** The applicant seeks PRC Plan approval to redevelop a 5-acre portion of the 22.24-acre Oracle office campus containing an existing surface parking lot with two multifamily residential buildings containing a maximum of 457 residential units.

### STAFF RECOMMENDATIONS:

Staff recommends approval of PRC 86-C-121-03, subject to the development conditions consistent with those contained in Attachment 1.

It should be noted that it is not the intent of the staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

St. Clair Williams

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this rezoning does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.

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Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 7 days advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

## **BACKGROUND**

The applicant, Reston Excelsior LLC, seeks approval of a PRC Plan for a 5.0-acre portion of the 22-24-acre Oracle campus, in order to permit the construction of two multifamily residential buildings containing a maximum of 457 residential units on the overall 22.24-acre campus (20.55 du/ac). The PRC Plan also proposes a total of 830 parking spaces, including 820 parking spaces within an underground parking garage, and approximately 1 acre (20%) of open space.

On June 24, 2010, the Planning Commission public hearing for PRC 86-C-121-03 was held and staff recommended denial of the proposed development due to a number of outstanding issues, including the following:

- The application did not provide the level of detail required to demonstrate the compatibility of architecture for the residential buildings with that of the office buildings and surrounding development.
- The application did not include a transportation demand management program with specific measures geared towards the residential buildings as recommended by FCDOT.
- The application did not include any details on the passive recreation areas to be provided around the existing Oracle stormwater management ponds, which might create a relationship between the offices and the proposed residential buildings.
- The application did not include a commitment to provide Workforce Housing units in accordance with the adopted Workforce Housing Policy (minimum of 12 percent of the residential units provided be workforce housing units).

Following the Planning Commission public hearing, the applicant submitted a revised PRC Plan revised through August 20, 2010. This addendum discusses the revisions that were made to the PRC Plan and development conditions. A copy of the revised development conditions is contained in Attachment 1 of this addendum. A reduction of the PRC Plan is included as attachment 3 of this addendum.

## **ANALYSIS**

The applicants submitted a revised PRC Plan as revised through August 20, 2010, with the following revisions:

- The PRC Plan includes architectural exhibits that provide more detail on the appearance of the proposed buildings and demonstrate the compatibility of architecture for the proposed residential buildings with that of the office buildings and surrounding development. Therefore, this issue has been resolved.

- The proposed transportation demand management program has been revised to include additional measures recommended by FCDOT, which are geared towards the residential development. Therefore, this issue has been resolved.
- The PRC Plan has been revised to provide details on the proposed passive recreation areas to be provided around the existing Oracle stormwater management ponds, including the proposed location for benches and pedestrian connections within the passive recreation area. Therefore, this issue has been resolved.
- The applicant has agreed to a revised workforce housing dwelling unit commitment with this application. The applicant now proposes that nine percent (9%) of the total number of dwelling units constructed on the Property will be sold or rented as workforce dwelling units. The workforce dwelling units will be sold or rented to residents who have a household income of up to one hundred twenty percent (120%) of the Washington, D.C. metropolitan statistical area median income ("AMI"), as determined by the Department of Housing and Urban Development (HUD). Furthermore, the workforce dwellings will be generally administered pursuant to the Workforce Dwelling Unit Administrative Policy Guidelines adopted by the Board of Supervisors on October 15, 2007, except the workforce dwelling units will be made available as follows:
  - 1/3 up to 80% AMI
  - 1/3 up to 100% AMI
  - 1/3 up to 120% AMI

In addition to the workforce dwelling units to be constructed on the site, the applicant will continue its previous commitment to contribute \$1,000 per dwelling unit constructed on the site (up to \$457,000), to the Board of Supervisors to support of access to affordable housing opportunities in the Reston community. Staff has proposed a development condition to ensure the workforce dwelling commitment is implemented as described above. Therefore, with the adoption of the development conditions, this issue will be addressed.

## **CONCLUSIONS AND RECOMMENDATIONS**

### **Staff Conclusions**

The changes made to the PRC Plan and proposed development conditions address the outstanding issues that were identified in the original staff report. Therefore, staff now finds that the application is still in conformance with the Comprehensive Plan and the applicable Zoning Ordinance Standards.

### **Recommendations**

Staff recommends approval of PRC 86-C-121-03, subject to the draft development conditions contained in Attachment 1.

The approval of this application does not interfere with, abrogate, or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Supervisors.

### **ATTACHMENTS**

1. Draft Development Conditions
2. Locator Map
3. PRC Plan Revised Through August 20, 2010

**PROPOSED DEVELOPMENT CONDITIONS****PRC 86-C-121-03****November 1, 2010**

If it is the intent of the Board of Supervisors to approve PRC 86-C-121-03, located at Tax Map 17-4 ((1)) 7B, then staff recommends that the Board condition the approval by requiring conformance with the following development conditions:

1. Any plan submitted pursuant to this PRC Plan shall be in substantial conformance with the approved PRC Plan entitled "Oracle – Phase IV, Reston Section 95 Blocks 2," prepared by Urban Ltd., consisting of 29 sheets, and dated February 2008 as revised through August 20, 2010. Minor modifications to the approved PRC Plan may be permitted pursuant to Sect. 16-203 of the Zoning Ordinance.
2. The limits of clearing and grading shall be in substantial conformance with the limits of clearing and grading shown on the PRC Plan, subject to modification for the installation of utilities and/or trails as determined necessary by the Director of DPWES.
3. The height of retaining walls shall not exceed four feet in height unless otherwise shown on the PRC Plan. If greater wall height is required, the retaining walls shall be terraced with landscaping provided between the retaining walls.
4. All signage of the subject property shall be harmonious with the existing and planned signage for the overall Oracle Campus and in conformance with Article 12 of the Zoning Ordinance.
5. Prior to site plan approval, an acoustical analysis performed in accordance with the Department of Planning and Zoning's approved noise study submission guidelines, shall be submitted to the Environmental and Development Review Branch of the Department of Planning and Zoning (DPZ) identifying and committing to the recommended mitigation measures to ensure that interior noise levels shall not exceed 45 dBA Ldn and that exterior noise levels in outdoor recreational areas shall not exceed 65 dBA Ldn.
6. Ten (10) short-term bicycle parking spaces shall be provided in each residential building lobby areas and forty-four (44) long-term bicycle parking spaces shall be provided in a secured area within the parking garage. Inverted U-style bike racks or another bicycle rack design as approved by the Fairfax County Department of Transportation (FCDOT) shall be installed in the bicycle parking areas. The bicycle parking shall be installed prior to the issuance of the first Residential Use Permit (RUP) for the building served by such facilities.
7. A "Right-Out Only" sign shall be installed at the loading/emergency entrance/garage exit only depicted at the east end of the West Tower.

8. Pedestrian countdown system shall be installed on each leg/segment of the existing traffic/pedestrian signal located at the intersection of Oracle Way, Sunset Hills Road, and Old Reston Avenue. The countdown system shall be installed prior to the issuance of the first RUP for Phase IV of the Oracle Campus.
9. A pedestrian countdown system shall be installed on each leg/segment of the existing traffic/pedestrian signal located at the intersection of Reston Parkway and Sunset Hills Road. The countdown system shall be installed prior to the issuance of the first RUP for Phase IV of the Oracle Campus.
10. Surface parking spaces on site shall be limited to a maximum of ten (10), as shown on the PRC Plan.
11. Prior to issuance of the first RUP for Phase IV of the Oracle Campus, the applicant or representative designated by the applicant shall meet with representatives of LINK and FCDOT to implement mutually agreed upon Transportation Demand Management (TDM) strategies and measures for the residential uses to include but not limited to, the following:
  - i. Promote the use of mass transit, ride-sharing and other transportation strategies to reduce vehicle trips during peak hours by distributing flyers and announcements on community bulletin boards.
  - ii. Advise tentative/purchasers with the residential development of the existence of LINK and disseminate information available from LINK in residential lease and purchase packages;
  - iii. Provide infrastructure permitting internet connections (such as broadband cable or DSL) in a dwelling to facilitate working at home;
  - iv. Provide a business center, meeting room and/or similar facilities selected by the applicant for use by residents as a means to encourage telecommuting; and
  - v. Provide one (1) Metro SmartCard to each residential unit constructed in Phase IV with an initial balance of at least \$25.
12. A landscape plan shall be submitted as part of the first and all subsequent site plan submissions that is in substantial conformance with the landscaping shown on Sheet 8 of the PRC Plan for the review and approval of the Urban Forest Management Division (UFMD), DPWES.

13. Landscaping, screening measures, and tree cover shall be provided in accordance with Chapter 12 of the Public Facilities Manual and Article 13 of the Zoning Ordinance, as determined by UFMD, DPWES.
14. Residents of the residential buildings shall be permitted to access the site areas surrounding the SWM/BMP dry pond and SWM/BMP wet pond areas as shown on the PRC Plan for passive recreation purposes such as for dog-walking, picnics, or similar activities.
15. Subject to the execution of all necessary offsite easements and associated agreements with adjacent property owners to the east [Tax Map 17-4 ((27)) 2, 3, and 4], interparcel vehicular access shall be provided from the residential buildings to the Plaza America office and retail development located immediately east of the subject property in a location to be determined in coordination with FCDOT and DPWES. Copies of all correspondence and related materials concerning the efforts to secure the interparcel vehicular access to the adjacent properties shall be provided to DPWES
16. Lighting shall be installed on the existing and proposed trail connection between the subject property and the adjacent Plaza America development located in the southeastern corner of the subject property. Lighting fixtures shall be fully-shielded, cut-off fixtures directed inward and downward in order to reduce glare on adjacent properties. The lighting shall be installed prior to the issuance of the first RUP for Phase IV of the Oracle Campus.
17. Prior to the issuance of a building permit for the residential buildings, the final architectural and landscape plans for the residential buildings shall be submitted to the Reston Town Center Design Review Board for review and approval. No later than thirty (30) days after the submission of a building permit application for the first residential building in Phase IV, the final architectural plans shall be submitted to the Planning Commission for review and comment, with such review to occur prior to the issuance of the requested building permit.
18. The maximum height of the residential buildings shall not exceed 180 feet in height (15 stories).
19. Concurrent with the submission of the first site plan for the residential buildings stormwater quality and stormwater quantity calculations shall be submitted to DPWES for review and approval, demonstrating that the existing SWM/BMP facilities are sufficient to provide for provide adequate disposition of stormwater on the subject property. This submission shall also confirm details of the existing BMP wet pond and BMP dry pond.

20. With the development of the residential buildings, recreational amenities shall be provided within the interior of the building(s), on building rooftop space or at another location(s) in the Phase IV development. Such amenities shall include, at a minimum, the following:
- i. Swimming pool, including required changing facilities;
  - ii. A fitness and aerobic center that shall include weights, exercise equipment and may include a sauna/steam room; and
  - iii. Passive recreation area(s) to be utilized for recreational activities such as seating areas, formal gardens/patios and other facilities as selected by the applicant.
21. Nine percent (9%) of the total number of dwelling units constructed on the Property shall be sold or rented as workforce dwelling units ("WDUs") to future residents who have a household income of up to one hundred twenty percent (120%) of the Washington, D.C. metropolitan statistical area median income ("AMI"), as determined by the Department of Housing and Urban Development (HUD). Provision of the WDUs shall be generally administered pursuant to the "Board of Supervisors' Workforce Dwelling Unit Administrative Policy Guidelines" adopted October 15, 2007, except the workforce dwelling units will be made available as follows:
- 1/3 up to 80% AMI
  - 1/3 up to 100% AMI
  - 1/3 up to 120% AMI

Where this Condition conflicts with the Policy Guidelines, this Condition shall control.

The WDUs shall be provided as efficiency, one-bedroom and/or two-bedroom units, as determined by the Applicant, provided that at least one third of the required WDUs shall be constructed as at least one-bedroom units, and such one-bedroom units shall be equally distributed among the three income tiers. All site plans for any residential portion of this development approved for the Property shall identify the total number of WDUs provided and (if rental units) their initial locations among the building(s) constructed on the Property. A minimum of five (5) WDUs required under this condition shall be designed and constructed with Universal Design features, as determined by the Applicant.

Notwithstanding the foregoing paragraphs of this condition, the Applicant reserves the right to enter into a separate, binding written agreement with the appropriate Fairfax County agency as to the terms and conditions of the administration of the WDUs. Such an agreement shall be on terms mutually acceptable to both the Applicant and Fairfax County. Neither the Board of Supervisors nor Fairfax County shall be obligated to execute such an agreement. If such an agreement is executed

by all applicable parties, then the WDUs shall be administered solely in accordance with such an agreement, and the provisions of this Condition shall become null and void. Such an agreement and any modifications thereto shall be recorded in the land records of Fairfax County.

In addition, \$1,000 per dwelling unit shall be contributed to the Board of Supervisors to be used in the support of access to affordable housing opportunities in the Reston community.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

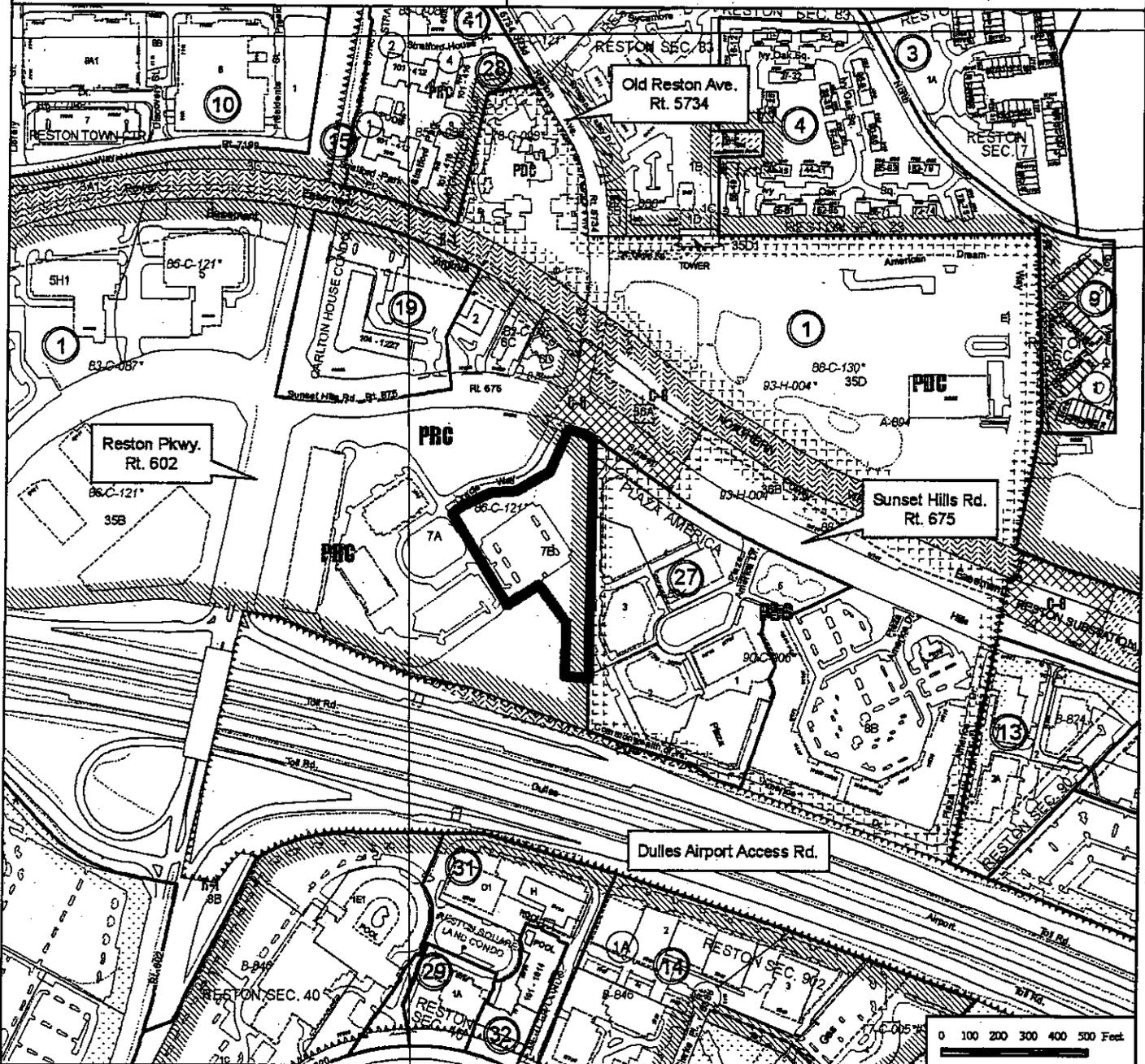
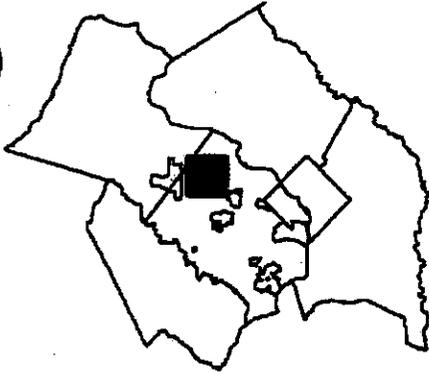
# Planned Residential Community

