



**APPLICATION ACCEPTED:** August 3, 2010  
**PLANNING COMMISSION:** January 26, 2011  
**BOARD OF SUPERVISORS:** Not yet scheduled

# County of Fairfax, Virginia

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**January 12, 2011**

## **STAFF REPORT**

**APPLICATION RZ 2010-PR-010**

### **PROVIDENCE DISTRICT**

**APPLICANT:** Neighborhoods VI, LLC

**PRESENT ZONING:** R-2

**REQUESTED ZONING:** R-5

**PARCEL(S):** 47-2 ((1)) 66, 67A and 70A

**ACREAGE:** 7.44 Acres

**DENSITY:** 4.84 du/ac

**PLAN MAP:** Residential; 4-5 du/ac and 2-3 du/ac

**PROPOSAL:** The applicant seeks to rezone 7.44 acres from R-2 to R-5 to permit a residential development consisting of 35 new single-family attached dwelling units and one existing single-family detached dwelling.

**WAIVERS/MODIFICATIONS:** Waiver of the 600-foot maximum length for a private street.  
Waiver of the barrier along the eastern property line.  
Modification of the transitional screening requirement along the eastern property line in accordance with the landscaping shown on the Generalized Development Plan (GDP).

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**Kelli Goddard-Sobers**

**Department of Planning and Zoning**  
Zoning Evaluation Division  
12055 Government Center Parkway, Suite 801  
Fairfax, Virginia 22035-5509  
Phone 703-324-1290 FAX 703-324-3924  
[www.fairfaxcounty.gov/dpz/](http://www.fairfaxcounty.gov/dpz/)



## STAFF RECOMMENDATIONS:

Staff recommends approval of RZ 2010-PR-010 subject to the execution of proffers consistent with those in Appendix 1 of this report.

Staff recommends approval of a waiver of the 600-foot maximum length for a private street.

Staff recommends approval of a waiver of the barrier along the eastern property line.

Staff recommends approval of a modification of the transitional screening requirement along the eastern property line in accordance with the landscaping shown on the Generalized Development Plan (GDP).

It should be noted that it is not the intent of the staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this special exception does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.

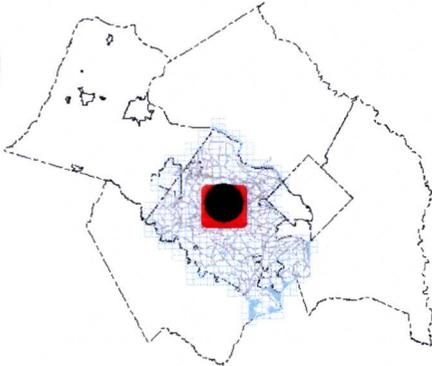
O:\kgodda\RZ\Neighborhoods VI\Staff report\cover.doc



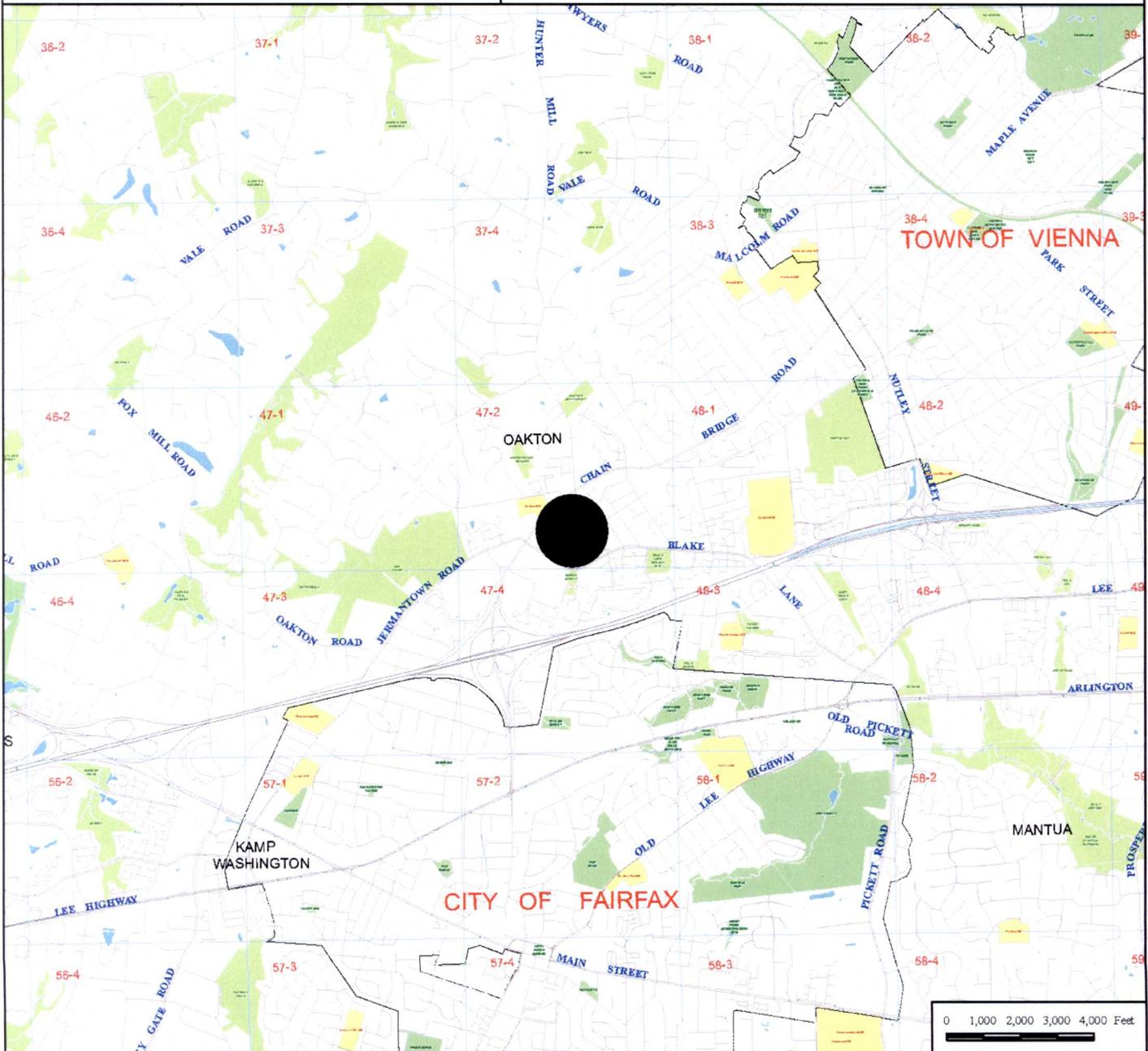
Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 7 days advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

# Rezoning Application

## RZ 2010-PR-010



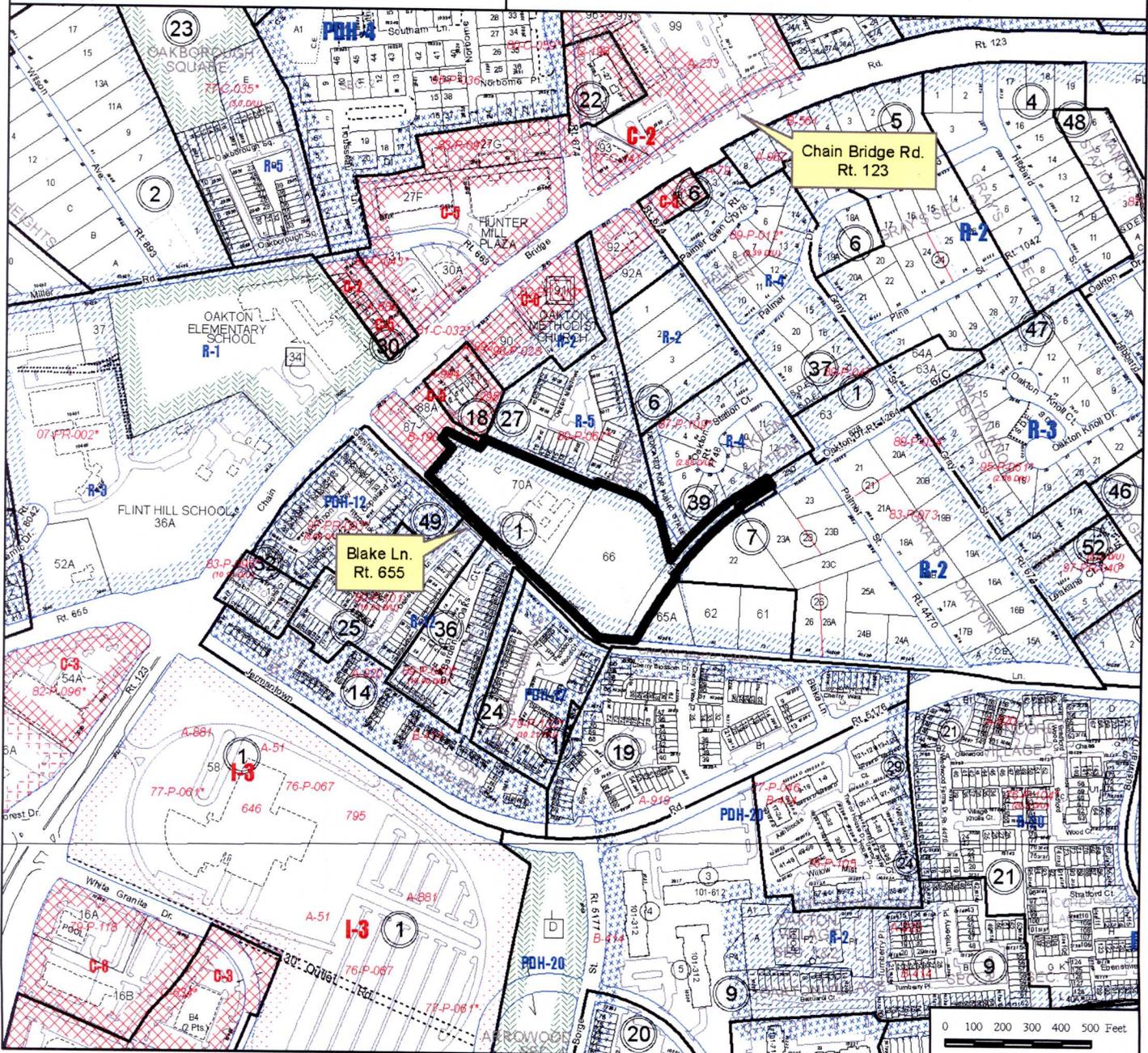
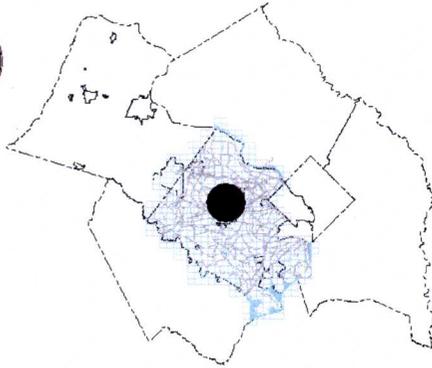
Applicant: NEIGHBORHOODS VI, LLC  
Accepted: 08/03/2010  
Proposed: RESIDENTIAL  
Area: 7.44 AC OF LAND; DISTRICT - PROVIDENCE  
Zoning Dist Sect:  
Located: NORTHEAST SIDE OF BLAKE LANE  
APPROXIMATELY 300 FEET SOUTHEAST OF  
ITS INTERSECTION WITH CHAIN BRIDGE ROAD  
Zoning: FROM R- 2 TO R- 5  
Overlay Dist:  
Map Ref Num: 047-2- /01/ /0066 /01/ /0067A  
/01/ /0070A



# Rezoning Application

## RZ 2010-PR-010

Applicant: NEIGHBORHOODS VI, LLC  
 Accepted: 08/03/2010  
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 Map Ref Num: 047-2- /01/ /0066 /01/ /0067A  
 /01/ /0070A



# OAKTON EAST

## GENERALIZED DEVELOPMENT PLAN

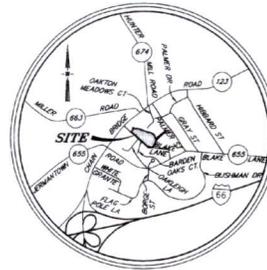
### FAIRFAX COUNTY, VIRGINIA

### PROVIDENCE DISTRICT

**JUNE 2010**  
 REVISED OCTOBER 14, 2010  
 REVISED NOVEMBER 12, 2010  
 REVISED DECEMBER 2, 2010  
 REVISED DECEMBER 21, 2010

#### OWNERS/APPLICANTS

NEIGHBORHOODS VI, LLC  
 11111 SUNSET HILLS ROAD  
 SUITE 200  
 RESTON, VA 20190  
 TELEPHONE: 703.694.5000  
 FAX: 703.715.8076



VICINITY MAP  
 SCALE: 1" = 2,000'

#### ENGINEERS/LANDSCAPE ARCHITECTS

THE BC CONSULTANTS  
 12600 FAIR LAKES CIRCLE  
 SUITE 100  
 FAIRFAX, VA 22033  
 TELEPHONE: 703.449.8100  
 FAX: 703.449.8108

### SHEET INDEX

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#### ATTORNEY/AGENT

McGUIREWOODS, LLP  
 1750 TYSONS BOULEVARD  
 SUITE 1800  
 McLEAN, VA 22102  
 TELEPHONE: 703.712.5000  
 FAX: 703.712.5297



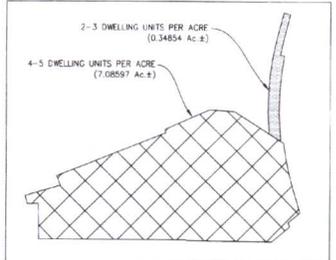
SHEET 1 OF 18  
 PROJECT # 08118.01.00  
 DATE: JUNE 2010

**LEGEND:**

- EXISTING TREE LINE
- PROPOSED TREE LINE
- LIMITS OF CLEARING AND GRADING \*\*
- APPROXIMATE LIMITS OF ARCHEOLOGY STUDY AREA
- \* APPROXIMATE LOCATION OF POSSIBLE RAIN GARDEN
- EXISTING DRIVEWAY TO BE REMOVED BY HAND OR WITH MECHANICAL SETTING DEVICES THAT REMAINS AT LEAST 15' FROM THE PROPERTY LINE
- SELECTIVE CLEARING OF DAMAGED AND DISEASED VEGETATION (NO GRADING ALLOWED)
- LIMITS OF EXISTING BUILDING 3 TO REMAIN

| CURVE TABLE |         |         |         |         |               |         |
|-------------|---------|---------|---------|---------|---------------|---------|
| CURVE       | RADIUS  | LENGTH  | TANGENT | CHORD   | BEARING       | DELTA   |
| 1           | 310.00' | 232.76' | 153.70' | 311.41' | N 46°30'31" W | 117.00° |
| 2           | 340.00' | 246.87' | 162.86' | 340.00' | S 30°03'30" W | 124.00° |
| 3           | 330.00' | 246.87' | 162.87' | 330.00' | S 46°27'42" W | 147.00° |
| 4           | 340.00' | 126.00' | 72.87'  | 145.00' | S 30°03'30" W | 124.00° |

- EXISTING (INDIVIDUAL) TREE
- \* EXISTING STREETLIGHTS ALONG BLAKE LANE
- ⊙ PROPOSED STREETLIGHTS SEE DETAIL ON SHEET 17 FOR ADDITIONAL INFORMATION
- A TOWNHOUSE TYPE 'A' (SEE TYPICAL LOT LAYOUT ON SHEET 3)
- B TOWNHOUSE TYPE 'B' (SEE TYPICAL LOT LAYOUT ON SHEET 3)
- ⊠ INDICATES THE NUMBER OF VEHICLE TRIPS PER DAY (VTD). NUMBERS SHOWN ARE BASED ON 10 VTD FOR EACH SINGLE FAMILY DETACHED UNIT AND 5.81 VTD FOR EACH TOWNHOUSE UNIT PER THE ITE TRIP GENERATION MANUAL, 6TH EDITION, LAND USE 230.

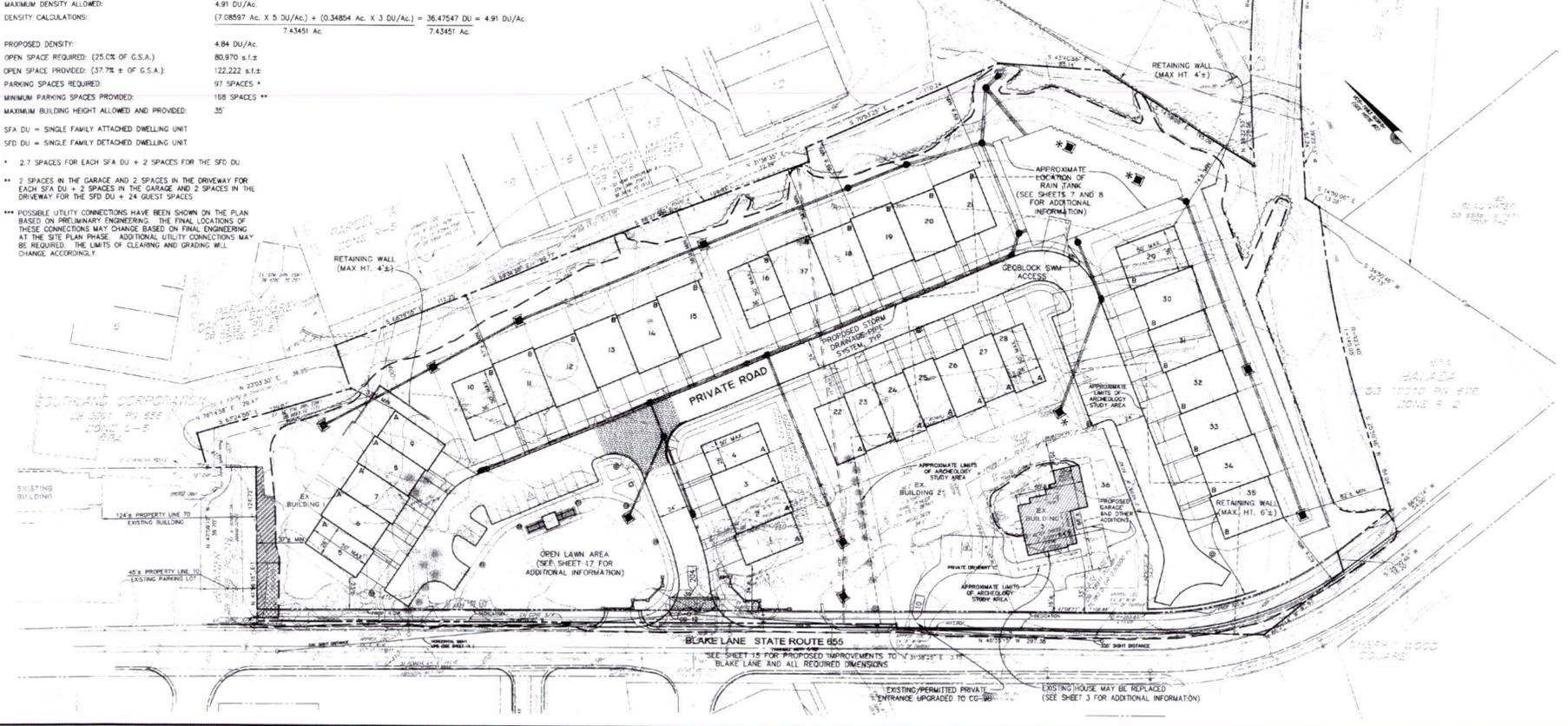


**COMPREHENSIVE PLAN**  
SCALE: 1"=200'  
**DENSITY RANGE:**

**SITE TABULATIONS:**

|   |  |
|---|--|
| GROSS SITE AREA (C.S.A.):                     | 323,847 s.f.± or 7.43451 Ac.±  |
| EXISTING ZONE:                                | R-2  |
| PROPOSED ZONE:                                | R-5  |
| MAXIMUM NUMBER OF UNITS ALLOWED:              | 36 DWELLING UNITS (DU)   |
| UNITS CALCULATION BREAKDOWN:                  | 7.08597 Ac. X 5 DU/Ac. = 35.43 OR 35 DU<br>0.34854 Ac. X 3 DU/Ac. = 1.05 OR 1 DU<br>36 DU (35 SFD DU AND ONE SFD DU) |
| PROPOSED NUMBER OF UNITS:                     | 36 DU (35 SFD DU AND ONE SFD DU)   |
| MAXIMUM DENSITY ALLOWED:                      | 4.91 DU/Ac.  |
| DENSITY CALCULATIONS:                         | (7.08597 Ac. X 5 DU/Ac.) + (0.34854 Ac. X 3 DU/Ac.) = 36.47547 DU = 4.91 DU/Ac.<br>7.43451 Ac. 7.43451 Ac.           |
| PROPOSED DENSITY:                             | 4.84 DU/Ac.  |
| OPEN SPACE REQUIRED: (25% OF C.S.A.):         | 80,970 s.f.±   |
| OPEN SPACE PROVIDED: (37.7% OF C.S.A.):       | 122,222 s.f.±  |
| PARKING SPACES REQUIRED:                      | 97 SPACES **   |
| MINIMUM PARKING SPACES PROVIDED:              | 168 SPACES **  |
| MAXIMUM BUILDING HEIGHT ALLOWED AND PROVIDED: | 35'  |

SFA DU = SINGLE FAMILY ATTACHED DWELLING UNIT  
SFD DU = SINGLE FAMILY DETACHED DWELLING UNIT  
\* 2.7 SPACES FOR EACH SFA DU + 2 SPACES FOR THE SFD DU  
\*\* 2 SPACES IN THE GARAGE AND 2 SPACES IN THE DRIVEWAY FOR EACH SFA DU + 2 SPACES IN THE GARAGE AND 2 SPACES IN THE DRIVEWAY FOR THE SFD DU + 24 GUEST SPACES  
\*\*\* POSSIBLE UTILITY CONNECTIONS HAVE BEEN SHOWN ON THE PLAN BASED ON PRELIMINARY ENGINEERING. THE FINAL LOCATIONS OF THESE CONNECTIONS MAY CHANGE BASED ON FINAL ENGINEERING AT THE SITE PLAN PHASE. ADDITIONAL UTILITY CONNECTIONS MAY BE REQUIRED. THE LIMITS OF CLEARING AND GRADING WILL CHANGE ACCORDINGLY.



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(703)449-8100 (703)449-8108 (Fax)  
www.bccon.com



GENERALIZED DEVELOPMENT PLAN  
**OAKTON EAST**  
PROVIDENCE DISTRICT  
HARRIS COUNTY, VIRGINIA

|                        |
|------------------------|
| DESIGNED BY: PLR       |
| DRAFTED BY: CAD        |
| CHECKED BY: PLR        |
| DATE: JUNE 2010        |
| SCALE: 1/8" = 1' H & V |
| SHEET 2 OF 18          |
| CO. NO.                |
| CAD NAME: 08118DGP     |
| LAYOUT: GDP            |
| FILE NO: 0818-06       |



**EXISTING VEGETATION MAP SUMMARY AND NARRATIVE**

| COVER TYPE | PRIMARY SPECIES          | SUCCESSIONAL STAGE | CONDITION | AREA (Ac.±) | NARRATIVE  |
|------------|--------------------------|--------------------|-----------|-------------|--|
| 2          | OAK, TULIP POPLAR, MAPLE | MATURE             | N/A       | 2.09        | ALTHOUGH PART OF THIS AREA IS ADJACENT TO A STREAM, MOST OF THE TREE SPECIES ARE ASSOCIATED WITH UPLAND FORESTS. UNSTORY INCLUDES MODERATE TO EXTENSIVE GROWTH OF INVASIVE PLANT SPECIES INCLUDING BRIARS, VINES AND MULTI-FLORA ROSE.   |
| 3          | NONE DOMINATE            | VERY EARLY         | N/A       | 0.14        | SCATTERED AREAS OF SUCCESSIONAL GROWTH AROUND UNMAINTAINED AREAS AND ADJACENT TO FORESTED AREAS. UNSTORY PLANT MATERIAL INCLUDES MANY NATIVE AND NON-NATIVE HERBACEOUS AND INVASIVE SPECIES INCLUDING BRIARS, MULTI-FLORA ROSE, VINES AND POSION IVY.  |
| 5          | N/A                      | N/A                | N/A       | 0.75        | AREAS OF CONSTRUCTED FEATURES INCLUDING BUILDINGS, PARKING AND ROADWAYS.   |
| 6          | MAPLE, OAK, HOLLY, PINE  | N/A                | N/A       | 4.45        | GRASSED AND LANDSCAPED AREAS, ATHLETIC FIELDS OR OTHER GREEN AREAS DEVOID OF NATURAL VEGETATION. THE AREAS AROUND AND BEHIND BUILDING 3 ARE GRASSLANDS MAINTAINED ON A REGULAR BASIS. TO THE NORTHEAST OF BUILDING 2 AND AROUND BUILDING 1 ARE GRASSLANDS MAINTAINED ON A SEMI-REGULAR BASIS. PORTIONS OF THE AREA BEHIND BUILDING 1 ARE EXHIBITING SIGNS OF SUCCESSIONAL GROWTH WITH THE EMERGENCE OF NATIVE HERBACEOUS PLANTS. |

Total: 7.43 Ac.±

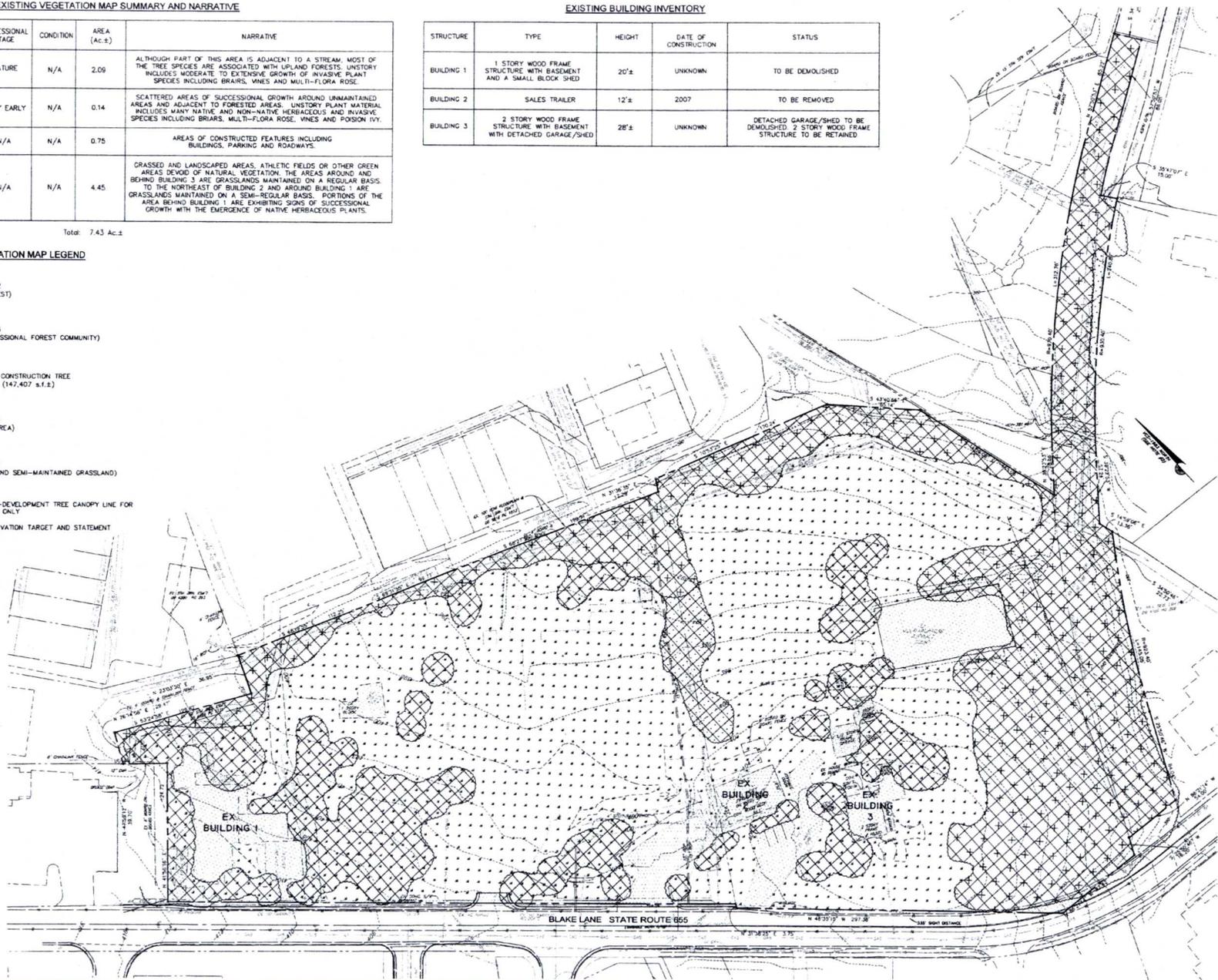
**EXISTING VEGETATION MAP LEGEND**

-  COVER TYPE 2 (UPLAND FOREST)
-  COVER TYPE 3 (EARLY SUCCESSIONAL FOREST COMMUNITY)
-  EXISTING PRE-CONSTRUCTION TREE CANOPY AREA (147,407 s.f.f.±)
-  COVER TYPE 5 (DEVELOPED AREA)
-  COVER TYPE 6 (MAINTAINED AND SEMI-MAINTAINED GRASSLAND)
-  EXISTING PRE-DEVELOPMENT TREE CANOPY LINE FOR ONSITE TREES ONLY

SEE SHEET 6 FOR THE TREE PRESERVATION TARGET AND STATEMENT

**EXISTING BUILDING INVENTORY**

| STRUCTURE  | TYPE   | HEIGHT | DATE OF CONSTRUCTION | STATUS   |
|------------|--|--------|----------------------|--|
| BUILDING 1 | 1 STORY WOOD FRAME STRUCTURE WITH BASEMENT AND A SMALL BLOCK SHED    | 20'±   | UNKNOWN              | TO BE DEMOLISHED   |
| BUILDING 2 | SALES TRAILER  | 12'±   | 2007                 | TO BE REMOVED  |
| BUILDING 3 | 2 STORY WOOD FRAME STRUCTURE WITH BASEMENT WITH DETACHED GARAGE/SHED | 28'±   | UNKNOWN              | DETACHED GARAGE/SHED TO BE DEMOLISHED. 2 STORY WOOD FRAME STRUCTURE TO BE RETAINED |



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 Planners · Engineers · Surveyors · Landscape Architects  
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EXISTING CONDITIONS AND EXISTING VEGETATION MAP

**OAKTON EAST**  
 PRINCIPAL'S INTEREST  
 FAIRFAX COUNTY, VIRGINIA

|                     |                      |
|---------------------|----------------------|
| BC REVISIONS:       | DESIGNED BY: PLR     |
| 01-14-10            | DRAFTED BY: CAD      |
| 02-22-10            | CHECKED BY: PLR      |
| 03-21-10            | DATE: JUNE 2010      |
| APPLICANT:          | SCALE: 1" = 40'      |
| MCCHORRHOODS V, LLC | 1" = 40'             |
| 1501 HILLS ROAD     | SHEET 4 OF 18        |
| SUIT 200            | CD NO.               |
| RESTON, VA 20190    | CAD NAME: G8118VEG   |
|                     | LAYOUT: EXISTING VEG |
|                     | FILE NO.: 08118-06   |

**PLANT SCHEDULE AND TREE CANOPY CALCULATIONS \***

| QTY. | TYPE *                         | USE       | SIZE   | REMARKS | TREE CANOPY CALCULATION |                          |
|------|--------------------------------|-----------|--------|---------|-------------------------|--------------------------|
|      |                                |           |        |         | AREA/TREE (s.f.)        | TOTAL CANOPY AREA (s.f.) |
| 58   | CATEGORY IV DECIDUOUS TREE     | NATIVE ** | 2" CAL | B&B     | 200                     | 11,600                   |
| 20   | CATEGORY II-III DECIDUOUS TREE | NATIVE ** | 2" CAL | B&B     | 100                     | 2,000                    |
| 14   | CATEGORY II-IV EVERGREEN TREE  | NATIVE ** | 2" CAL | B&B     | 150                     | 2,100                    |
| 61   | CATEGORY II EVERGREEN TREE     | NATIVE ** | 2" CAL | B&B     | 100                     | 5,100                    |
|      |                                |           |        |         | SUBTOTAL                | 21,800                   |
|      |                                |           |        |         | NATIVE MULTIPLIER **    | 1.5                      |
|      |                                |           |        |         | TOTAL                   | 32,700 ***               |

**LEGEND**

SHADE TREE (CATEGORY IV DECIDUOUS TREE)  
 INTERIOR PARKING LOT SHADE TREE (CATEGORY IV DECIDUOUS TREE)  
 LARGE EVERGREEN TREE (CATEGORY II-IV EVERGREEN TREE)  
 SMALL EVERGREEN TREE (CATEGORY II EVERGREEN TREE)  
 ORNAMENTAL TREE (CATEGORY II-III DECIDUOUS TREE)  
 DECIDUOUS OR EVERGREEN SHRUB

EXISTING TREELINE  
 PROPOSED TREELINE  
 LIMITS OF CLEARING AND GRADING \*\*\*\*

AREA OF MODIFIED TYPE I TRANSITIONAL SCREENING. SEE GENERAL NOTE 5 ON SHEET 3 FOR ADDITIONAL INFORMATION.  
 POST DEVELOPMENT 10-YEAR TREE CANOPY CREDIT AREA (26,182 S.F.)  
 INTERIOR PARKING LOT AREA (30,637 S.F.)