PRC 86-C-121-03

Applicant: RESTON EXCELSIOR LLC  
 Accepted: 11/06/2009  
 Proposed: PRC TOWN CENTER  
 Area: 5 AC OF LAND; DISTRICT - HUNTER MILL

Zoning Dist Sect:  
 Located: NORTHEASTERN QUADRANT OF INTERSECTION  
 OF THE DULLES TOLL ROAD AND RESTON PARKWAY

Map Ref Num: 017-4 /01/ /0007B





**SITE TABULATIONS**

1. PHASE AREA: 100,000 SQ. FT. (2.25 AC)
2. ZONE: R-100
3. PROPOSED LOTS: 100
4. LOTS PER ACRE: 4.44
5. CONSERVATION POPULATION: 440 (BASED ON 1.1 PERSONS/LOT)
6. DENSITY: 4.44
7. TOTAL AREA: 100,000 SQ. FT. (2.25 AC)
8. TOTAL LOT AREA: 100,000 SQ. FT. (2.25 AC)
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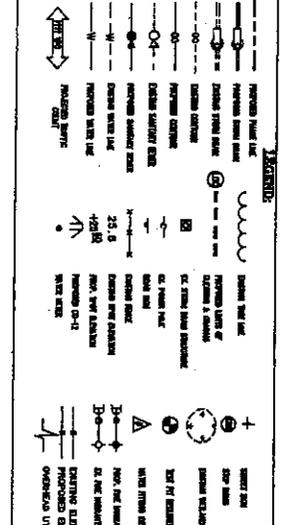
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11. VARIOUS REQUIREMENTS FOR PROPOSED DEVELOPMENT

NO.	REQUIREMENT	PROPOSED
1	MINIMUM LOT AREA	10,000 SQ. FT.
2	MINIMUM LOT WIDTH	40 FT.
3	MINIMUM LOT DEPTH	100 FT.
4	MINIMUM FRONT YARD SETBACK	10 FT.
5	MINIMUM SIDE YARD SETBACK	5 FT.
6	MINIMUM REAR YARD SETBACK	5 FT.
7	MINIMUM FRONT SETBACK	10 FT.
8	MINIMUM SIDE SETBACK	5 FT.
9	MINIMUM REAR SETBACK	5 FT.
10	MINIMUM FRONT SETBACK	10 FT.
11	MINIMUM SIDE SETBACK	5 FT.
12	MINIMUM REAR SETBACK	5 FT.



**MAXIMUM OVERALL PRG DISTRICT DENSITY COMPUTATION**

PHASE	PHASING	OPENING
PHASE I (OFFICE BUILDING)	PHASE I	100,000 SQ. FT.
PHASE II (OFFICE BUILDING)	PHASE II	100,000 SQ. FT.
PHASE III (OFFICE BUILDING)	PHASE III	100,000 SQ. FT.
PHASE IV (OFFICE BUILDING)	PHASE IV	100,000 SQ. FT.

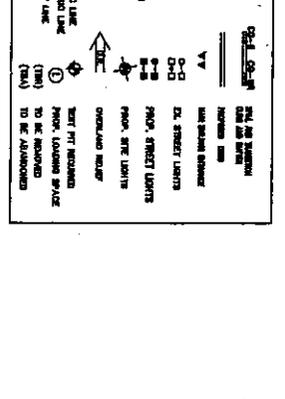
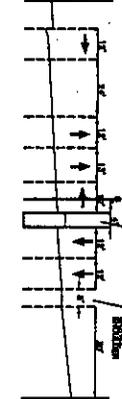
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12	MINIMUM REAR SETBACK	5 FT.



**GENERAL NOTES AND DETAILS**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).

2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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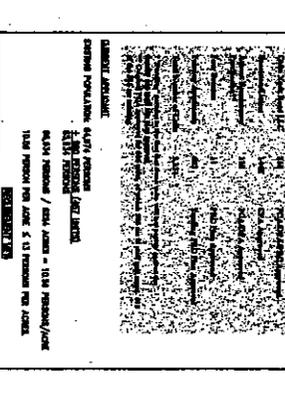
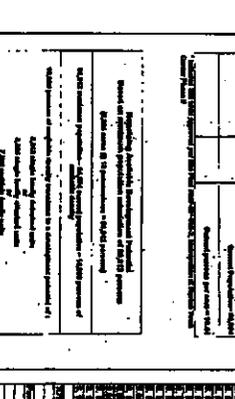
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**RESTON SECTION 95-2 ORACLE - PHASE IV**

HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE: AS NOTED  
DATE: FEB. 2008



REVISIONS

NO.	DATE	DESCRIPTION	BY	APPROVED
1				
2				
3				

REVISIONS

NO.	DATE	DESCRIPTION	BY	APPROVED
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REVISIONS

NO.	DATE	DESCRIPTION	BY	APPROVED
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3				

REVISIONS

NO.	DATE	DESCRIPTION	BY	APPROVED
1				
2				
3				



County of Fairfax, Virginia

April 2, 2008

MR. DAN WOODS, JAC  
Fairfax County, Virginia

Dear Mr. Wood:

The attached is a copy of the final report for the Phase IV of the Oracle - Phase IV project. The report is a summary of the findings of the Phase IV of the Oracle - Phase IV project. The report is a summary of the findings of the Phase IV of the Oracle - Phase IV project. The report is a summary of the findings of the Phase IV of the Oracle - Phase IV project.



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Item	Description	Quantity	Unit	Price	Total
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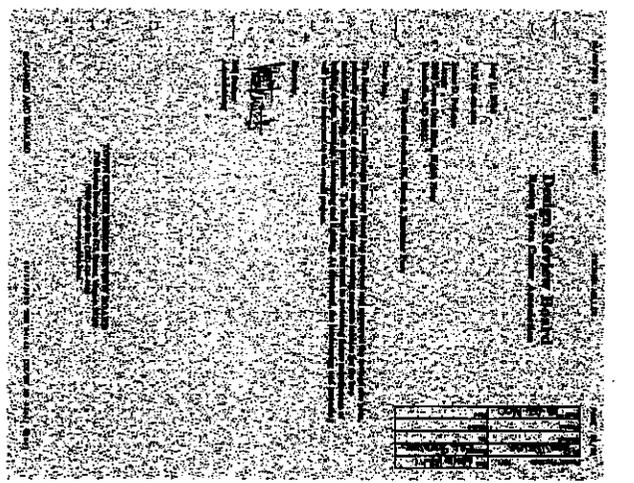
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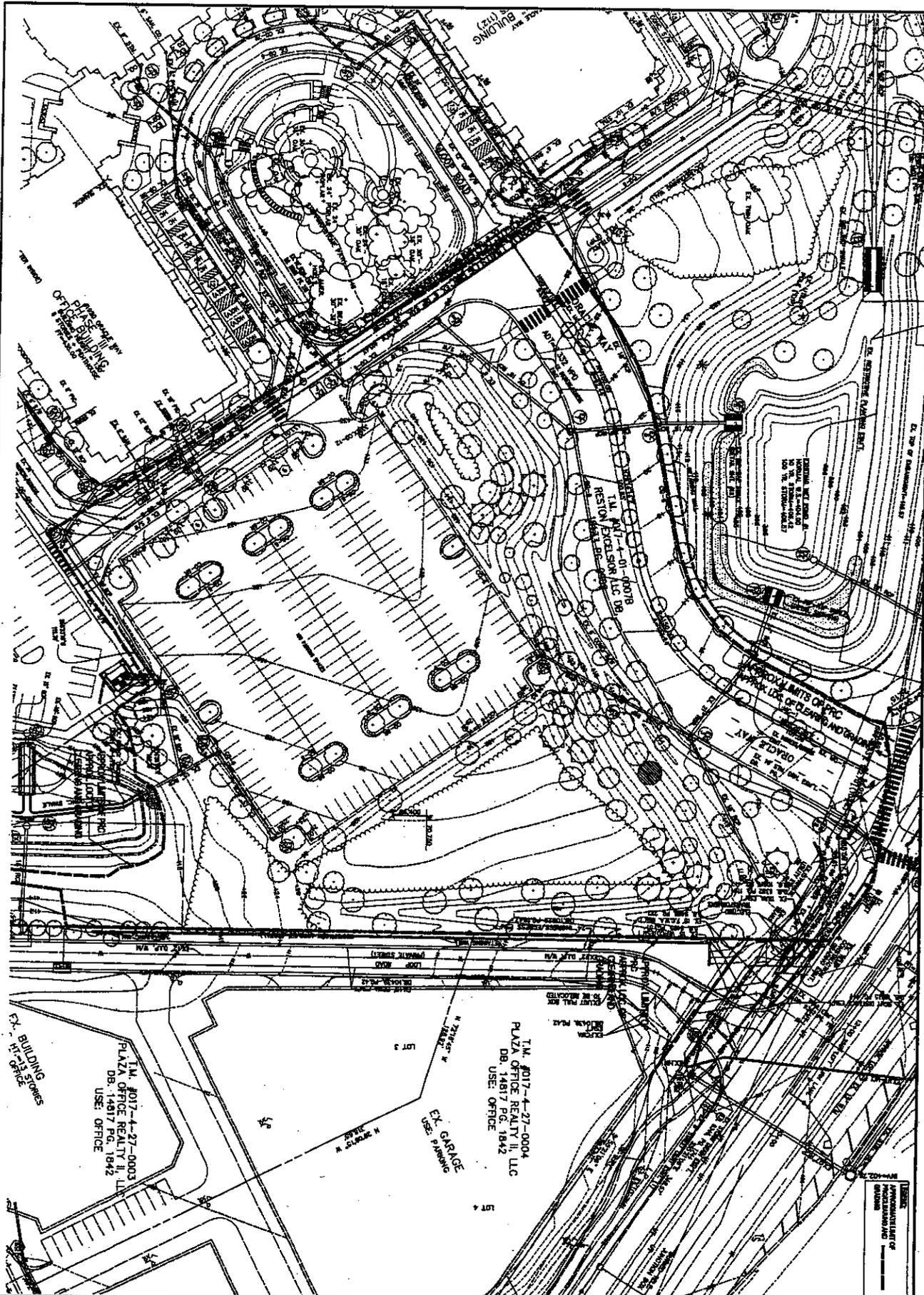


MISCELLANEOUS CORRESPONDENCE  
**RESTON SECTION 95-2**  
**ORACLE - PHASE IV**  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE: AS NOTED  
CL: 40A  
DATE: FEB. 2008



REVISION	DATE	DESCRIPTION	REVISION APPROVED	DATE
1	02/01/08	...	...	...
2	02/01/08	...	...	...
3	02/01/08	...	...	...
4	02/01/08	...	...	...
5	02/01/08	...	...	...



<p><b>EXISTING CONDITIONS</b>  <b>RESTON SECTION 95-2</b>  <b>ORACLE - PHASE IV</b>                  CENTER HILL DISTRICT                  FAIRFAX COUNTY, VIRGINIA</p>		 <p>Planner: Engineers Landscape Architects Land Surveyors</p>	<p>Urban, Ltd.                  11000 Sunrise Valley Drive                  Suite 200                  Fairfax, VA 22031                  Phone: 703-261-1100</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>REVIEW APPROVED</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION	REVIEW APPROVED	DATE						<p>SCALE 1"=20'</p> <p>DATE FEB. 2008</p> <p>CI 2</p>
NO.	DATE	DESCRIPTION	REVIEW APPROVED	DATE											



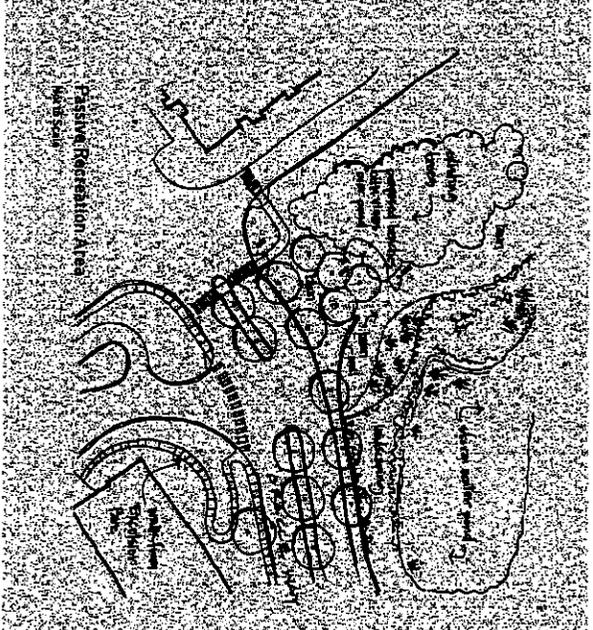




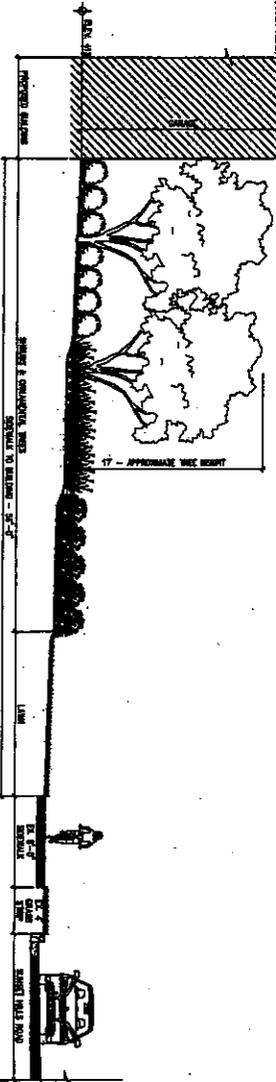




Excavation Plans  
 Masonry Details  
 Foundation Details  
 1/8" = 1'-0"



1 LANDSCAPE AT SUNSET HILLS ROAD - SECTION



THIS SHEET FOR ILLUSTRATIVE PURPOSES ONLY

LANDSCAPE RENDERING  
 RESTON SECTION 95-2  
 ORACLE - PHASE IV  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA



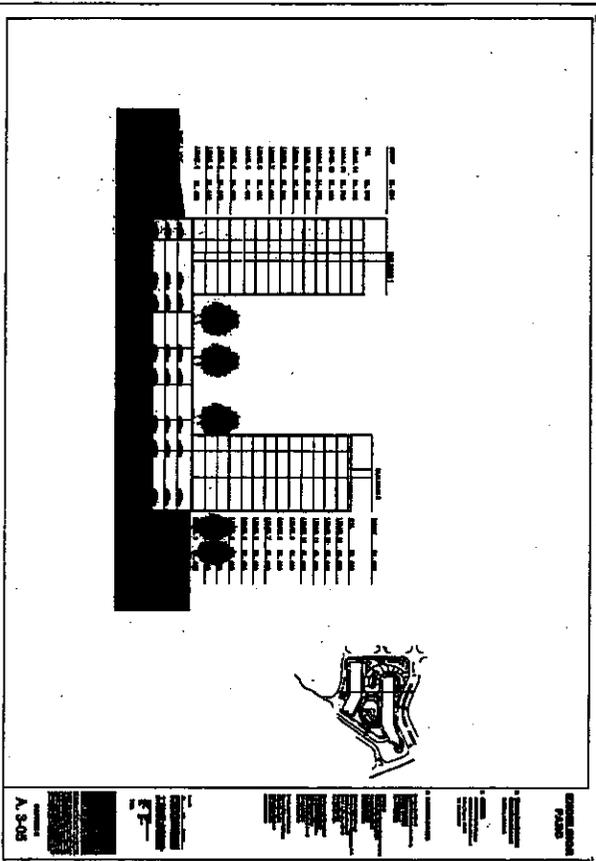
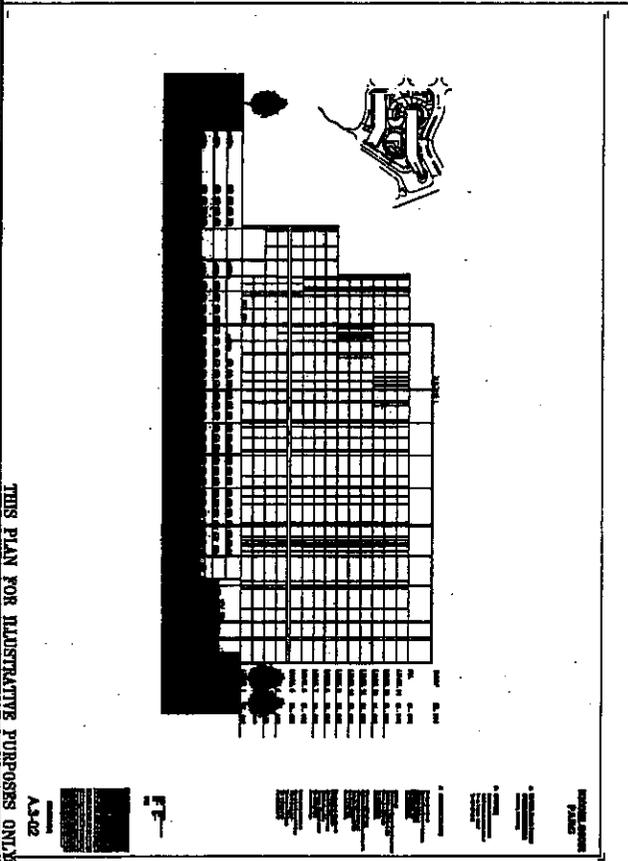
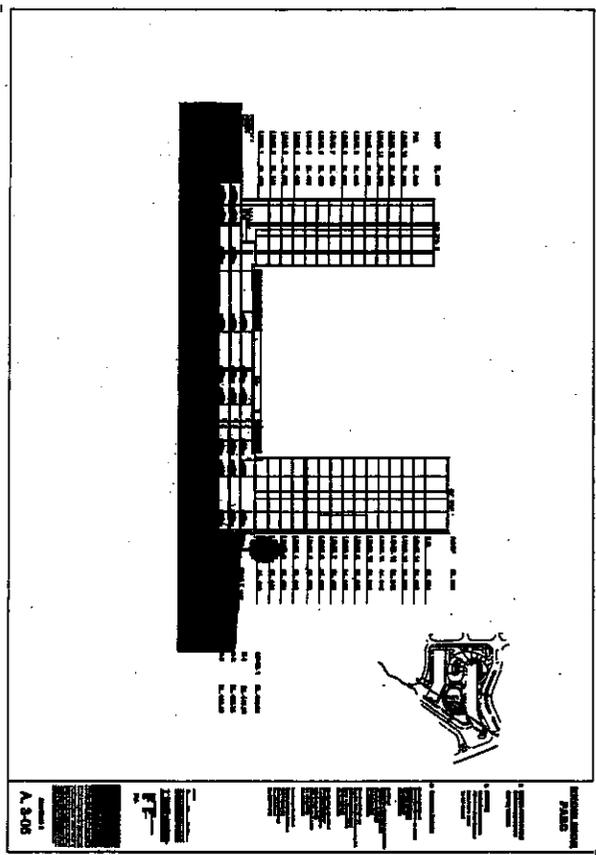
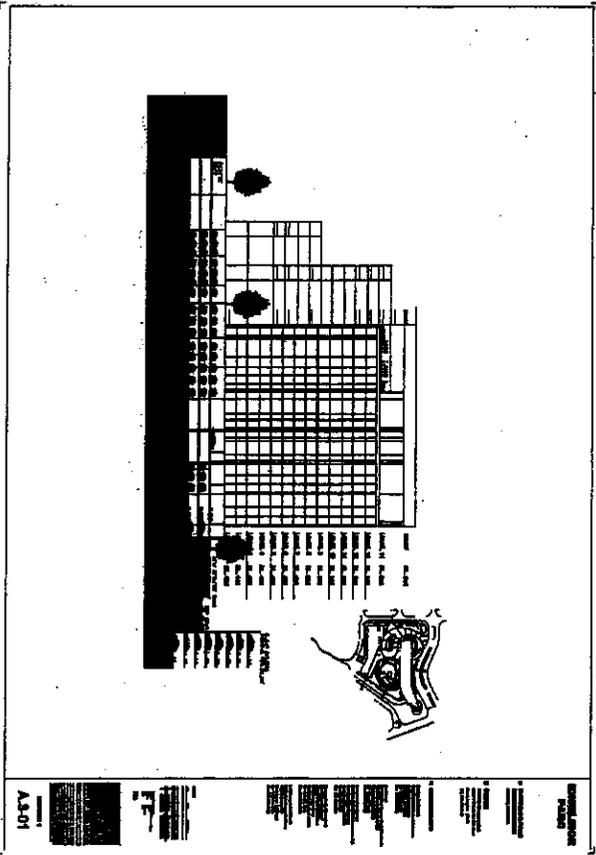
**urban.**  
 Urban, Ltd.  
 7711 Lee Road, Suite 200  
 Fairfax, Virginia 22031  
 Tel: 703-261-1100  
 Fax: 703-261-1101  
 www.urban.com

NO.	DATE	DESCRIPTION	DESIGN APPROVED	DATE

SCALE: N.T.S.      CL: NA      DATE: FEB. 2008

DESIGN APPROVED BY DIVISION OF DESIGN REVIEW





THIS PLAN FOR ILLUSTRATIVE PURPOSES ONLY

DATE: FEB., 2008

**BUILDING SECTIONS**  
**RESTON SECTION 95-2**  
**ORACLE - PHASE IV**  
 HUNTER HILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA



**urban**  
 Planning - Design - Landscape Architects - Land Surveyors

DATE: FEB., 2008

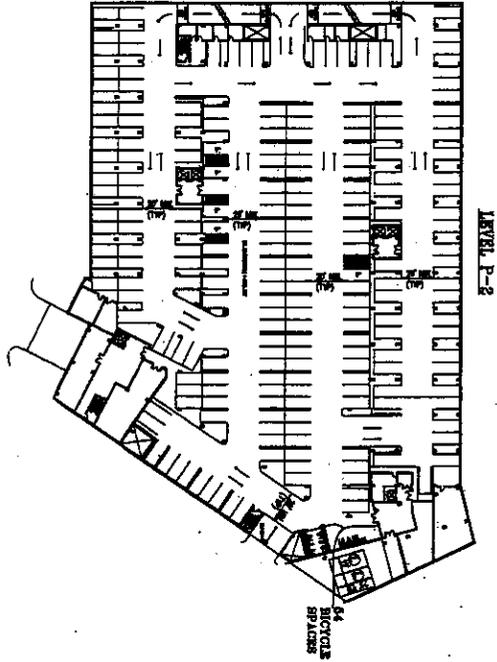
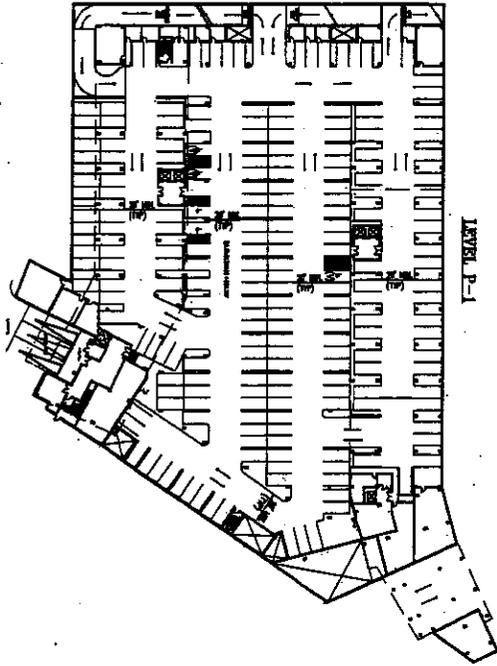
NO.	DATE	DESCRIPTION	DESIGN APPROVED	DATE

REVISION APPROVED BY DIVISION OF ENGINEER REVIEW





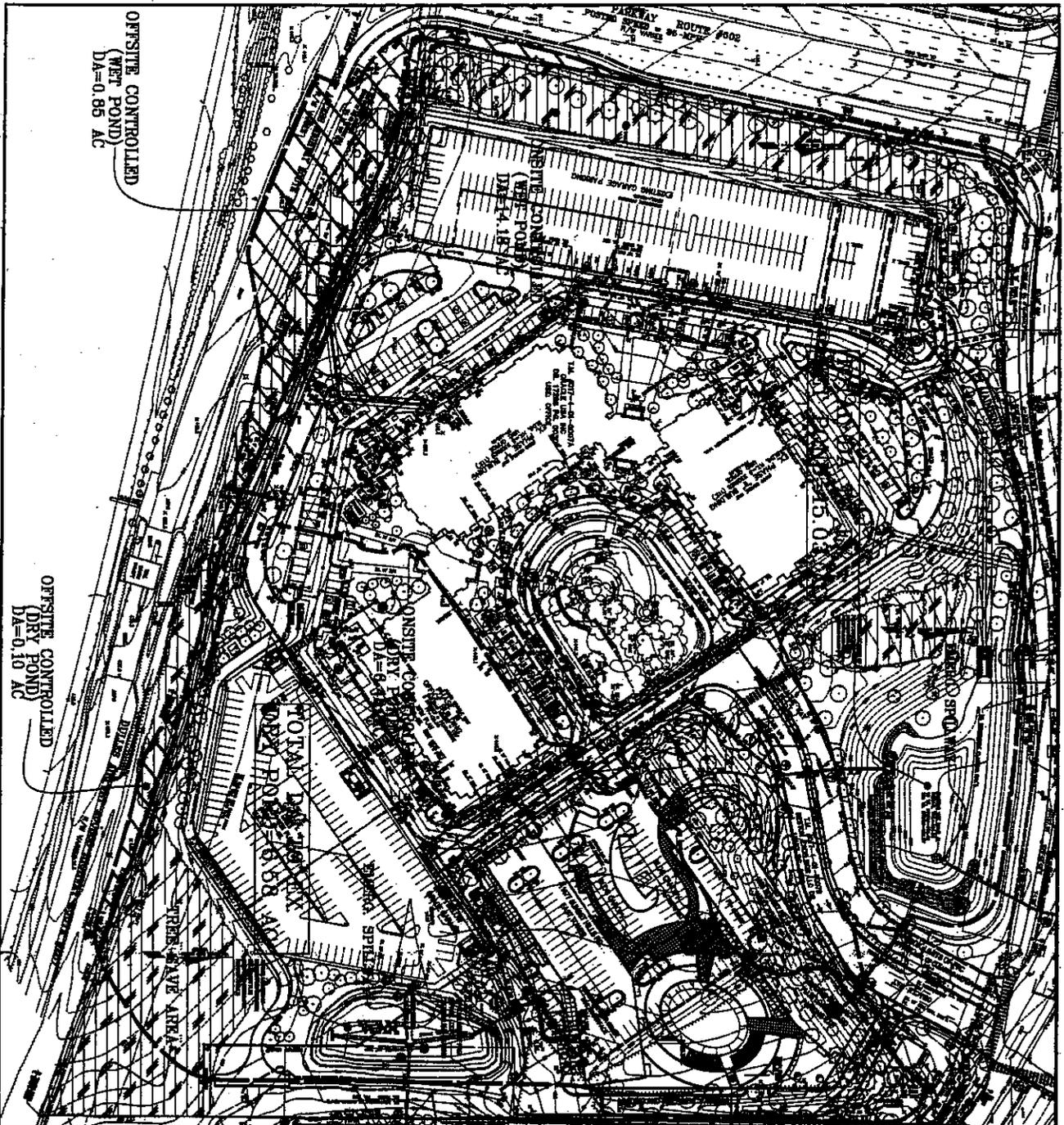




NOTE: PARKING LAYOUT SUBJECT TO CHANGE WITH FINAL ENGINEERING. REFER TO PARKING NOTE ON SHEET P-1.