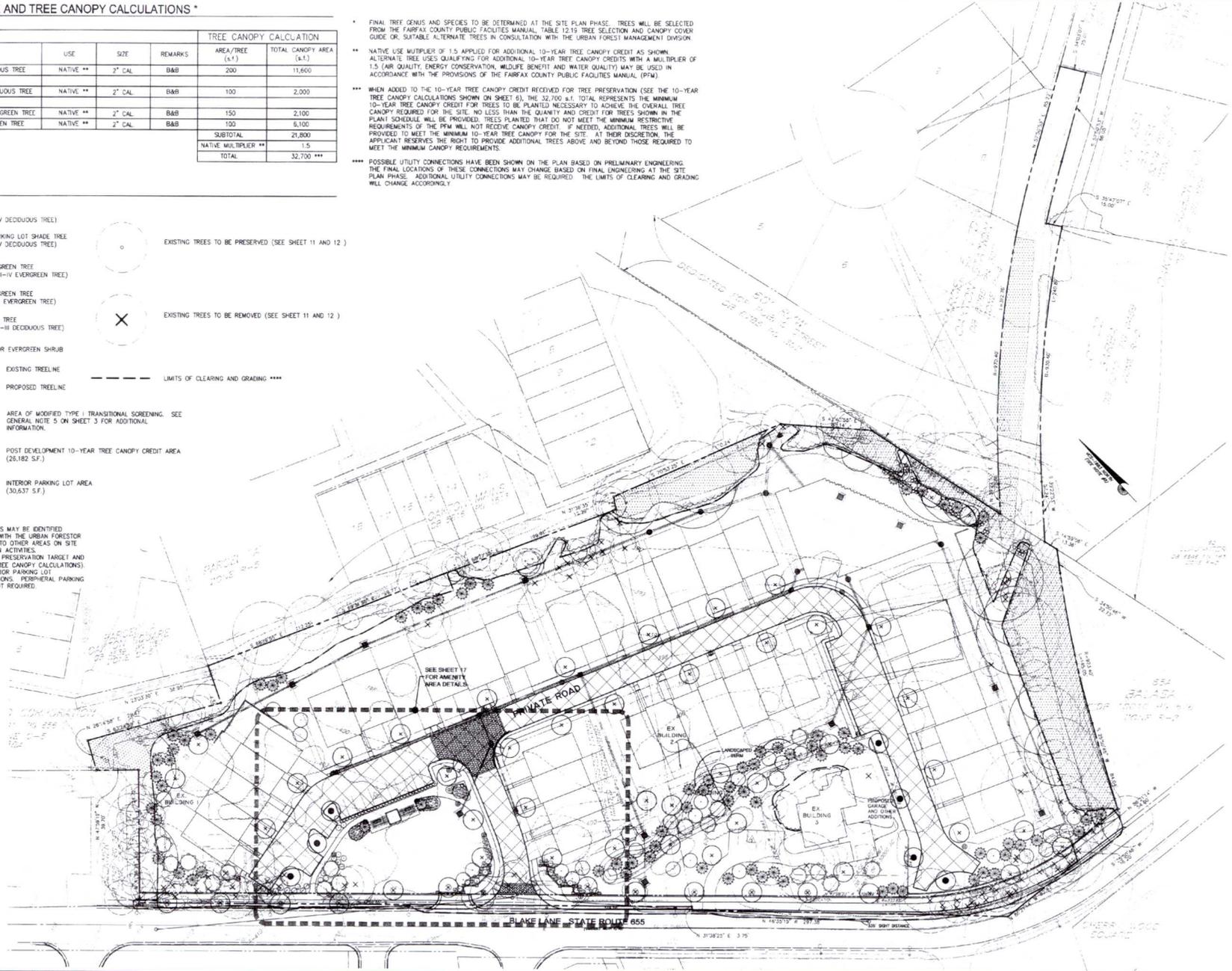
- NOTE**
- SUITABLE EXISTING TREES MAY BE IDENTIFIED DURING THE SITE VISIT WITH THE URBAN FORESTER FOR TRANSPORTATION TO OTHER AREAS ON SITE PRIOR TO CONSTRUCTION ACTIVITIES.
  - SEE SHEET 6 FOR TREE PRESERVATION TARGET AND NARRATIVE (10-YEAR TREE CANOPY CALCULATIONS).
  - SEE SHEET 6 FOR INTERIOR PARKING LOT LANDSCAPING CALCULATIONS. PERIPHERAL PARKING LOT LANDSCAPING IS NOT REQUIRED.

\* FINAL TREE GENUS AND SPECIES TO BE DETERMINED AT THE SITE PLAN PHASE. TREES WILL BE SELECTED FROM THE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL, TABLE 12.19: TREE SELECTION AND CANOPY COVER GUIDE OR, SUITABLE ALTERNATE TREES IN CONSULTATION WITH THE URBAN FOREST MANAGEMENT DIVISION

\*\* NATIVE MULTIPLIER OF 1.5 APPLIED FOR ADDITIONAL 10-YEAR TREE CANOPY CREDIT AS SHOWN. ALTERNATE TREE USES QUALIFYING FOR ADDITIONAL 10-YEAR TREE CANOPY CREDITS WITH A MULTIPLIER OF 1.5 (AIR QUALITY, ENERGY CONSERVATION, WILDLIFE BENEFIT AND WATER QUALITY) MAY BE USED IN ACCORDANCE WITH THE PROVISIONS OF THE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL (PFM)

\*\*\* WHEN ADDED TO THE 10-YEAR TREE CANOPY CREDIT RECEIVED FOR TREE PRESERVATION (SEE THE 10-YEAR TREE CANOPY CALCULATIONS SHOWN ON SHEET 6), THE 32,700 s.f. TOTAL REPRESENTS THE MINIMUM 10-YEAR TREE CANOPY CREDIT FOR TREES TO BE PLANTED NECESSARY TO ACHIEVE THE OVERALL TREE CANOPY REQUIRED FOR THE SITE. NO LESS THAN THE QUANTITY AND CREDIT FOR TREES SHOWN IN THE PLANT SCHEDULE WILL BE PROVIDED. TREES PLANTED THAT DO NOT MEET THE MINIMUM RESTRICTIVE REQUIREMENTS OF THE PFM WILL NOT RECEIVE CANOPY CREDIT. IF NEEDED, ADDITIONAL TREES WILL BE PROVIDED TO MEET THE MINIMUM 10-YEAR TREE CANOPY FOR THE SITE. AT THEIR DISCRETION, THE APPLICANT RESERVES THE RIGHT TO PROVIDE ADDITIONAL TREES ABOVE AND BEYOND THOSE REQUIRED TO MEET THE MINIMUM CANOPY REQUIREMENTS.

\*\*\*\* POSSIBLE UTILITY CONNECTIONS HAVE BEEN SHOWN ON THE PLAN BASED ON PRELIMINARY ENGINEERING. THE FINAL LOCATIONS OF THESE CONNECTIONS MAY CHANGE BASED ON FINAL ENGINEERING AT THE SITE PLAN PHASE. ADDITIONAL UTILITY CONNECTIONS MAY BE REQUIRED. THE LIMITS OF CLEARING AND GRADING WILL CHANGE ACCORDINGLY.



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PLANNING & DESIGN  
 DATE: 12/21/10  
 SHEET NO. 08118-06

LANDSCAPE PLAN

**OAKTON EAST**

PRODUCTION DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

EC: REVISIONS

|          |          |
|----------|----------|
| REVISED: | 10-14-10 |
| REVISED: | 12-2-10  |
| REVISED: | 12-21-10 |

DESIGNED BY: PLR  
 DRAFTED BY: CAD  
 CHECKED BY: PLR  
 DATE: JUNE 2010  
 SCALE: HORIZONTAL 1" = 40'  
 VERTICAL 1" = 40'

SHEET 5 OF 18

CO. NO.  
 CAD NAME: 08118-06  
 LAYOUT: LANDSCAPE  
 FILE NO: 08118-06

**TREE PRESERVATION TARGET AND STATEMENT  
(10-YEAR TREE CANOPY CALCULATIONS) \***

**URBAN FOREST MANAGEMENT  
POLICY ON LANDSCAPE IMPLEMENTATION**  
January 1, 2009

This compilation of selected portions of the Public Facilities Manual is intended to summarize and clarify regulations pertaining to the implementation of landscape plans on development sites subject to review and inspection by the County. Included are regulations governing the most common areas of non-compliance experienced by staff in the course of conducting landscape inspections, and a brief summary of the policy regarding seasonal landscape deferrals.

**Tree Species and Size**

1. Trees and shrubs that are planted shall be of the species and size specified on the approved plans. There shall be no deviations from the approval sizes specified except as approved by Fairfax County Urban Forest Management (UFMD). (PFM 12-0705.1A)

2. All trees and shrubs shall meet the standards for sizes and quality specified in the American Association of Nurserymen's American Standard for Nursery Stock (ANSI Z60-1.996). See attachment #1. (PFM 12-0705.1B)

**Species Substitutions**

3. Species substitutions within the tree categories listed in Table 12.19 are generally accepted unless otherwise specified by professed conditions, development conditions, special exceptions, or special permits. Any tree substitution shall also be in conformance with the following: (PFM 12-0705.1C)

- a. **Plant Diversity** - The use of substitutions shall not result in any species making up more than 10 percent of the total number of trees required to be planted on the site. (PFM 12-0514.1)
- b. **Asymmetrical** - A letter signed by the permittee shall be provided to UFMD acknowledging any proposed substitutions to trees and shrubs shown on the approved plans. (PFM 12-0705.1C.2)
- c. **Substitution Outside of Tree Category** - Substitution of a tree shown on the approved plan from one tree category, as listed in PFM Table 12.19, with a tree from a different category shall require a revision to the approved plan. (PFM 12-0805.1C.3)
- d. **Species Availability** - Substituted species must be suited to the post-development conditions of the planting location for which it is intended. (PFM 12-0901.1E)
- e. **Additional Tree Cover Credit** - In cases where additional tree cover credit has been given, no tree substitutions shall be made except as approved by the Urban Forest Management. Examples of additional credits include the following:
  - Air Quality, PFM 12-0909.4B(1)
  - Energy Conservation, PFM 12-0909.4B(2)
  - Wildlife Benefits, PFM 12-0509.4B(4)
  - Native Trees, PFM 12-0509.4B(5)

**Planting Locations**

4. Planting locations of all trees on the site shall be a substantial conformance with the approved plan. UFMD acknowledges that not all trees may be optimally located, as shown on the plan, and encourage input from Permittees and their landscape professionals regarding proposed improvements that might be implemented. Any substantive deviations from the approved plan that are made in the field must be approved by UFMD and shall be in conformance with the following:

- a. **Planting Area** - At least the minimum size planting area shall be provided for each tree according to its projected 10-year tree cover area as found in Table 12.17. (PFM 12-0601.1B)
- b. **Environmental Conditions** - Light, moisture, and other conditions affecting the health and viability of the tree at the field location shall be suitable for the species. (PFM 12-0601.1E)
- c. **Compacted Soil** - If planting in areas that have been previously compacted, the soil shall be properly prepared (tilled and amended as needed based on soil samples) to a depth of 12 inches, prior to installation of landscape material. Soil within individual planting holes shall not be amended. (PFM 12-0705.3B)
- d. **Retentive Barriers** - Trees shall be planted no closer than four feet from any restrictive barrier. (PFM 12-0509.4E(5))
- e. **Spacing** - Trees shall be spaced so that the outer limit of their projected 10-year tree cover area, as indicated in Table 12.19, does not significantly overlap, or a determined overlap by UFMD for site conditions and to promote long-term survival. (PFM 12-0509.4E(6))
- f. **Encroachment** - Trees for tree cover credit shall not be planted within any existing or proposed public utility easement or within five feet of storm drainage easements that contain pipes. In addition, trees shall not be planted in an area that will interfere with existing or proposed utilities or with maintenance of the utility, as determined by the Director of DPWES. (PFM 12-0514.4N)

**Staking and Cabling**

5. Staking and cabling should only be implemented where site conditions warrant their use. Planted trees should be assessed individually and staking and cabling installed only as required. Conditions where staking and cabling may be necessary to ensure stability include: woody locations, steep slopes, or where rootball may be a concern. All staking and cabling material must be removed within one year of plant installation. (PFM 12-0705.3C)

**Seasonal Landscape Deferrals**

6. A Seasonal Landscape Deferral may be granted when seasonal or weather-related conditions, such as excessively wet soil, extended periods of drought, or frozen ground, substantially reduce the survivability of the plant material, as determined by the Urban Forest Management. A request for a landscape deferral will not be granted for landscaping required prior to the issuance of a RUP or Non-RUP when seasonal or weather-related conditions on the site plan do not preclude planting. Lack of species availability may justify the approval of a Seasonal Landscape Deferral when specific plant species are required by profiles or conditions.

7. The party responsible for the placement of the performance bond and conservation deposit for the project shall act as the Applicant for this seasonal deferral. Seasonal Landscape Deferral request forms can be obtained from the Environmental and Facilities Inspections Division or the Urban Forest Management.

8. At the time of final inspection for release of performance bond and conservation deposit, all of the plant material is inspected. Plant material previously inspected, as part of the process to release any deferral deposit that may have existed, is not exempt from this final inspection. All plant material must be healthy and in good condition.

**Requirements Prior to Approval of RUP/Non-RUP**

9. The landscaping and staking requirements of Article 13 or any approved professed condition, special permit, special exception or variance must be completed prior to approval of any Residential or Non-Residential Use Permit provided, however, that completion of the requirements may be delayed when justification satisfactory to the Director is provided, such justification shall include an agreement and bond with survey satisfactory to the Director for completion in accordance with a firm schedule for timely completion. (ZO 18-704.3) See Seasonal Landscape Deferrals above.

| A. TREE PRESERVATION TARGET CALCULATIONS AND STATEMENT |   | Table A.1  |
|--|---|------------|
| A1   | Pre-development Area of Existing Tree Canopy  | 147,404    |
| A2   | Percentage of Gross Site Area Covered by Existing Tree Canopy (A1/B1)   | 45.5%      |
| A3   | Percentage of 10-year Tree Canopy Required for the Site (R4-Band)   | 30%        |
| A4   | Percentage of the 10-Year Tree Canopy Requirement That Should be Met Through Tree Preservation  | 45.5%      |
| A5   | Proposed Percentage of Canopy Requirement That Will be Met Through Tree Preservation (C10/B1)   | 52.5%      |
| A6   | Has the Tree Preservation Target Minimum Been Met?  | Yes        |
| A7   | If A6 is "no," then a request to deviate from the Tree Preservation Target shall be provided on the plan that states one or more of the justifications listed in §12.0507.3 along with a narrative that provides a site-specific explanation of why the Tree Preservation Target cannot be met. Provide sheet number where deviation request is located. The narrative shall be prepared in accordance with §12.0507.4. | N/A        |
| B. TREE CANOPY REQUIREMENT                             |   |            |
| B1   | Identify Gross Area   | 333,847    |
| B2   | Subtract Areas Dedicated to Parks and Road Frontage   | 11,683     |
| B3   | Subtract Area of Exemption  | 0          |
| B4   | Adjusted Gross Site Area (B1 - (B2+B3))   | 311,954    |
| B5   | Identify Site's Zoning and/or Use   | R-4.5 Zone |
| B6   | Percentage of 10-Year Tree Canopy Required  | 30%        |
| B7   | Area of 10-Year Tree Canopy Required (B4*B5)  | 92,393     |
| B8   | Modification of 10-Year Tree Canopy Requirements Requested  | No         |
| B9   | If B8 is "Yes," Then List Plan Sheets Where Modification Request is Located   | N/A        |
| C. TREE CANOPY PRESERVATION                            |   |            |
| C1   | The Preservation Target Area (P + A4)   | 28,338     |
| C2   | Total Canopy Area Meeting Standards of 12-0200 (But Does Not Qualify for Bonus Multiplier)  | 26,162     |
| C3   | Total Canopy Area Meeting Standards of 12-0200 (But Does Not Qualify for Bonus Multiplier)  | 37,726     |
| C3.1   | C3.1 x 1.00   | 0          |
| C4   | Total Canopy Area Provided by Unique or Valuable Forest or Woodland Community   | 0          |
| C5   | C4 x 1.5  | 0          |
| C6   | Total Canopy Area Provided by Heritage, Memorial, Specimen, or "Street Tree"  | 0          |
| C7   | C6 x 1.5  | 0          |
| C8   | Canopy Area of Trees Within Resource Protection Areas and 100-Year Floodplains  | 0          |
| C9   | C8 x 1.0  | 0          |
| C10  | Totals of C3, C3.1, C5, C7 and C9   | 32,726     |
| D. TREE PLANTING                                       |   |            |
| D1   | Area of Canopy to be Met Through Tree Planting (B7-C10)   | 30,657     |
| D2   | Area of Canopy Planned for Air Quality Benefits   | 0          |
| D3   | D2 x 1.5  | 0          |
| D4   | Area of Canopy Planned for Energy Conservation  | 0          |
| D5   | D4 x 1.5  | 0          |
| D6   | Area of Canopy Planned for Water Quality Benefits   | 0          |
| D7   | D6 x 1.25   | 0          |
| D8   | Area of Canopy Planned for Visible Benefits   | 0          |
| D9   | D8 x 1.5  | 0          |
| D10  | Area of Canopy Provided by Native Species   | 21,800     |
| D11  | D10 x 1.5   | 32,700     |
| D12  | Area of Canopy Provided by Improved Cultivars and Varieties   | 0          |
| D13  | D12 x 1.25  | 0          |
| D14  | Area of Canopy Provided Through Tree Seeding  | 0          |
| D15  | D14 x 1.0   | 0          |
| D16  | Area of Canopy Provided Through Native Shrubs or Wood Seed Mix  | 0          |
| D17  | D16 x 1.5   | 0          |
| D18.1  | Percentage of D14 Represented by D15 (D15/D14) Must not exceed 33% of D14   | 0          |
| D18.2  | Area of Canopy Planned With No Multiplier   | 0          |
| D19  | Total Canopy Area Provided Through Tree Planting (Totals of D3, D5, D7, D9, D11, D13, D14.1, D15.1 and D18.1)   | 32,700     |
| D20  | Is an Offset to Planting Relief Requested?  | No         |
| D21  | Total Canopy Area Provided Through Tree Planting (Total of D19 and D20)   | N/A        |
| D22  | Canopy Area Requested to be Provided Through Offset Banking or Tree Fund  | 0          |
| D23  | Amount to be Deposited into the Tree Preservation and Planting Fund   | 0          |
| E. TOTAL OF 10-YEAR TREE CANOPY PROVIDED               |   |            |
| E1   | Total of Canopy Area Provided Through Tree Preservation (C10)   | 37,726     |
| E2   | Total of Canopy Area Provided Through Tree Planting (D19)   | 32,700     |
| E3   | Total of Canopy Area Provided Through Offset Banking (D22)  | 0          |
| E4   | Total of 10-Year Tree Canopy Provided (Totals of E1, E2 and E3)   | 65,426     |

\* THE AREAS USED FOR THE 10-YEAR TREE CANOPY CALCULATIONS ARE APPROXIMATE AND MAY CHANGE WITH FINAL ENGINEERING PROVIDED THAT THE MINIMUM TREE PRESERVATION TARGET AREA HAS BEEN MET AND THE REQUIRED 10-YEAR TREE CANOPY HAS BEEN PROVIDED.

**TRANSITIONAL SCREENING AND BARRIERS**

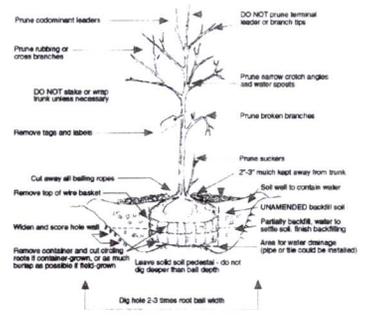
MODIFICATION OF TRANSITIONAL SCREENING AND WAIVER OF BARRIER REQUIREMENTS REQUESTED. SEE GENERAL NOTE 5 ON SHEET 3 FOR ADDITIONAL INFORMATION.

**INTERIOR PARKING LOT LANDSCAPING CALCULATIONS**

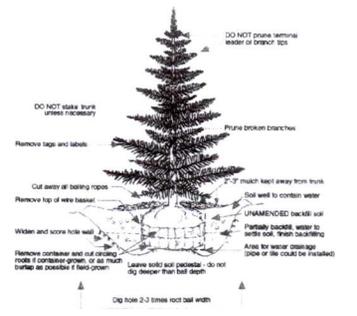
INTERIOR PARKING LOT AREA: 30,637 s.f. ±  
 AREA REQUIRED FOR INTERIOR PARKING LOT LANDSCAPING: 0.05 X 30,637 s.f. = 1,532 s.f. ±  
 NUMBER OF SHADE TREES REQUIRED AT 250 s.f. PER TREE: 1,532 s.f./250 s.f. = 6.10 OR 7 TREES  
 NUMBER OF SHADE TREES PROVIDED AT 250 s.f. PER TREE: 7 TREES

**PERIPHERAL PARKING LOT LANDSCAPING CALCULATIONS**

NOT APPLICABLE



1 TREE PLANTING GUIDELINE  
NOT TO SCALE



2 EVERGREEN PLANTING GUIDELINE  
NOT TO SCALE

NOTE: SEE SHEET 5 FOR PLANT SCHEDULE AND TREE CANOPY CALCULATION FOR PROPOSED TREES TO BE PLANTED.

**CERTIFIED ARBORIST**

International Society of Arboriculture  
**CERTIFIED ARBORIST**  
 Dennis Dale Dixon  
 License No. 144  
 Expires 09/30/14

**BC Consultants**  
 Planners - Architects - Surveyors - Landscape Architects  
 12600 Falls Lakes Circle, Suite 100, Fairfax, VA 22035  
 (703) 449-4100 (703) 449-4108 (Fax)  
 www.bccon.com



LANDSCAPE DETAILS  
**OAKTON EAST**  
 PROVIDENCE DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

|                      |
|----------------------|
| DESIGNED BY: PLR     |
| DRAFTED BY: CAD      |
| CHECKED BY: PLR      |
| DATE: JUNE 2010      |
| SCALE: HOR NA        |
| VERT: NA             |
| SHEET 6 OF 18        |
| CD: NO               |
| CAD NAME: QB118SCDET |
| LAYOUT: LSC DETAILS  |
| FILE NO: 08118-06    |



### OUTFALL 'A' PRE-DEVELOPMENT TIME OF CONCENTRATION CALCULATOR

|  |                           |
|--|---------------------------|
| Segment #1: To: TR-55 Shallow  | Segment #1 Time: 6.06 min |
| Manning's n: .0300<br>Hydraulic Length: 100.00 ft<br>2-yr, 24hr P: 3.2000 ft<br>Slope: .035000 ft/ft<br>Avg. Velocity: .28 ft/sec  |                           |
| Segment #2: To: TR-55 Shallow  | Segment #2 Time: .36 min  |
| Hydraulic Length: 90.00 ft<br>Slope: .087000 ft/ft<br>Unpaved<br>Avg. Velocity: 6.18 ft/sec  |                           |
| Segment #3: To: TR-55 Shallow  | Segment #3 Time: 1.57 min |
| Hydraulic Length: 240.00 ft<br>Slope: .025000 ft/ft<br>Unpaved<br>Avg. Velocity: 2.55 ft/sec   |                           |
| Segment #4: To: TR-55 Channel  | Segment #4 Time: 1.07 min |
| Flow Area: 8.4000 sq.ft<br>Wetted Perimeter: 10.46 ft<br>Hydraulic Radius: .80 ft<br>Slope: .040000 ft/ft<br>Manning's n: .0300<br>Hydraulic Length: 330.00 ft<br>Avg. Velocity: 5.15 ft/sec |                           |
| Total Time: 9.06 min   |                           |

### OUTFALL 'A' ONSITE PRE-DEVELOPMENT FLOW SUMMARY

| Node ID  | Return Type Event | HYG Vol cu.ft | Trun   | Qpeak min | Qpeak cfs | Max HSEL ft | Max Pond Storage cu.ft |
|----------|-------------------|---------------|--------|-----------|-----------|-------------|------------------------|
| *OUTFLOW | JCT 2             | 7907          | 722.50 | 2.46      |           |             |                        |
| *OUTFLOW | JCT 10            | 25699         | 723.00 | 9.56      |           |             |                        |
| *OUTFLOW | JCT 1             | 6700          | 722.50 | 1.18      |           |             |                        |
| RAINFALL | AREA 2            | 7907          | 722.50 | 2.46      |           |             |                        |
| RAINFALL | AREA 10           | 25699         | 720.00 | 9.56      |           |             |                        |
| RAINFALL | AREA 1            | 6700          | 722.50 | 1.18      |           |             |                        |

### OUTFALL ANALYSIS COMPUTATIONS

**PART 1. LIST ALL OF THE SUBAREAS WITH CN NUMBERS AND COMPUTE THE AVERAGE CN FOR THE OUTFALL**

**GOOD FORESTED CONDITION**

| (A) SUBAREA & DESCRIPTION | CN | AREA (AC)   | PRODUCT       |
|---------------------------|----|-------------|---------------|
| A1 Wood, Soil B           | 50 | 2.53        | 126.15        |
| A2 Wood, Soil C           | 70 | 2.00        | 140.00        |
| <b>TOTAL</b>              |    | <b>4.53</b> | <b>279.15</b> |

**(B) WEIGHTED AVERAGE CN**  
TOTAL = AREA / PRODUCT = **62**

**POST DEVELOPMENT**

| (C) SUBAREA & DESCRIPTION | CN | AREA (AC)   | PRODUCT       |
|---------------------------|----|-------------|---------------|
| A3 S.F.A. Soil B          | 92 | 3.81        | 352.12        |
| A4 S.F.A. Soil C          | 94 | 1.72        | 161.68        |
| <b>TOTAL</b>              |    | <b>5.53</b> | <b>483.80</b> |

**(D) WEIGHTED AVERAGE CN**  
TOTAL = AREA / PRODUCT = **93**

**PART 2. COMPUTE THE DEPTH OF RAINFALL AT OUTFALL**

(A) CALCULATE THE RAINFALL AMOUNT (P) FOR THE 1-, 2-, AND 10-YEAR 24-HOUR STORM (FROM TABLE 6.23 OF THE FPM)

$P_1 = 2.7"$      $P_2 = 3.2"$      $P_{10} = 5.2"$

(B) DETERMINE THE RUNOFF DEPTH (d) IN INCHES

| GOOD FORESTED CONDITION          | POST DEVELOPMENT |
|----------------------------------|------------------|
| $S = \frac{100 - 10}{CN} = 0.75$ | $S = 0.75$       |
| $d_1 = 0.29P$                    | $d_1 = 1.97"$    |
| $d_2 = 0.48P$                    | $d_2 = 2.45"$    |
| $d_{10} = 1.56P$                 | $d_{10} = 4.47"$ |

**PART 3. CALCULATE THE 1-YEAR POST DEVELOPMENT VOLUME**

(A) DETERMINE TOTAL VOLUME OF WATER TO BE DETAINED FOR 1-YEAR STORM

$V_1 = \text{DRAINAGE AREA (ACRES)} \times d \text{ (INCHES)} \times 12 \text{ (INCHES/FOOT)}$

$V_1 = 0.8750 \text{ ac-ft} = 38.115 \text{ cu-ft}$

(B) SUBTRACT VOLUME DETAINED IN BMP VOLUME (FROM BMP COMPUTATIONS)

$V_{1,1} = V_1 - V_{BMP}$      $V_{1,1} = 5.761 \text{ cu-ft}$      $V_{1,1} = 32.354 \text{ cu-ft}$

**PART 4. DETERMINE ORIFICE SIZE FOR 1-YEAR STORM**

(A) MAXIMUM HEAD (h) AT THE REQUIRED 1-YEAR STORAGE FROM THE ELEVATION STORAGE CURVE FOR THE FACILITY

$h = 3.00 \text{ ft}$

(B) PEAK OUTFLOW RATE (Q) AT THE MAXIMUM HEAD FOR DRAWDOWN TIME OF 24 HOURS

$Q_p = \frac{V_{1,1,24}}{24 \text{ hours}} = 0.7469 \text{ cfs}$

(C) REQUIRED ORIFICE AREA

$A_{1,1-24} = \frac{Q_p}{0.6 \sqrt{64.4h}} = 0.0820 \text{ sq. ft}$

(D) MAXIMUM DIAMETER OF CIRCULAR ORIFICE

**MAXIMUM DIAMETER = 3.38"**

**PART 5. DETERMINE ALLOWABLE RELEASE**

(A) DETERMINE THE VOLUME OF RUNOFF FOR EACH STORM TO BE ANALYZED

$V = \text{DRAINAGE AREA (ACRES)} \times d \text{ (INCHES)} \times 12 \text{ (INCHES/FOOT)}$

| GOOD FORESTED CONDITION         | POST DEVELOPMENT                |
|---------------------------------|---------------------------------|
| $V_1 = 7.893 \text{ cu-ft}$     | $V_1 = 47.402 \text{ cu-ft}$    |
| $V_{10} = 25.652 \text{ cu-ft}$ | $V_{10} = 35.131 \text{ cu-ft}$ |