- 1. SEE SHEET P-1 FOR GENERAL NOTES.
- 2. SEE SHEET P-1 FOR DIMENSIONS.
- 3. SEE SHEET P-1 FOR FINISHES.
- 4. SEE SHEET P-1 FOR MATERIALS.
- 5. SEE SHEET P-1 FOR CONSTRUCTION METHODS.
- 6. SEE SHEET P-1 FOR SPECIAL NOTES.
- 7. SEE SHEET P-1 FOR DETAILS.
- 8. SEE SHEET P-1 FOR ELEVATIONS.
- 9. SEE SHEET P-1 FOR SECTIONS.
- 10. SEE SHEET P-1 FOR FOUNDATIONS.
- 11. SEE SHEET P-1 FOR STRUCTURAL MEMBERS.
- 12. SEE SHEET P-1 FOR MECHANICAL SYSTEMS.
- 13. SEE SHEET P-1 FOR ELECTRICAL SYSTEMS.
- 14. SEE SHEET P-1 FOR PLUMBING SYSTEMS.
- 15. SEE SHEET P-1 FOR HVAC SYSTEMS.
- 16. SEE SHEET P-1 FOR INTERIORS.
- 17. SEE SHEET P-1 FOR EXTERIORS.
- 18. SEE SHEET P-1 FOR LANDSCAPE ARCHITECTURE.
- 19. SEE SHEET P-1 FOR SIGNAGE.
- 20. SEE SHEET P-1 FOR SECURITY.
- 21. SEE SHEET P-1 FOR ACCESSIBILITY.
- 22. SEE SHEET P-1 FOR SUSTAINABILITY.
- 23. SEE SHEET P-1 FOR ENERGY EFFICIENCY.
- 24. SEE SHEET P-1 FOR WATER CONSERVATION.
- 25. SEE SHEET P-1 FOR AIR QUALITY.
- 26. SEE SHEET P-1 FOR SOUND CONTROL.
- 27. SEE SHEET P-1 FOR LIGHTING.
- 28. SEE SHEET P-1 FOR FURNITURE.
- 29. SEE SHEET P-1 FOR FIXTURES.
- 30. SEE SHEET P-1 FOR EQUIPMENT.
- 31. SEE SHEET P-1 FOR STORAGE.
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- 97. SEE SHEET P-1 FOR MATERIALS.
- 98. SEE SHEET P-1 FOR CONSTRUCTION METHODS.
- 99. SEE SHEET P-1 FOR SPECIAL NOTES.
- 100. SEE SHEET P-1 FOR DETAILS.

SHEET NO. 15 OF 15	<b>GARAGE LAYOUT PLAN</b> <b>RESTON SECTION 95-2</b> <b>ORACLE - PHASE IV</b> HUNTER MILITARY DISTRICT FAIRFAX COUNTY, VIRGINIA		 <b>urban</b> Planning - Engineers - Landscape Architects - Land Surveyors	Title: P.E. 7222 Lakeside Blvd., Suite 200 Reston, VA 20190 Tel: 703.441.2000 Fax: 703.441.2001 www.urbanva.com	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>DESIGN APPROVED</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION	DESIGN APPROVED	DATE										
NO.	DATE	DESCRIPTION	DESIGN APPROVED	DATE																
SCALE: 1"=40'		CL: N/A		DATE: FEB. 2008																
REVIEWER APPROVED BY DIVISION OF DESIGN REVIEW																				



**PRELIMINARY SWP/BMP NARRATIVE**

The purpose of this SWP/BMP narrative is to describe the proposed stormwater management practices for the proposed development. The practices are designed to reduce the volume and peak rate of runoff from the site, thereby reducing the risk of flooding and erosion. The practices are also designed to improve water quality by filtering out sediment and other pollutants. The practices are described in detail in the following sections:

**1.0 INTRODUCTION**

The proposed development is located in the Reston Section 95-2, Phase IV. The site is approximately 100 acres in size and is currently undeveloped. The proposed development consists of a residential subdivision with approximately 1,000 units. The site is bounded by Parkway Route #600 to the north and the Reston Parkway to the east. The site is also adjacent to the Reston Post Office to the west.

**2.0 REGULATORY REQUIREMENTS**

The proposed development is subject to the following regulatory requirements:

- Virginia Stormwater Management Act (19.2-611)
- Virginia Stormwater Management Regulations (19.2-611-1)
- Reston Subdivision Ordinance (19.2-611-1)

**3.0 DESIGN CRITERIA**

The proposed stormwater management practices are designed to meet the following design criteria:

- Reduce the peak rate of runoff by 25% compared to the peak rate of runoff from the site if it were developed with conventional practices.
- Reduce the volume of runoff by 25% compared to the volume of runoff from the site if it were developed with conventional practices.
- Improve water quality by filtering out sediment and other pollutants.

**4.0 PRACTICES**

The proposed stormwater management practices are described in detail in the following sections:

- 4.1.0 Detention Ponds
- 4.2.0 Stormwater Detention Ponds
- 4.3.0 Stormwater Detention Ponds
- 4.4.0 Stormwater Detention Ponds
- 4.5.0 Stormwater Detention Ponds
- 4.6.0 Stormwater Detention Ponds
- 4.7.0 Stormwater Detention Ponds
- 4.8.0 Stormwater Detention Ponds
- 4.9.0 Stormwater Detention Ponds
- 4.10.0 Stormwater Detention Ponds

**DETAIL NARRATIVE**

The proposed stormwater management practices are designed to meet the following design criteria:

- Reduce the peak rate of runoff by 25% compared to the peak rate of runoff from the site if it were developed with conventional practices.
- Reduce the volume of runoff by 25% compared to the volume of runoff from the site if it were developed with conventional practices.
- Improve water quality by filtering out sediment and other pollutants.

The proposed stormwater management practices are described in detail in the following sections:

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- 4.2.0 Stormwater Detention Ponds
- 4.3.0 Stormwater Detention Ponds
- 4.4.0 Stormwater Detention Ponds
- 4.5.0 Stormwater Detention Ponds
- 4.6.0 Stormwater Detention Ponds
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- 4.6.0 Stormwater Detention Ponds
- 4.7.0 Stormwater Detention Ponds
- 4.8.0 Stormwater Detention Ponds
- 4.9.0 Stormwater Detention Ponds
- 4.10.0 Stormwater Detention Ponds

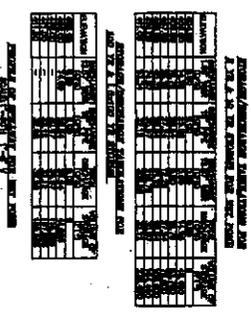
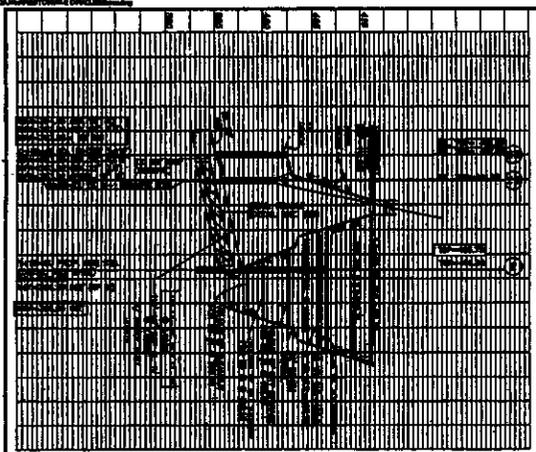
**SWM AND BMP PLAN**  
**RESTON SECTION 95-2**  
**ORACLE - PHASE IV**  
 HUNTER HILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA



Urban, Inc.  
 7700 Lee Highway  
 Suite 200  
 Fairfax, VA 22031  
 Phone: 703-261-1111  
 Fax: 703-261-1112

NO.	DATE	DESCRIPTION	REVIEW	APPROVED	DATE
1	08-28-02	PRELIMINARY SWP/BMP NARRATIVE			
2	09-02-02	REVISED SWP/BMP NARRATIVE			
3	09-05-02	FINAL SWP/BMP NARRATIVE			

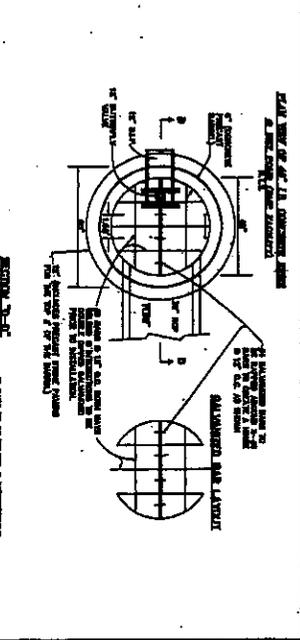
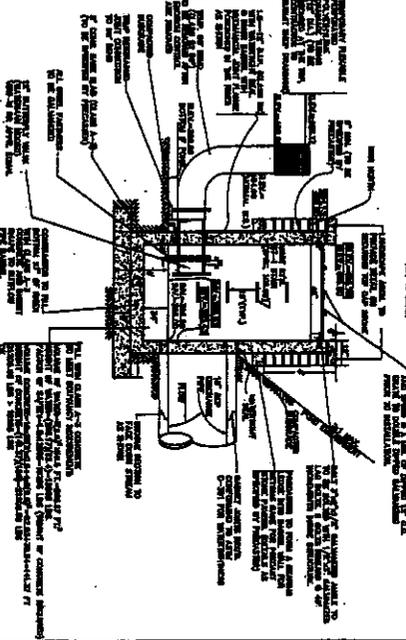
SCALE: 1"=50'  
 SHEET 23 OF 25



**THE CONTRACTOR SHALL:**

1. PROVIDE ALL MATERIALS AND LABOR.
2. OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
5. MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION THROUGHOUT CONSTRUCTION.
6. COMPLETE ALL WORK WITHIN THE SPECIFIED TIME FRAME.
7. PROVIDE A MAINTENANCE MANUAL AND AS-BUILT DRAWINGS UPON COMPLETION.

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	CONCRETE	100	YD	120.00	12000.00
2	STEEL	50	TON	1000.00	50000.00
3	LABOR	1000	HOUR	15.00	15000.00
4	EQUIPMENT	10	DAY	1000.00	10000.00
5	PERMITS	1	SET	5000.00	5000.00
6	INSURANCE	1	YEAR	10000.00	10000.00
7	TESTING	10	TEST	100.00	1000.00
8	UTILITIES	10	LINE FT	100.00	1000.00
9	LANDSCAPING	100	SQ YD	10.00	1000.00
10	PAVING	100	SQ YD	10.00	1000.00
11	CONCRETE	100	YD	120.00	12000.00
12	STEEL	50	TON	1000.00	50000.00
13	LABOR	1000	HOUR	15.00	15000.00
14	EQUIPMENT	10	DAY	1000.00	10000.00
15	PERMITS	1	SET	5000.00	5000.00
16	INSURANCE	1	YEAR	10000.00	10000.00
17	TESTING	10	TEST	100.00	1000.00
18	UTILITIES	10	LINE FT	100.00	1000.00
19	LANDSCAPING	100	SQ YD	10.00	1000.00
20	PAVING	100	SQ YD	10.00	1000.00

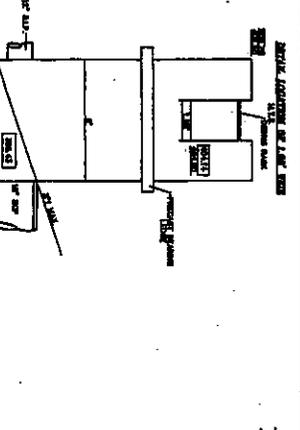
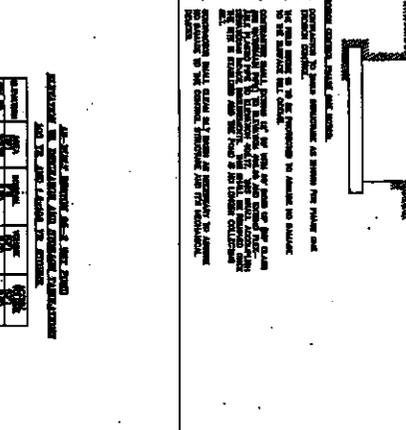


**PROVIDER'S CERTIFICATE OF QUALITY**

I, the undersigned, hereby certify that the work shown on the above drawings was done in accordance with the specifications and contract documents, and that the materials and workmanship are of the quality and quantity specified.

DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_



**ORACLE RESTON SECTION 95 BLOCK 2**

HUNTER HILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

**URBAN ENGINEERING & ASSOC., INC.**

10000 WOODBURN DRIVE, SUITE 100  
FAIRFAX, VIRGINIA 22030  
TEL: 703.441.1111  
WWW.URBANENGINEERING.COM

THIS SHEET PROVIDED FOR REFERENCE PURPOSES  
FAIRFAX COUNTY PLAN 95215-04-01 APPROVED 02/18/16

DATE: 2/18/16  
BY: [Signature]  
SCALE: N.T.S.

**SWM AND BMP PLAN**

**RESTON SECTION 95-2**

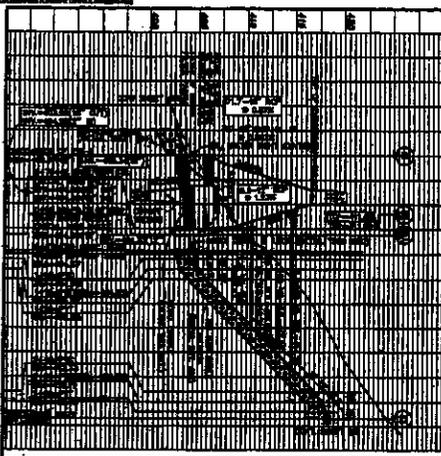
**ORACLE - PHASE IV**

HUNTER HILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

CL - 404 DATE: FEB. 2016



NO.	DATE	DESCRIPTION	DESIGN APPROVED	DATE
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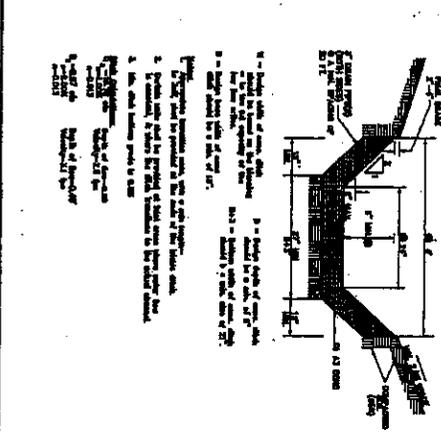


SEE PLAN SHEET 85-2-001

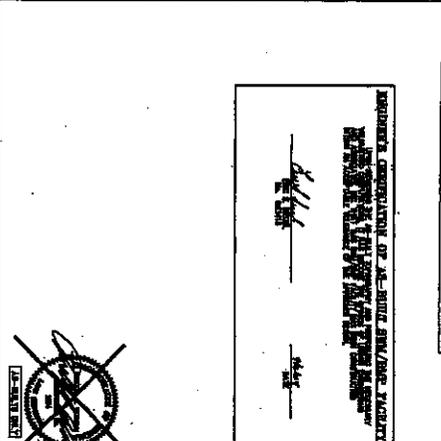
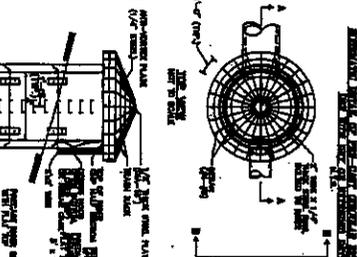
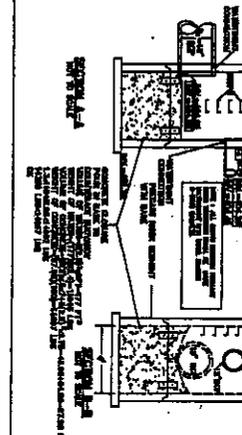
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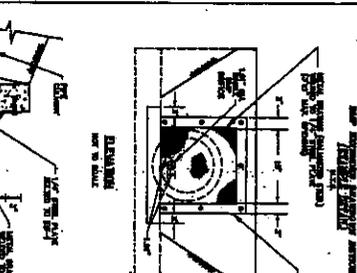
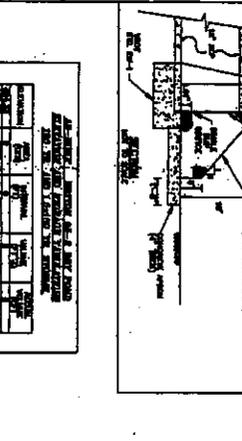
1. ALL PLANTING SHALL BE INSTALLED BY THE CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
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10. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:



SEE PLAN SHEET 85-2-001



SEE PLAN SHEET 85-2-001



APPROVED FOR CONSTRUCTION BY THE ENGINEER

NO.	DESCRIPTION	QTY	UNIT
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PROFILES AND DETAILS FOR DRY POND  
**ORACLE**  
 RESTON SECTION 95-2  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

URBAN ENGINEERING & ASSOC., INC.  
 CIVIL ENGINEER - LANDSCAPE ARCHITECT - LEAD SURVEYOR  
 11000 WOODBURN ROAD, SUITE 200, FAIRFAX COUNTY, VA 22030  
 TEL: 703-441-1100 FAX: 703-441-1101  
 WWW.URBANENGINEERING.COM

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NO.	DATE	DESCRIPTION
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SWM AND BMP PLAN  
**RESTON SECTION 95-2**  
**ORACLE - PHASE IV**  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SCALE: N.T.S. C.I. #904 DATE: FEB. 2008



**urban**  
 Urban, Ltd.  
 11000 Woodburn Road, Suite 200  
 Fairfax, VA 22030  
 Tel: 703-441-1100 Fax: 703-441-1101  
 www.urban-engineering.com

Planner - Engineer - Landscape Architect - Lead Surveyor

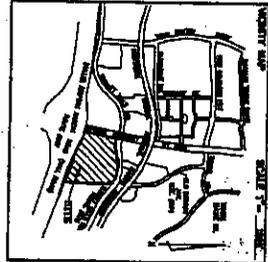
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# TOWN CENTER CONCEPT PLAN AMENDMENT RESTON SECTION 95, BLOCK 2

HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

TABLE 1: SUMMARY OF PROPOSED DEVELOPMENT

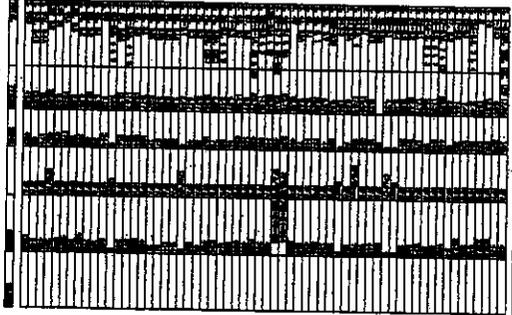
Block	Area (Acres)	Use	Intensity	Notes
1	1.2	Office	High Density	Proposed
2	1.5	Office	High Density	Proposed
3	1.8	Office	High Density	Proposed
4	2.0	Office	High Density	Proposed
5	2.2	Office	High Density	Proposed
6	2.5	Office	High Density	Proposed
7	2.8	Office	High Density	Proposed
8	3.0	Office	High Density	Proposed
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97	25.2	Office	High Density	Proposed
98	25.5	Office	High Density	Proposed
99	25.8	Office	High Density	Proposed
100	26.0	Office	High Density	Proposed



**OWNER**  
ORACLE CORPORATION  
20000 ORACLE DRIVE  
RESTON, VA 20191

**DEVELOPER/APPLICANT**  
LARGEN ENTERPRISES, LLC  
10000 LARGEN DRIVE  
RESTON, VA 20191

**ARCHITECT**  
BREMNER HERR COMPANY / ARCHITECTS  
BREMNER HERR COMPANY / ARCHITECTS  
10000 LARGEN DRIVE  
RESTON, VA 20191



**TABLETATIONS**

DATE OF REVISION: 08/11/2011  
REVISION: 08/11/2011  
BY: [Name]

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**CONCEPT PLAN**

DATE: 08/11/2011

BY: [Name]

SCALE: N.T.S.

DATE: FEB. 2008

**CONCEPT PLAN**

DATE: 08/11/2011

BY: [Name]

SCALE: N.T.S.

DATE: FEB. 2008

**CONCEPT PLAN REFERENCE SHEET**

**RESTON SECTION 95-2**

**ORACLE - PHASE IV**

HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

DATE: FEB. 2008

SCALE: N.T.S.

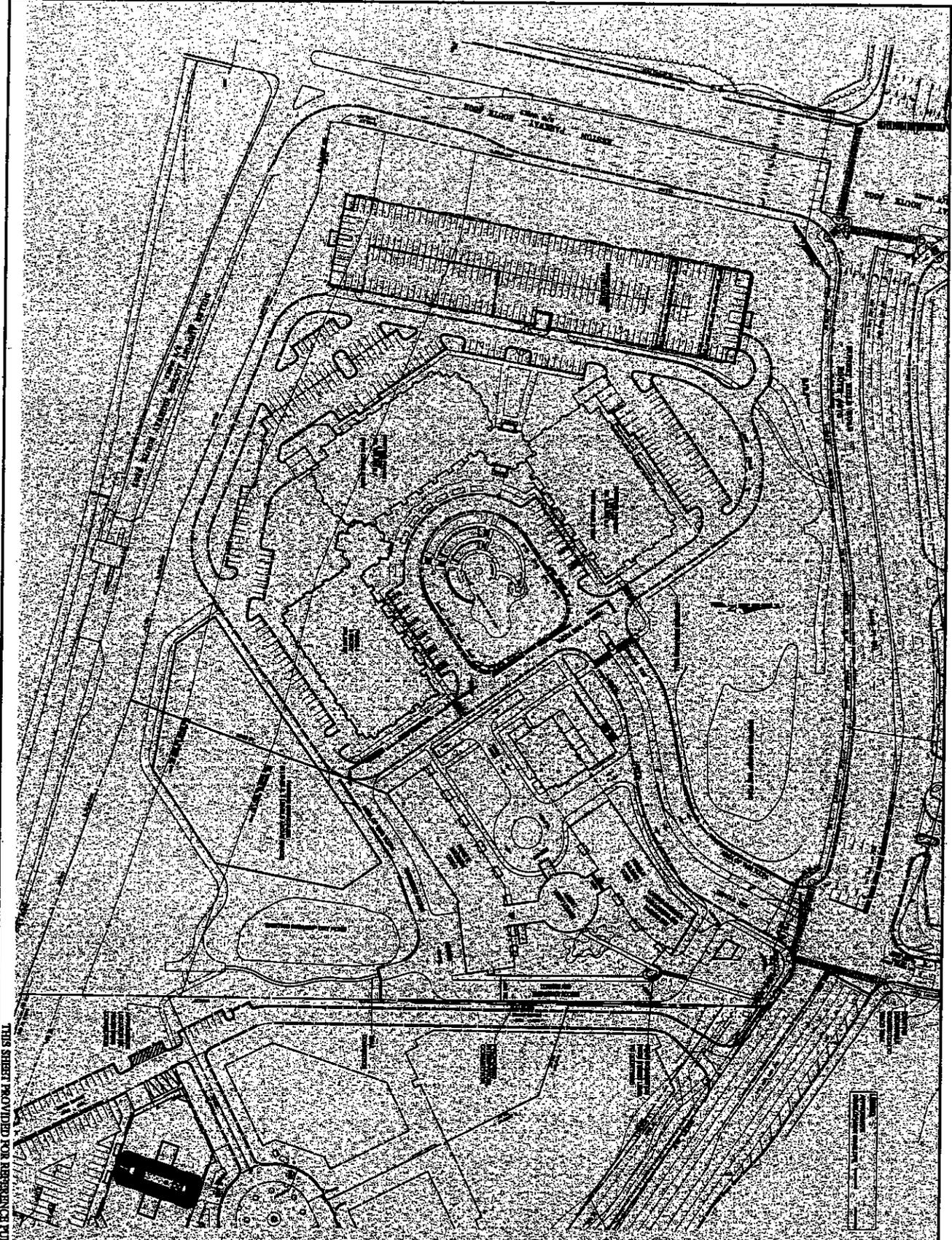
Urban Engineering & Assoc., Inc.

Urban

FAIRFAX COUNTY, VIRGINIA

RESTON APPROVED BY DIVISION OF PLANNING

THIS SHEET PROVIDED FOR REFERENCE PURPOSES ONLY



LANDSCAPE ARCHITECTURE FOR PROVIDING SERVICES

RESTON SECTION 95-2 ORACLE - PHASE IV HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA	URBAN ENGINEERING & ASSOC. INC. 10000 WOODBURN ROAD SUITE 100 FALLS CHURCH, VA 22044 TEL: 703-441-1111 FAX: 703-441-1112 WWW.URBANENGINEERING.COM
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SCALE: N.T.S.

CONCEPT PLAN REFERENCE SHEET

**RESTON SECTION 95-2**

**ORACLE - PHASE IV**

HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

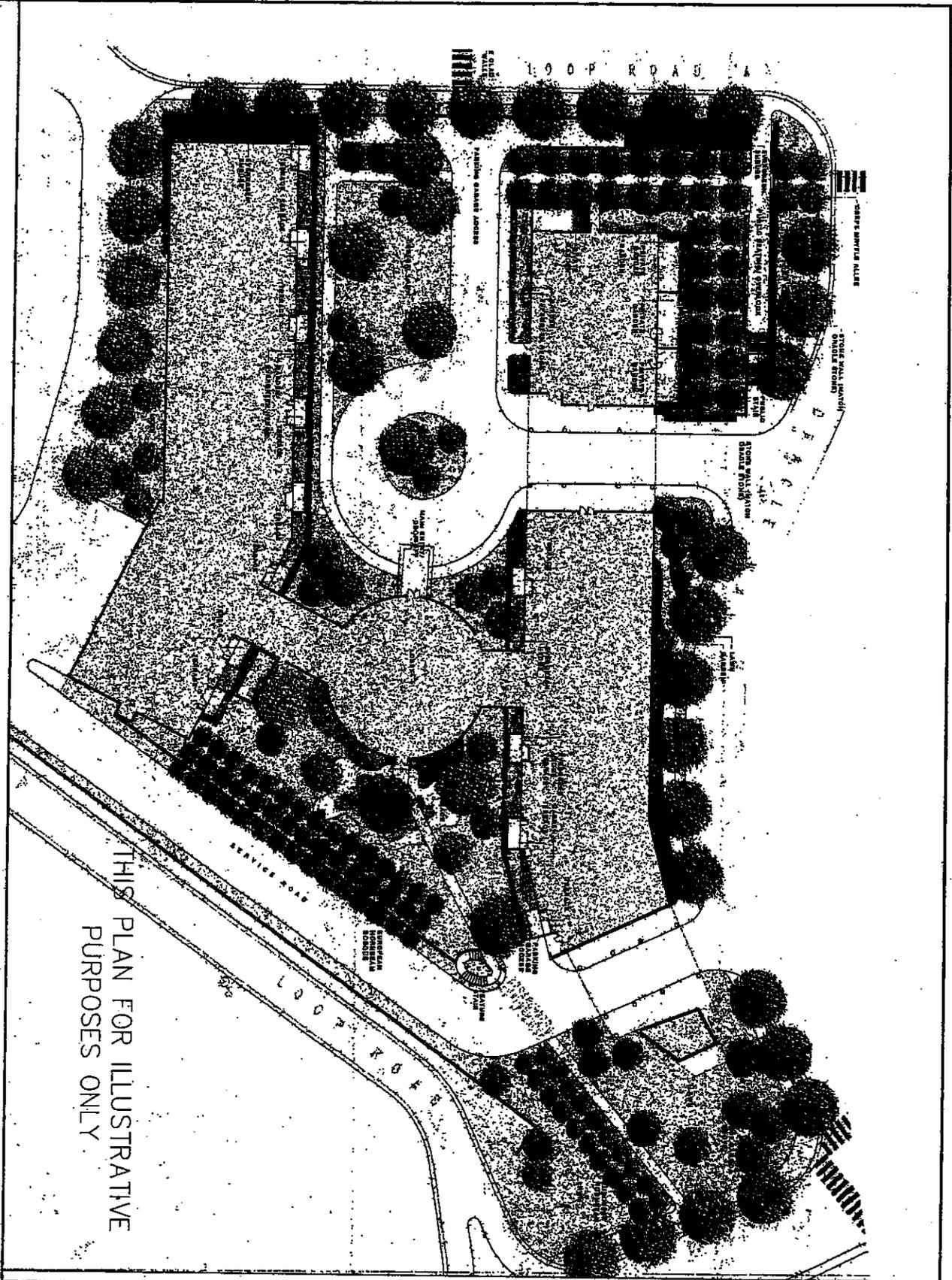
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NO.	DATE	REVISION	REVISION APPROVED BY	DESIGNER	CHECKED	DATE

REVISION APPROVED BY DIVISION OF PERMIT REVIEW





THIS PLAN FOR ILLUSTRATIVE PURPOSES ONLY

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LANDSCAPE REPORTING <b>RESTON SECTION 95-2</b> <b>ORACLE</b> HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA		URBAN ENGINEERING & ASSOC., INC. 11111 Lee Road, Suite 100 Fairfax, VA 22030 (703) 261-1111 www.urban-engineering.com		REVISIONS NO. DATE DESCRIPTION 1 02/01/08
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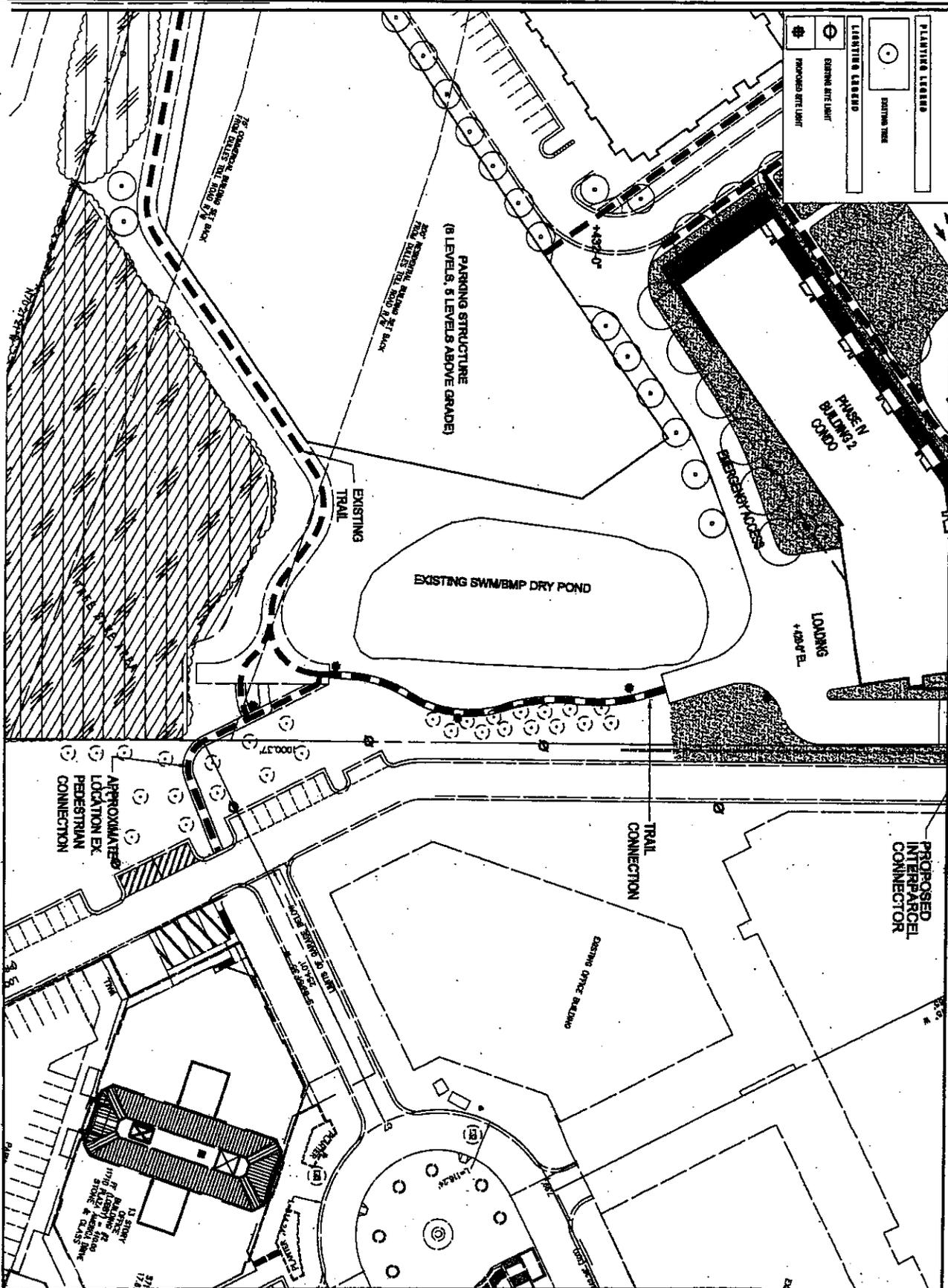
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**PLANTING LEGEND**