(B) DETERMINE THE PROPORTIONAL IMPROVEMENTS FOR EACH STORM TO BE ANALYZED

$R_f = \left[ 1 - \frac{V_f}{V} \right] \times 100$

| GOOD FORESTED CONDITION RELEASE | PROPORTIONAL IMPROVEMENT RELEASE                    |
|---------------------------------|---|
| $Q_p = 2.42 \text{ cfs}$        | $Q_p = 0.40 \text{ cfs} = 2.42 \times (1 - R_f)$    |
| $Q_{10} = 9.54 \text{ cfs}$     | $Q_{10} = 2.87 \text{ cfs} = 9.54 \times (1 - R_f)$ |

**PART 6. MAXIMUM ALLOWABLE OUTFALL**

| PROPORTIONAL IMPROVEMENT FREQUENCY | TO OUTFALL | DETAINED (CFS) | ALLOWABLE OUTFLOW (CFS) |
|------------------------------------|------------|----------------|-------------------------|
| $Q_p = 0.40$                       | 1.12       | 1.48           | 0.78                    |
| $Q_{10} = 2.87$                    | 2.87       | 2.71           | 2.71                    |

### DETENTION FACILITY DISCHARGE SUMMARY

| Return Event | Total Depth in | Rainfall Type   | SNF ID      |
|--------------|----------------|-----------------|-------------|
| 10           | 2.7000         | Synthetic Curve | TypeII 24hr |
| 2            | 3.2000         | Synthetic Curve | TypeII 24hr |
| 10           | 5.2000         | Synthetic Curve | TypeII 24hr |

MASTER NETWORK SUMMARY  
SCS Unit: Hydrograph Method

| Node ID  | Type     | Return Event | HYG Vol cu.ft | Trun   | Qpeak min | Qpeak cfs | Max HSEL ft | Max Pond Storage cu.ft |
|----------|----------|--------------|---------------|--------|-----------|-----------|-------------|------------------------|
| ONST1E   | AREA     | 2            | 49568         | 714.00 | 20.33     |           |             |                        |
| ONST1E   | AREA     | 10           | 90520         | 714.00 | 36.03     |           |             |                        |
| ONST1E   | AREA     | 1            | 35939         | 714.00 | 16.38     |           |             |                        |
| *OUTFLOW | JCT      | 2            | 43223         | 810.00 | 6.5       |           |             |                        |
| *OUTFLOW | JCT      | 10           | 84385         | 765.00 | 2.25      |           |             |                        |
| *OUTFLOW | JCT      | 1            | 33564         | 813.00 | .54       |           |             |                        |
| POND     | 2K POND  | 2            | 49568         | 714.00 | 20.33     |           |             |                        |
| POND     | 2K POND  | 10           | 90520         | 714.00 | 36.03     |           |             |                        |
| POND     | 2K POND  | 1            | 35939         | 714.00 | 16.38     |           |             |                        |
| POND     | OLT POND | 2            | 43223         | 810.00 | 6.3       | 388.09    | 33202       |                        |
| POND     | OLT POND | 10           | 84385         | 765.00 | 2.20      | 390.92    | 567.01      |                        |
| POND     | OLT POND | 1            | 33564         | 813.00 | 0.54      | 397.22    | 25115       |                        |

### OUTFALL 'A' ONSITE UNCONTROLLED FLOW SUMMARY

| Return Event | Total Depth in | Rainfall Type   | SNF ID      |
|--------------|----------------|-----------------|-------------|
| 10           | 2.7000         | Synthetic Curve | TypeII 24hr |
| 2            | 3.2000         | Synthetic Curve | TypeII 24hr |
| 10           | 5.2000         | Synthetic Curve | TypeII 24hr |

MASTER NETWORK SUMMARY  
SCS Unit: Hydrograph Method

(\*Node=Outfall; +Node=Overlapon; (Trun=HYG Truncation) Blank=None; (-Left)=R=; (-R)=L=Left(R)

| Node ID   | Type | Return Event | HYG Vol cu.ft | Trun   | Qpeak min | Qpeak cfs | Max HSEL ft | Max Pond Storage cu.ft |
|-----------|------|--------------|---------------|--------|-----------|-----------|-------------|------------------------|
| *OUTFLOW  | JCT  | 2            | 2796          | 717.00 | 1.12      |           |             |                        |
| *OUTFLOW  | JCT  | 10           | 5938          | 717.00 | 2.87      |           |             |                        |
| *OUTFLOW  | JCT  | 1            | 1932          | 717.00 | .74       |           |             |                        |
| UNDETAINE | AREA | 2            | 2796          | 717.00 | 1.12      |           |             |                        |
| UNDETAINE | AREA | 10           | 5938          | 717.00 | 2.87      |           |             |                        |
| UNDETAINE | AREA | 1            | 1932          | 717.00 | .74       |           |             |                        |

### DETENTION VOLUME

| Elevation (ft) | Planimeter (sq.in) | Area (sq.ft) | Area 1+2+3 (sq.ft) | Volume (cu.ft) | Volume Sum (cu.ft) |
|----------------|--------------------|--------------|--------------------|----------------|--------------------|
| 384.00         | -----              | 8536         | 0                  | 0              | 0                  |
| 381.12         | -----              | 8536         | 25668              | 60776          | 60776              |

#### POND VOLUME EQUATIONS

Incremental volume computed by the Conic Method for Reservoir Volumes.

$Volume = (1/3) \times (EL2 - EL1) \times (Area1 + Area2 + \text{sq. rt. of } (Area1 \times Area2))$

where: EL1, EL2 = Lower and upper elevations of the increment  
 Area1, Area2 = Areas computed for EL1, EL2, respectively  
 Volume = Incremental volume between EL1 and EL2

#### VOLUME COMPLETELY FILLED WITH MATERIAL (Adjust Volumes for Voids)

| HW Elev. ft | Total, cu.ft | Adjusted, cu.ft |
|-------------|--------------|-----------------|
| 384.00      | 0            | 0               |
| 381.12      | 60776        | 57737           |

### MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Ordinance paragraphs:  
 Cluster Subdivision (8-011 2J & 2L)    Special Exceptions (8-011 2J & 2L)  
 Cluster Subdivision (8-015 1G & 1H)    Commercial Reutilization Districts (8-022 2A (12) & (14))  
 Development Charge Plan, District (16-302 3 & 4)    PRC Plan (16-302 1E & 1C)  
 FDP P Districts (except PRC) (16-502 1F & 1G)    Amendments (18-202 10F & 10)

- 1 Plot is at a minimum scale of 1"=50' (unless it is depicted on one sheet with a minimum scale of 1"=100').
- 2 A graphic depicting the stormwater management facility(ies) and links of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outfall protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet 2.
- 3 Provide Facility Name/Type & No., On-site area (acres), Off-site area (acres), Drainage area (acres), Footprint area (sq. ft), Storage volume (cu. ft), and Inlet height (ft).
- 4 Create drainage channels, outfalls and pipe systems as shown on Sheet 2. Pond inlet and outlet pipe systems are shown on Sheet 2.
- 5 Maintenance access (road) to stormwater management facility(ies) are shown on Sheet 2. Type of maintenance access road surface noted on the plan is GRAVEL (asphalt, pebble, gravel, etc.) on Sheet 5.411.
- 6 Landscaping and tree preservation shown in and near the stormwater management facility is shown on Sheet 5.411.
- 7 A stormwater management narrative which contains a description of how detention and best management practice requirements will be met is provided on Sheet 7.
- 8 A description of the existing conditions of each numbered site outfall entered downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (840 acres) is provided on Sheet 10.
- 9 A description of how the outfall requirements, including contributing drainage areas of the Public Facilities Manual will be satisfied is provided on Sheet 9.
- 10 Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an arroyo or "old run" is provided on Sheet 2.43.
- 11 A submission waiver is requested for \_\_\_\_\_.
- 12 Stormwater management is not required because \_\_\_\_\_.

**BC Consultants**  
 Planners - Engineers - Surveyors - Landscape Architects  
 12600 Fair Lakes Circle, Suite 100, Fairfax, VA 22033  
 (703)449-6100 (703)449-8108 (Fax)  
 www.bccon.com

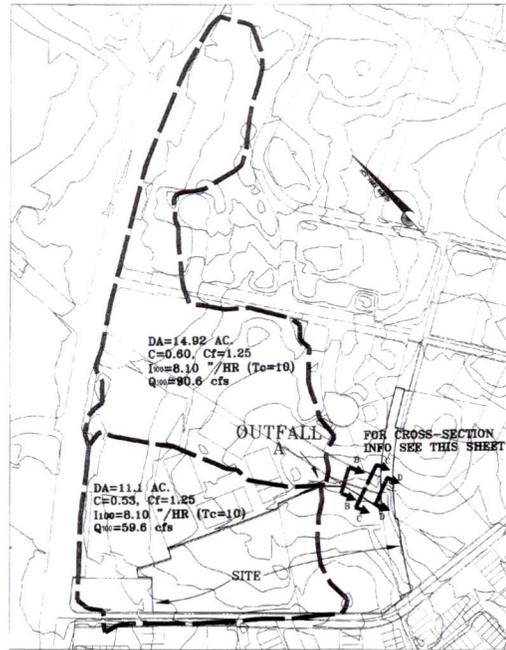


STORMWATER MANAGEMENT PLAN  
**OAKTON EAST**  
 PROVIDENCE INSTITUTE  
 FAIRFAX COUNTY, VIRGINIA

DESIGNED BY: PLS  
 CHECKED BY: CLD  
 DATE: JUNE 2010  
 SCALE: HOR N/A, VERT N/A  
 SHEET # 8 OF 18  
 CD NO.  
 CAD NAME: 081185WM-01  
 LAYOUT: SWM2  
 FILE NO: 08118-06

CROSS SECTION LOCATION MAP

SCALE: 1"=200'



EXTENT OF REVIEW AND OUTFALL NARRATIVE

A TOTAL OF 4.53 ACRES OF THE SITE FLOWS TO OUTFALL POINT 'A' IN EXISTING CONDITIONS. WITH THE POST-DEVELOPED CONDITION, A TOTAL OF 5.96 ACRES ONSITE WILL OUTFALL AT POINT 'A' AFTER BEING DETAINED IN THE UNDERGROUND DETENTION FACILITY. THE REMAINING 2.35 ACRES ONSITE IS UNDETAINED SHEET FLOW AND THE PEAK RATE OF RUNOFF FOR THIS AREA AFTER DEVELOPMENT DOES NOT EXCEED THE PREDEVELOPMENT PEAK RATE. THEREFORE, PER PFM SECTION 6-0202.6, THE PROJECT MAY CONTINUE TO DISCHARGE STORMWATER VIA SHEET FLOW INTO THE SEWER YING PROPERTY. THE DRAINAGE DIVERSION FROM 4.53 TO 5.96 ACRES IS PERMISSIBLE UNDER PFM SECTION 6-0202.2(A) AS JUSTIFIED BY THE FOLLOWING: THE DOWNSTREAM DRAINAGE SYSTEM REMAINS ADEQUATE AS SHOWN BY THE 100-YEAR WATER SURFACE ELEVATION WHICH REMAINS IN THE EXISTING CHANNEL. NO NEW FLOORPLAN AREAS ARE CREATED BY THIS DIVERSION AS THE DRAINAGE AREA CONTINUES TO REMAIN UNDER 70 ACRES AT OUTFALL POINT 'A'. THEREFORE, COMPLIANCE ISSUES WITH PROVISIONS GOVERNING ELEVATIONS AND PROXIMITY TO 100-YEAR WATER SURFACE ELEVATIONS DO NOT APPLY. SRA BOUNDARIES DO NOT EXIST WITHIN OR NEAR THE SITE. THE STREAM THAT RUNS PARALLEL TO THE NORTHERN BOUNDARY IS AN INTERMITTENT STREAM AND THERE ARE NO OTHER STREAMS THAT RUN THROUGH OR AROUND THE SITE. LASTLY, THE ACCOTINK CREEK WATERSHED DRAINAGE AREA IS NOT CHANGED BY THIS DIVERSION.

THE DETENTION METHOD HAS BEEN UTILIZED IN SIZING THE FACILITY, THUS THE 1-YEAR STORM WILL BE DETAINED IN THE FACILITY FOR 24-HOURS AND PROPORTIONAL IMPROVEMENTS WILL BE APPLIED TO THE 2- AND 10-YEAR STORM EVENTS. EXTENT OF REVIEW WILL BEGIN AT POINT 'A', IMMEDIATELY DOWNSTREAM OF POINT 'A' IS A CONFLUENCE POINT OF THE RECEIVING CHANNEL FLOWING PARALLEL TO THE NORTHERN SITE PROPERTY LINE WITH A DRAINAGE AREA OF 11.1 ACRES AND ANOTHER EXISTING CHANNEL. THE CONVERGING CHANNEL HAS A DRAINAGE AREA OF 14.9 ACRES, WHICH IS AT LEAST 80% OF THE SITE DRAINAGE AREA AT THE BEGINNING OF EXTENT OF REVIEW (PFM 6-0203.2A). EXTENT OF REVIEW WILL END 150' DOWNSTREAM OF THIS POINT WHERE 3 FIELD RUN CROSS SECTIONS (B-B, C-C, AND D-D) HAVE BEEN TAKEN PER PFM 6-0203.2D AND ARE SHOWN ON THIS SHEET. PER PFM 6-0203.2D, SINCE THE DETENTION METHOD HAS BEEN UTILIZED AND A DEFINED CHANNEL EXISTS, IT IS THE ENGINEER'S OPINION THAT THIS OUTFALL IS ADEQUATE AND THAT THERE WILL BE NO FLOODING OF EXISTING DOWNSTREAM DWELLINGS OR BUILDINGS BY THE 100-YEAR STORM EVENT AS DEPICTED IN CROSS-SECTION B-B" THIS SHEET.

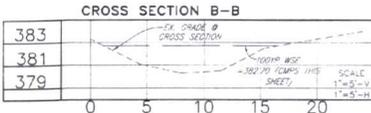
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 (703)449-8100 (Fax)  
 www.bccon.com



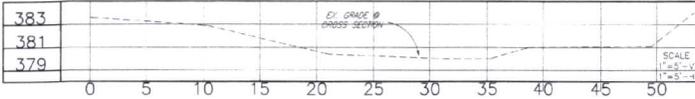
ADEQUATE OUTFALL ANALYSIS  
**OAKTON EAST**  
 PROVIDENCE DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

DESIGNED BY: P.H.  
 DRAWN BY: CAD  
 CHECKED BY: P.H.  
 DATE: JUNE 2010  
 SCALE: HOR AS SHOWN  
 VERT AS SHOWN  
 SHEET 9 OF 18

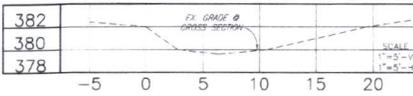
CD: NO  
 CAD NAME: G8118\WP-OUTFALL  
 LAYOUT: OUTFALL 1  
 FILE NO: G8118-06



CROSS SECTION C-C



CROSS SECTION D-D



100-YR. WATER SURFACE ELEV.-CROSS SECTION B-B

Worksheet for 100yr Cross-Section B-B

|                     |   |
|---------------------|---|
| Project Description |   |
| Friction Method     | Manning Formula                                     |
| Spill Way           | Normal Open   |
| Input Data          |   |
| Channel Slope       | 0.0260 8%   |
| Discharge           | Q=C1 X (CA)= 150.14 cfs = 1.25 X .57 X 8.10 X 26.02 |
| Section Definitions |   |

| Station (ft) | Elevation (ft) |
|--------------|----------------|
| 0+00         | 383.31         |
| 0+05         | 381.07         |
| 0+08         | 380.34         |
| 0+11         | 380.55         |
| 0+15         | 382.57         |

| Start Station | Ending Station | Roughness Coefficient |
|---------------|----------------|-----------------------|
| 0+00          | 0+15           | 0.040                 |

| Results          |                     |
|------------------|---------------------|
| Normal Depth     | 2.38 ft             |
| Elevation Range  | 380.34 to 383.31 ft |
| Flow Area        | 21.34 sq ft         |
| Wetted Perimeter | 14.05 ft            |
| Total Width      | 13.73 ft            |
| Normal Depth     | 2.38 ft             |
| Critical Depth   | 2.26 ft             |
| Critical Slope   | 0.0293 5%           |
| Velocity         | 7.04 ft/s           |
| Velocity Head    | 2.77 ft             |
| Specific Energy  | 1.13 ft             |
| Froude Number    | 0.39                |
| Flow Type        | Subcritical         |

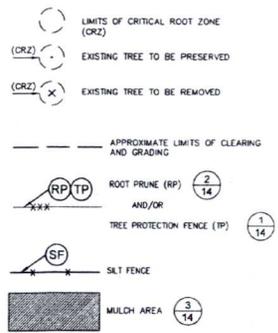
CROSS SECTION PLAN VIEW

SCALE: 1"=20'

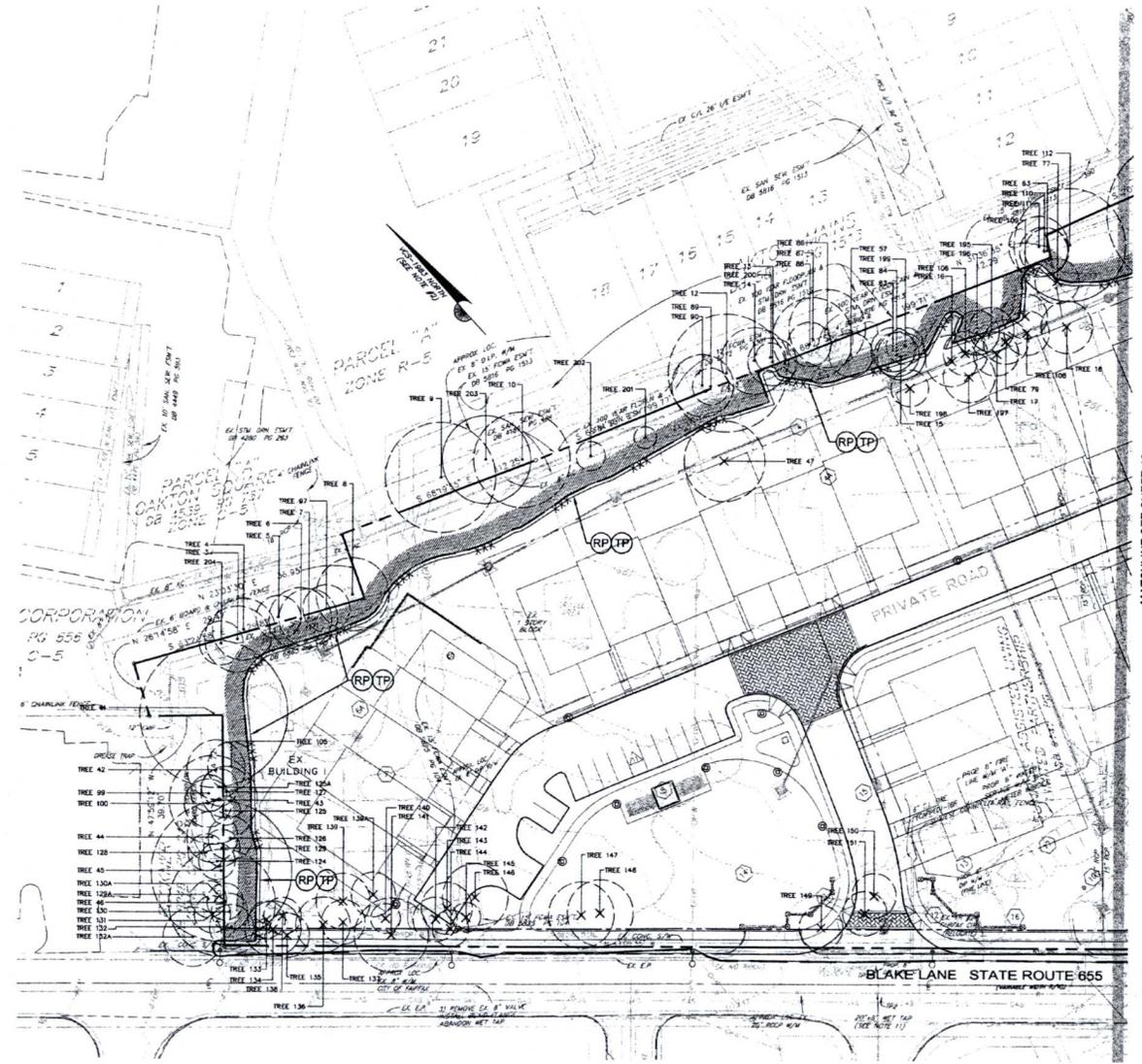




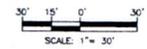
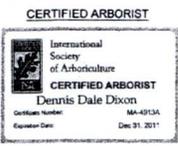
**TREE PRESERVATION LEGEND:**



- NOTE**
1. THE LOCATION AND CONDITION ANALYSIS OF ALL OFFSITE TREES WERE ESTIMATED.
  2. SEE SHEET 13 FOR TREE INVENTORY AND CONDITION ANALYSIS. SEE SHEET 14 FOR THE TREE PRESERVATION NARRATIVE. SEE SHEET 6 FOR TREE PRESERVATION TARGET AND STATEMENT (10-YEAR TREE CANOPY CALCULATIONS).
  3. SUITABLE EXISTING TREES MAY BE IDENTIFIED DURING THE SITE VISIT WITH THE URBAN FORESTER FOR TRANSPLANTATION TO OTHER AREAS ON SITE PRIOR TO CONSTRUCTION ACTIVITIES.



MATCHLINE SEE SHEET 12



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 (703)449-8100 (Fax)  
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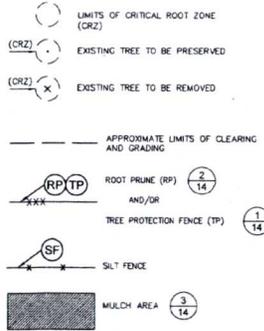


PRELIMINARY TREE PRESERVATION PLAN

**OAKTON EAST**  
 PROPOSED SUBDIVISION  
 FAIRFAX COUNTY, VIRGINIA

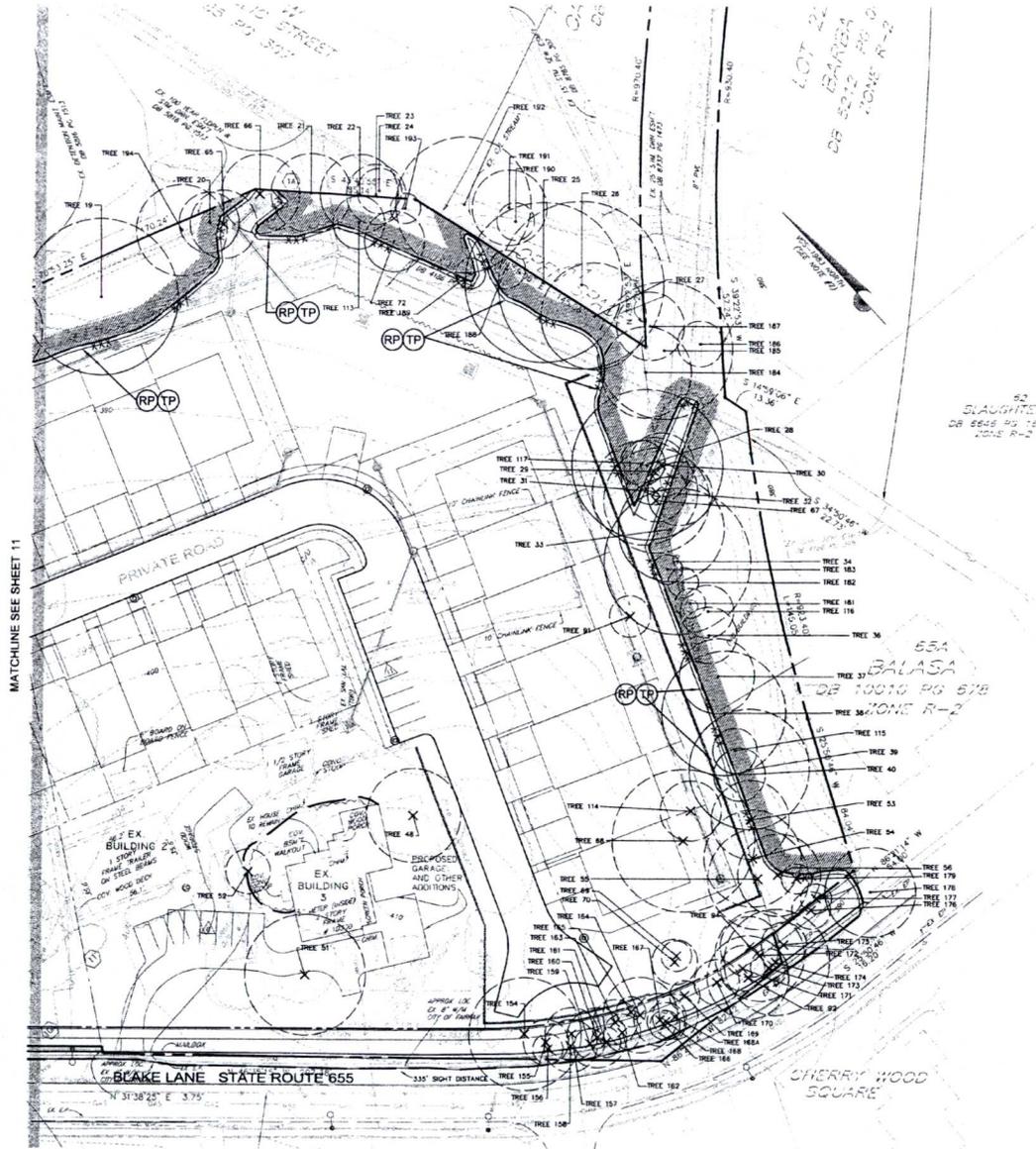
|                   |                           |
|-------------------|---------------------------|
| BC REVISIONS      | DESIGNED BY: PLR          |
| REVISED: 10-14-10 | DRAFTED BY: CAD           |
| 11-17-10          | CHECKED BY: PLR           |
| 12-22-10          | DATE: JUNE 2010           |
| 1-2-11-10         | SCALE: HOR 1" = 30'       |
|                   | VERT 1" = 30'             |
|                   | SHEET NO.                 |
|                   | SHEET 11 OF 18            |
|                   | CD NO.                    |
|                   | CAD NAME: G8118TPP        |
|                   | LAYOUT: TREE PRESERVATION |
|                   | FILE NO: 08118-06         |

**TREE PRESERVATION LEGEND:**

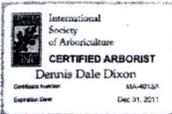


**NOTE**

1. THE LOCATION AND CONDITION ANALYSIS OF ALL OFFSITE TREES WERE ESTIMATED.
2. SEE SHEET 13 FOR TREE INVENTORY AND CONDITION ANALYSIS. SEE SHEET 14 FOR TREE PRESERVATION NARRATIVE. SEE SHEET 8 FOR TREE PRESERVATION TARGET AND STATEMENT (10-YEAR TREE CANOPY CALCULATIONS.)
3. SUITABLE EXISTING TREES MAY BE IDENTIFIED DURING THE SITE VISIT WITH THE URBAN FORESTER FOR TRANSPLANTATION TO OTHER AREAS ON SITE PRIOR TO CONSTRUCTION ACTIVITIES.



**CERTIFIED ARBORIST**



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 (703)449-8100 (703)449-8106 (Fax)  
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PRELIMINARY TREE PRESERVATION PLAN  
**OAKTON EAST**  
 PREVIOUS DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

EIC REVISIONS  
 01-14-10  
 11-12-10  
 12-2-10  
 12-21-10  
 AMERICAN  
 MICROBORNEOS V, LLC  
 10000 CHERRY WOOD ROAD  
 RESTON, VA 20190

DESIGNED BY: PLR  
 DRAFTED BY: CAD  
 CHECKED BY: PLR  
 DATE: JUNE 2010  
 SCALE: 1" = 30'  
 SHEET 12 OF 18  
 CD NO.  
 CAD NAME: GB18TPP  
 LAYOUT: TREE PRES (2)  
 FILE NO.: 08118-06

OAKTON EAST TREE INVENTORY AND CONDITION ANALYSIS. Table with columns: Tag #, Species, Size, TFC/Condition, Canopy Closure, Crown Density, Disease Spread, Problems, Status, Activities, Comments. Rows 1-124.

OAKTON EAST TREE INVENTORY AND CONDITION ANALYSIS. Table with columns: Tag #, Species, Size, TFC/Condition, Canopy Closure, Crown Density, Disease Spread, Problems, Status, Activities, Comments. Rows 125-254.