- EXISTING TREE
- PLANTING TO BE INSTALLED

**LOADING & LOBBY**

- EXISTING ART LIGHT
- PROPOSED ART LIGHT



THIS SHEET PROVIDED FOR REFERENCE ONLY

**TRAIL ENHANCEMENT PLAN**

**RESTON SECTION 95-2**

**ORACLE**

**URBAN ENGINEERING & ASSOC. INC.**

11111 WOODBURN DRIVE, SUITE 200, RESTON, VA 20191  
 TEL: 703.441.1111 FAX: 703.441.1112  
 WWW.URBANENGINEERING.COM

**CONCEPT PLAN REFERENCE SHEET**

**RESTON SECTION 95-2**

**ORACLE - PHASE IV**

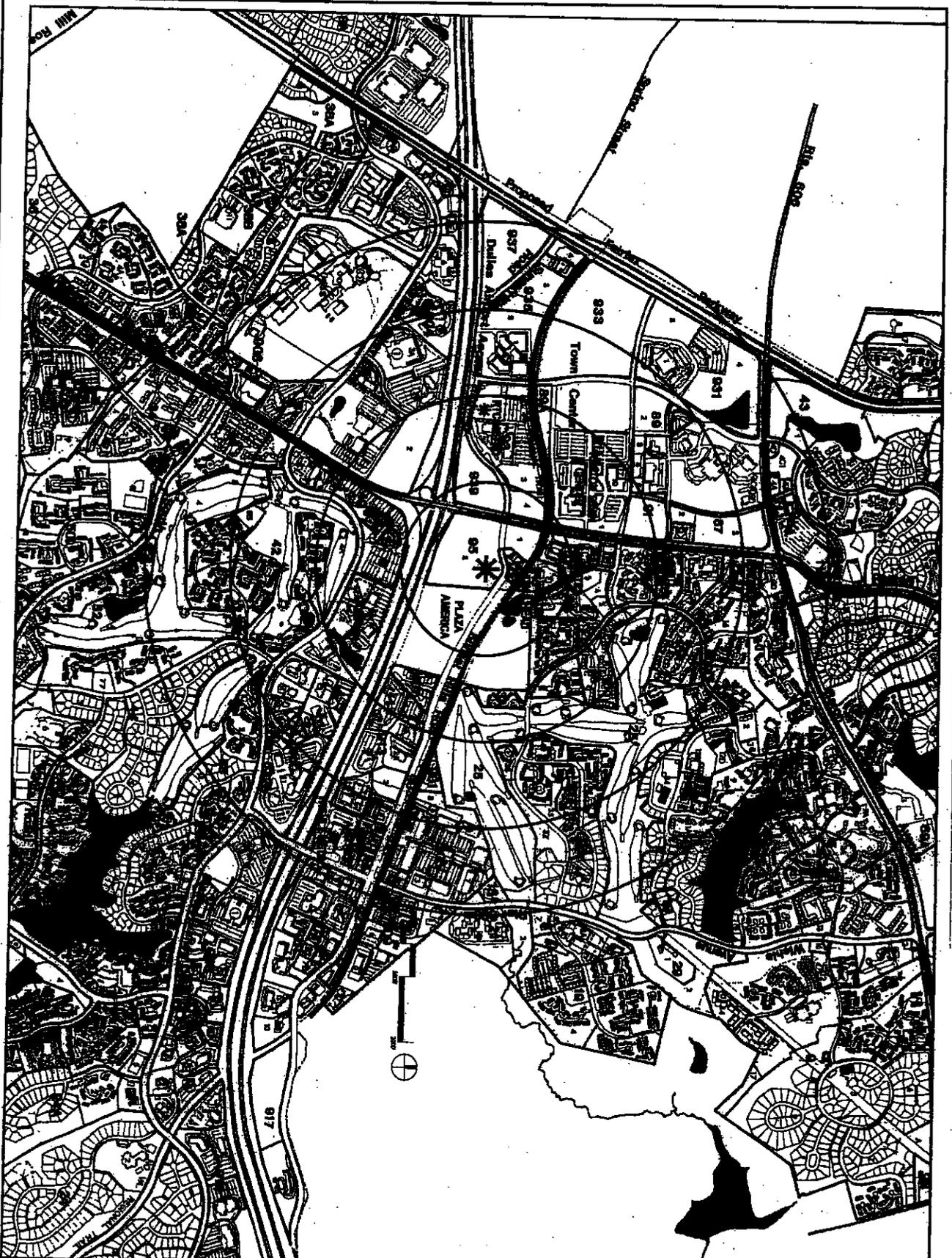
HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SCALE: N.T.S. CL: 499A DATE: FEB. 2008

**urban**

Urban, Inc.  
 7722 Lee Road, Suite 200  
 Fairfax, Virginia 22031  
 Tel: 703.441.1111  
 Fax: 703.441.1112  
 www.urbaninc.com

REVISION APPROVED BY DEPARTMENT OF PUBLIC WORKS

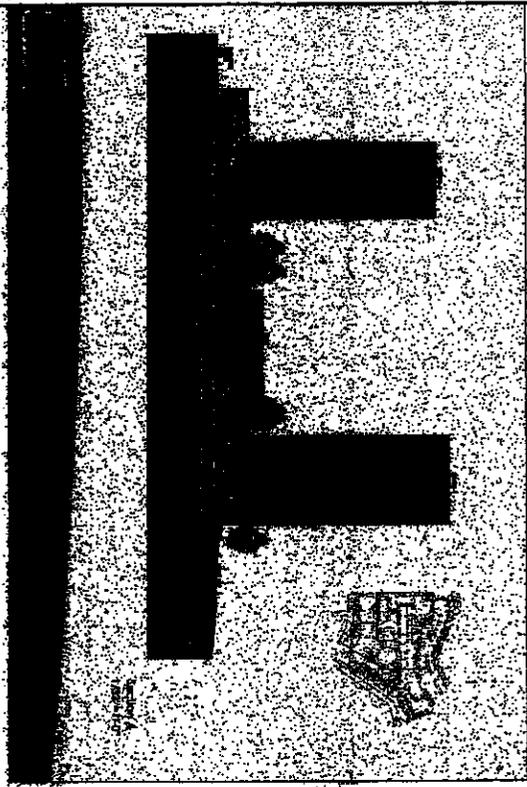
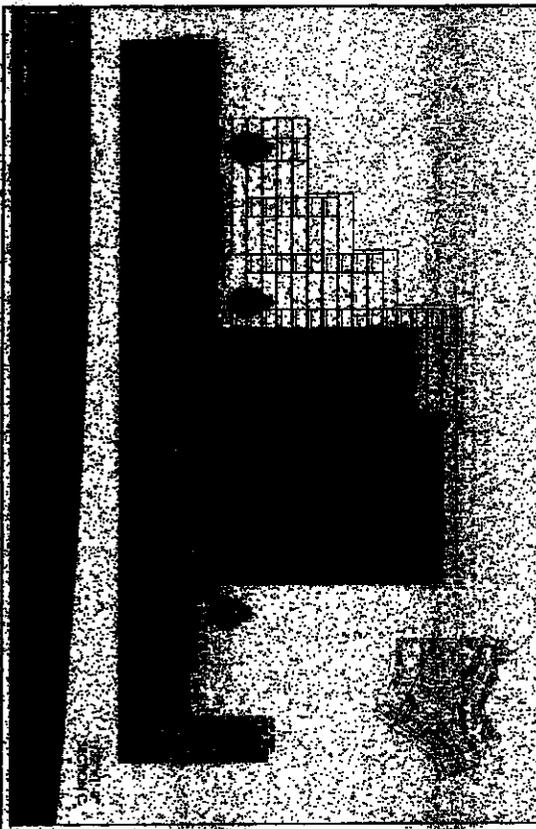


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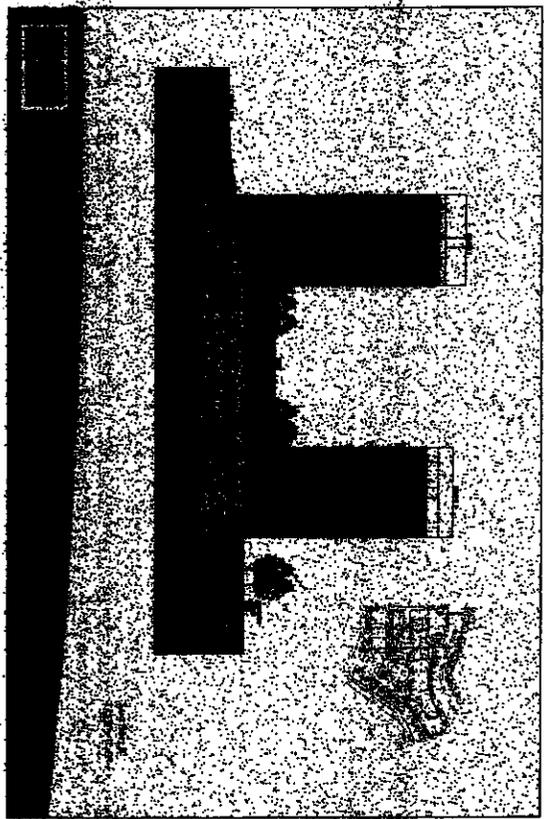
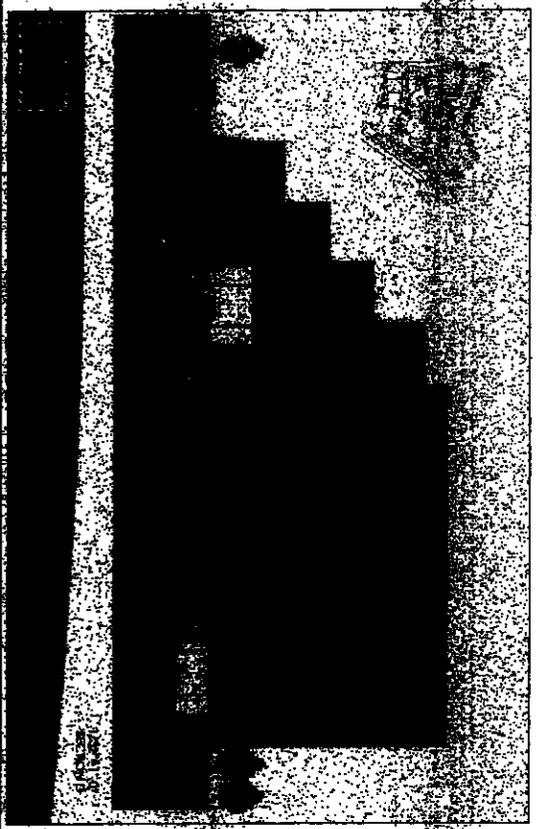
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<p>SCALE: N.T.S. DATE: FEB. 2008</p>	<p>CONCEPT PLAN REFERENCE SHEET <b>RESTON SECTION 95-2</b> <b>ORACLE - PHASE IV</b> HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA</p>		<p>Urban, Ltd. 10000 Woodburn Drive Suite 100 Reston, VA 20190 Tel: 703-441-1100 www.urban-engineering.com</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>DESIGNED BY</th> <th>CHECKED BY</th> <th>APPROVED BY</th> </tr> <tr> <td>02-20-08</td> <td>CONCEPT PLAN</td> <td></td> <td></td> <td></td> </tr> <tr> <td>02-27-08</td> <td>REVISION</td> <td></td> <td></td> <td></td> </tr> <tr> <td>03-17-08</td> <td>REVISION</td> <td></td> <td></td> <td></td> </tr> <tr> <td>03-20-08</td> <td>REVISION</td> <td></td> <td></td> <td></td> </tr> </table>	DATE	DESCRIPTION	DESIGNED BY	CHECKED BY	APPROVED BY	02-20-08	CONCEPT PLAN				02-27-08	REVISION				03-17-08	REVISION				03-20-08	REVISION			
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CONCEPT PLAN REFERENCE SHEET  
**RESTON SECTION 95-2**  
**ORACLE - PHASE IV**  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SCALE: N.T.S.      CI - 49A      DATE: FEB., 2009



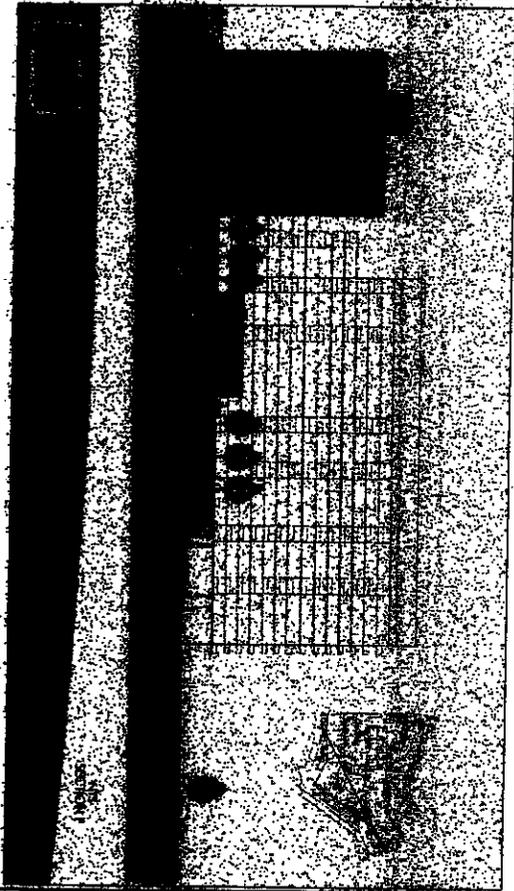
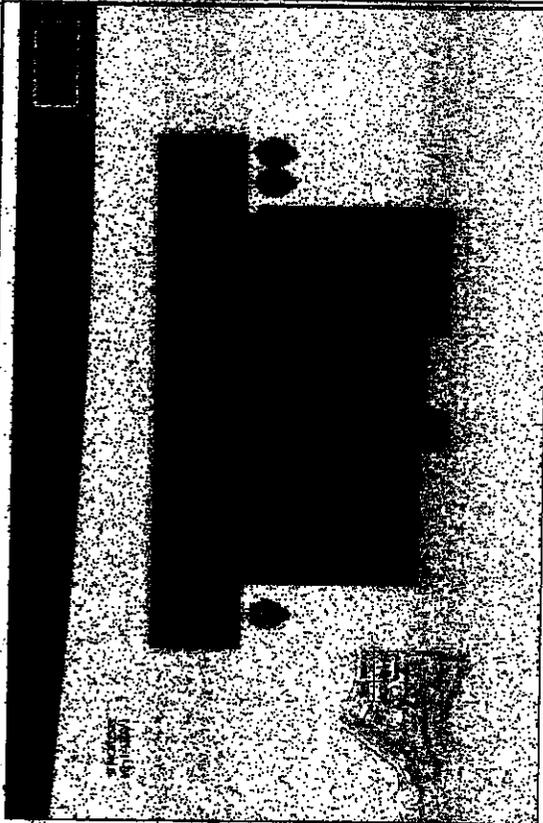
**urban**