CERTIFIED ARBORIST

International Society of Arboriculture
Dennis Dale Dixon
104-49734
Revision Date: Dec 31, 2011

Zimar & Associates, Inc.
ARBORENTURE FORESTRY CONSULTING
10105 Residency Road, Suite 207
Manassas, Virginia 20108
Tel (703) 331-3731 Fax (703) 331-1359

NOTE:
1. ORIGINAL TREE INVENTORY AND CONDITION ANALYSIS DONE BY ZIMAR AND ASSOCIATES, INC. IN SEPTEMBER 2007 AND UPDATED AND FIELD VERIFIED BY DENNIS DIXON, C.A. IN MAY 2010.
2. SEE SHEET 6 FOR TREE PRESERVATION TARGET AND STATEMENT (10-YEAR TREE CANDY CALCULATIONS)

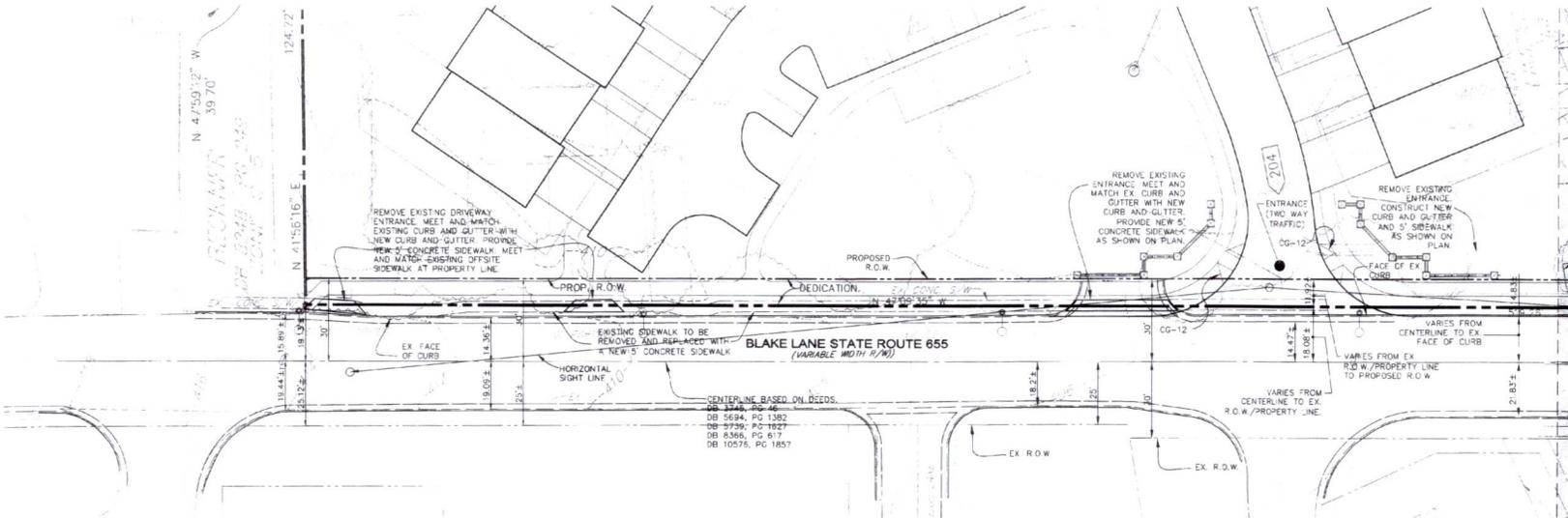
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(703) 449-0100
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TREE INVENTORY AND CONDITION ANALYSIS
OAKTON EAST
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

DESIGNED BY: PLR
DRAWN BY: CAD
CHECKED BY: PLR
DATE: JUNE 2010
SCALE: 1/8" = 1' - 4"
VERT: 1" = 4'
SHEET 13 OF 18
C.D. NAME: GB18TPP
LAYOUT: TREE INV & COND
FILE NO: 0816-06

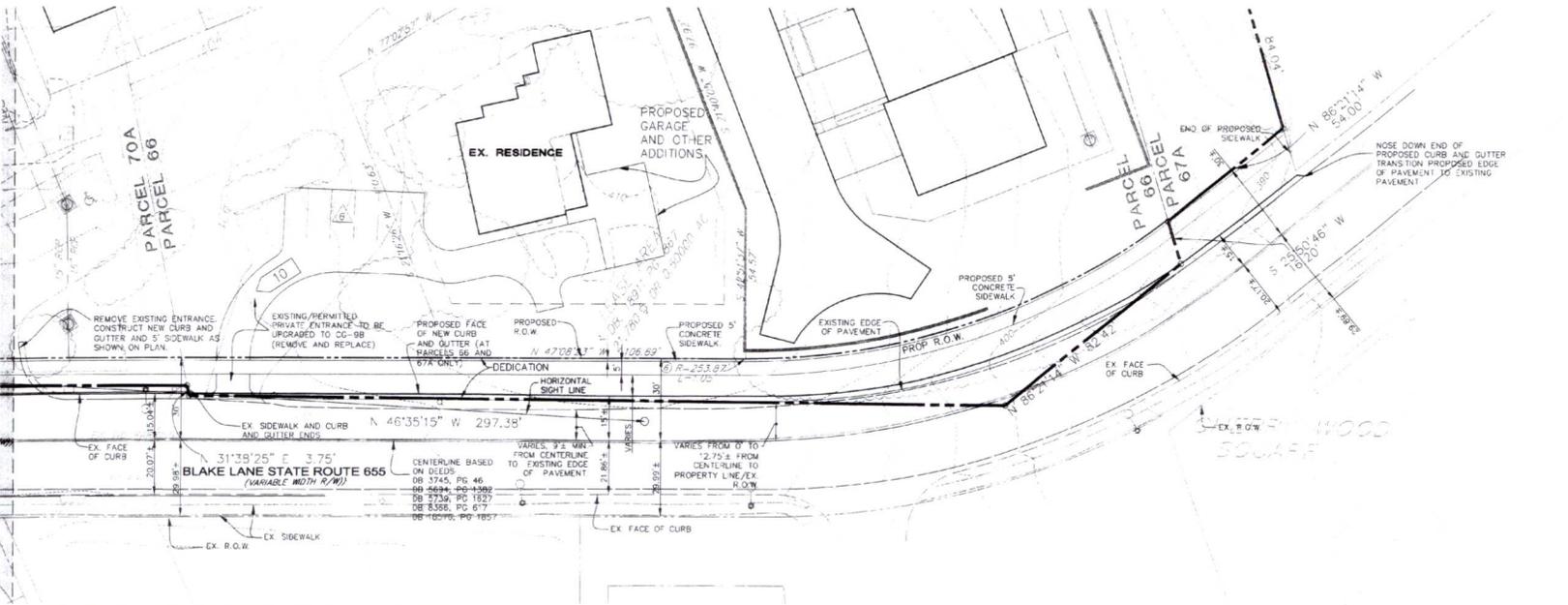




BLAKE LANE IMPROVEMENTS PLAN-WEST

SCALE: 1"=20'

MATCHLINE - SEE PLAN BELOW



BLAKE LANE IMPROVEMENTS PLAN-EAST

SCALE: 1"=20'

MATCHLINE - SEE PLAN ABOVE

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BLAKE LANE IMPROVEMENTS PLAN  
**OAKTON EAST**  
 PROPOSED DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

|                      |
|----------------------|
| DESIGNED BY: PLR     |
| DRAFTED BY: CAD      |
| CHECKED BY: PLR      |
| DATE: JUNE 2010      |
| SCALE: HOR. 1" = 20' |
| VERT. 1" = 20'       |
| SHEET 15 OF 18       |
| CO. NO.              |
| CAD NAME: 08118NP    |
| LAYOUT: Improvements |
| FILE NO. 08118-06    |





MANUFACTURER: VICTOR STANLEY, INC.  
 P.O. Drawer 330  
 Dunkirk, Maryland 20754 USA  
 Toll Free: 1-800-368-2573  
 Tel: 1-301-855-8300  
 Fax: 1-410-257-7579  
 www.victorstnley.com

MODEL: C-10 Bench OR EQUAL

NOTE: INSTALL PER MANUFACTURER'S SPECIFICATION.

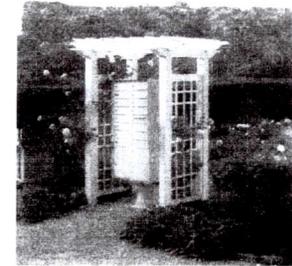
1 BENCH  
 17 PHOTO

NOT TO SCALE  
 238-8118bench



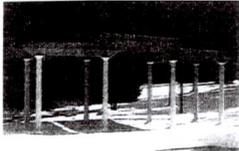
5 ENTRY SIGN  
 17

(FOR ILLUSTRATIVE PURPOSES ONLY TO CERTIFY THE QUALITY OF DESIGN. THE FINAL ENTRY DESIGN MAY CHANGE BUT SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE TYPES OF MATERIALS AND THE TYPES AND EXTENT OF FEATURES DEPICTED HEREON. THE SIGN MAY BE CONSTRUCTED WITH BRICK (SHOWN), STONE, ARCHITECTURAL BLOCK OR OTHER SIMILAR SURFACE TREATMENT.)

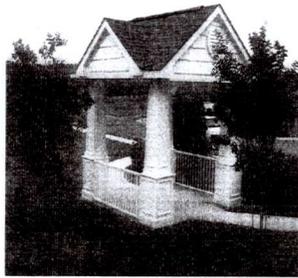


6 COMMUNITY MAIL BOXES  
 17

LOCATIONS TO BE DETERMINED. ARBOR TO BE BUILT BY THE APPLICANT. STYLE MAY CHANGE TO COORDINATE WITH OTHER COMMUNITY FEATURES.



TRELLIS TO BE BUILT BY THE APPLICANT. STYLE MAY CHANGE TO COORDINATE WITH OTHER COMMUNITY FEATURES.



4 OPTIONAL PAVILION  
 17 IF PROVIDED, THE PAVILION WILL BE BUILT BY THE APPLICANT. THE PAVILION'S STYLE AND FEATURES MAY CHANGE TO REFLECT THE ARCHITECTURE OF THE TOWNHOMES.

2 TRELLIS  
 17 PHOTO

NOT TO SCALE  
 11C-6075TRELLIS



POLE LIGHT 1



MANUFACTURER: HOLOPHANE

MODEL: HP19712 WITH CUT-OFF LUMINAIRE OR EQUAL

POLE: 14' HIGH (P14SF/19FB-CA/BK)

COLOR: BLACK

LAMP: 150 MH

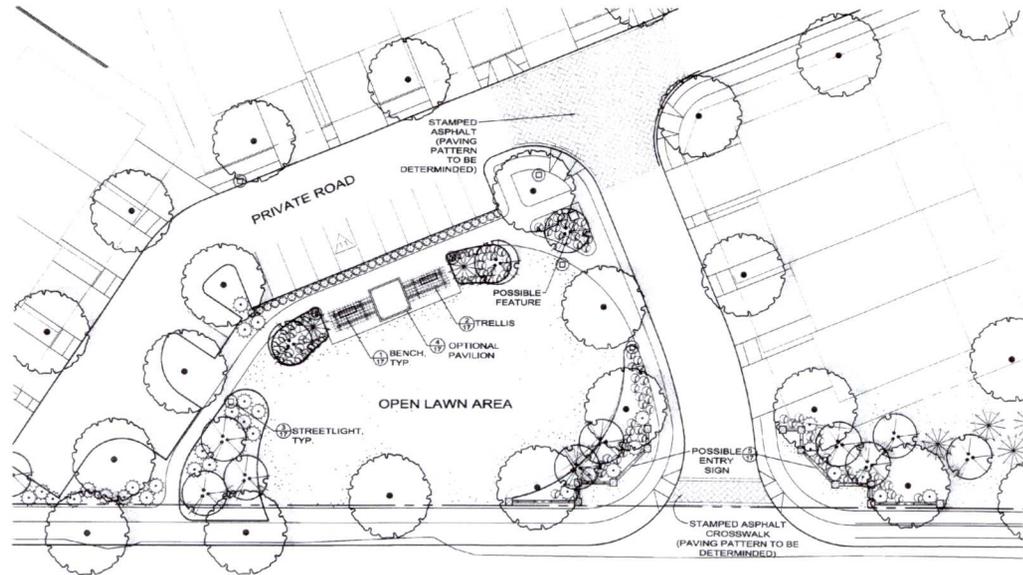
NOTE: INSTALL PER MANUFACTURER'S SPECIFICATION.

APPROXIMATE LOCATIONS OF THE STREETLIGHTS ARE SHOWN ON THE PLAN. THE FINAL NUMBER AND LOCATIONS OF THE LIGHTS MAY CHANGE WITH FINAL ENGINEERING AND A PHOTOMETRIC ANALYSIS.

3 STREETLIGHT  
 17 PHOTO

NOT TO SCALE  
 8A-3103\_Pole1-Grand\_v\_1

OR APPROVED EQUAL



7 OPEN LAWN AMENITY AREA  
 17

SCALE: 1"=20'

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AMENITY AREA  
**OAKTON EAST**  
 PROVIDENCE DISTRICT  
 PALM BEACH COUNTY, VIRGINIA

|                    |                        |
|--------------------|------------------------|
| DATE: 06-14-10     | DESIGNED BY: PLR       |
| REVISION: 06-14-10 | DRAWN BY: CAD          |
| 11-2-10            | CHECKED BY: PLR        |
| 11-2-10            | DATE: JUNE 2010        |
| 11-2-10            | SCALE: HOR AS SHOWN    |
| 11-2-10            | VER:                   |
| 11-2-10            | SHEET 17 OF 18         |
| 11-2-10            | CC: NC                 |
| 11-2-10            | CAD NAME: G8118AMENITY |
| 11-2-10            | LAYOUT: PARK AREA      |
| 11-2-10            | FILE NO: 08118-06      |



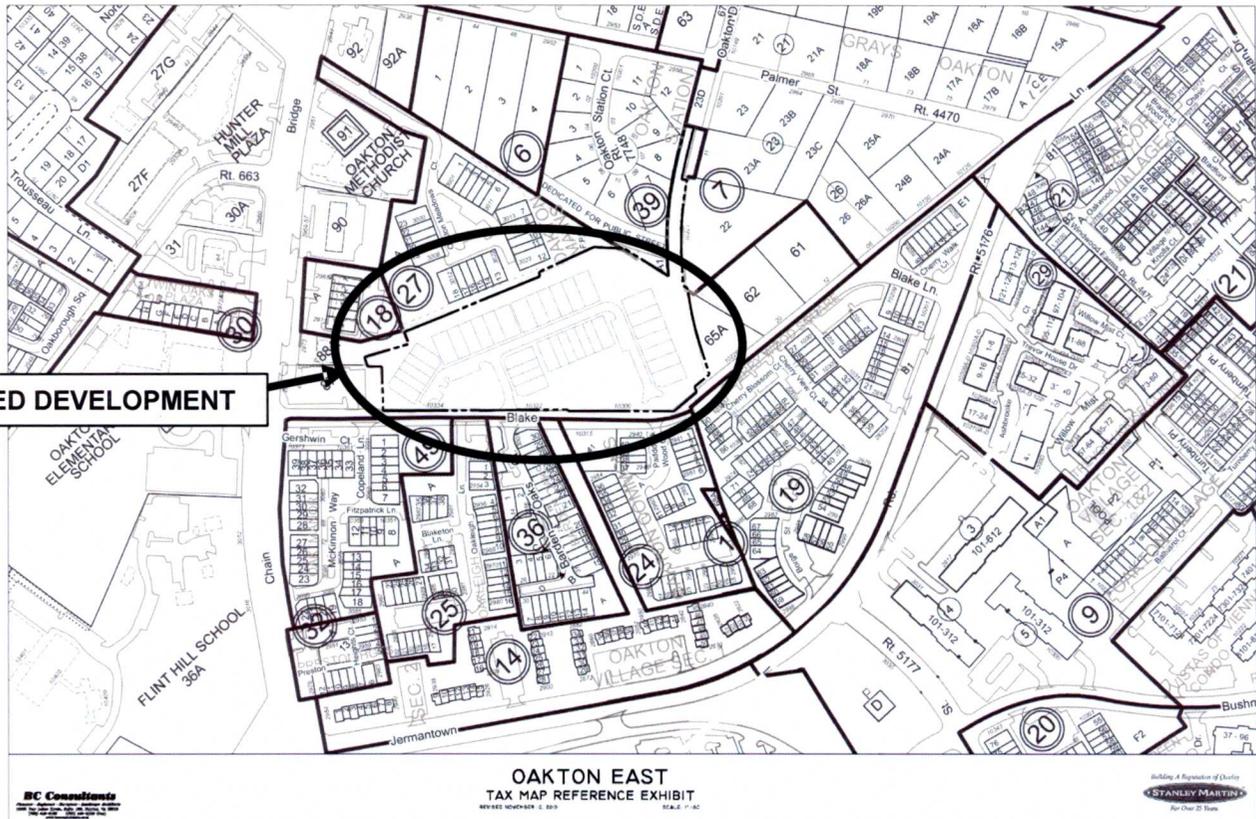
**A GLOSSARY OF TERMS FREQUENTLY  
USED IN STAFF REPORTS WILL BE  
FOUND AT THE BACK OF THIS REPORT**

**DESCRIPTION OF THE APPLICATION**

**Proposal:**

The applicant, Neighborhoods VI, LLC, requests approval to rezone the subject 7.44 acre site from the R-2 District to the R-5 District to permit the development of 35 single-family attached dwelling units and retention of an existing single-family detached dwelling unit on Parcel 66 with an option to reconstruct and/or build an addition in the future. The proposed development would result in an overall density of 4.84 dwelling units per acre (du/ac).

The applicant's draft proffers, affidavit, and Statement of Justification are contained in Appendices 1-3 respectively.



## **Waivers and Modifications**

The applicant has requested the following waivers and modifications with this rezoning application:

- Waiver of the 600-foot maximum length for a private street;
- Waiver of the barrier along the eastern property line; and
- Modification of the transitional screening requirement along the eastern property line in accordance with the landscaping shown on the Generalized Development Plan (GDP).

## **LOCATION AND CHARACTER**

### **Site Description:**

The 7.44 acre subject property is comprised of three parcels located on the northeast side of Blake Lane (Route 655) approximately 300 feet southeast of its intersection with Chain Bridge Road (Route 123). Parcel 70A was previously developed as a nursing facility. This portion of the application property is landscaped with numerous trees and shrubs and is currently developed with two existing structures; a one story wood frame structure and a shed, which are to be demolished. Parcel 66 is currently developed with a sales trailer (built for the purpose of selling units for the previously approved Sunrise Assisted Living Facility) and its associated parking area, and a single-family detached dwelling with a detached garage and other out buildings. There are existing trees along the periphery of the site and around the dwelling unit, and the majority of the area behind the house is an open field. The sales trailer is to be removed from the site and the single-family detached dwelling is to remain; however, the detached garage and the other out buildings are going to be demolished. The Generalized Development Plan (GDP) shows the existing dwelling with a new garage to be added onto the house and the proposed subdivision development to be built around the dwelling.

| <b>SURROUNDING AREA DESCRIPTION</b> |   |               |  |
|-------------------------------------|---|---------------|--|
| <b>Direction</b>                    | <b>Use</b>  | <b>Zoning</b> | <b>Plan</b>                                      |
| <b>Northeast</b>                    | Single-Family Detached Dwellings and Open Space Area (Oakton Station) | R-4           | Residential; 2-3- du/ac                          |
|                                     | Single-Family Attached Dwellings (Oakton Mains)                       | R-5           | Residential; 2-3- du/ac                          |
|                                     | Commercial (Office/Retail)  | C-5           | Retail and Other                                 |
| <b>Southwest</b>                    | Single-family Attached Dwellings (Oakleigh and Barden Oaks)           | R-12          | Residential; 8-12 du/ac                          |
|                                     | Single-family Attached Dwellings (Oak Manor and Oakton Commons)       | PDH-12        | Residential; 8-12 du/ac                          |
| <b>East</b>                         | Single family Detached Dwellings (Oakton)                             | R-2           | Residential; 2-3 du/ac<br>Residential; 4-5 du/ac |
| <b>NorthWest</b>                    | Commercial (Eating Establishment)                                     | C-5           | Retail & Other                                   |

## **BACKGROUND**

On June 11, 1957, Special Permit, SP 16827, was approved to allow a convalescent home on what was then identified as Parcel 70. On May 17, 1960, pursuant to an amendment to SP 16827, the convalescent home was allowed to expand to a maximum of 27 residents.

On February 26, 1963, separate approval was granted pursuant to SP 14313 to allow a 'care home' for five occupants on what was then identified as Parcel 74. These approvals were all granted to C. A. and N. J. Fowler.

On October 6, 1981, SP 81-P-051 was approved to allow 27 patients on Parcel 70.

On March 26, 1985, approval was granted, pursuant to SPA 81-P-051 to increase the land area by including Parcel 74, increase the size of the nursing facility, and to construct new parking and buildings on the site. These approvals were filed in the name of T. M. Klaussen to allow the Sunrise Terrace Retirement Home.

Parcels 70 and 74 have been combined into Parcel 70A. The records regarding the previous approvals are on file with the Department of Planning and Zoning. Parcel 66, currently developed with a single family detached dwelling unit, was not included in any of the previous approvals for a convalescent home or a care home.

On June 26, 2006, the Board of Supervisors (BOS) approved SE 2005-PR-009 to permit the development of an independent living facility for elderly residents with 120 new dwelling units as a condominium with the existing single-family detached dwelling to remain for a total of 121 dwelling units for the elderly on parcels 66, 67A, and 70A (see Appendix 4). On December 15, 2008, the property owner requested additional time for construction of the independent living facility. On February 9, 2009, the BOS granted additional time for the Special Exception and its expiration date was extended to June 26, 2011. On March 27, 2009, the Virginia General Assembly adopted House Bill 2077 which added a new state code provision, 15.2-2209.1 to the *Code of Virginia*. The new provision states:

*[F]or any valid special exception, special use permit, or conditional use permit outstanding as of January 1, 2009, and related to new residential or commercial development, any deadline in the exception permit, or in the local zoning ordinance that requires the landowner or developer to commence the project or to incur significant expenses related to improvements for the project with a certain time, shall be extended until July 1, 2014.*

Subsequently, on January 4, 2011, on behalf of the Zoning Administrator of the Department of Planning and Zoning, the Deputy Zoning Administrator issued a letter to the applicant stating the new code provision applies to the special exception as it was valid and outstanding on January 1, 2009 and as the special exception pertains to new commercial development. As a result, the special exception's expiration date has been extended to July 1, 2014 (see Appendix 5). However, approval to develop under this special exception is no longer an option if the subject rezoning application for a residential development is approved.

## **COMPREHENSIVE PLAN PROVISIONS (Appendix 6)**

|                           |  |
|---------------------------|--|
| <b>Plan Area:</b>         | II                                       |
| <b>Planning District:</b> | Fairfax Planning District                |
| <b>Planning Sector:</b>   | F3 Mosby Woods Community Planning Sector |
| <b>Plan Map:</b>          | Residential; 4-5 du/ac & 2-3 du/ac       |

Fairfax County Comprehensive Plan, 2007 Edition Area II, Fairfax Planning District, Amended through 3-9-2010, F3-Mosby Woods Community Planning Sector, Page 43 the plan text states:

*The Mosby Woods sector is largely developed as stable residential neighborhoods. Infill development in these neighborhoods should be compatible with existing development in the vicinity in terms of use, type, and intensity, in accordance with the guidance provided by the Policy Plan under Land Use Objectives 8 and 14.*

*Where substantial parcel consolidation is specified, it is intended that such consolidations will provide for projects that function in a well-designed, efficient manner and provide for the development of unconsolidated parcels in conformance with the Area Plan.*

## ANALYSIS

### Generalized Development Plan (GDP) (Copy at front of staff report)

**Title of Generalized Development Plan:** Oakton East

**Prepared By:** BC Consultants

**Original and Revision Dates:** June 2010 as revised through December 21, 2010

| <b>Generalized Development Plan (Oakton East)</b> |   |
|---|---|
| <b>Sheet #</b>                                    | <b>Description of Sheet</b>   |
| 1 of 18   | Cover Sheet, Vicinity Map   |
| 2 of 18   | Generalized Development Plan, Site Tabulations, Comprehensive Plan Density Range, Legend  |
| 3 of 18   | General Notes and Comments, Typical Townhouse 'A' Lot Layout and 'B' Lot Layout, Single-Family Detached House Lot Layout– Phase 1, Single-Family Detached House Phasing |
| 4 of 18   | Existing Conditions and Existing Vegetation Map   |
| 5 of 18   | Landscape Plan  |
| 6 of 18   | Landscape Details   |
| 7 of 18   | Stormwater Management Plan  |
| 8 of 18   | Stormwater Management Plan  |
| 9 of 18   | Adequate Outfall Analysis   |
| 10 of 18  | Downstream Impoundment Analysis   |
| 11 of 18  | Preliminary Tree Preservation Plan  |
| 12 of 18  | Preliminary Tree Preservation Plan  |

| Generalized Development Plan (Oakton East) |                                       |
|--|---------------------------------------|
| Sheet #                                    | Description of Sheet                  |
| 13 of 18                                   | Tree Inventory and Condition Analysis |
| 14 of 18                                   | Tree Preservation Details             |
| 15 of 18                                   | Blake Lane Improvements Plan          |
| 16 of 18                                   | Sight Distance Profile                |
| 17 of 18                                   | Amenity Area                          |
| 18 of 18                                   | Illustrative Elevations               |

The following features are depicted on the GDP:

- Site Layout:** 35 single-family attached dwelling units are divided into six blocks along a 24-foot wide private street to be accessed from one site entrance off of Blake Lane. An approximately 120-foot long internal street leads from the site entrance to the main private street, which extends from east to west for the full length of the development, curves and then extends towards the southeastern portion of the site. All proposed internal streets would be private. The existing single-family detached dwelling, with a life estate for the current occupants, will be retained and is located on the eastern portion of the site. A two-car garage is proposed to be added to the existing dwelling, and the existing entrance that provides access to the driveway will also remain. At the end of the life estate, there is an option for the existing dwelling to be demolished and replaced with a single-family detached dwelling meeting the R-5 bulk regulations.



- Open Space: Approximately 37.7% of the site would remain as open space. Within the open space are tree preservation areas along the periphery of the site; an open lawn area at the front of the site with benches, a trellis, and a pavilion (shown as an option); and an open area identified as the recreational area to be located above the underground stormwater management facility at the rear of the site.
- Landscaping and Tree Preservation: Parcel 70A contains landscape material consisting of trees and shrubs along the property boundary lines and at the front of the site. Some of the landscaping must be removed as part of the proposed development shown on the GDP, which has kept the same limits of clearing and grading as the currently approved Special Exception governing the property. The other landscaping to be removed has been determined to be in poor condition or not of good quality. The new landscaping will include the following:
  - Small evergreen trees and large deciduous shade trees along the periphery of the site;
  - One large deciduous shade tree in the front yard of each townhouse unit;
  - Five large deciduous shade trees, three large evergreen trees, and deciduous and evergreen shrubs around the periphery of the open lawn area located at the front of the site;
  - Five large evergreen trees and four small evergreen trees in the southwestern corner of the site along the side yard of the end townhouse unit that is closest to Blake Lane;
  - Large deciduous shade trees, large and small evergreen trees in the berm area to be located between the rears of the existing single-family detached dwelling and a block of seven townhouse units;
  - Five large shade deciduous trees, four large evergreen trees and eight small evergreen trees in front of the existing single-family detached dwelling along the site frontage; and
  - Large deciduous shade trees, small evergreen trees, and large ornamental deciduous trees.

The areas of tree preservation are focused on the existing trees along the periphery of the site, where large trees and understory material provide a transition between the application property and the abutting uses. The tree preservation areas are shown on the Landscape Plan and the Tree Preservation Plan.

- Vehicular Access: All access to the subdivision will be from Blake Lane. An approximately 120 -foot long internal street will connect the entrance to a proposed street which extends the full length of the development. The existing access point from Blake Lane for the single-family detached dwelling will remain and a new curved driveway will provide access to the proposed two-car garage.
- Parking: A total of 168 parking spaces are proposed, comprised of two spaces in the garage and two spaces in the driveway for the single-family attached dwellings and for the existing single-family detached dwelling, and 24 guest parking spaces to be located along the internal street. Two areas are shown for guest parking on either end of the internal street with 13 parking spaces located on the western end and 11

parking spaces on the eastern end of the street. The typical lot layout for the single-family attached dwellings depicts driveways with minimum dimensions of 17' x 18'.

- Pedestrian Access: Standard five-foot wide concrete sidewalks would be constructed along the frontages of the proposed units and around the open lawn area located at the front of the site. The applicant is also proposing to replace the existing four-foot wide sidewalk along the site's Blake Lane frontage with a standard five-foot wide sidewalk.
- Road Improvements: The GDP depicts the dedication of right-of-way 30 feet from centerline of Blake Lane, which matches the existing section in front of Parcel 70A. The GDP includes improving the frontage along Parcels 66 and 67A with curb and gutter and a five-foot wide sidewalk. The GDP also shows the existing four-foot wide sidewalk along Parcel 70A being removed and replaced with a five-foot wide sidewalk.
- Stormwater Management/Best Management Practices (SWM/BMP) Facilities: The applicant proposes to provide a sub surface stormwater management detention facility consisting of an underground infiltration facility comprised of small crates that may be stacked to provide a drainage system that stores stormwater runoff and allows it to infiltrate into the ground. The applicant proposes to meet the BMP requirements by infiltrating the first 0.5 inches of stormwater runoff through a gravel bed located beneath the SWM facility. It is calculated that this facility will provide 42.2% phosphorous removal. The proposed location for the SWM/BMP facility is in the northeastern corner of the property where it will discharge into the existing stream located near this corner of the property. The proposed SWM/BMP facility is not considered an underground detention system by Fairfax County; therefore, a waiver of the Public Facilities Manual (PFM) standard and concurrent approval by the Board of Supervisors (BOS) to allow the proposed facility is not required. However, a modification of the PFM standard is required at the site plan stage as it is considered a sub-surface detention facility. If the modification request is not approved at site plan or the soils are not sufficient to support an infiltration system, the applicant has stated that other types of BMP facilities such as raingardens, filterras, and bayfilters would be used as approved by the Fairfax County Department of Public Works and Services (DPWES). Such alternatives if used must also be in substantial conformance with the GDP.
- Proposed Buildings: There are two layouts for the townhouses shown on Sheet 3 as Typical Townhouse 'A' Lot Layout and Typical Townhouse 'B' Lot Layout. Townhouse type 'A' is 26 feet wide and 50 feet in length and townhouse type 'B' is 36 feet wide and 50 feet in length. Both of the lot layouts show driveways that are at a minimum 18 feet long and 17 feet wide. The yard setbacks are shown with a minimum of 5 feet for the front yard, 10 feet for the side yards, and 20 feet for the rear yard. There are notations for both layouts which state that extensions and decks shall be permitted into the minimum required yards in accordance with the provisions of Article 2, Section 2-412 of the Zoning Ordinance. Both lot layouts depict a twelve foot deep hatched area available for a deck.

A lot layout labeled Single Family Detached House Lot Layout - Phase 1 is also shown for the existing single-family detached dwelling. The setbacks shown are those for the R-5 District, 20 feet for the front yard, 8 feet for the side yard, and 25 feet for the rear yard. The lot layout shows the existing dwelling with a proposed garage and other additions to be added onto the southeastern corner of the dwelling. The driveway is shown expanded to include an area that could accommodate six vehicles in addition to the two parking spaces to be provided in the proposed garage and two spaces in the driveway in front of the garage.

Architectural elevations of the facades of both type A and type B townhomes are shown on Sheet 18. These illustrations show that different types of materials will be used for the building façade and that there would be varying roof heights. Four types of materials are being used as different building façades: stone, composite siding, shake siding, and brick. The illustrations also show that each type 'A' townhouse unit would have a two-car garage and each type 'B' townhouse unit would have a two-car garage and a covered front porch.



26' TOWNHOMES



36' TOWNHOMES

## ANALYSIS

### RESIDENTIAL DEVELOPMENT CRITERIA (Appendix 16)

#### **Site Design** (Development Criterion #1)

*This Criterion requires that the development proposal address consolidation goals in the Comprehensive Plan, further the integration of the development with adjacent parcels, and not preclude adjacent properties from developing according to the recommendations of the Plan. It also states that the development proposal should provide a logical and functional design with appropriate relationships within the development, including appropriately oriented dwelling units and usable yard areas within the individual lots. Convenient access to transit facilities should be provided where available, and all aspects pertaining to utilities shall be identified. Open space should be usable, accessible, and integrated. Appropriate landscaping amenities should be provided.*

#### Consolidation

The application property is depicted on the Plan Map with two different residential density ranges, 4-5 dwelling units per acre (du/ac) on 7.09 acres and 2-3 du/ac on 0.35 acres. There is no site specific text pertaining to the application property. The proposed development is in accordance with the density recommendations of the Comprehensive Plan as the density of the proposed development is 4.84 du/ac consisting of 35 new dwelling units and the existing single-family dwelling on 7.09 acres of land. The lower density recommendation of 2-3 du/ac applies to the strip of land extending northward from the easternmost portion of the site; this 0.35 acre area will remain undisturbed open space. This narrow strip of land is abutted by single-family detached dwellings to the east and the single-family detached dwellings of Oakton Station to the west. Oakton Mains, a townhouse community, abuts the northern boundary of the main portion of the application property. The communities across Blake Lane to the south, Oakleigh, Barden Oaks, Oak Manor, and Oakton Commons are developed with townhouses at densities of approximately 10 du/ac (planned at 8-12 du/ac). The property to the west is commercially developed with an eating establishment and fronts on Chain Bridge Road. The proposed development integrates well with the adjacent parcels and does not preclude them from developing in accordance with the Comprehensive Plan.

#### Layout

As stated previously in the report, the proposed development is comprised of an existing single-family detached dwelling to be retained on-site and 35 new single-family attached dwelling units, which would be broken up into six blocks. Three of the townhouse blocks would be located towards the rear of the site, one block would be located along the eastern side of the access street, another block would

be located directly behind the single-family lot, and the sixth block would be parallel to the site's eastern property line. An open lawn area is proposed along the site's frontage on Blake Lane to the west of the access street and another open space area is shown at the rear of the site between two blocks of townhouse units. The orientation of the blocks of townhouse units also fits in with the fabric of the existing neighborhood. The view from Blake Lane would be of two townhouse side yards and the front yard of the single-family detached dwelling. The existing townhouse developments across Blake Lane also have the side yards of the end units facing Blake Lane.

The applicant proposes one access point for the development which would be located close to the western end of the site. An approximately 120-foot long internal street would provide access from Blake Lane and connect to another private street which is shown to extend the full length of the development, curve, and then extend towards the southeastern portion of the site along the eastern side of the single-family lot. The proposed layout provides efficient and logical relationships within the development. With the proposed layout the fronts of all of the townhouse units face the private streets and the privacy rear yards are away from the roadway. Additionally, the driveways for all of the townhouse units have direct access to the main internal street. Guest parking is provided in two areas across the main internal street located close to the ends of the roadway and turnaround areas are also provided at either end of the street. This enables vehicles to turnaround if no parking is available in the guest parking areas.

The existing dwelling, located in the eastern portion of the site will be retained, and a two-car garage is proposed to be added to it. The existing access point to the dwelling is going to remain and the driveway is going to be expanded to accommodate more vehicles and to connect to the garage addition.

### Open Space

The GDP indicates that approximately 37.7% of the site would remain as open space. The open space consists of tree preservation areas along the periphery of the site, a common accessible open lawn area along the property's frontage, and an open area at the rear of the site.

### Amenities

The applicant is proposing a common, accessible open lawn area at the front of the site which would provide seating, a trellis, and a pavilion (shown as an option), as well as street lighting. In addition to this open area, sidewalk improvements would be made along Blake Lane, and a sidewalk would also be constructed around the open area to provide pedestrian access to Blake Lane. Private rear yards for each townhouse unit are also depicted on the GDP. These rear yards are usable and private as adequate space is provided and they do not face any roadways.

### Landscaping

The applicant is proposing landscaping along portions of the property's frontage on Blake Lane, around the open lawn area at the front of the site, behind the existing single-family detached dwelling, and in the front yards of each townhouse unit. Additionally, existing vegetation will be preserved along the northern and eastern property lines to serve as a buffer to the neighboring residences.

### **Neighborhood Context (Development Criterion #2)**

*While developments are not expected to be identical with the existing development within which they are to be located, this Criterion states that they should fit into the fabric of the community, as evidenced by an evaluation of bulk/mass of the proposed dwelling units; setbacks; architectural elevations and materials; pedestrian, bicycle, and vehicular connections; and proposed changes to the existing topography and vegetative cover as a result of clearing and grading.*

Staff finds that the proposed development fits into the fabric of the community. The bulk and mass of the proposed dwelling units is comparable to the surrounding townhouse developments. The townhouse units are broken up into several blocks to break up the overall mass; several of these blocks are set back a substantial distance from Blake Lane, and landscaping is also provided as buffering between the proposed townhouses and the adjacent uses along the property boundaries. Various building materials (stone, composite siding, shake siding, and brick) are proposed, some of which are similar to materials used in the adjacent residential developments. Sidewalk improvements are also proposed along Blake Lane and the provision of sidewalks in front of all the townhouse units throughout the development. Regarding the existing topography and vegetative cover on-site, the applicant is proposing two retaining walls along the eastern portion of the site; one between the existing single-family dwelling and the proposed main street and the other along the eastern property line in an attempt to work with the existing topography and to reduce the amount of grading on-site.

### **Environment (Development Criterion #3) (Appendices 7 and 8)**

This Criterion requires that developments conserve natural environmental features to the extent possible, account for soil and topographic conditions, and protect current and future residents from noise and lighting impacts. Developments should minimize off-site impacts from stormwater runoff and adverse water quality impacts.

The predominant natural feature on-site is trees. Some of the trees will be lost due to the proposed clearing and grading for the overall development, further discussed below in Development Criterion # 4. The proposed development would not have a

significant environment impact with respect to noise or lighting. To minimize the off-site impacts from stormwater runoff and adverse water quality impacts, the applicant is proposing an underground SWM/BMP facility designed to reduce the post-development peak flows to less than the current pre-development peak flows. As stated earlier in the report, the proposed facility would consist of an underground infiltration facility comprised of small crates that would be stacked to provide a drainage system that stores stormwater runoff and allows it to infiltrate into the ground. It is calculated that this facility will provide 42.2% phosphorous removal. Pre-treatment facilities would also be installed within each pipe connected to the SWM/BMP facility to prevent debris from entering the system.

Regarding energy efficiency, the applicant has also proffered that all of the townhouse units would be Energy Star qualified homes or an equivalent rating as determined by the Department of Public Works and Environmental Services, and some appliances, including but not limited to refrigerators, stoves, and dishwashers, within the units would be Energy Star Certified or an equivalent rating.

**Tree Preservation & Tree Cover Requirements (Development Criterion #4)**  
(Appendix 9)

The areas of tree preservation are focused on the existing trees along the periphery of the site, where large trees and understory material provide a transition between the application property and the abutting uses. The applicant states that the proposed lot layout was designed to duplicate the limits of clearing and grading associated with the last land use approval on the property, SE 2005-PR-009 for an independent living facility for the elderly. The applicant is proposing to preserve a significant portion of the mature trees along the periphery of the site and is proposing that 52.5% of the 10-year tree canopy requirement will be met through tree preservation, which exceeds the required amount of 45.5%. Urban Forestry Management staff reviewed the GDP and stated that no more than 40% of the critical root zones of the trees proposed for preservation can be impacted and disturbed by construction activity, including the trees near the base of the proposed retaining walls. The applicant was advised and has proffered at a minimum root pruning along the limits of clearing (LOC), installation of welded wire tree protection fencing, and a requirement to permit field adjustments to the LOC to the degree possible by the Urban Forester prior to commencement of construction in order to maximize the survival of the peripheral trees.

**Transportation (Development Criterion #5) (Appendix 10)**

This Criterion requires that developments provide safe and adequate access to the surrounding road network, that transit and pedestrian travel be encouraged, and that interconnection of streets be encouraged. In addition, alternative street designs may be appropriate where conditions merit. The traffic generated by the proposed development is minimal. The applicant has proposed to dedicate approximately 30 feet

of right-of-way along the site's frontage on Blake Lane and to make frontage improvements. Even though no trail is shown on the Trails Plan, the applicant is proposing to make frontage improvements which include curb and gutter and the construction of a five-foot wide sidewalk in front of Parcels 66 and 67A and to remove and replace the four-foot wide sidewalk in front of Parcel 70A with a five-foot wide sidewalk. The applicant is also proposing to provide sidewalks in front of all the townhouse units throughout the development and around the open lawn area to be provided at the front of the site. Staff finds that the transportation development criterion has been met.

***Public Facilities (Development Criterion #6)***

**Fairfax County Public Schools (Appendix 11)**

The proposed development would be served by Oakton Elementary, Luther Jackson Middle, and Oakton High School. According to the Fairfax County Public Schools (FCPS) Analysis, the rezoning and subsequent development of the subject property with 35 single-family attached dwelling units and one single-family detached dwelling unit could generate twelve additional students above what the existing zoning designation would allow. As such, the FCPS has determined that a proffered contribution of \$112,536 (or \$9,378 per student) is appropriate to offset the potential impact of additional students in the area. The applicant has proffered to contribute \$113,000 to the Board of Supervisors to transfer to the Fairfax County Public Schools to address capital improvements to the applicable schools that would receive students as a result of the proposed development.

**Fairfax County Water Authority (Appendix 12)**

The Fairfax County Water Authority Planning and Engineering Division staff has reviewed the application and stated that depending on the final site and water main configurations, additional water main extensions may be necessary to satisfy fire flow requirements and to accommodate water quality concerns. Additionally, staff stated that the existing 8-inch water main routed through the western portion of the site is a critical line that provides fire protection to the Oakton Mains subdivision, which is adjacent to the northern property line; it would be at the developer's expense to relocate this water line and the sequence of construction approved by the Fire Marshal and Fairfax Water to minimize any reduction in fire protection service.

**Fire and Rescue Analysis (Appendix 13)**

The subject property is serviced by the Fairfax County Fire and Rescue Department Station #434, Oakton. The requested rezoning currently meets fire protection guidelines, as determined by the Fire and Rescue Department.

**Sanitary Sewer Analysis** (Appendix 14)

The subject property is located within the Accotink (M-1) watershed and would be sewer into the Noman M. Cole Pollution Control Plant (NMCCPCP).

**Fairfax County Park Authority** (Appendix 15)

The proposed development would add approximately 87 new residents to the population in the Providence District. To offset the impacts the additional residents would have on outdoor recreational facilities, the Fairfax County Park Authority (FCPA) has determined that a proffered contribution of \$77,691 would be appropriate for recreational facility development at one or more of the existing park sites located within the service area of the subject property. The applicant has proffered to contribute \$78,000 to the FCPA for its use in establishing parks and recreational facilities in the Providence District.

**Affordable Housing** (Development Criterion # 7)

Criterion 7 states that ensuring an adequate supply of housing for low and moderate income families, those with special accessibility requirements, and those with other special needs is a goal of the County. Satisfaction of this criterion may be achieved by the construction of units, contribution of land, or by a contribution to the Housing Trust Fund. The applicant has proffered to contribute the sum of one half of one percent of the value of all the units approved on the property to the Fairfax County Housing Trust Fund. This criterion has been met.

**Heritage Resources** (Development Criterion #8) (Appendix 15)

*This Criterion requires that developments address potential impacts on historical and/or archaeological resources through research, protection, preservation, or recordation.* The applicant has proffered to conduct a Phase II archaeological study on a portion of the site that was identified as subject to a Phase II archaeological testing. The applicant has committed to providing the results of the study to the Cultural Resources Management and Protection Section of the Fairfax County Park Authority (CRMPS), and to conduct additional Phase III evaluation and/or recovery in consultation and coordination with CRMPS, if it is has been deemed necessary. However, the applicant has also proffered that the Phase III work shall not be a prerequisite of approval of the subdivision plan or its recordation.

**ZONING ORDINANCE PROVISIONS (Appendix 17)**

| <b>Bulk Standards (R-5 District)</b> |   |   |                               |                                       |
|--------------------------------------|---|---|-------------------------------|---------------------------------------|
| <b>Standard</b>                      | <b>Required</b>                                   |   | <b>Proposed</b>               |                                       |
| Min. District Size                   | 4 acres   |   | 7.44 acres                    |                                       |
| Max Density                          | 5 du/ac   |   | 4.84 du/ac                    |                                       |
| Min. Open Space                      | 25%   |   | 37%                           |                                       |
|                                      | <b>Single-Family Attached</b>                     |   | <b>Single-Family Detached</b> |                                       |
| <b>Standard</b>                      | <b>Required</b>                                   | <b>Proposed</b>   | <b>Required</b>               | <b>Proposed</b>                       |
| Min. Lot Area                        | No requirement                                    | 2,080 SF  | 5,000 SF                      | 16,321 SF                             |
| Min. Lot Width                       | 18 ft.  | <u>Unit Type A</u><br>End Units - 36 ft.<br>Interior Units - 26 ft.<br><br><u>Unit Type B</u><br>End Units - 46ft.<br>Interior Units – 36 ft. | 50 ft.                        | Approx. 115 ft.                       |
| Max. Building Height                 | 35 ft.  | 35 ft.  | 35 ft.                        | 35 ft.                                |
| Min. Front Yard                      | 15 degree angle of bulk plane, no less than 5 ft  | 5 ft.   | 20 ft.                        | Phase I - 33 ft.<br>Phase II - 20 ft. |
| Min. Side Yard                       | 15 degree angle of bulk plane, no less than 10 ft | 10 ft.  | 8 ft.                         | Phase I - 30 ft.<br>Phase II – 8 ft.  |
| Min. Rear Yard                       | 30 degree angle of bulk plane, no less than 20 ft | 20 ft.  | 25 ft.                        | Phase I – 25 ft.<br>Phase II - 25 ft. |
| Min. Parking Spaces                  | 95 spaces<br>[2.7spaces per unit for SFA]         | 164 spaces<br>[140 spaces for SFA (35 x 4)<br>plus 24 guest parking spaces]   | 2 spaces                      | 4 spaces                              |

| Transitional Screening  | Required  | Proposed  |
|---|---|---|
| <p><b>Northeast</b></p> <p>Single-family detached dwellings and Open space Area (Oakton Station)</p> <p>Single-family attached Dwellings (Oakton Mains)</p> <p>Commercial (Office/Retail)</p> | <p>TS 1-25 ft. wide unbroken strip</p> <p>None</p> <p>None</p>  | <p>Ranging from 15 ft. to 25 ft. in width. Modification requested (see below)</p> |
| <p><b>Southwest</b></p> <p>Single-family attached (Oakleigh and Barden Oaks)</p> <p>Single-family attached Dwellings (Oak Manor and Oakton Commons)</p>                                       | <p>None</p> <p>None</p>   | <p>N/A</p>  |
| <p><b>East</b></p> <p>Single-family detached (Oakton)</p>   | <p>TS 1 – 25 ft. wide unbroken strip</p>  | <p>Ranging from 15 ft. to 60 ft. in width. Modification requested (see below)</p> |
| <p><b>Northwest</b></p> <p>Commercial (Eating Establishment)</p>  | <p>None</p>   | <p>N/A</p>  |
| <p><b>Barrier</b></p>   |   |   |
| <p><b>Northeast</b></p> <p>Single-family detached dwellings</p> <p>Single-family attached</p>   | <p>Barrier A or B – 42 to 48 inch wall, brick or architectural block or 42 to 48 inch solid wood or otherwise architecturally solid fence</p> <p>None</p> | <p>Waiver requested</p> <p>N/A</p>  |

|   |   |                         |
|---|---|-------------------------|
| <p><b>Southwest</b><br/>Single-family attached</p>            | <p>None</p>   | <p>N/A</p>              |
| <p><b>East</b><br/>Single-family detached</p>                 | <p>Barrier A or B - 42 to 48 inch wall, brick or architectural block or 42 to 48 inch solid wood or otherwise architecturally solid fence</p> | <p>Waiver requested</p> |
| <p><b>Northwest</b><br/>Commercial (Eating establishment)</p> | <p>None</p>   | <p>N/A</p>              |

**WAIVERS AND MODIFICATIONS**

Waiver of the 600-foot maximum length for a private street

Section 11-301 of the Zoning ordinance does not permit private streets within a residential development to exceed 600 feet in length. The applicant is requesting a waiver of this requirement to permit the private street as shown on the GDP to exceed 600 feet in length by approximately 155 feet. The applicant has proffered to record a public access easement on the private street which would be built to meet the private street standards per the PFM requirements. Staff supports the requested waiver.

Waiver of the barrier along the eastern property line

A barrier is required along the eastern boundary and for a portion of the northeastern boundary where the proposed development abuts single-family detached dwellings. The northern extent of this boundary is the northern arm of the property, which will remain unimproved. The remaining portion of the eastern boundary is heavily wooded and slopes downward to the east. As a result, the required barrier would not be effective. Therefore, staff supports the requested waiver of the barrier requirement along this portion of the site.

Modification of the transitional screening requirement along the eastern property line in accordance with the landscaping shown on the Generalized Development Plan (GDP)

Transitional screening Type 1, which is a 25-foot wide unbroken screening strip, is required along the eastern boundary and for a portion of the northeastern boundary where the proposed development abuts single-family detached dwellings. According to Article 13, Part 3, Section 13-305, Paragraph 12, the

transitional screening requirement can be modified where the building, a barrier and/or the land between that building and the property line has been specifically designed to minimize adverse impact through a combination of architectural and landscaping techniques. The width of the existing vegetation along these boundaries is wider than 25 feet and is very dense and would effectively screen the proposed development from the abutting residential uses. Staff therefore supports the applicant's request for a modification of the transitional screening requirement along this portion of the site.

## **CONCLUSIONS AND RECOMMENDATIONS**

### **Staff Conclusions**

The applicant, Neighborhoods VI, LLC, requests approval of a rezoning of approximately 7.44 acres from the R-2 District to the R-5 District to permit the development of thirty-five (35) single-family attached dwelling units and an existing single-family detached dwelling unit to remain on the site, at an overall density of 4.84 du/ac. Staff finds that the proposed development is in harmony with the Comprehensive Plan and meets all applicable Zoning Ordinance provisions, except those for which a waiver or modification is requested. Furthermore, staff believes that the applicant has satisfactorily met the Residential Development Criteria.

### **Staff Recommendations**

Staff recommends approval of RZ 2010-PR-010 subject to the execution of proffers consistent with those found in Appendix 1 of this report.

Staff recommends approval of a waiver of the 600-foot maximum length for a private street.

Staff recommends approval of a waiver of the barrier along the eastern property line.

Staff recommends approval of a modification of the transitional screening requirement along the eastern property line in accordance with the landscaping shown on the Generalized Development Plan (GDP).

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

The approval of this rezoning does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Supervisors.

## **APPENDICES**

1. Proposed Proffers
2. Affidavit
3. Statement of Justification
4. Approved Development Conditions and Reduction of SE Plat for SE 2005-PR-009
5. Warning letter for SE 2005-PR-009 dated January 4, 2011
6. Comprehensive Plan
7. Environmental Analysis
8. Stormwater Management Analysis
9. Urban Forest Management Division Analysis
10. Transportation Analysis
11. Public Schools Analysis
12. Fairfax Water Analysis
13. Fire and Rescue Analysis
14. Sanitary Sewer Analysis
15. Park Authority Analysis
16. Residential Development Criteria
17. Applicable Zoning Ordinance Provisions
18. Glossary of Terms

**NEIGHBORHOODS VI, LLC  
OAKTON EAST**

**RZ 2010-PR-010  
PROFFERS**

**January 6, 2011**

Pursuant to Section 15.2-2303(a) of the Code of Virginia, 1950, as amended, the property owner who is the Applicant in this rezoning proffer that the development of the parcels under consideration and shown on the Fairfax County Tax Maps as Tax Map Reference – 47-2-((1))-66, 67A and 70A (hereinafter referred to as the “Property”) shall be in accordance with the following conditions if, and only if, said rezoning request for the R-5 District is granted by the Board of Supervisors of Fairfax County, Virginia (the “Board”). In the event said application request is denied or the Board’s approval is overturned by a court of competent jurisdiction, these proffers shall be null and void. The Owners and the Applicant (“Applicant”), for themselves, their successors and assigns, agree that these proffers shall supersede any and all previously approved proffers or conditions and shall be binding on the future development of the Property unless modified, waived or rescinded in the future by the Board, in accordance with applicable County and State statutory procedures. The proffered conditions are:

**I. GENERAL**

1. Substantial Conformance. Subject to the proffers and the provisions of Article 18 of the Zoning Ordinance, under which minor modifications to an approved development plan are permitted, the development shall be in substantial conformance with the Generalized Development Plan (GDP), containing eighteen (18) sheets prepared by BC Consultants dated June 2010 and revised through December 21, 2010.

2. Architecture. The architectural design of the dwellings shall be in substantial conformance with the bulk, mass and type and quality of materials and elevations shown on sheets 18 of the GDP. The primary building material exclusive of trim shall be limited to brick, stone, cementitious siding, shingles or other similar masonry materials. Minor modifications may be made with the final architectural designs provided such modifications are in substantial conformance with the elevations shown on the GDP.

3. Architecture for Side Units. The architecture on the side units as shown on Sheet 2 of the GDP shall be constructed with building materials proportional to those on the front of the units.

4. Rear of Units 22-28. On the rear of units 22-28, the windows and exterior window trim on the second and third floor shall be of a type and style that are substantially the same as those installed on the front of the same units.

5. Replacement of Existing Single Family Detached Dwelling. The Applicant reserves the right to replace the existing single family detached dwelling unit with a newly constructed single family detached dwelling unit in the future. At the time of building permit review, it shall be demonstrated to the satisfaction of the Zoning Administrator that the general architecture of the replacement single family dwelling unit shall be compatible on all sides with the building materials required as outlined in Proffer 2 above.

6. Minor Modifications. Minor modifications from what is shown on the GDP and these Proffers, which may become occasioned as a part of final architectural and engineering design, may be permitted as determined by the Zoning Administrator in accordance with the provisions set forth in Article 18 of the Zoning Ordinance.

7. Lot Yield and Uses. The development shall consist of a maximum of thirty-five (35) single-family attached units and one (1) single family detached dwelling unit. The single family detached dwelling is to be used solely as a primary single family residence.

8. Establishment of HOA. Prior to record plat approval, the Applicant shall establish a Homeowners Association (HOA) in accordance with Sect. 2-700 of the Zoning Ordinance for the purpose of, among other things, establishing the necessary residential covenants governing the design and operation of the approved development and to provide a mechanism for ensuring the ability to complete the maintenance obligations and other provisions noted in these proffer conditions.

9. Dedication to HOA. At the time of record plat recordation, open space, common areas, private roadways, and amenities not otherwise conveyed or dedicated to the County shall be dedicated to the HOA and be maintained by the same.

10. Disclosure. Prior to entering into a contract of sale, prospective purchasers shall be notified in writing by the Applicants of the maintenance responsibility for the private roadways, painted walkways, stormwater management facilities, common area landscaping and any other open space amenities and shall acknowledge receipt of this information in writing. The initial deeds of conveyance and HOA governing documents shall expressly contain these disclosures.

11. Public Access Easement. At the time of record plat recordation, the Applicant shall cause to be recorded among the land records a public access easement running to the benefit of Fairfax County, in a form acceptable to the County Attorney, for the private road and sidewalks as generally shown on the GDP.

12. Escalation. All monetary contributions required by these proffers shall be adjusted upward or downward based on the percentage change in the annual rate of inflation as calculated by referring to the Consumer Price Index for all urban customers (CPI-U), (not seasonally adjusted) as reported by the United States Department of Labor, Bureau of Labor Statistics occurring subsequent to the date of rezoning approval and up to the date of payment as specified in each proffer. In no event shall an adjustment increase exceed the annual rate of inflation as calculated by the CPI-U.

13. Garage Conversion. Any conversion of garages that precludes the parking of vehicles within the garage is prohibited. A covenant setting forth this restriction shall be recorded among the land records of Fairfax County in a form approved by the County Attorney prior to the sale of any lots and shall run to the benefit of the HOA and the Board of Supervisors. This restriction shall also be disclosed in the HOA documents. Prospective purchasers shall be advised of this use restriction, in writing, prior to entering into a contract of sale.

14. Length of Driveways. All driveways serving the residential single family units shall be a minimum of eighteen feet (18') in length as measured outward from the face of the garage door to the sidewalk.

15. Decks and Similar Appurtenances. Decks, bay windows, patios, chimneys, areaways, stairs and stoops, mechanical equipment and other similar appurtenances may encroach into minimum yards as depicted on the "lot typical" for the townhouse units and single family detached unit as shown on Sheet 3 of the GDP, as permitted by Section 2-412 and Article 10 of the Zoning Ordinance. The restrictions and limitations of this proffer shall be disclosed to purchasers prior to contract ratification and further disclosed

in the homeowners association documents. The HOA documents required by Proffer 9 above shall further stipulate that all decks be of a unified design subject to future modifications as determined by the HOA. In addition, all prospective purchasers shall be notified of the applicable County requirements as they pertain to matters of permitting and related construction requirements.

## **II. TRANSPORTATION**

16. Right-of-Way Dedication along Blake Lane. At the time of record plat recordation, or upon demand by VDOT or Fairfax County, whichever occurs first, the Applicant shall dedicate, at no cost to Fairfax County and in fee simple to the Board, the right-of-way along the site frontage of Blake Lane and any associated ancillary easements, as generally shown Sheet 15 of the GDP.

17. Frontage Improvements. Improvements to Blake Lane shall include the following: 1) the existing sidewalk along the north side of Blake Lane shall be reconstructed by the Applicant as a five foot wide sidewalk and 2) portions of the curb and gutter along the north side of Blake Lane shall be constructed as shown on Sheet 15 of the GDP. These improvements shall be constructed prior to the issuance of the first Residential Use Permit for the single family attached units.

18. Private Road. The internal private streets shall be designed in accordance with the Fairfax County Public Facilities Manual standards for private residential streets.

## **III. CONSTRUCTION**

19. Construction Access and Hours. The staging and parking of construction vehicles shall occur on the Property, including personal vehicles utilized by construction workers. No parking shall occur on adjacent roadways. The hours of initial construction

shall be posted in English and in Spanish and shall be limited to the hours between 7:00 a.m. and 9:00 p.m. Monday through Friday and 8:00 a.m. to 9:00 p.m. on Saturdays. No construction shall occur on Sundays or Federal Holidays. This shall be disclosed to all contractors and sub-contractors who perform work on the subject property during site construction.

20. Construction Management. Prior to the commencement of construction on the property, the Providence District Supervisor, the presidents or other representatives of the homeowners associations for Oakton Manor, Oakton Mains, Oakleigh, Barden Oaks, Oakton Commons, Oakton Station and the property owner of Tax Map Nos. 47-2-((7))-22, 47-2 ((1)) 65A, and 47-2-((24))-41 shall be provided with the name, title and phone number of a person to whom comments and/or complaints regarding construction activities may be directed. Such correspondence shall be sent by US Mail, return receipt requested and copies of the receipts and responses shall be made available to County Staff upon request. A sign with this information shall be posted on-site prior to the commencement of construction and shall be updated and shall be retained on the site through all construction activities. A response to the comments/complaints made shall be provided within 3 business days of receipt. If the comment is of an emergency nature it shall be addressed within the next business day.

21. Erosion & Sedimentation Controls. To ensure off-site properties are not impacted by silt of associated run-off, the Applicant shall design and implement siltation control mechanisms that shall include “super silt” fencing or similar procedures as determined by DPWES. The functioning and integrity of all erosion and sedimentation controls (E&S controls) required by DPWES shall be inspected, by the Applicant or their

designated representative, no later than the next business day following each storm event during the period of construction on-site. If the E&S controls have been damaged or breached, the E&S controls shall be repaired in accordance with the requirements of the Fairfax County Public Facilities Manual as determined by DPWES.

#### **IV. ENVIRONMENTAL**

22. Stormwater Management Facilities and Best Management Practices. The Applicant shall implement stormwater management techniques to control the quantity and quality of stormwater runoff from the Property in accordance with the Fairfax County Public Facilities Manual as reviewed and approved by DPWES. The stormwater management techniques may include but are not limited to the following: rain tanks, rain gardens, filtera systems, infiltration ditches, bay filters, storm tech chamber and drainage swales. Stormwater management facilities/Best Management Practices (“BMPs”) shall be provided as generally depicted on the GDP. Adequate outfall shall be demonstrated in accordance with the PFM as determined by DPWES.

All SWM and BMP facilities shall be properly maintained on the Property in a manner determined by DPWES. The requirements for maintaining the SWM facility shall be in a standard maintenance agreement between the County and the Applicant who is the land owner, its successor and assigns. This agreement shall be recorded in the County land records and run with the land. Should any deficiencies in the existing SWM or BMP facilities be identified by the Stormwater Management Maintenance Division during regular inspections, or when investigating a drainage complaint, then maintenance shall be performed in accordance the recorded maintenance agreement.

23. BMP Maintenance. After establishing the HOA pursuant to Proffer 8, the Applicant shall provide the HOA with written materials describing proper maintenance of the approved BMPs in accordance with County guidelines.

24. Landscaping. At the time of site plan review, the Applicant shall submit to DPWES, a landscape plan showing landscaping consistent with the quality, quantity and general location shown on the Landscape Plan on Sheet 5 and 6 of the GDP. This plan shall be subject to review and approval of Urban Forestry Management, DPWES. At the time of planting, the minimum caliper for deciduous trees shall be two and one-half (2.5) inches to three (3) inches and the minimum height for evergreen trees shall be seven (7) feet. Actual types and species of vegetation shall be determined pursuant to more detailed landscape plans approved by Urban Forest Management at the time of site plan approval. Maintenance responsibilities for the landscaping shall be disclosed in the homeowners' association documents.

25. Energy Conservation. All new dwelling units shall be designed and constructed as ENERGY STAR<sup>®</sup> qualified homes. The major features of an ENERGY STAR home include: Effective Insulation, High Performance Windows, Tight Construction and Ducts, Efficient Heating and Cooling Equipment, Efficient Products (may include but are not limited to: refrigerator, stove and dishwasher) and Third Party Verification (Home Energy Rater). Within thirty (30) days of issuance of the Residential use Permit (RUP) for each dwelling unit, documentation shall be submitted to the Environment and Development Review Branch of the Department of Planning and Zoning (DPA) from a home energy rater certified through the Residential Energy

Services network (RESNET) program that demonstrates that the dwelling unit has attained the ENERGY STAR for homes certification, as described in these conditions.

26. Lighting. On-site lighting shall be provided in accordance with that shown on sheet 2 and sheet 11 of the GDP provided such are in conformance with the Zoning Ordinance. The pole lights as shown on Sheet 17 shall use energy efficient luminaries.

## **V. TREE PRESERVATION**

27. Tree Preservation Plan. The applicant shall submit a Tree Preservation Plan and Narrative as part of the first and all subsequent submissions of the site plan review process. The preservation plan and narrative shall be prepared by a Certified Arborist or a Registered Consulting Arborist, and shall be subject to the review and approval of the Urban Forest Management Division, DPWES.