Urban, Ltd.  
 11111 Yellow Springs Road  
 Suite 1000  
 Reston, VA 20190  
 www.urban.com

Planner - Engineers - Landscape Architects - Land Surveyors

NO.	DATE	DESCRIPTION	REVISION APPROVED	DATE

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CONCEPT PLAN REFERENCE SHEET  
RESTON SECTION 95-2  
ORACLE - PHASE IV  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA



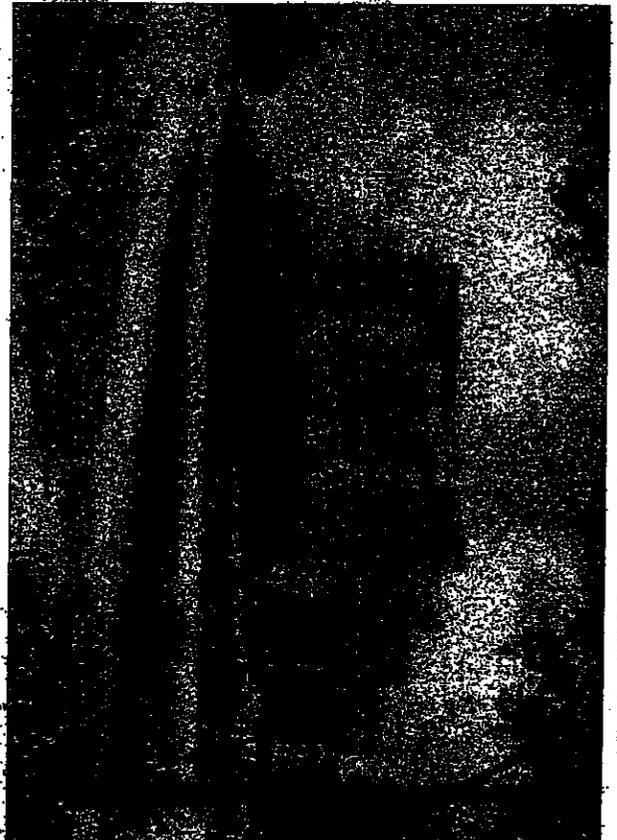
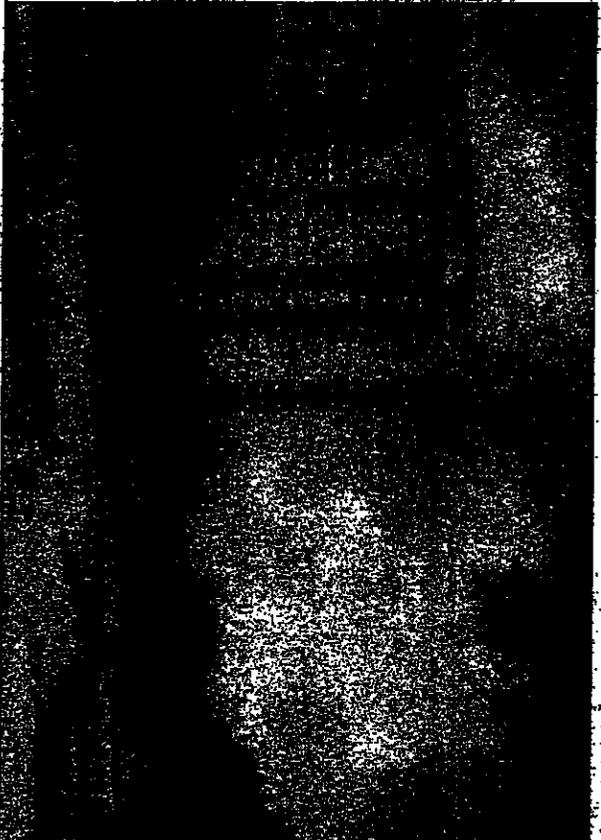
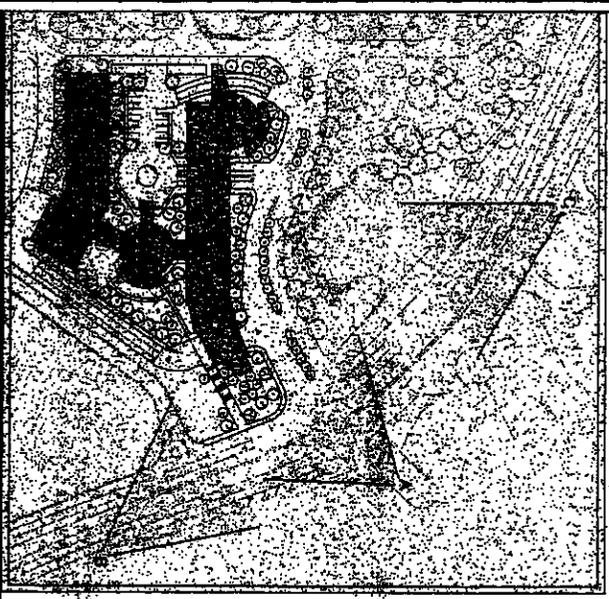
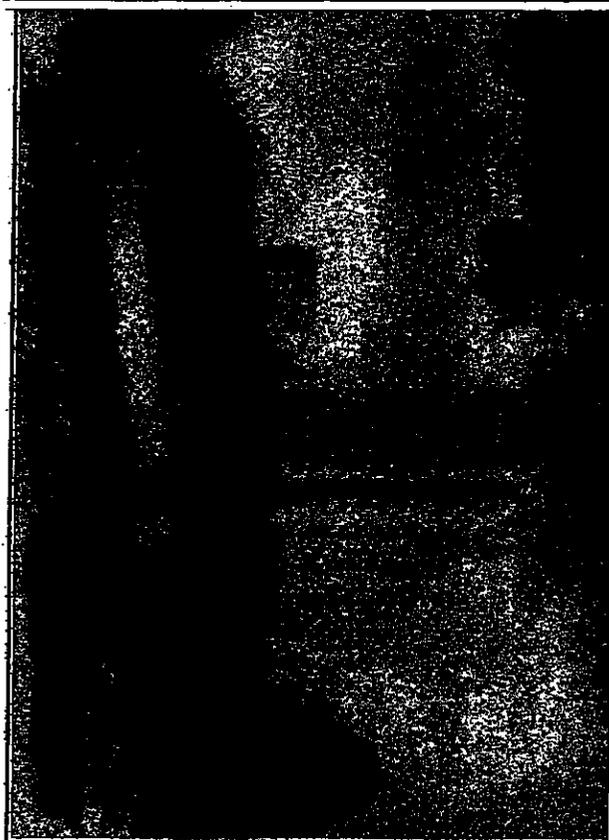
Urban, Ltd.  
7781 Lees Road, Suite 200  
Arlington, Virginia 22204  
Tel: 703.441.1111  
Fax: 703.441.1111

DATE: 08-20-08  
BY: [Signature]

NO.	DATE	DESCRIPTION	REVIEW APPROVED	DATE

SCALE: N.T.S. CI #004 DATE: FEB., 2008

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CONCEPT PLAN REFERENCE SHEET  
RESTON SECTION 95-2  
ORACLE - PHASE IV  
HUNTER HILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA



Urban, Ltd.  
7111 Leea, New Market  
Fairfax, VA 22040  
Tel: 703.662.2000  
Fax: 703.662.2000  
www.urban.com

No.	DATE	DESCRIPTION	REVIEW APPROVED	DATE

SCALE: N.T.S.      CI: #9A      DATE: FEB. 2008

DESIGNER APPROVED BY DIVISION OF DESIGN REVIEW

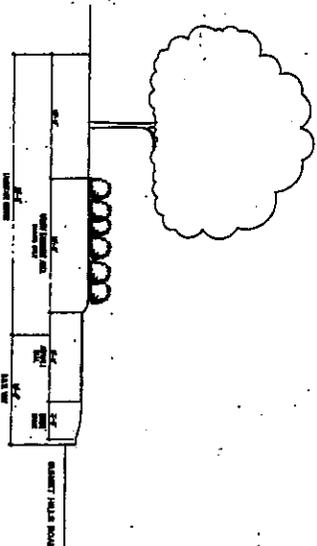


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86	REVISED PLAN	11/15/95	JCS
87	REVISED PLAN	12/15/95	JCS
88	REVISED PLAN	01/15/96	JCS
89	REVISED PLAN	02/15/96	JCS
90	REVISED PLAN	03/15/96	JCS
91	REVISED PLAN	04/15/96	JCS
92	REVISED PLAN	05/15/96	JCS
93	REVISED PLAN	06/15/96	JCS
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98	REVISED PLAN	11/15/96	JCS
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Page 1

Page 2

SECTION AT SUNSET HILLS ROAD



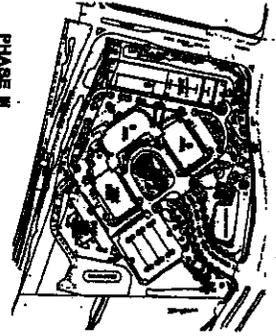
AERIAL VIEW



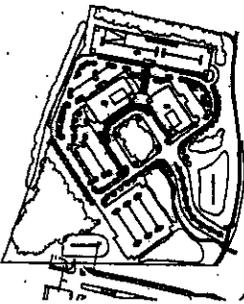
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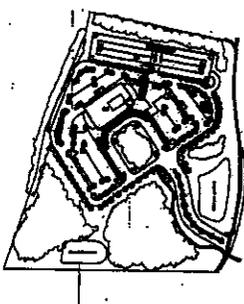
PHASE IV



PHASE III



PHASE II



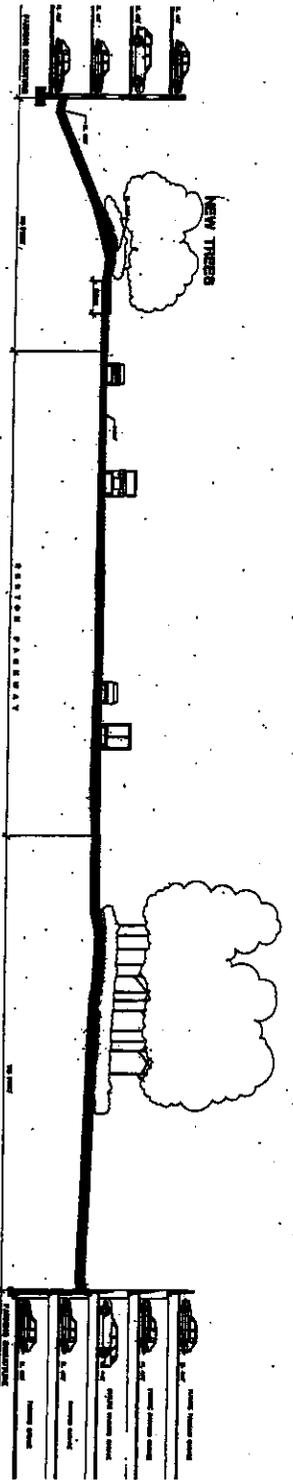
PHASE I

<p>NOTES AND DIAGRAMS</p>	<p>RESTON Section 95-2 Oracle, VA</p>		<p>DAVIS • CARTER • SCOTT ARCHITECTURE AND INTERIOR ARCHITECTURE</p>	<p>DATE: 02/15/90</p>
				<p>BY: JCS</p>

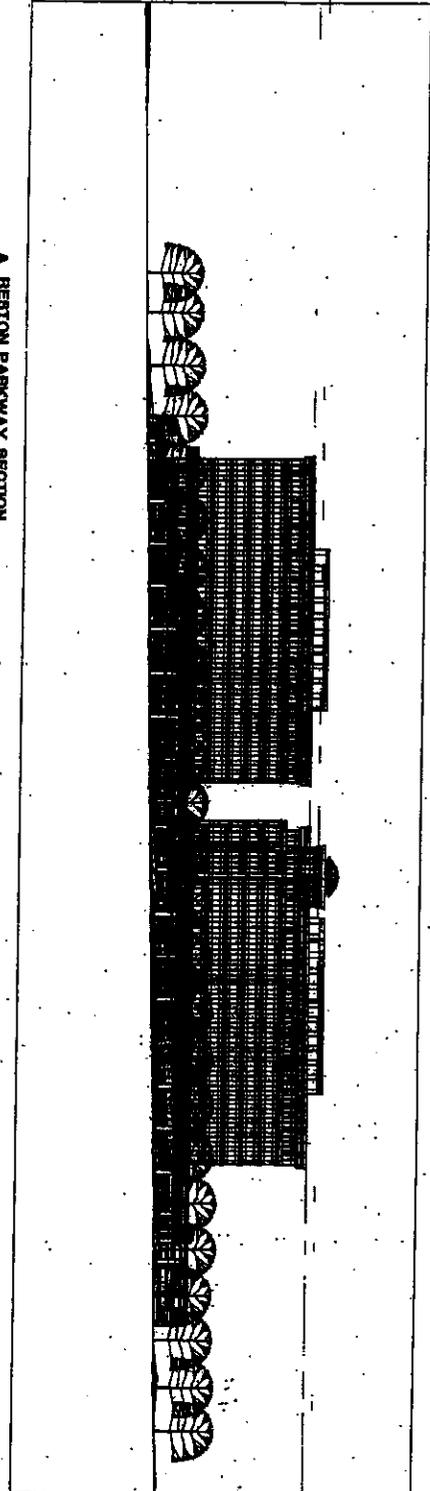
<p>CONCEPT PLAN REFERENCE SHEET</p>	<p>RESTON SECTION 95-2 ORACLE - PHASE IV HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA</p>		<p>Urban, Inc. 1700 Lee Street, Suite 200 Arlington, VA 22202 Tel: 703-261-1100 Fax: 703-261-1101 www.urbaninc.com</p>	<p>DATE: 02/15/90</p>	<p>DESIGNER: JCS</p>	<p>REVIEW APPROVER: JCS</p>	<p>DATE: 02/15/90</p>
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THIS SHEET PROVIDED FOR REFERENCE PURPOSES ONLY!