The tree preservation plan shall include a tree inventory that identifies the location, species, critical root zone, size, crown spread and condition analysis percentage rating for all individual trees to be preserved, as well as all on and off-site trees, living or dead with trunks 8 inches in diameter and greater (measured at 4 1/2 -feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) located within 25 feet of either side of the limits of clearing and grading. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of clearing and grading shown on the GDP and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in PFM 12-0506 and 12-0508. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such

as: crown pruning, root pruning along the limits of clearing (LOC), mulching, fertilization, installation of welded wire tree protection fencing and others as necessary, shall be included in the plan.

28. Neighbor Notification. At the time the Tree Preservation Plan is submitted to Fairfax County, a notice advising of the submission shall be mailed to the presidents or other representatives of the homeowners associations for Oakton Manor, Oakton Mains, Oakleigh, Barden Oaks, Oakton Commons, Oakton Station and the property owner of Tax Map Nos. 47-2-((7))-22, 47-2 ((1)) 65A, and 47-2-((24))-41.

29. Tree Preservation Walk-Through. The Applicant shall retain the services of a certified arborist or registered consulting arborist, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting as part of the tree preservation plan. During the tree preservation walk-through meeting which shall occur prior to the commencement of construction, the Applicant's certified arborist or registered consulting arborist shall walk the limits of clearing and grading with an UFMD, DPWES, representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented.

Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a

stump-grinding machine in a manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions

30. Limits of Clearing and Grading. The Applicant shall conform strictly to the limits of clearing and grading as shown on the GDP, subject to allowances specified in these proffered conditions and for the installation of utilities and/or trails as determined necessary by the Director of DPWES, as described herein. If it is determined necessary to install utilities and/or trails in areas protected by the limits of clearing and grading as shown on the GDP, they shall be located in the least disruptive manner necessary as determined by the UFMD, DPWES. A replanting plan shall be developed and implemented, subject to approval by the UFMD, DPWES, for any areas protected by the limits of clearing and grading that must be disturbed for such utilities.

31. Tree Preservation Fencing. All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fence. Tree protection fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence does not sever or wound compression roots which can lead to structural failure and/or uprooting of trees shall be erected at the limits of clearing and grading as shown on the demolition, and phase I & II erosion and sediment control sheets, as may be modified by the "Root Pruning" proffer below.

All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fencing shall be

performed under the supervision of a certified arborist, and accomplished in a manner that does not harm existing vegetation that is to be preserved. Three (3) days prior to the commencement of any clearing, grading or demolition activities, but subsequent to the installation of the tree protection devices, the UFMD, DPWES, shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by the UFMD, DPWES.

32. Root Pruning. The Applicant shall root prune after the tree preservation walk-through, as needed to comply with the tree preservation requirements of these proffers. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the site plan submission. The details for these treatments shall be reviewed and approved by the UFMD, DPWES, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:

- Root pruning shall be done with a trencher or vibratory plow to a depth of 18 inches.
- Root pruning shall take place prior to any clearing and grading, or demolition of structures.
- Root pruning shall be conducted with the supervision of a certified arborist.
- An UFMD, DPWES, representative shall be informed when all root pruning and tree protection fence installation is complete.

33. Site Monitoring. During any clearing or tree/vegetation/structure removal on the Applicant Property, a representative of the Applicant shall be present to monitor the

process and ensure that the activities are conducted as proffered and as approved by the UFMD. The Applicant shall retain the services of a certified arborist or registered consulting arborist to monitor all construction and demolition work and tree preservation efforts in order to ensure conformance with all tree preservation proffers, and UFMD approvals. The monitoring schedule shall be described and detailed in the Landscaping and Tree Preservation Plan, and reviewed and approved by the UFMD, DPWES.

34. Tree Appraisal. The Applicant shall retain a professional arborist with experience in plant appraisal, to determine the replacement value of all trees 8 inches in diameter or greater located on the Application Property that are shown to be saved on the Tree Preservation Plan. These trees and their value shall be identified on the Tree Preservation Plan at the time of the first submission of the respective site plan(s). The replacement value shall take into consideration the age, size and condition of these trees and shall be determined by the so-called "Trunk Formula Method" contained in the latest edition of the Guide for Plan Appraisal published by the International Society of Arboriculture, subject to review and approval by UFMD.

At the time of the respective site plan approvals, the Applicant shall post a cash bond or a letter of credit payable to the County of Fairfax to ensure preservation and/or replacement of the trees for which a tree value has been determined in accordance with the paragraph above (the "Bonded Trees") that die or are dying due to unauthorized construction activities. The letter of credit or cash deposit shall be equal to 50% of the replacement value of the Bonded Trees. At any time prior to final bond release for the improvements on the Application Property constructed adjacent to the respective tree save areas, should any Bonded Trees die, be removed, or are determined to be dying by

UFMD due to unauthorized construction activities, the Applicant shall replace such trees at its expense. The replacement trees shall be of equivalent size, species and/or canopy cover as approved by UFMD. In addition to this replacement obligation, the Applicant shall also make a payment equal to the value of any Bonded Tree that is dead or dying or improperly removed due to unauthorized construction activity. This payment shall be determined based on the Trunk Formula Method and paid to a fund established by the County for furtherance of tree preservation objectives. Upon release of the bond for the improvements on the Application Property constructed adjacent to the respective tree save areas, any amount remaining in the tree bonds required by this proffer shall be returned/released to the Applicant.

## **VI. RECREATION**

35. Park Authority Contributions: The Applicant shall contribute \$78,000 to the Board of Supervisors for transfer to the Fairfax County Park Authority, prior to the issuance of the first single family attached home RUP on the Property, for use at off-site recreational facilities intended to serve the future residents, as determined by FCPA in consultation with the Supervisor for the Providence District.

36. Park Space. The area identified as “Open Lawn Area” on sheet 2 of the GDP may be programmed with recreational amenities at the discretion of the homeowners association. The recreational amenities may include but are not limited to: additional landscaping, playground equipment, benches and street furniture.

## **VII. OTHER**

37. Temporary Signage. No temporary signs (including “popsicle” style paper or cardboard signs) which are prohibited by Article 12 of the Zoning Ordinance, and no

signs which are prohibited by Chapter 7 of Title 33.1 or Chapter 8 of Title 46.2 of the Code of Virginia shall be placed on or off-site by the Applicant or at the Applicant's direction to assist in the initial marketing and sale of homes on the subject Property. Furthermore, the Applicant shall direct its agents and employees involved in marketing and/or sale of residential units on the subject Property to adhere to this proffer.

38. School Contribution. A contribution of \$113,000 shall be made to the Board of Supervisors for transfer to FCPS and designated for capital improvements for schools serving the subject property. The contribution shall be made at the time of, or prior to, issuance of the first Building Permit for the approved single family attached units.

39. Affordable Dwelling Units. Prior to the issuance of the first Building Permit for the single family attached units, the Applicant shall contribute to the Fairfax County Housing Trust Fund the sum equal to one half of one percent (1/2 %) of the value of all the units approved on the property. The one half of one percent (1/2 %) contribution shall be based on the aggregate sales price of all of the units subject to the contribution, as if those units were sold at the time of the issuance of the first Building Permit. The projected sales price shall be determined by the Applicant through an evaluation of the sales prices of comparable units in the area, in consultation with the Fairfax County Department of Housing and Community Development (HCD) and DPWES.

40. Universal Design. At the time of initial purchase, the following Universal Design options shall be offered to each purchaser at no additional cost: clear knee space under sink in kitchen, lever door handles instead of knobs, light switches 44"-48" high, thermostats a maximum of 48" high, and/or electrical outlets a minimum of 18" high.

At the time of initial purchase, additional Universal Design options shall be offered to each purchaser at the purchaser's sole cost. These additional options may include, but not be limited to, one no-step pathway into the house, 36-inch-wide doorways and/or zero-threshold doorways.

41. Archaeological Studies. As a result of the Phase I archeological study already conducted on the property, site #44FX3032 was identified as a site to be subject to Phase II archeological testing. Prior to any land disturbing activities on the Property, the Applicant shall conduct a Phase II archaeological study on the area labeled "Limits of Archeological Study Area" as identified on Sheet 2 of the GDP. The results of the study shall be provided to the Cultural Resources Management and Protection Section of the Fairfax County Park Authority (CRMPS). The study shall be conducted by a qualified archaeological professional. If the Phase II study concludes that additional Phase III evaluation and/or recovery is warranted, the Applicant shall also complete said work in consultation and coordination with (CRMPS); however, any such Phase III work shall not be a pre-condition of Site Plan approval or recordation of the same.

42. Nottoway Nights. The Applicant shall contribute \$2,000 to the Nottoway Concert Series prior to the issuance of the first single family attached RUP.

43. Successors and Assigns. Each reference to "Applicant" in this Proffer Statement shall include within its meaning, and shall be binding upon, Applicant's successor(s) in interest, assigns, and/or developer(s) of the Property or any portion of the Property.

Neighborhoods VI, LLC

(Owner of Tax Map No. 47-2-((1))-66, 67A and 70A)

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

\18482778.3

REZONING AFFIDAVIT

DATE: DEC 20 2010  
 (enter date affidavit is notarized)

I, Lisa M. Chiblow, do hereby state that I am an  
 (enter name of applicant or authorized agent)

(check one)       applicant  
                           applicant's authorized agent listed in Par. 1(a) below

109390a

in Application No.(s): RZ 2010-PR-010  
 (enter County-assigned application number(s), e.g. RZ 88-V-001)

and that, to the best of my knowledge and belief, the following information is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,\* and, if any of the foregoing is a **TRUSTEE,\*\*** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

| NAME<br>(enter first name, middle initial, and last name)   | ADDRESS<br>(enter number, street, city, state, and zip code) | RELATIONSHIP(S)<br>(enter applicable relationships listed in <b>BOLD</b> above) |
|---|--|---|
| Neighborhoods VI, LLC<br>Agent: Truett J. Young<br>Christopher W. Spahr<br>David W. Duggar<br>Stuart M. Ginsberg<br>Steven B. Alloy<br>Martin K. Alloy<br>Jarod D. Blaney | 11111 Sunset Hills Road, Suite 200<br>Reston, VA 20190       | Applicant/Title Owner of Tax Map No. 47-2 ((1)) 66, 67A, 70A                    |
| The BC Consultants, Inc.<br>Agent: Dennis D. Dixon<br>Peter L. Rinek  | 12600 Fair Lakes Circle, Suite 100<br>Fairfax, VA 22033      | Engineer/Agent  |

(check if applicable)       There are more relationships to be listed and Par. 1(a) is continued on a "Rezoning Attachment to Par. 1(a)" form.

\* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.  
 \*\* List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

**Rezoning Attachment to Par. 1(a)**

DATE: DEC 20 2010  
(enter date affidavit is notarized)

1093902

for Application No. (s): RZ 2010-PR-010  
(enter County-assigned application number (s))

**(NOTE):** All relationships to the application are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.

| <b>NAME</b><br>(enter first name, middle initial, and last name)   | <b>ADDRESS</b><br>(enter number, street, city, state, and zip code) | <b>RELATIONSHIP(S)</b><br>(enter applicable relationships listed in <b>BOLD</b> above)  |
|--|---|---|
| McGuireWoods LLP<br>Agents: Scott E. Adams<br>Carson Lee Fifer, Jr.<br>David R. Gill<br>Jonathan P. Rak<br>Gregory A. Riegler<br>Mark M. Viani<br>Kenneth W. Wire<br>Sheri L. Akin, formerly<br>Sheri L. Hoy<br>Lisa M. Chiblow<br>Lori R. Greenlief | 1750 Tysons Boulevard, Suite 1800<br>McLean, VA 22102               | Attorney/Agent<br>Attorney/Agent<br>Attorney/Agent<br>Attorney/Agent<br>Attorney/Agent<br>Attorney/Agent<br>Attorney/Agent<br>Planner/Agent<br><br>Planner/Agent<br>Planner/Agent |

(check if applicable)

There are more relationships to be listed and Par. 1(a) is continued further on a "Rezoning Attachment to Par. 1(a)" form.

REZONING AFFIDAVIT

DATE: DEC 20 2010
(enter date affidavit is notarized)

109390a

for Application No. (s): RZ 2010-PR-010
(enter County-assigned application number(s))

1(b). The following constitutes a listing\*\*\* of the SHAREHOLDERS of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders, and if the corporation is an owner of the subject land, all of the OFFICERS and DIRECTORS of such corporation:

(NOTE: Include SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Neighborhoods VI, LLC
11111 Sunset Hills Road, Suite 200
Reston, VA 20190

DESCRIPTION OF CORPORATION: (check one statement)

- [X] There are 10 or less shareholders, and all of the shareholders are listed below.
[ ] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[ ] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF SHAREHOLDERS: (enter first name, middle initial, and last name)

Neighborhoods Capital, LLC, sole member

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice President, Secretary, Treasurer, etc.)

Martin K. Alloy, Manager/Chairman/Treas. Steven B. Alloy, Manager/Pres. David W. Duggar, VP of Operations
Gordon B. Thomas Jr., VP-Southern MD Division Stuart M. Ginsberg, VP/Gen.Counsel/Secty. Lauri D. Payson, VP of Marketing
Michael J. Cleary, VP of Production Frederick S. Hetzel, VP of Land Acquisition Jarod D. Blaney, Controller

(check if applicable) [X] There is more corporation information and Par. 1(b) is continued on a "Rezoning Attachment 1(b)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

**Rezoning Attachment to Par. 1(b)**

DATE: DEC 20 2010  
(enter date affidavit is notarized)

109 390 a

for Application No. (s): RZ 2010-PR-010  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Neighborhoods Capital, LLC  
11111 Sunset Hills Road, Suite 200  
Reston, VA 20190

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDER:** (enter first name, middle initial, and last name)

Stanley-Martin Communities LLC, sole member

=====

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

|   |   |                                   |
|---|---|-----------------------------------|
| Martin K. Alloy, Manager/Chairman/Treas.      | Steven B. Alloy, Manager/Pres.              | David W. Duggar, VP of Operations |
| Gordon B. Thomas Jr., VP-Southern MD Division | Stuart M. Ginsberg, VP/Gen.Counsel/Secty.   | Lauri D. Payson, VP of Marketing  |
| Michael J. Cleary, VP of Production           | Frederick S. Hetzel, VP of Land Acquisition | Jarod D. Blaney, Controller       |

=====

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

The BC Consultants, Inc.  
12600 Fair Lakes Circle, Suite 100  
Fairfax, VA 22033

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

James H. Scanlon

=====

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

**Rezoning Attachment to Par. 1(b)**

DATE: DEC 20 2010  
(enter date affidavit is notarized)

109390a

for Application No. (s): RZ 2010-PR-010  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Stanley-Martin Communities LLC  
11111 Sunset Hills Road, Suite 200  
Reston, VA 20190

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDER:** (enter first name, middle initial, and last name)

Neighborhood Holdings LLC  
Clifton-Alloy Investments LLC  
BlackRock High Income Fund  
R3 Capital Partners Master L.P.

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Neighborhood Holdings LLC  
11111 Sunset Hills Road, Suite 200  
Reston, VA 20190

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Steven B. Alloy  
Martin K. Alloy

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

**Rezoning Attachment to Par. 1(b)**

DATE: DEC 20 2010  
(enter date affidavit is notarized)

109390a

for Application No. (s): RZ 2010-PR-010  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)  
Clifton-Alloy Investments LLC  
11111 Sunset Hills Road, Suite 200  
Reston, VA 20190

**DESCRIPTION OF CORPORATION:** (check one statement)  
 There are 10 or less shareholders, and all of the shareholders are listed below.  
 There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.  
 There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDER:** (enter first name, middle initial, and last name)

Daris M. Clifton  
Martin K. Alloy

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)  
BlackRock High Income Fund  
100 Bellevue Parkway  
Wilmington, DE 19809

**DESCRIPTION OF CORPORATION:** (check one statement)  
 There are 10 or less shareholders, and all of the shareholders are listed below.  
 There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.  
 There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

Directors: Robert M. Herndandez, Chair; Fred G. Weiss, Vice Chair; James H. Bodurtha; Bruce R. Bond; Donald W. Burton; Richard S. Davis; Stuart E. Eizenstat; Laurence D. Fink; Kenneth A. Froot; Henry Gabbay; John F. O'Brien; Roberta Cooper Ramo; David H. Walsh; Richard R. West, Audit Committee Member Officers: Anne Ackerley, President/CEO; Jeffrey Holland, VP; Brendan Kyne, VP; Brian Schmidt, VP; Neal Andrews, CFO; Jay Fife, Treasurer; Brian Kindelan, CCO; Howard Surloff, Secretary

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

**Rezoning Attachment to Par. 1(b)**

DATE: DEC 20 2010  
(enter date affidavit is notarized)

109390a

for Application No. (s): RZ 2010-PR-010  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

BlackRock Investment Management, LLC  
111 Eight Avenue  
New York, NY 10011

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDER:** (enter first name, middle initial, and last name)

BlackRock Inc., sole managing member

=====

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g.

**President, Vice-President, Secretary, Treasurer, etc.)**

Directors: Laurence D. Fink, Chairman/CEO; Anne Marie Petach, Managing Director/CFO; Joseph Feliciani, Jr., Managing Director/CAO; Abdlatif Y. Al-Hamad; Mathis Cabiallavetta; Dennis D. Dammerman; William S. Demchak; Robert E. Diamond, Jr.; Kenneth B. Dunn; Murry S. Gerber; James Grosfeld; Robert S. Kapito; David H. Komansky; Sallie L. Krawcheck

=====

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

BlackRock Inc.  
55 East 52nd Street  
New York, NY 10055

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

=====

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g.

**President, Vice-President, Secretary, Treasurer, etc.)**

Directors: Laurence D. Fink, Chairman/CEO; Anne Marie Petach, Managing Director/CFO; Joseph Feliciani, Jr., Managing Director/CAO; Abdlatif Y. Al-Hamad; Mathis Cabiallavetta; Dennis D. Dammerman; William S. Demchak; Robert E. Diamond, Jr.; Kenneth B. Dunn; Murry S. Gerber; James Grosfeld; Robert S. Kapito; David H. Komansky; Sallie L. Krawcheck

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

REZONING AFFIDAVIT

DATE: DEC 20 2010 (enter date affidavit is notarized)

109 390

for Application No. (s): RZ 2010-PR-010 (enter County-assigned application number(s))

1(c). The following constitutes a listing\*\*\* of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state and zip code)

McGuireWoods LLP
1750 Tysons Boulevard, Suite 1800
McLean, VA 22102

(check if applicable) [X] The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. General Partner, Limited Partner, or General and Limited Partner)

Equity Partners of McGuireWoods LLP

- List of equity partners including Alphonso Gordon R., Anderson Arthur E., Beil Marshall H., Belcher Dennis I., Buchan Jonathan E., Busch Stephen D., etc.

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued on a "Rezoning Attachment to Par. 1(c)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock.

Rezoning Attachment to Par. 1(c)

DATE: DEC 20 2010  
(enter date affidavit is notarized)

1093902

for Application No. (s): RZ 2010-PR-010  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

McGuireWoods LLP  
1750 Tysons Boulevard, Suite 1800  
McLean, VA 22102

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g., **General Partner, Limited Partner, or General and Limited Partner**)

- |                               |                           |                            |
|-------------------------------|---------------------------|----------------------------|
| Covington, Peter J.           | Goldstein, Philip (nmi)   | Krueger, Kurt J.           |
| Cramer, Robert W.             | Grant, Richard S.         | Kutrow, Bradley R.         |
| Cromwell, Richard J.          | Greenberg, Richard T.     | La Fratta, Mark J.         |
| Culbertson, Craig R.          | Grieb, John T.            | Lias-Booker, Ava E.        |
| Cullen, Richard (nmi)         | Harmon, Jonathan P.       | Lieberman, Richard E.      |
| de Cannart d'Hamale, Emmanuel | Harmon, T. C.             | Little, Nancy R.           |
| De Ridder, Patrick A.         | Hartsell, David L.        | Long, William M.           |
| Dickerman, Dorothea W.        | Hayden, Patrick L.        | Manning, Amy B.            |
| DiMattia, Michael J.          | Hayes, Dion W.            | Marianes, William B.       |
| Dooley, Kathleen H.           | Heberton, George H.       | Marks, Robert G.           |
| Dorman, Keith A.              | Horne, Patrick T.         | Marshall, Gary S.          |
| Downing, Scott P.             | Hosmer, Patricia F.       | Marshall, Harrison L., Jr. |
| Edwards, Elizabeth F.         | Hutson, Benne C.          | Marsico, Leonard J.        |
| Ensing, Donald A.             | Isaf, Fred T.             | Martin, Cecil E., III      |
| Ey, Douglas W., Jr.           | Jackson, J. B.            | Martin, George K.          |
| Feller, Howard (nmi)          | Jarashow, Richard L.      | Martinez, Peter W.         |
| Fennebresque, John C.         | Johnston, Barbara C.      | Mason, Richard J.          |
| Foley, Douglas M.             | Kanazawa, Sidney K.       | Mathews, Eugene E., III    |
| Fox, Charles D., IV           | Kannensohn, Kimberly J.   | Mayberry, William C.       |
| France, Bonnie M.             | Katsantonis, Joanne (nmi) | McCallum, Steven C.        |
| Freedlander, Mark E.          | Keenan, Mark L.           | McDonald, John G.          |
| Freeman, Jeremy D.            | Kennedy, Wade M.          | McElligott, James P.       |
| Fuhr, Joy C.                  | Kilpatrick, Gregory R.    | McFarland, Robert W.       |
| Gibson, Donald J., Jr.        | King, Donald E.           | McIntyre, Charles W.       |
| Glassman, Margaret M.         | King, Sally D.            | McLean, J. D.              |
| Glickson, Scott L.            | Kittrell, Steven D.       | McRill, Emery B.           |
| Gold, Stephen (nmi)           | Kratz, Timothy H.         | Muckenfuss, Robert A.      |

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

Rezoning Attachment to Par. 1(c)

DATE: DEC 20 2010  
(enter date affidavit is notarized)

109390a

for Application No. (s): RZ 2010-PR-010  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

McGuireWoods LLP  
1750 Tysons Boulevard, Suite 1800  
McLean, VA 22102

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g., **General Partner, Limited Partner, or General and Limited Partner**)

Muir, Arthur B.  
Murphy, Sean F.  
Neale, James F.  
Nesbit, Christopher S.  
O'Grady, Clive R.  
O'Grady, John B.  
O'Hare, James P.  
Oakey, David N.  
Oostdyk, Scott C.  
Padgett, John D.  
Pankey, David H.  
Parker, Brian K.  
Phears, H. W.  
Plotkin, Robert S.  
Potts, William F., Jr.  
Pryor, Robert H.  
Pusateri, David P.  
Rak, Jonathan P.  
Rakison, Robert B.  
Reid, Joseph K., III  
Richardson, David L.  
Riegle, Gregory A.  
Riley, James B., Jr.  
Riopelle, Brian C.

Roberts, Manley W.  
Robinson, Stephen W.  
Rogers, Marvin L.  
Rohman, Thomas P.  
Rosen, Gregg M.  
Rust, Dana L.  
Satterwhite, Rodney A.  
Scheurer, P. C.  
Schewel, Michael J.  
Schill, Gilbert E., Jr.  
Schmidt, Gordon W.  
Sellers, Jane W.  
Shelley, Patrick M.  
Simmons, L. D., II  
Simmons, Robert W.  
Skinner, Halcyon E.  
Slone, Daniel K.  
Spahn, Thomas E.  
Spitz, Joel H.  
Stallings, Thomas J.  
Steen, Bruce M.  
Stein, Marta A.  
Stone, Jacquelyn E.  
Swan, David I.

Tackley, Michael O.  
Tarry, Samuel L., Jr.  
Thornhill, James A.  
Van der Mersch, Xavier G.  
Vaughn, Scott P.  
Vick, Howard C., Jr.  
Viola, Richard W.  
Wade, H. L., Jr.  
Walker, John T., IV  
Walsh, James H.  
Watts, Stephen H., II  
Werlin, Leslie M.  
Westwood, Scott E.  
Whelpley, David B., Jr.  
White, H. R., III  
White, Walter H., Jr.  
Wilburn, John D.  
Williams, Steven R.  
Wilson, Ernest G.  
Wilson, James M.  
Wren, Elizabeth G.  
Young, Kevin J.  
Younger, W. C.

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

**Rezoning Attachment to Par. 1(c)**

**DEC 20 2010**

DATE: \_\_\_\_\_  
(enter date affidavit is notarized)

109390a

for Application No. (s): RZ 2010-PR-010  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

R3 Capital Partners Master L.P.  
1271 Avenue of the Americas  
New York, NY 10020

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g., **General Partner, Limited Partner, or General and Limited Partner**)

General Partner:

BlackRock Investment Management, LLC

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

REZONING AFFIDAVIT

DATE: DEC 20 2010  
(enter date affidavit is notarized)

109390a

for Application No. (s): RZ 2010-PR-010  
(enter County-assigned application number(s))

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land.

2. That no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

**EXCEPT AS FOLLOWS:** (**NOTE:** If answer is none, enter "NONE" on the line below.)

NONE

(check if applicable)  There are more interests to be listed and Par. 2 is continued on a "Rezoning Attachment to Par. 2" form.

REZONING AFFIDAVIT

DATE: DEC 20 2010  
(enter date affidavit is notarized)

109 340a

for Application No. (s): RZ 2010-PR-010  
(enter County-assigned application number(s))

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

Carson Lee Fifer, Jr. of McGuireWoods LLP donated in excess of \$100 to Sharon Bulova.  
Jonathan P. Rak of McGuireWoods LLP donated in excess of \$100 to Sharon Bulova.  
Gregory A. Riegle of McGuireWoods LLP donated in excess of \$100 to Sharon Bulova.

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [ ] There are more disclosures to be listed and Par. 3 is continued on a "Rezoning Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one)

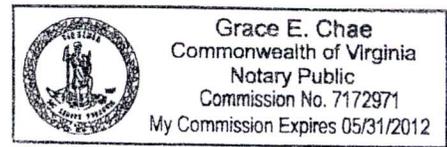
[ ] Applicant [x] Applicant's Authorized Agent

Lisa M. Chiblow, Land Use Planner  
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 20th day of December 2010, in the State/Comm. of Virginia, County/City of Fairfax.

Grace E. Chae  
Notary Public

My commission expires: 5/31/2012



## NARRATIVE STATEMENT OF JUSTIFICATION

for

### Blake Lane

#### Rezoning Application

Tax Map # 47-2-((1))-66, 67A, 70A

Revised January 4, 2011

#### Introduction and Overview

The subject application is filed on behalf of Neighborhoods VI, LLC (the "Applicant"). The application requests to rezone approximately 7.435 acres of property (the "Property") from the R-2 Zoning District to the R-5 Zoning District. The Property will house 35 new single family attached townhouses and one single family detached unit. The density will be 4.84 dwelling units per acre. The Property consists of Tax Map #47-2-((1))-66, 67A, 70A. It is located along the east side of Blake Lane, south of Route 123 in Oakton, Virginia.

#### Background

A Special Exception to permit 122 independent living units in addition to the existing single family detached unit on the subject Property was approved by the Board of Supervisors on June 26, 2006 as SE 2005-PR-009. This approval remains valid as a development option for the Property today. In comparison to the independent living approval option, the current rezoning proposal for 35 townhouses and one single family detached residence will result in the following: less density resulting in fewer people residing on the property, less daily traffic, lower building heights, greater building setbacks and less visual building mass from Blake Lane.

#### Compliance with Comprehensive Plan

The Property is in the Mosby Woods Community Plan Sector (F3). The majority of the Property is planned for residential development between 4-5 dwelling units per acre. A small fraction (0.349 acres) of the Property is planned for residential development between 2-3 dwelling units per acre. The proposed density of 4.8 dwelling units per acre is below the collective maximum density range recommended in the Comprehensive Plan.

#### Compliance with Residential Development Criteria

For the reasons stated below, the subject rezoning fully complies with the applicable Residential Development Criteria contained in Appendix 9 of the Land Use Element of the Policy Plan. Specific compliance with the Criteria is as follows:

I. Site Design.

As shown on the Generalized Development Plan (GDP), high quality site design is proposed. Features of the development include an efficient layout and unit type consistent with the fabric of the surrounding community.

(A) Layout. The proposed layout provides efficient and logical relationships within the development as well as with the adjoining developments. The lots are designed to allow for usable rear yards for the future homeowners. In addition there is a conveniently located open space recreation area. The common open space will be maintained by the community Home Owner's Association (HOA). The view from Blake lane will be of two high quality townhouse side yards and a single family dwelling.

(B) Open Space. There is a common, accessible and well-integrated open space area located along the Property frontage. In addition, there is usable open space area along the northeast corner of the property in the vicinity of the stormwater management area.

(C) Landscaping. Extensive landscaping is provided along the Property frontage along Blake Lane. In addition, existing vegetation is being preserved along the northern Property boundary and eastern Property boundary to serve as a buffer to the neighboring residences.

(D) Amenities. In addition to the extensive open space, the Applicant will commit to sidewalk improvements along Blake Lane. The open space area along the Property frontage may be programmed in the future based on the residents' preferences.

II. Neighborhood Context.

The predominant context of the surrounding developments is characterized by townhouses along the south side of Blake Lane, townhouses to the north of the subject Property and single family detached houses to the northeast and east. The only non-residential property is directly west of the subject Property. In the context of this Property, this use is clearly consistent with the "fabric" of the existing community.

III. Environment.

The proposed lot layout is designed to duplicate to the limits of clearing and grading associated with the last land use approval on the subject property which was for an independent living facility (SE 2005-PR-009). The limits of clearing and grading take into consideration the existing mature trees on the site.

To address the volume and velocity of stormwater runoff from the proposed development, an innovative storm water management technology consisting of recycled plastic cubes is being proposed. The SWM Facilities are designed to reduce the post-development peak flows from the Property to less than the current, pre-development peak flows. An advantage of this system over the traditional dry pond is that once the system is in place, the area can be covered in top soil, seeded and used as recreational space for the homeowners.

IV. Tree Preservation and Tree Cover Requirements. The tree cover is being preserved to the extent possible along the periphery of the Property. In addition, where possible, trees will be preserved around the proposed home sites.

V. Transportation. The traffic to be generated by this proposal will be minimal. It will not trigger the requirement for a Chapter 527 Traffic Impact Analysis study. An ingress/egress easement will be granted over the private drive to allow access by public safety vehicles

VI. Public Facilities

Through proffers, the Applicant will commit to addressing impacts on public schools in accordance with the criteria and methodology adopted by the Board of Supervisors.

VII. Affordable Housing.

Through proffers, the Applicant will provide the appropriate monetary contribution in accordance with the formula adopted by the Board of Supervisors.

Conclusion

The proposed development is consistent with the current Comprehensive Plan recommendations and shall comply with all ordinances, regulations and adopted standards of Fairfax County. For all of the aforementioned reasons, the Applicant respectfully requests the Staff and Planning Commission to endorse, and the Board of Supervisors to approve this rezoning request.