**B RESTON PARKWAY SECTION**  
 LANE - 150  
 300' SECTION



**A RESTON PARKWAY SECTION**  
 NOT TO SCALE  
 300' SECTION



THIS SHEET PROVIDED FOR REFERENCE PURPOSES ONLY

**RESTON SECTION 95-2**  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

**DAVIS • CARTER • SCOTT**  
 ARCHITECTS AND INTERIOR DECORATORS

**urban**  
 PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS • LAND SURVEYORS

DATE	DESCRIPTION	REVIEW APPROVAL	DATE

**CONCEPT PLAN REFERENCE SHEET**  
**RESTON SECTION 95-2**  
**ORACLE - PHASE IV**  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

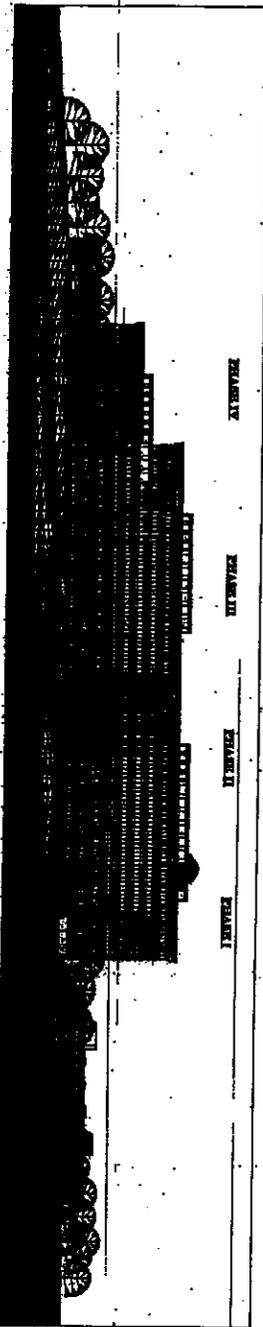
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 CL - 404  
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RESTON SECTION 95-2  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

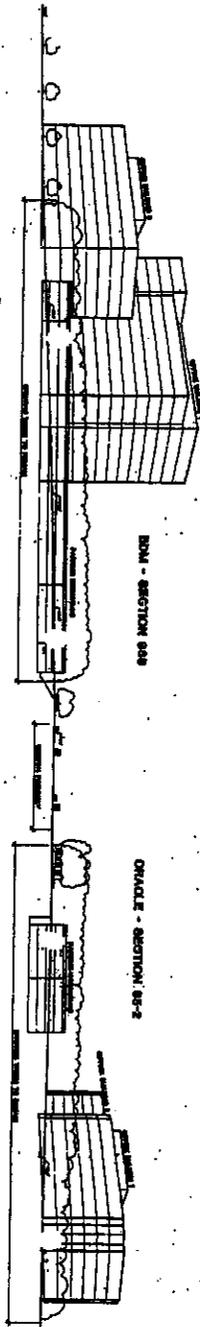


Urban, Inc.  
 7211 Lee Street, Suite 200  
 Arlington, Virginia, 22202  
 Tel: 703.544.8888  
 Fax: 703.544.8888  
 www.urbaninc.com

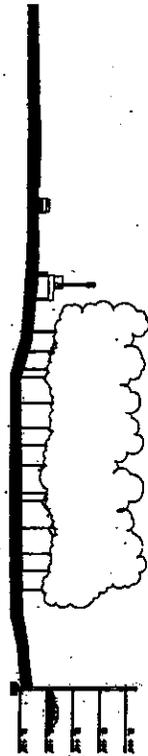
REVISIONS APPROVED BY DIVISION OF DESIGN REVIEW



**C SUNSET HILLS ROAD SECTION**  
1/8" = 1'-0"



**D SECTION THROUGH DUKES ACCESS ROAD HIGHWAY RAMP**  
1/8" = 1'-0"



**E SECTION THROUGH BRIDGE AT INTERSECTION**  
1/8" = 1'-0"

PRELIMINARY EXHIBIT EXHIBIT EXHIBIT

**DAVIS • CARTER • SCOTT**  
ARCHITECTS AND INTERIOR DESIGNERS  
2040 Commonwealth Blvd., Suite 200, Fairfax, VA 22031  
Tel: 703.261.1234 Fax: 703.261.1235  
www.davis-carter-scott.com

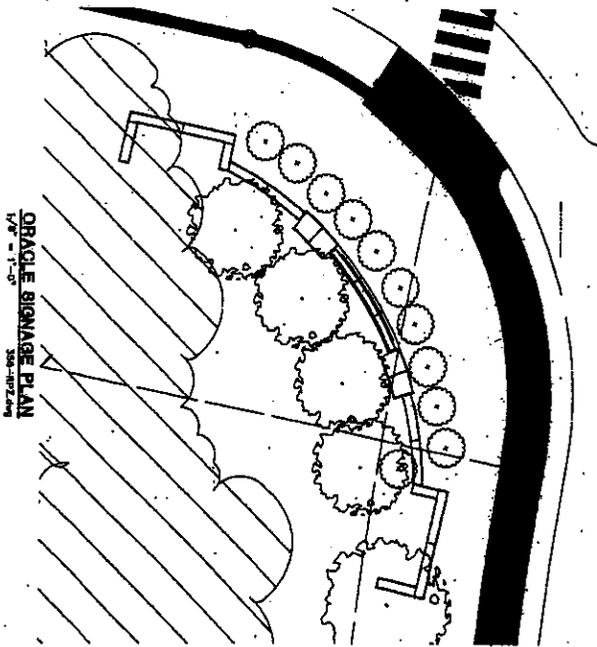
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CONCEPT PLAN REFERENCE SHEET  
**RESTON SECTION 95-2**  
**ORACLE - PHASE IV**  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA  
SCALE: N.T.S. CL: #0A DATE: FEB. 2008

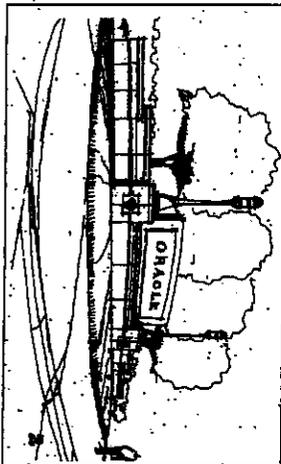
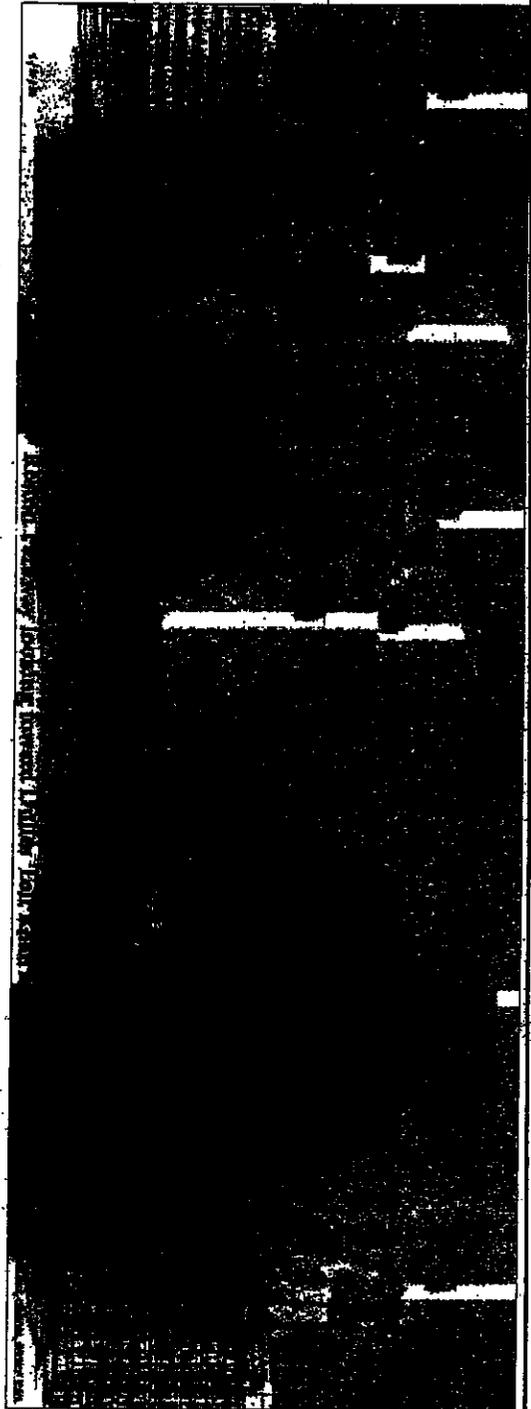


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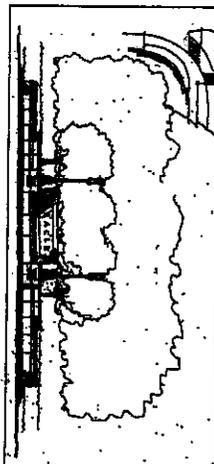


ORACLE SIGNAGE PLAN  
1/8" = 1'-0"  
3/28/10 JMS

RESTON PARKWAY PERSPECTIVE

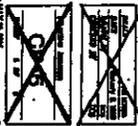


ORACLE SIGNAGE PERSPECTIVE



ORACLE SIGNAGE ELEVATION

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LANDSCAPE ARCHITECT  
DAVIS • CARTER • SCOTT  
ARCHITECTS AND INTERIORS

RESTON SECTION 95-2  
HUNTER HILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

ORACLE  
SIGNAGE PLAN

DATE: FEB. 2010

DAVIS • CARTER • SCOTT  
ARCHITECTS AND INTERIORS

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CONCEPT PLAN REFERENCE SHEET  
RESTON SECTION 95-2  
ORACLE - PHASE IV  
HUNTER HILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA



urban  
Planners - Engineers - Landscape Architects - Lead Surveyors

NO.	DATE	DESCRIPTION	REVISION APPROVED	DATE

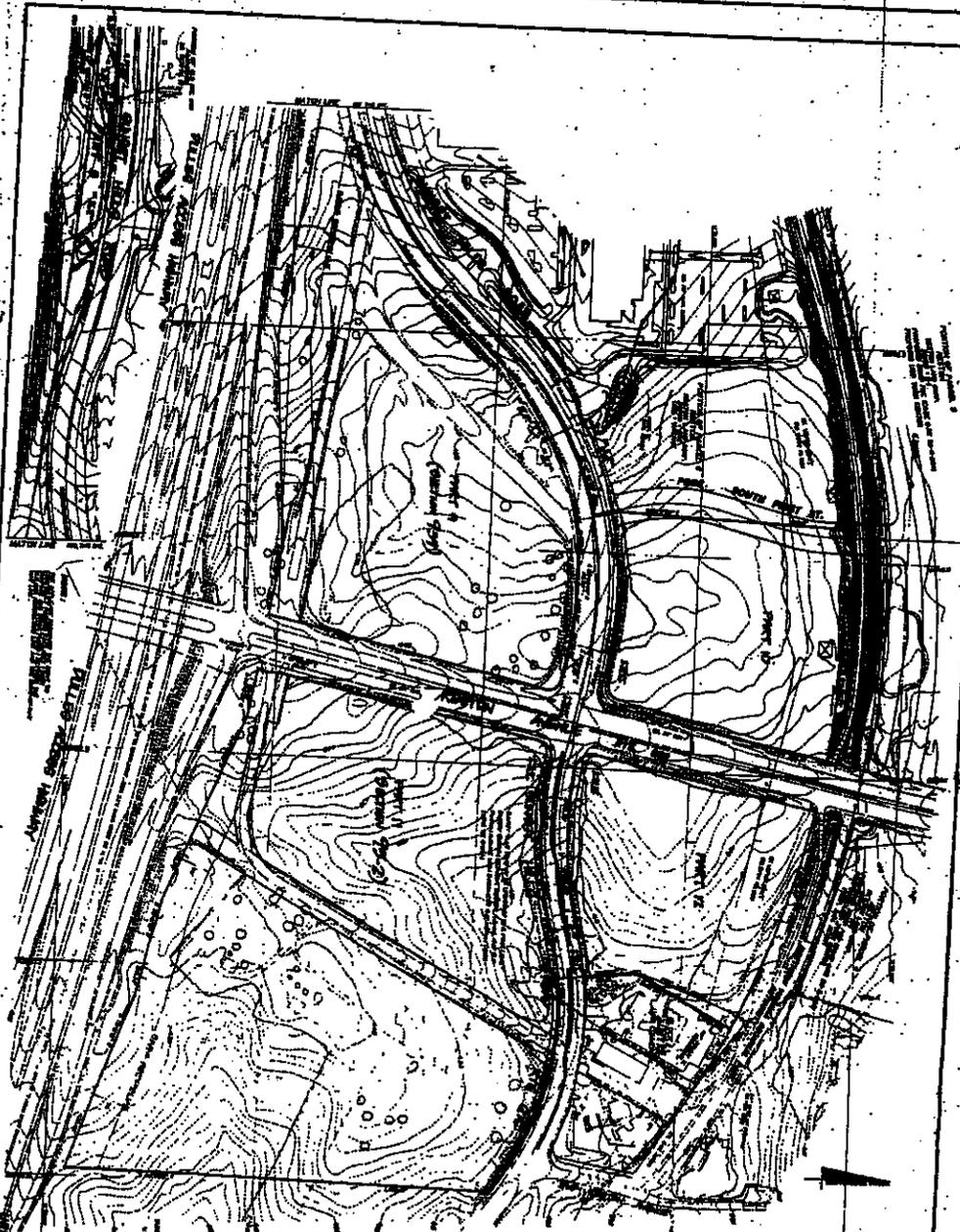
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CL - 406A

DATE: FEB. 2010

REVISION APPROVED BY DIVISION OF DESIGN REVIEW





**RESTON SECTION 95-2  
ORACLE - PHASE IV**  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

**ALBERT E. HARRIS & ASSOCIATES, INC.**  
10000 WOODBURN ROAD, SUITE 100  
RESTON, VA 20190  
TEL: 703-791-1000  
FAX: 703-791-1001  
WWW.AEHARRIS.COM

**DESIGNED BY:** ALBERT E. HARRIS & ASSOCIATES, INC.  
**DATE:** 02/11/08

**SCALE:** N.T.S.

**PROJECT NO.:** 08-001

**DATE:** 02/11/08

**PROJECT NAME:** RESTON SECTION 95-2 ORACLE - PHASE IV

**PROJECT LOCATION:** HUNTER MILL DISTRICT, FAIRFAX COUNTY, VIRGINIA

**PROJECT OWNER:** [REDACTED]

**PROJECT DESCRIPTION:** [REDACTED]

**PROJECT STATUS:** [REDACTED]

**PROJECT CONTACT:** [REDACTED]

**PROJECT NOTES:** [REDACTED]

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<p><b>CONCEPT PLAN REFERENCE SHEET</b></p> <p><b>RESTON SECTION 95-2</b></p> <p><b>ORACLE - PHASE IV</b></p> <p>HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA</p> <p>SCALE: N.T.S.      CI - 40A      DATE: FEB. 2008</p>			<p><b>Urban, Ltd.</b> 10000 WOODBURN ROAD, SUITE 100 RESTON, VA 20190 TEL: 703-791-1000 FAX: 703-791-1001 WWW.URBANLTD.COM</p> <p>Planner - Engineer - Landscape Architect - Land Surveyor</p>	<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>REVISION APPROVED</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	REVISION APPROVED	DATE																										<p><b>DAVIS + CARTER + SCOTT</b> ARCHITECTS AND INTERIORS</p> <p>10000 WOODBURN ROAD, SUITE 100 RESTON, VA 20190 TEL: 703-791-1000 FAX: 703-791-1001 WWW.DAVIS-CARTER-SCOTT.COM</p>
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