Respectfully submitted by



Lisa M. Chiblow  
McGuireWoods LLP  
Agent for Applicant

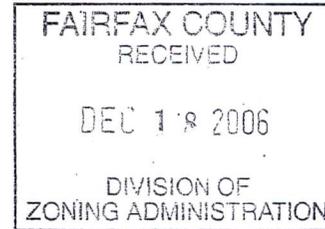


# County of Fairfax, Virginia

*To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County*

December 6, 2006

Gregory A. Riegle, Esquire  
 McGuire Woods, L.L.P.  
 1750 Tysons Boulevard, Suite 1800  
 McLean, Virginia 22102-4215



Re: **(AMENDED LETTER: REVISED CONDITIONS)** Special Exception Application  
 Number SE 2005-PR-009

Dear Mr. Riegle:

At a regular meeting of the Board of Supervisors held on June 26, 2006, the Board approved Special Exception Application Number SE 2005-PR-009 in the name of Sunrise Assisted Living Limited Partnership located at 10300 and 10322 Blake Lane (Tax Map 47-2 ((1)) 66, 67A, and 70A) to permit an independent living facility pursuant to Section 9-301 (4) of the Fairfax County Zoning Ordinance, by requiring conformance with the following development conditions:

1. This Special Exception is granted for and runs with the land indicated in this application and is not transferable to other land.
2. This Special Exception is granted only for the purpose(s), structure(s) and/or use(s) indicated on the special exception plat approved with the application, as qualified by these development conditions.
3. This Special Exception is subject to the provisions of Article 17, Site Plans, as may be determined by DPWES. Any plan submitted pursuant to this Special Exception shall be in substantial conformance with the approved Special Exception Plat entitled "Oakton Condominiums for Life" prepared by BC Consultants and dated February 17, 2005, revised to June 15, 2006 and these conditions. Minor modifications to the approved Special Exception may be permitted pursuant to Par. 4 of Sect. 9-004 of the Zoning Ordinance.
4. Right-of-Way along Blake Lane, generally to thirty (30) feet from centerline and as shown on the Special Exception Plat, shall be dedicated and conveyed in fee simple to the Board of Supervisors. Such dedication shall occur at the time of site plan approval for the property or upon demand by Fairfax County, whichever occurs first.
5. The existing sidewalk along Blake Lane shall be reconstructed as a five foot wide sidewalk. The asphalt pathway around the site shall be a minimum of five feet wide to accommodate wheelchairs.

Office of Clerk to the Board of Supervisors  
 12000 Government Center Parkway, Suite 533  
 Fairfax, Virginia 22035

Phone: 703-324-3151 ♦ Fax: 703-324-3926 ♦ TTY: 703-324-3903  
 Email: [clerktothebos@fairfaxcounty.gov](mailto:clerktothebos@fairfaxcounty.gov)  
<http://www.fairfaxcounty.gov/bosclerk>

6. Vehicular access shall be via the private entrances as shown on the Special Exception (SE) Plat.
7. Subject to approval by DPWES, the surface parking area and entry drop off area shall be constructed with porous paving materials as shown on the SE Plat. In addition, the color of the on-site site sidewalk and pedestrian crossing areas shall contrast the primary parking area color.
8. If units are sold, written notification shall be provided to all initial purchasers specifying that the Condominium Owners' Association will be responsible for the maintenance of the private roads and the stormwater management facilities on the site prior to entering into a contract of sale. These maintenance responsibilities shall also be disclosed within the Condominium Owners' Association documents.
9. Prior to site plan approval, the Applicant shall submit a traffic signal warrant analysis for the intersection of Blake Lane and Route 123 to VDOT for its review and approval. The warrant study shall include build out of the subject site. If determined warranted by VDOT, the Applicant shall design and install the required signal including pedestrian heads prior to the issuance of the first Residential Use Permit for the main building. If the signal is not warranted prior to bond release for this project, an amount not to exceed \$150,000 shall be escrowed for the future installation of the signal. If the signal is not warranted and installed within three (3) years after final bond release, the escrowed sum may be used for other transportation projects within the Providence District as directed by the Fairfax County Department of Transportation in consultation with the District Supervisor.
10. The maximum number of independent living units shall not exceed 121, including the existing single family detached dwelling on Parcel 66. The independent living facility shall be occupied only by: (1) individuals 62 years of age or older or couples where the husband or wife is 62 years of age or older or (2) persons with disabilities, as defined in the Federal Fair Housing Act Amendments of 1988, who are eighteen (18) years of age or older and with a spouse. Anyone who qualifies to reside in the independent living facility under the restrictions described above may have a live-in caregiver(s). These restrictions shall also apply to the single family dwelling unit being retained on site and shall be incorporated into the association documents that will govern this property. The units may be for sale units or rental units.
11. The existing single family detached dwelling unit is proposed to be retained at this time and shall be occupied by either persons meeting the age restrictions set for in Condition Number 10 above or staff of the independent living facility. This dwelling unit may be demolished in the future and that area of the site turned into landscaped open space without amending this special exception.
12. Each independent living unit shall meet the definition of a dwelling unit per the Zoning Ordinance and shall include a kitchen. The units shall be constructed in accordance with Americans with Disabilities Act (ADA) and Federal Housing Act (FHA) requirements for housing for seniors. All public areas and public doorways shall be wheelchair accessible. All resident units shall be FHA adaptable and have lever hardware, doorways wide enough for wheelchairs, low profile thresholds, emergency call system wiring, large print unit identification system, non-glare lighting and structural blocking within the unit

bathrooms to accommodate ready conversion to an accessible unit. The initial purchaser and/or resident shall have the option to include accessible features within the unit such as railings, grab bars, accessible kitchen and bathroom features.

13. The architectural design of the buildings shall be in substantial conformance with the style and character of the building elevations depicted on Sheets 11 through 14 of the SE Plat. The building exterior shall be a combination of materials which shall include applied stone and/or clay masonry veneers, cementitious siding/ shakes/trim, and vinyl or cementitious trim. The visible pitched roof shall have either fiberglass shingles or standing seam metal roofing at accent areas on the roof or low porch roof areas. As shown on the Northeast Corner Perspective and the East Elevation contained on Sheet 11, the elevation of the slab on top of the third floor at the northeast corner of the proposed building is to be no more than 429 feet above sea level with northern and eastern faces of the fourth floor in that corner of the building set back from the corresponding faces of the third floor as shown in the Northeast Corner Perspective. A railing may be placed at the outside edge of the setback.
14. The lighting for the property shall be residential in character and shall include coach style pole mounted light fixtures as shown on page 17 of the SE Plat.
15. This facility shall include elevators. The maximum building height and number of stories shall be as shown on the SE Plat for each wing.
16. A shuttle service for residents shall be provided for trips to, such as but not limited to, shopping, health care visits, social events and to transit facilities (the Vienna/Fairfax Metrorail station). Employees may use the shuttle for transit facility shuttle services. The scheduling and frequency of trips shall be based on resident and employee needs and as required to meet the TDM goals outlined below.
17. A common area of a minimum of 13,000 square feet shall be provided which shall include space for social programs and a dining area. All common areas shall be wheelchair accessible through features such as, but not limited, to low pile carpeting, low profile thresholds, lever door hardware and non-glare lighting. Bathrooms that serve the common areas shall be fully accessible.
18. On-site services and activities shall include but are not limited to: on-site staff to provide security and concierge services, meal service, on-site activity programs such as fitness and exercise classes, guest speakers, games and crafts. All facilities of the development shall be solely for the use of the residents, employees and invited guests, but not for the general public.
19. 15.7 percent of the total number of dwelling units constructed shall be affordable dwelling units (ADUs) (i.e. 121 total units would result in 19 ADU's) in accordance with Sect. 9-301 (6) and Part 8 of Article 2 of the Zoning Ordinance.
20. In order to reduce the maximum interior noise to a level of approximately 45 dBA Ldn, the units that face onto Blake Lane shall employ the following acoustical measures:
  - Exterior wall shall have a laboratory Sound Transmission Class (STC) rating of at least 39.

- Doors and windows shall have a laboratory STC rating of at least 28. Low E insulated glazing will be provided.
- Measures to seal and caulk between surfaces shall follow methods approved by the American Society for Testing and Materials to minimize sound transmission.

The affected units shall be labeled on the site plan and so noted on the plans submitted with the building permit. These requirements shall not apply to the existing single family dwelling on the property.

21. To reduce noise within the "Front Patio/Service Area" in the front of the building, the fence enclosing this area shall be solid from the ground up and six feet in height. A gate may be allowed to provide service and emergency access.
22. The dumpster shall be enclosed and screened by screening material that is the same as and/or be compatible with the primary structure as determined by DPWES.
23. A landscape plan shall be submitted as part of the first and all subsequent submissions of the site plan and shall be coordinated with and approved by Urban Forest Management, DPWES. This plan shall be in substantial conformance with the landscape concepts plan as to quantity and quality of plantings, and in substantial conformance with the location of plantings as shown on the Special Exception Plat, sheet 3 and these development conditions.
24. Additional landscaping shall be provided along the Blake Lane side of the parking areas and travel aisles so as to screen the lower portion of the vehicles from Blake Lane. This landscaping shall consist of a combination of a low hedge and/or shrubbery in addition to the landscaping shown on the SE Landscape Plan (sheet 3) to the satisfaction of Urban Forest Management. Street trees along Blake Lane shall be planted at the earliest possible date as determined by UFM based on the completion of site work, utility infrastructure and accepted horticultural practices.
25. The limits of clearing and grading along the northern boundary of Parcel 70A shall be adjusted to ensure the survival of the trees located off-site subject to the approval of Urban Forest Management.
26. The limits of clearing and grading along the northeastern boundary of Parcel 66 shall be adjusted to ensure the survival of the white oak trees located in that area of the site (identified as trees 25, 26 and 27) as determined by Urban Forest Management.
27. The applicant shall conform strictly to the limits of clearing and grading as shown on the SE Plat subject to the installation of utilities and/or trails as determined necessary by the Director of the Fairfax County Department of Public Works and Environmental Services. If it is determined necessary to install utilities and/or trails within the area to be protected by the limits of clearing and grading as shown on the SE Plat, they shall be located in the least disruptive manner necessary as determined by Urban Forest Management, Fairfax County Department of Public Works and Environmental Services ("DPWES"). A replanting plan shall be developed and implemented by the applicant, subject to the written approval by DPWES, for any areas outside of the permanent utility easement and

within the area to be protected by the limits of clearing and grading that must be disturbed.

28. The demolition of existing features and structures on the site shall be conducted in a manner as approved in writing by Urban Forest Management, Fairfax County Department of Public Works and Environmental Services, that does not impact on individual trees and/or groups of trees that are required to be saved and as specified on Sheet 8. Tree protection fencing as required by Urban Forest Management shall be installed prior to commencing any clearing, grading and/or demolition activities on the property.
29. A tree preservation plan shall be submitted as part of the first and all subsequent site submissions as follows:

A. Tree Preservation Plan

The tree preservation plan shall be prepared by a professional with experience in the preparation of tree preservation plans, such as a certified arborist or landscape architect, and shall be subject to the review and approval of the Urban Forest Management, DPWES. The tree preservation plan shall consist of a tree survey that includes the location, species, size, crown spread and condition rating percentage of all trees 10 inches in diameter and greater, and 20 feet to either side of the limits of clearing and grading shown on the SE Plat. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of clearing and grading shown on the SE Plat, and those additional areas in which trees can be preserved as a result of final engineering. The condition analysis ratings shall be prepared using methods outlined in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture. Specific tree preservation activities that will maximize the survivability of trees identified to be preserved, such as: crown pruning, root pruning, mulching, fertilization, and others as necessary, shall be included in the plan. The use of motorized equipment in the forested portion that is protected by the limits of clearing and grading for each phase of the project shall be limited to hand-operated equipment such as chainsaws, wheel barrows, rakes, and shovels. Any work that requires the use of motorized equipment, such as tree transplanting spades, skid loaders, tractors, trucks, stump grinders, etc. or any accessory or attachment connected to this type of equipment shall not occur unless previously approved by Urban Forestry Management.

B. Protection of Existing Understory Vegetation and Soil Conditions in Tree Preservation Areas

All tree preservation-related work occurring in or adjacent to tree preservation areas shall be accomplished in a manner that minimizes damage to vegetation to be preserved including any woody, herbaceous or vine plant species that occurs in the lower canopy environment, and to the existing top soil and leaf litter layers that provide nourishment and protection to that vegetation. Any removal of any vegetation or soil disturbance in tree preservation areas including the removal of plant species that may be perceived as noxious or invasive, such as poison ivy, greenbrier, multi-floral rose, etc. shall be subject to the review and approval of Urban Forest Management, DPWES.

The use of motorized equipment in tree preservation areas will be limited to hand-operated equipment such as chainsaws, wheel barrows, rake and shovels. Any work that requires the use of motorized equipment, such as tree transplanting spades, skid loaders, tractors, trucks, stump-grinders, etc., or any accessory or attachment connected to this type of equipment shall not occur unless pre-approved by Urban Forest Management, DPWES.

#### C. Root Pruning and Mulching

The applicant shall 1) root prune, 2) mulch, and 3) provide tree protection fencing in the form of four foot high, 14 gauge welded wire attached to 6 foot steel posts driven 18 inches into the ground and placed no further than 10 feet apart, or other forms of tree protection fencing approved by Urban Forest Management, DPWES for all tree preservation areas. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets and demolition plan sheets of the subdivision plan submission. The details for these treatments shall be reviewed and approved by Urban Forest Management, DPWES, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:

- Root pruning shall be done with a trencher or vibratory plow to a depth of 18 inches.
- Root pruning shall take place prior to any clearing and grading, or demolition of structures.
- Root pruning shall be conducted with the supervision of a certified arborist.
- Tree protection fence shall be installed immediately after root pruning, and shall be positioned directly in the root pruning trench and backfilled for stability, or just outside the trench within the disturbed area.
- Immediately after the phase II E&S activities are complete, mulch shall be applied at a depth of 4 inches extending 10 feet inside the undisturbed area without the use of motorized equipment.
- Mulch shall consist of hardwood mulch or the approved equal.
- An Urban Forest Management, DPWES, representative shall be informed when all root pruning and tree protection fence installation is complete.

#### D. Tree Preservation Walk-Through

The applicant shall retain the services of a certified arborist or landscape architect, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the pre-construction meeting. Before or during the pre-construction meeting, the applicant's certified arborist or landscape architect shall walk the limits of clearing and grading with an Urban Forest Management, DPWES, representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified specifically by UFM in writing as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed,

this shall be done using a stump grinding machine in a manner causing as little disturbance as possible to the adjacent trees and associated understory vegetation and soil conditions.

E. Tree Protection Fencing

All trees shown to be preserved on the tree preservation plan shall be protected by a tree protection fence. Tree protection fencing (super silt fence) shall be erected at the limits of clearing and grading as shown on the phase I & II erosion and sediment control sheets. Trenching for the super silt fence shall not sever or wound compression roots which can lead to structural failure and/or uprooting of trees.

All tree protection fencing shall be installed prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fence types shall be performed under the supervision of a certified arborist, and accomplished in a manner that does not harm existing vegetation that is to be preserved. Three days prior to the commencement of any clearing, grading, or demolition activities, but subsequent to the installation of the tree protection devices, Urban Forest Management, DPWES and the District Supervisor shall be notified and given the opportunity to inspect the site to assure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by Urban Forest Management, DPWES.

F. Site Monitoring

During any clearing or tree/vegetation/structure removal or transplantation of vegetation on the Application Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as proffered and as approved by UFM. The Applicant shall retain the services of a certified arborist or landscape architect to monitor all construction work and tree preservation efforts in order to ensure conformance with all tree preservation proffers/conditions, and UFM approvals. The monitoring schedule shall be described and detailed in the landscaping plan, and reviewed and approved by Urban Forest Management, DPWES.

G. Replacement Value

A professional with experience in plant appraisal, such as a certified arborist or landscape architect, shall be retained to determine the replacement value of trees noted "to be saved" on the tree preservation plan. These trees and their value shall be identified on the tree preservation plan at the time of the first submission of the site plan. The replacement value shall take into consideration the age and size of these trees and shall be determined by the so-called "Trunk Formula Method" contained in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture, subject to review and approval by Urban Forest Management, DPWES.

At the time of site plan approval, a cash bond or letter of credit payable to the County of Fairfax shall be posted to ensure preservation and/or replacement of the designated trees that die or are dying due to normal construction activities permitted on the approved plan. The letter of credit shall be equal to fifty percent (50%) of the replacement value of the bonded trees. The cash bond shall consist of thirty-three (33%) of the amount of the letter of credit. In addition to this replacement obligation, a payment equal to the value of any bonded tree that is dead or dying or improperly removed due to unauthorized construction activity shall be paid. At the time of the approval of the final RUP, the applicant shall be entitled to request a release of any monies remaining in the cash bond and a reduction in the letter of credit to any amount up to twenty percent (20%) of the total amounts originally committed. Any funds remaining in the letter of credit or cash bond will be released two (2) years from the date of release of the conservation escrow, or sooner, if approved by UFM.

If, at the time of final bond release, trees are found to be dead or dying despite adherence to approved construction activities by Urban Forest Management, DPWES, the cash bond or letter of credit shall be used as necessary to plant similar size and species, or species appropriate to the site, in consultation with Urban Forest Management, DPWES, and the developer's certified arborist. The cash bond or letter of credit shall not be used for the removal of the dead/dying trees normally required by the PFM and the Conservation Agreement. In addition to the replacement obligation, the applicant shall also make a payment to the County equal to the value of any tree shown to be preserved on the SE Plat that is determined by Urban Forestry Management to be dead or dying due to unauthorized construction activities. This payment shall be based on the "Trunk Formula Method" noted above and be paid to a fund established by the County for furtherance of tree preservation objectives.

30. Prior to site plan approval, a contribution of \$5,000 shall be made to the Fairfax County Tree Preservation and Planting Fund.
31. The Applicant shall diligently pursue traffic calming measures for portions of Blake Lane between Jermantown Road and Route 123. The Applicant shall coordinate with the representatives of the homeowner's associations along Blake Lane between Jermantown Road and Chain Bridge Road, the Providence District Supervisor and the Fairfax County Department of Transportation to facilitate the installation of traffic calming measures, cut-through restriction, through truck restriction or other techniques to reduce the impact of traffic on the communities along this portion of Blake Lane. The applicant shall escrow \$25,000 for the installation of these measures. In addition, the Applicant shall independently be responsible for all administration costs associated with application procedure requirements. Any money remaining from this amount shall be used for other traffic improvements within the Providence District.
32. All signs shall be in accordance with Article 12 of the Zoning Ordinance. All free-standing signs shall be monument signs and no higher than four feet.
33. A sign that states "Service Entrance to Oakton Condominiums for Life and Residential Access for 10300 Blake Lane" shall be installed at the eastern entrance across from Barden Oaks Court. This sign shall be monument style.

34. Subject to the approval of VDOT, no parking signs shall be installed along the Blake Lane frontage of the property.
35. Bio-Retention shall be provided within the areas identified on the SE Plat as determined by DPWES.
36. Construction shall only occur between the hours of 7:00 a.m. and 7:00 p.m. Monday through Friday and 8:00 a.m. and 5:00 p.m. on Saturday. Construction shall not occur on Sundays and holidays (Memorial Day, July 4<sup>th</sup>, Labor Day, Thanksgiving, Christmas and New Years Day). The construction hours shall be posted on the property. Excavation activities shall be prohibited prior to 8:00 a.m. Monday through Saturday.
37. During site construction, the perimeter of the property shall be fenced. This fencing shall be maintained in good condition throughout the entire construction process.
38. There shall be no parking or staging of construction of vehicles or traffic within the right-of-way of Blake Lane. These limitations shall be posted on the property. All contracts related to construction activities shall include this provision and shall be enforced by the site superintendent.
39. Prior to the commencement of construction on the property, the Providence District Supervisor, the presidents of the homeowners associations or their designee for Oakton Manor, Oakton Mains, Oakleigh, Barden Oaks, Oakton Commons, Oakton Station, the property owner of 47-2-((1))-22 and the property owner of 47-2 ((1)) 65A shall be provided with the name, title and phone number of a person to whom comments and/or complaints regarding construction activities may be directed. Such correspondence shall be sent by US Mail, return receipt requested and copies of the receipts and responses shall be made available to County Staff upon request. A sign with this information shall be posted on-site prior to the commencement of construction and shall be updated and shall be retained on the site through all construction activities. A response to the comments/complaints made shall be provided within 3 business days of receipt. If the comment is of an emergency nature it shall be addressed within the next business day.
40. A copy of the initial site plan submission shall be provided to each of the parties noted in Condition Number 39 above for comment on the landscaping proposed to be provided on-site. Copies of subsequent submissions of the site plan or portions thereof requested by any of the above noted parties shall also be provided. Evidence of the delivery of the initial site plan submission to each of the parties noted in Condition Number 39 satisfactory to the Department of Public Works and Environmental Service shall be provided to verify that the deliveries were made.
41. Deliveries, including trash pickups, to the site shall be made from the direction of Chain Bridge Road and not from the direction of Jermantown Road. Further, deliveries and trash pick-up shall be restricted to the hours of 7:00 a. m. and 7:00 p.m., weekdays. The applicant and successors and assigns shall inform all delivery companies of this restriction.
42. On-site litter shall be picked up daily after the construction period. Construction debris and litter shall be removed daily along Blake Lane from Jermantown Road to Chain

Bridge Road. A representative of the Applicant shall inspect the site and Blake Lane daily to ensure fulfillment of this requirement.

43. Outdoor events at the independent living facility shall end prior to 10:00 p.m.
44. Prior to bond release, the stormwater management facility at Barden Oaks herein called the "Barden Oaks Pond", Tax Map Number 47-2-((36))-A, shall be inspected by the applicant, the Barden Oaks HOA and the Department of Public Works and Environmental Services to determine whether or not runoff from the construction site or construction debris has adversely affected the functioning of the Barden Oaks Pond from it's pre-development condition. The applicant shall inform the Providence District of the date and time of the inspection to allow that office to attend the inspection at their option. To provide an accurate documentation of the pre-development condition, the Applicant or its agent shall be provided access to the pond for the purpose of conducting necessary inspections. Should the Applicant be denied access for any reason to the Barden Oaks Pond, the Applicant shall have no further obligation under this condition. Prior to site plan approval the Applicant shall provide written and/or photographic documentation of the condition of the Barden Oaks Pond which documentation shall be reviewed and approved by DPWES. Should the Applicant's construction activity be determined to be a proximate cause of any degradation of the pond from its documented pre-development condition by DPWES, the Applicant shall be responsible for repairing the pond to the pre-development condition as requirement by DPWES.
45. During periods of excavation and land disturbing activity, the portions of Blake Lane that are proximate to the construction site shall be washed daily. Following the completion of land disturbing activities, Blake Lane shall be washed as warranted.
46. During the time of site construction, on-site dust suppression measures shall be implemented as determined by DPWES, which may include but are not limited to watering procedures to suppress dust on disturbed areas.
47. To ensure off-site properties are not impacted by silt of associated run-off, the Applicant shall design and implement siltation control mechanisms that shall include "super silt" fencing or similar procedures as determined by DPWES. The functioning and integrity of all erosion and sedimentation controls (E&S controls) required by DPWES shall be inspected, by the Applicant or their designated representative, no later than the next business day following each storm event during the period of construction on-site. If the E&S controls have been damaged or breached, the E&S controls shall be repaired in accordance with the requirements of the Fairfax County Public Facilities Manual.
48. TDM strategies, as detailed below, shall be utilized by the Applicant to reduce trips during peak a.m. and p.m. hours. The TDM strategies shall be utilized to reduce the peak hour trips by a minimum of 10%, based on the trip generation rates/equations applicable to such uses from the submitted traffic study for the Oakton Condos for Life Project, as derived from the Institute of Transportation Engineers, Trip Generation, 7<sup>th</sup> Edition an outlined below:

Table 1 - Maximum Trip Thresholds

|                        | AM Peak Hour Trips After Reduction<br>(10% Reduction from the projected 22 trips per ITE) | PM Peak Hour Trips After Reduction<br>(10% Reduction from the projected 35 trips per ITE) |
|------------------------|---|---|
| Oakton Condos for Life | 20 Maximum AM Peak Trips  | 32 Maximum PM Peak Trips  |

- a. Residents and employees shall be advised of all TDM strategies. Transportation coordination duties shall be carried out by a designated property manager(s) or transportation management coordinator(s) ("TMC"). The TMC position may be a part of other duties assigned to the individuals(s). The TDM strategies may include but are not limited to the following:
  - A. Designate an individual to act as the TMC for the property whose responsibility will be to implement the TDM strategies with on-going coordination with the Fairfax County Department of Transportation (FCDOT). The TMC shall also be responsible for coordination and communication with any subsequent common association;
  - B. In a common area, provide a car pooling, display board to consolidate vehicular trips to such destinations as the grocery store, dinner or social outings. The TMC and/or facility concierge may also provide sign up lists to facilitate car pooling.
  - C. The provision of shuttle service for trips to include but not be limited to local shopping, health care visits, social events and mass transit locations, including peak hour service to/from Vienna Metro Station which will service both tenants and employees as outlined in Condition Number 16..
  - D. Offering semi-annual Fairfax County training for seniors, including programs such as 'Seniors on the Go', Travel Training, and pedestrian services training subject to FCDOT scheduling and consent;
  - E. Dissemination of information regarding Metrorail, Metrobus, ride-sharing and other relevant transit options in sale/leasing packages and to employees;
  - F. Provide Metro maps, schedules and forms, ride-sharing and other relevant transit option information to residents, tenants and employees through either a common website or a newsletter to be published at least twice a year;
  - G. Scheduling, when practical, employee arrivals, departures and deliveries outside of peak hours;
  - H. Provide a pedestrian-friendly sidewalk system to encourage pedestrian circulation;
  - I. Provide Smart Trip cards (or similar transit fare cards) in the amount of twenty-five dollars (\$25) to all new residents of the project upon execution of their initial lease or at closing, as applicable;

- J. Provide subsidy for Metro Check in the amount of one hundred and five dollars (\$105) per month to all full time employees of the project and a proportional subsidy for part time employees; and
  - K. Pharmacy delivery services shall be coordinated and encouraged by the TMC for tenants.
- b. Schedule for Follow Up Surveys: Twelve (12) months following complete build-out of the property, the effectiveness of the TDM strategies shall be evaluated using surveys prepared by the TMC in cooperation with FCDOT and actual traffic counts. The Applicant shall submit to FCDOT the result of the surveys and counts in order to determine travel characteristics and whether the required reduction in trips has been achieved. If the TDM surveys show that the trip reduction objective is being met, then the Applicant shall proceed with the TDM strategies as implemented and shall provide continuing surveys on an annual basis. In the event such objective has not been met, the Applicant shall meet with FCDOT to review the strategies in place and to develop modifications to the TDM strategies, or adopt additional TDM strategies that will facilitate meeting the trip reduction objective and shall proceed to conduct surveys and traffic counts every year until the reduction objective is met.
- c. The following items outline the TDM enforcement components, definitions and potential sequent of schedule:
- A. Maximum Trip Threshold. Notwithstanding the Maximum Trips listed above, in the event that the buildings actually constructed by the Applicant have less than the maximum number of dwelling units, then the Maximum Trips shall remain as listed above during the requisite peak hour, unless modified by FCDOT.
  - B. Traffic Count Measurement Dates Defined. For purposes of this Condition, Trip Counts shall be measured on three consecutive days which shall be referred to as "Trip Count Measurement Dates." The first Trip Count Measurement Date shall be not less than sixty (60) nor more than one hundred fifty (150) days following the site build-out.
  - C. Buildout Defined. For purposes of this condition, the "Build-out" of the Proposed Development, shall be deemed to occur on the first anniversary of the date as of which initial RUPs have been issued for 85% of the residential units.
  - D. Peak-hour Defined. For purposes of this condition, the relevant weekday AM or PM "peak hour" shall be that 60-minute period during which the highest volume of mainline through volumes occurs between, respectively, 6:00 and 9:00 AM and 4:00 to 7:00 PM, as determined by mechanical and/or manual traffic counts conducted by a qualified traffic engineering firm conducted on Blake Lane. To determine the peak hour, such counts shall be collected beginning on a Monday at 2400 hours and continuing to the following Thursday at 2400 hours at a time of year that reflects typical travel demand conditions (for example, September to November, or January to June, not during a holiday season, a week

containing a federal holiday or when public schools are not in session). The relevant peak hour shall be defined in conjunction with each of the Trip Counts required pursuant to this condition. The methodology for determining the peak hour may be modified, in agreement with the Applicant and FCDOT in order to respond to technological and/or other improvements in trip counting.

- E. Methods. Trip counts shall include counts of vehicles entering and exiting the site. The average number of AM and PM peak hour trips shall be computed by summing the number of applicable trips entering and exiting the site on each of the three days counts are taken and dividing that sum by three.
  - F. TDM Start Time. The Applicant shall notify FCDOT in writing no later than three months after the issuance of the first RUP for the site the name and contract information for the TMC, to coordinate implementation of the TDM plan. Following the initial appointment of the TMC, the Applicant shall continuously employ, or cause to be employed, a TMC for the proposed development.
  - G. Evaluation Reports of Trip Counts. Within sixty (60) days after the completion of the Trip Counts, the Applicant shall compile the results and provide a written report to FCDOT. The results of the Trip Counts shall be compared to the Maximum Trips applicable to the period following the stabilization to determine whether actual trips are equal to, less than or greater than the Maximum Trips specified in Table 1. In the event the trips generated are equal to or less than the Maximum Trips applicable specified in Table 1, then the Applicant shall continue to administer the TDM Plan in the ordinary course, in accordance with the provisions of paragraphs A through K under sub-paragraph a above.
  - H. Enforcement. If the Applicant fails to timely submit the Trip Count evaluation report to FCDOT as required by this Condition, Fairfax County may thereafter issue the Applicant a written notice stating that the Applicant has violated the terms of the Special Exception conditions and provide the Applicant sixty (60) days within which to cure such violation (i.e. submit written traffic count summary report). If after such sixty (60) day period the Applicant has not submitted the delinquent report, then the Applicant shall be subject to a penalty of \$200 per day payable to Fairfax County to be used for transit or transportation related improvements in the vicinity of the Property until such time as the report is submitted to FCDOT.
49. Prior to site plan approval, a contribution of \$10,000 shall be made to the Oakton Library. Documentation of this payment shall be provided prior to site plan approval.
50. Prior to site plan approval, a contribution of \$5,000 shall be made to the Nottoway Nights Concert Series.

**The Board also approved:**

- **Modifications of the transitional screening yard requirements along the northern, southern, and western boundaries and waivers of the barrier requirement along the eastern and northeastern boundaries, in favor of that shown on the Special Exception Plat and referenced in the development conditions.**
- **Public Facilities Manual Waiver Request 2352 WPFM-002-1, to allow underground stormwater detention and treatment in a residential development, subject to the development conditions contained in Attachment Two of the second staff report addendum dated May 10, 2006.**

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The applicant shall be himself responsible for obtaining the required Non-Residential Use Permit through established procedures, and this Special Exception shall not be valid until this has been accomplished.

Pursuant to Section 9-015 of the Zoning Ordinance, this special exception shall automatically expire, without notice, thirty (30) months after the date of approval unless the use has been established or construction has commenced and been diligently prosecuted. The Board of Supervisors may grant additional time to establish the use or to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special exception. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

If you have questions regarding the expiration of this Special Exception or filing a request for additional time, they should be directed to the Zoning Evaluation Division in the Department of Planning and Zoning at 703-324-1290. The mailing address for the Zoning Evaluation Division is Suite 801, 12055 Government Center Parkway, Fairfax, Virginia 22035.

Sincerely,

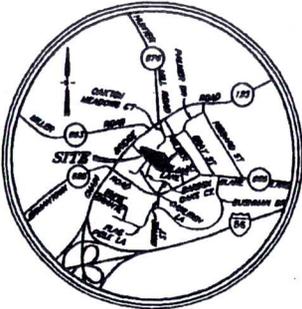


Nancy Vehrs  
Clerk to the Board of Supervisors

NV/cwb

Cc: Chairman Gerald E. Connolly  
Supervisor Linda Q. Smyth, Providence District  
Janet Coldsmith, Director, Real Estate Division, Dept. of Tax Administration  
Barbara A. Byron, Director, Zoning Evaluation Division, DPZ





VICINITY MAP  
SCALE: 1" = 2,000'

**LEGEND:**



LIMITS OF EXISTING BUILDING 3 TO REMAIN



SELECTIVE CLEARING OF DAMAGED AND DISEASED VEGETATION (NO GRADING ALLOWED)



EXISTING DRIVEWAYS TO BE REMOVED BY HAND OR WITH MECHANICAL LIFTING DEVICE THAT REMAINS AT LEAST 10' FROM THE PROPERTY LINE

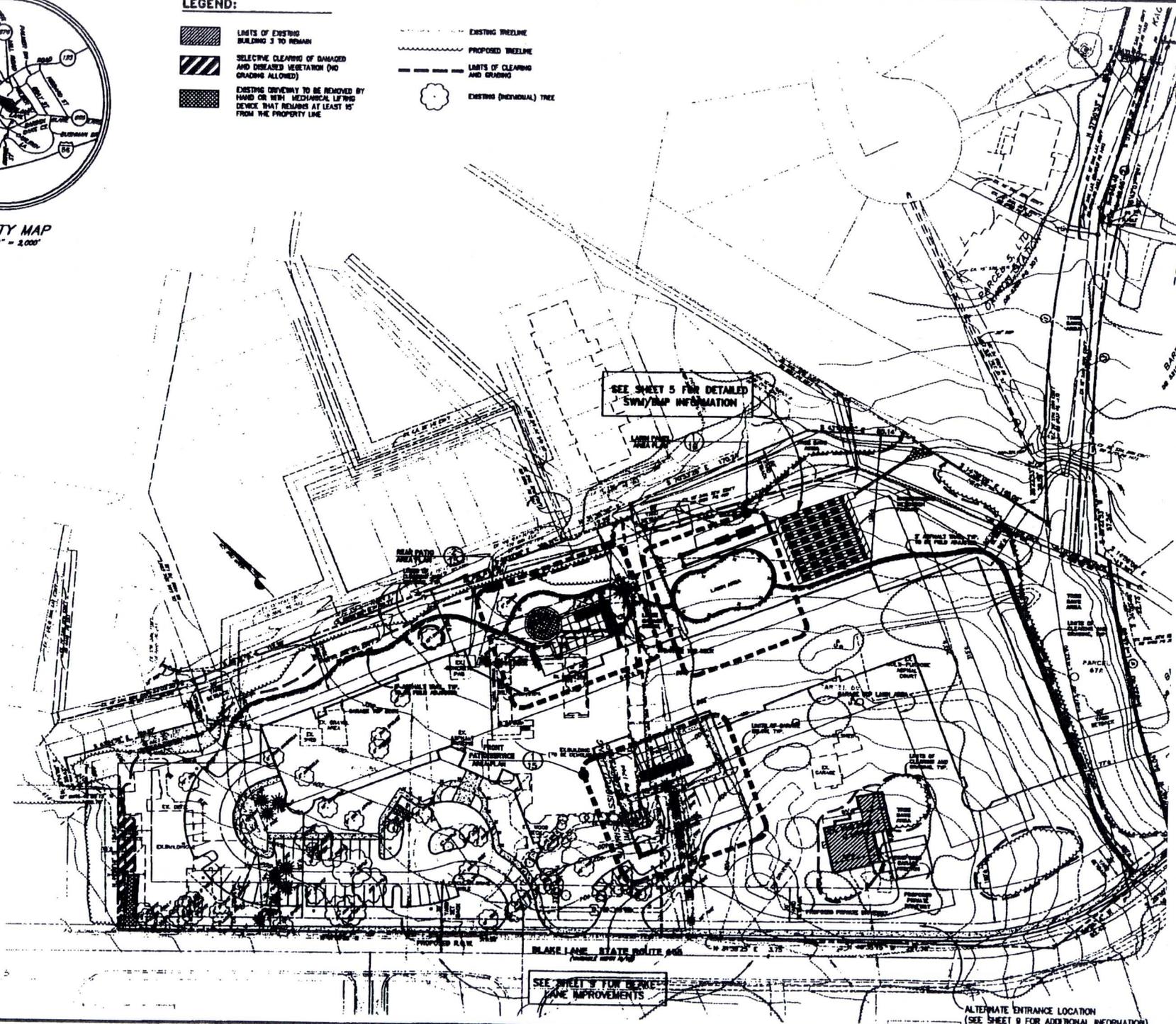
--- EXISTING TREELINE

--- PROPOSED TREELINE

--- LIMITS OF CLEARING AND GRADING



EXISTING (INDIVIDUAL) TREE



SEE SHEET 9 FOR DETAILED LANE IMPROVEMENTS

ALTERNATE ENTRANCE LOCATION  
(SEE SHEET 9 FOR ADDITIONAL INFORMATION)

**LEGEND:**

-  LARGE DECIDUOUS TREE (4'-5' CAL.)
-  LARGE DECIDUOUS TREE (2'-3' CAL.)
-  LARGE AMERICAN HOLLY (10'-12')
-  LARGE DARK GREEN ARBUTUS (8'-10')
-  LARGE JAPANESE CRYPTOMERIA (10'-12')
-  SMALL OR COMPACT DECIDUOUS TREE (2' CAL.)
-  EVERGREEN TREE (8'-8' HIGH)
-  SHRUB MASSING AND/OR PERENNIAL PLANTING BED

 EXISTING TREELINE

 PROPOSED TREELINE

 TYPE 1 TRANSITIONAL SCREEN AS NOTED (SEE GENERAL NOTE 5 ON SHEET 4 FOR ADDITIONAL INFORMATION). MODIFICATION OF THE TRANSITIONAL SCREEN SHALL BE EXISTING TREES SUPPLEMENTED WITH EVERGREEN AND DECIDUOUS TREES AS NOTED. ADDITIONAL EVERGREEN AND DECIDUOUS TREES MAY BE ADDED WHERE THE COMBINATION OF EXISTING AND PROPOSED TREES (AS SHOWN ON THE PLAN) DOES NOT PROVIDE AN ADEQUATE SCREEN (INCLUDING THE AREA ADJACENT TO THE PROPERTY TO THE EAST).

 LIMITS OF CLEARING AND GRADING

-  TREE 5 EXISTING TREES TO BE PRESERVED (SEE PRELIMINARY TREE PRESERVATION PLAN - SHEET 5)
-  EXISTING TREES
-  BENCH, TYP.

**NOTE:**  
SUITABLE EXISTING TREES MAY BE IDENTIFIED DURING THE SITE VISIT WITH THE URBAN FORESTER FOR TRANSPLANTATION TO OTHER AREAS ON SITE PRIOR TO CONSTRUCTION ACTIVITIES.

**TREE COVER CALCULATIONS:**

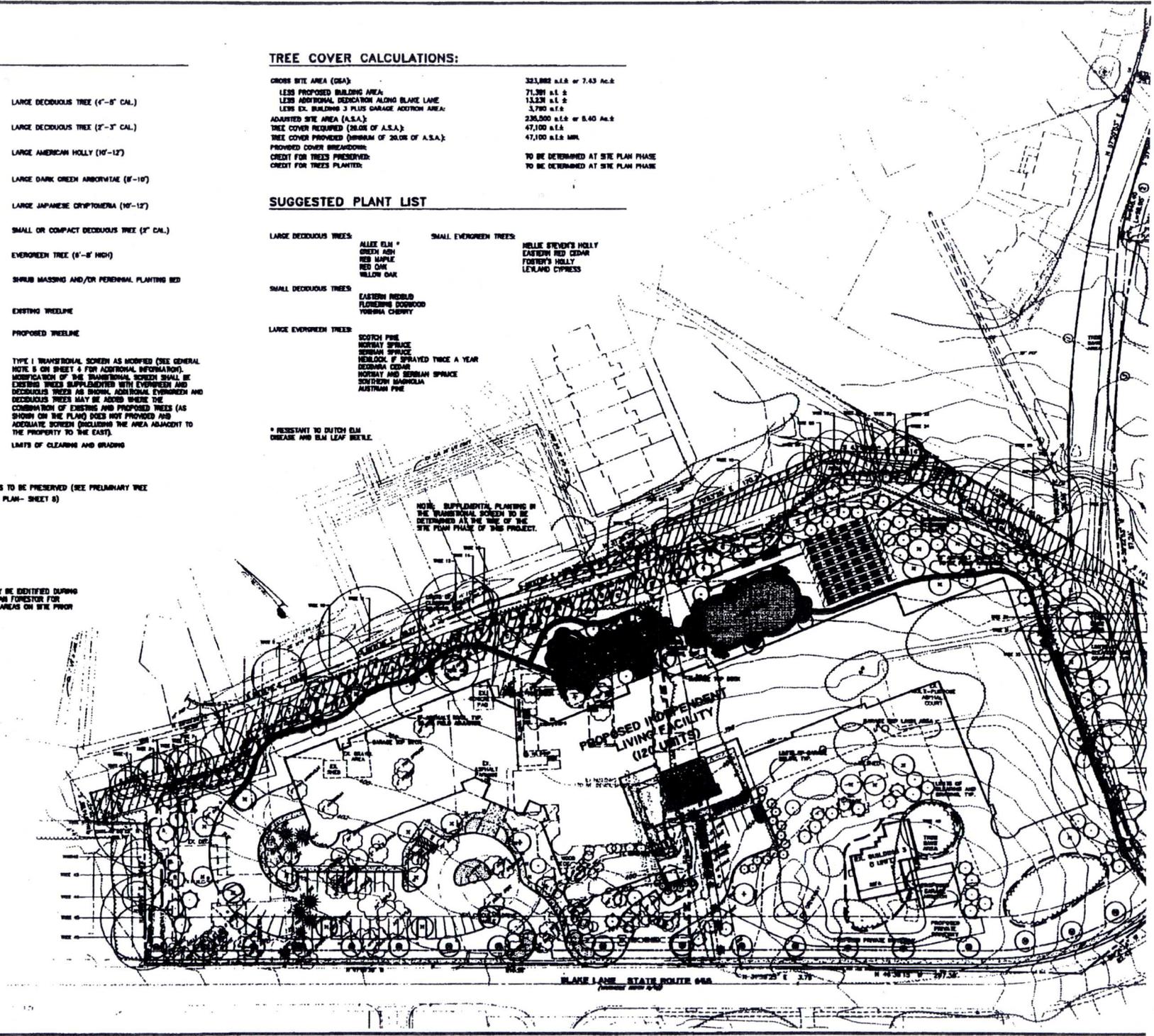
|   |                                     |
|---|-------------------------------------|
| CROSS SITE AREA (CSA):                            | 323,882 s.f. or 7.43 Ac.±           |
| LESS PROPOSED BUILDING AREA:                      | 71,389 s.f. ±                       |
| LESS ADDITIONAL DEDICATION ALONG BLAKE LANE:      | 13,133 s.f. ±                       |
| LESS EX. BUILDING 3 PLUS GARAGE ADDITION AREA:    | 3,790 s.f. ±                        |
| ADJUSTED SITE AREA (A.S.A.):                      | 235,560 s.f. or 5.40 Ac.±           |
| TREE COVER REQUIRED (20.0% OF A.S.A.):            | 47,100 s.f. ±                       |
| TREE COVER PROVIDED (MINIMUM OF 20.0% OF A.S.A.): | 47,100 s.f. ± MIN.                  |
| PROPOSED COVER BREAKDOWN:                         | TO BE DETERMINED AT SITE PLAN PHASE |
| CREDIT FOR TREES PRESERVED:                       | TO BE DETERMINED AT SITE PLAN PHASE |
| CREDIT FOR TREES PLANTED:                         |                                     |

**SUGGESTED PLANT LIST**

- |                               |  |                               |  |
|-------------------------------|--|-------------------------------|--|
| <b>LARGE DECIDUOUS TREES:</b> | ALICE ELM *<br>GREEN ASH<br>RED MAPLE<br>RED OAK<br>YELLOW OAK   | <b>SMALL EVERGREEN TREES:</b> | HOLLY STEVEN'S HOLLY<br>EASTERN RED CEDAR<br>FOXTAIL HOLLY<br>LELAND CYPRESS |
| <b>SMALL DECIDUOUS TREES:</b> | EASTERN REDBUD<br>FLORIDIAN BUCKWOOD<br>YORBA CHERRY   |                               |  |
| <b>LARGE EVERGREEN TREES:</b> | SCOTCH PINE<br>NORWAY SPRUCE<br>SERBIAN SPRUCE<br>HEMLOCK IF SPRAYED TWICE A YEAR<br>DOUGLASS CEDAR<br>NORWAY AND SERBIAN SPRUCE<br>SOUTHERN MAGNOLIA<br>AUSTRIAN PINE |                               |  |

\* RESISTANT TO DUTCH ELM DISEASE AND ELM LEAF BEETLE.

**NOTE:** SUPPLEMENTAL PLANTING OF THE TRANSITIONAL SCREEN TO BE DETERMINED AT THE TIME OF THE SITE PLAN PHASE OF THIS PROJECT.





**Preliminary Stormwater Management Narrative**

**Pre-Development Conditions**  
 An independent facility is proposed on this 7.697-acre site and is located R-2. The following parcels are considered as well as commercially zoned. The site is bounded by the Accord Creek watershed. Within the site, there are two lots overlaid, one as existing floodplain (DB 8772, PG 13M1). Other recent study comes from collection along Babbs Lane where two lots are centrally located along the eastern boundary of the site. Solid lines connect to an existing yard line. The site is bounded by the floodplain along the eastern edge of the site until it extends into the floodplain extension along the western edge of the site.

**Peak Development Conditions**  
 Preliminary, an underground detention facility consisting of 64,400 gallons of concrete pipe (60 inch in length) will be placed downstream of the detention facility by Stormwater Management, Inc. Water collected in this facility will result from 4.25 acres of roof area and a proposed storm sewer system. Roughly 4.25 acres of roof area will be connected to the detention facility. These pipes drain the stormwater runoff in order to meet the maximum allowable volume. Within the allowable volume, the detention facility will store the stormwater runoff until it can be released to the existing floodplain (DB 8772, PG 13M1). Stormwater management and 10-year return period peak runoff rates for the 2.

**Best Management Practices (BMP) Narrative**  
 The 7.697-acre site is in the Accord Creek watershed. This site requires 67% of the site to be vegetated. The site is currently a "New Development" and is subject to the BMP requirements of the Accord Creek watershed. The BMP requirements will be met through the use of stormwater runoff by Stormwater Management, Inc. through the use of the detention facility. The detention facility will store the stormwater runoff until it can be released to the existing floodplain (DB 8772, PG 13M1). Stormwater management and 10-year return period peak runoff rates for the 2.

**Legend:**  
 OFFSITE DETAINED - 1.24 ACRES ±  
 ONSITE DETAINED - 4.05 ACRES ±  
 3.89 ACRES ± DRAIN TO STORMWATER

**COMPUTED VOLUMES FOR A PIPE**

| BLANKET (FE) | PERPENDICULAR DEPTH (FE) | PERPENDICULAR LENGTH (FE) | FILLED VOLUME (CU.FE) | PERPENDICULAR DEPTH (FE) | PERPENDICULAR LENGTH (FE) | TOTAL VOLUME (CU.FE) |
|--------------|--------------------------|---------------------------|-----------------------|--------------------------|---------------------------|----------------------|
| 82.70        | 0.24                     | 3394                      | 14.28                 | 0.00                     | 0.00                      | 0                    |
| 83.43        | 0.49                     | 1,097                     | 14.28                 | 0.00                     | 0.00                      | 21                   |
| 83.43        | 0.99                     | 3,021                     | 14.28                 | 0.00                     | 0.00                      | 275                  |
| 83.43        | 1.48                     | 5,351                     | 14.28                 | 0.00                     | 0.00                      | 548                  |
| 84.10        | 1.24                     | 4,228                     | 60.00                 | 0.00                     | 0.00                      | 2,582                |
| 84.10        | 1.74                     | 6,410                     | 60.00                 | 0.00                     | 0.00                      | 3,866                |
| 84.10        | 2.24                     | 8,592                     | 60.00                 | 0.00                     | 0.00                      | 5,150                |
| 84.10        | 2.74                     | 10,774                    | 60.00                 | 0.00                     | 0.00                      | 6,434                |
| 84.10        | 3.24                     | 12,956                    | 60.00                 | 0.00                     | 0.00                      | 7,718                |
| 84.10        | 3.74                     | 15,138                    | 60.00                 | 0.00                     | 0.00                      | 9,002                |
| 84.10        | 4.24                     | 17,320                    | 60.00                 | 0.00                     | 0.00                      | 10,286               |
| 84.10        | 4.74                     | 19,502                    | 60.00                 | 0.00                     | 0.00                      | 11,570               |
| 84.10        | 5.24                     | 21,684                    | 60.00                 | 0.00                     | 0.00                      | 12,854               |
| 84.10        | 5.74                     | 23,866                    | 60.00                 | 0.00                     | 0.00                      | 14,138               |
| 84.10        | 6.24                     | 26,048                    | 60.00                 | 0.00                     | 0.00                      | 15,422               |
| 84.10        | 6.74                     | 28,230                    | 60.00                 | 0.00                     | 0.00                      | 16,706               |
| 84.10        | 7.24                     | 30,412                    | 60.00                 | 0.00                     | 0.00                      | 17,990               |
| 84.10        | 7.74                     | 32,594                    | 60.00                 | 0.00                     | 0.00                      | 19,274               |
| 84.10        | 8.24                     | 34,776                    | 60.00                 | 0.00                     | 0.00                      | 20,558               |
| 84.10        | 8.74                     | 36,958                    | 60.00                 | 0.00                     | 0.00                      | 21,842               |
| 84.10        | 9.24                     | 39,140                    | 60.00                 | 0.00                     | 0.00                      | 23,126               |
| 84.10        | 9.74                     | 41,322                    | 60.00                 | 0.00                     | 0.00                      | 24,410               |
| 84.10        | 10.24                    | 43,504                    | 60.00                 | 0.00                     | 0.00                      | 25,694               |
| 84.10        | 10.74                    | 45,686                    | 60.00                 | 0.00                     | 0.00                      | 26,978               |
| 84.10        | 11.24                    | 47,868                    | 60.00                 | 0.00                     | 0.00                      | 28,262               |
| 84.10        | 11.74                    | 50,050                    | 60.00                 | 0.00                     | 0.00                      | 29,546               |
| 84.10        | 12.24                    | 52,232                    | 60.00                 | 0.00                     | 0.00                      | 30,830               |
| 84.10        | 12.74                    | 54,414                    | 60.00                 | 0.00                     | 0.00                      | 32,114               |
| 84.10        | 13.24                    | 56,596                    | 60.00                 | 0.00                     | 0.00                      | 33,398               |
| 84.10        | 13.74                    | 58,778                    | 60.00                 | 0.00                     | 0.00                      | 34,682               |
| 84.10        | 14.24                    | 60,960                    | 60.00                 | 0.00                     | 0.00                      | 35,966               |
| 84.10        | 14.74                    | 63,142                    | 60.00                 | 0.00                     | 0.00                      | 37,250               |
| 84.10        | 15.24                    | 65,324                    | 60.00                 | 0.00                     | 0.00                      | 38,534               |
| 84.10        | 15.74                    | 67,506                    | 60.00                 | 0.00                     | 0.00                      | 39,818               |
| 84.10        | 16.24                    | 69,688                    | 60.00                 | 0.00                     | 0.00                      | 41,102               |
| 84.10        | 16.74                    | 71,870                    | 60.00                 | 0.00                     | 0.00                      | 42,386               |
| 84.10        | 17.24                    | 74,052                    | 60.00                 | 0.00                     | 0.00                      | 43,670               |
| 84.10        | 17.74                    | 76,234                    | 60.00                 | 0.00                     | 0.00                      | 44,954               |
| 84.10        | 18.24                    | 78,416                    | 60.00                 | 0.00                     | 0.00                      | 46,238               |
| 84.10        | 18.74                    | 80,598                    | 60.00                 | 0.00                     | 0.00                      | 47,522               |
| 84.10        | 19.24                    | 82,780                    | 60.00                 | 0.00                     | 0.00                      | 48,806               |
| 84.10        | 19.74                    | 84,962                    | 60.00                 | 0.00                     | 0.00                      | 50,090               |
| 84.10        | 20.24                    | 87,144                    | 60.00                 | 0.00                     | 0.00                      | 51,374               |
| 84.10        | 20.74                    | 89,326                    | 60.00                 | 0.00                     | 0.00                      | 52,658               |
| 84.10        | 21.24                    | 91,508                    | 60.00                 | 0.00                     | 0.00                      | 53,942               |
| 84.10        | 21.74                    | 93,690                    | 60.00                 | 0.00                     | 0.00                      | 55,226               |
| 84.10        | 22.24                    | 95,872                    | 60.00                 | 0.00                     | 0.00                      | 56,510               |
| 84.10        | 22.74                    | 98,054                    | 60.00                 | 0.00                     | 0.00                      | 57,794               |
| 84.10        | 23.24                    | 100,236                   | 60.00                 | 0.00                     | 0.00                      | 59,078               |
| 84.10        | 23.74                    | 102,418                   | 60.00                 | 0.00                     | 0.00                      | 60,362               |
| 84.10        | 24.24                    | 104,600                   | 60.00                 | 0.00                     | 0.00                      | 61,646               |
| 84.10        | 24.74                    | 106,782                   | 60.00                 | 0.00                     | 0.00                      | 62,930               |
| 84.10        | 25.24                    | 108,964                   | 60.00                 | 0.00                     | 0.00                      | 64,214               |
| 84.10        | 25.74                    | 111,146                   | 60.00                 | 0.00                     | 0.00                      | 65,498               |
| 84.10        | 26.24                    | 113,328                   | 60.00                 | 0.00                     | 0.00                      | 66,782               |
| 84.10        | 26.74                    | 115,510                   | 60.00                 | 0.00                     | 0.00                      | 68,066               |
| 84.10        | 27.24                    | 117,692                   | 60.00                 | 0.00                     | 0.00                      | 69,350               |
| 84.10        | 27.74                    | 119,874                   | 60.00                 | 0.00                     | 0.00                      | 70,634               |
| 84.10        | 28.24                    | 122,056                   | 60.00                 | 0.00                     | 0.00                      | 71,918               |
| 84.10        | 28.74                    | 124,238                   | 60.00                 | 0.00                     | 0.00                      | 73,202               |
| 84.10        | 29.24                    | 126,420                   | 60.00                 | 0.00                     | 0.00                      | 74,486               |
| 84.10        | 29.74                    | 128,602                   | 60.00                 | 0.00                     | 0.00                      | 75,770               |
| 84.10        | 30.24                    | 130,784                   | 60.00                 | 0.00                     | 0.00                      | 77,054               |
| 84.10        | 30.74                    | 132,966                   | 60.00                 | 0.00                     | 0.00                      | 78,338               |
| 84.10        | 31.24                    | 135,148                   | 60.00                 | 0.00                     | 0.00                      | 79,622               |
| 84.10        | 31.74                    | 137,330                   | 60.00                 | 0.00                     | 0.00                      | 80,906               |
| 84.10        | 32.24                    | 139,512                   | 60.00                 | 0.00                     | 0.00                      | 82,190               |
| 84.10        | 32.74                    | 141,694                   | 60.00                 | 0.00                     | 0.00                      | 83,474               |
| 84.10        | 33.24                    | 143,876                   | 60.00                 | 0.00                     | 0.00                      | 84,758               |
| 84.10        | 33.74                    | 146,058                   | 60.00                 | 0.00                     | 0.00                      | 86,042               |
| 84.10        | 34.24                    | 148,240                   | 60.00                 | 0.00                     | 0.00                      | 87,326               |
| 84.10        | 34.74                    | 150,422                   | 60.00                 | 0.00                     | 0.00                      | 88,610               |
| 84.10        | 35.24                    | 152,604                   | 60.00                 | 0.00                     | 0.00                      | 89,894               |
| 84.10        | 35.74                    | 154,786                   | 60.00                 | 0.00                     | 0.00                      | 91,178               |
| 84.10        | 36.24                    | 156,968                   | 60.00                 | 0.00                     | 0.00                      | 92,462               |
| 84.10        | 36.74                    | 159,150                   | 60.00                 | 0.00                     | 0.00                      | 93,746               |
| 84.10        | 37.24                    | 161,332                   | 60.00                 | 0.00                     | 0.00                      | 95,030               |
| 84.10        | 37.74                    | 163,514                   | 60.00                 | 0.00                     | 0.00                      | 96,314               |
| 84.10        | 38.24                    | 165,696                   | 60.00                 | 0.00                     | 0.00                      | 97,598               |
| 84.10        | 38.74                    | 167,878                   | 60.00                 | 0.00                     | 0.00                      | 98,882               |
| 84.10        | 39.24                    | 170,060                   | 60.00                 | 0.00                     | 0.00                      | 100,166              |
| 84.10        | 39.74                    | 172,242                   | 60.00                 | 0.00                     | 0.00                      | 101,450              |
| 84.10        | 40.24                    | 174,424                   | 60.00                 | 0.00                     | 0.00                      | 102,734              |
| 84.10        | 40.74                    | 176,606                   | 60.00                 | 0.00                     | 0.00                      | 104,018              |
| 84.10        | 41.24                    | 178,788                   | 60.00                 | 0.00                     | 0.00                      | 105,302              |
| 84.10        | 41.74                    | 180,970                   | 60.00                 | 0.00                     | 0.00                      | 106,586              |
| 84.10        | 42.24                    | 183,152                   | 60.00                 | 0.00                     | 0.00                      | 107,870              |
| 84.10        | 42.74                    | 185,334                   | 60.00                 | 0.00                     | 0.00                      | 109,154              |
| 84.10        | 43.24                    | 187,516                   | 60.00                 | 0.00                     | 0.00                      | 110,438              |
| 84.10        | 43.74                    | 189,698                   | 60.00                 | 0.00                     | 0.00                      | 111,722              |
| 84.10        | 44.24                    | 191,880                   | 60.00                 | 0.00                     | 0.00                      | 113,006              |
| 84.10        | 44.74                    | 194,062                   | 60.00                 | 0.00                     | 0.00                      | 114,290              |
| 84.10        | 45.24                    | 196,244                   | 60.00                 | 0.00                     | 0.00                      | 115,574              |
| 84.10        | 45.74                    | 198,426                   | 60.00                 | 0.00                     | 0.00                      | 116,858              |
| 84.10        | 46.24                    | 200,608                   | 60.00                 | 0.00                     | 0.00                      | 118,142              |
| 84.10        | 46.74                    | 202,790                   | 60.00                 | 0.00                     | 0.00                      | 119,426              |
| 84.10        | 47.24                    | 204,972                   | 60.00                 | 0.00                     | 0.00                      | 120,710              |
| 84.10        | 47.74                    | 207,154                   | 60.00                 | 0.00                     | 0.00                      | 121,994              |
| 84.10        | 48.24                    | 209,336                   | 60.00                 | 0.00                     | 0.00                      | 123,278              |
| 84.10        | 48.74                    | 211,518                   | 60.00                 | 0.00                     | 0.00                      | 124,562              |
| 84.10        | 49.24                    | 213,700                   | 60.00                 | 0.00                     | 0.00                      | 125,846              |
| 84.10        | 49.74                    | 215,882                   | 60.00                 | 0.00                     | 0.00                      | 127,130              |
| 84.10        | 50.24                    | 218,064                   | 60.00                 | 0.00                     | 0.00                      | 128,414              |
| 84.10        | 50.74                    | 220,246                   | 60.00                 | 0.00                     | 0.00                      | 129,698              |
| 84.10        | 51.24                    | 222,428                   | 60.00                 | 0.00                     | 0.00                      | 130,982              |
| 84.10        | 51.74                    | 224,610                   | 60.00                 | 0.00                     | 0.00                      | 132,266              |
| 84.10        | 52.24                    | 226,792                   | 60.00                 | 0.00                     | 0.00                      | 133,550              |
| 84.10        | 52.74                    | 228,974                   | 60.00                 | 0.00                     | 0.00                      | 134,834              |
| 84.10        | 53.24                    | 231,156                   | 60.00                 | 0.00                     | 0.00                      | 136,118              |
| 84.10        | 53.74                    | 233,338                   | 60.00                 | 0.00                     | 0.00                      | 137,402              |
| 84.10        | 54.24                    | 235,520                   | 60.00                 | 0.00                     | 0.00                      | 138,686              |
| 84.10        | 54.74                    | 237,702                   | 60.00                 | 0.00                     | 0.00                      | 139,970              |
| 84.10        | 55.24                    | 239,884                   | 60.00                 | 0.00                     | 0.00                      | 141,254              |
| 84.10        | 55.74                    | 242,066                   | 60.00                 | 0.00                     | 0.00                      | 142,538              |
| 84.10        | 56.24                    | 244,248                   | 60.00                 | 0.00                     | 0.00                      | 143,822              |
| 84.10        | 56.74                    | 246,430                   | 60.00                 | 0.00                     | 0.00                      | 145,106              |
| 84.10        | 57.24                    | 248,612                   | 60.00                 | 0.00                     | 0.00                      | 146,390              |
| 84.10        | 57.74                    | 250,794                   | 60.00                 | 0.00                     | 0.00                      | 147,674              |
| 84.10        | 58.24                    | 252,976                   | 60.00                 | 0.00                     | 0.00                      | 148,958              |
| 84.10        | 58.74                    | 255,158                   | 60.00                 | 0.00                     | 0.00                      | 150,242              |
| 84.10        | 59.24                    | 257,340                   | 60.00                 | 0.00                     | 0.00                      | 151,526              |
| 84.10        | 59.74                    | 259,522                   | 60.00                 | 0.00                     | 0.00                      | 152,810              |
| 84.10        | 60.24                    | 261,704                   | 60.00                 | 0.00                     | 0.00                      | 154,094              |
| 84.10        | 60.74                    | 263,886                   | 60.00                 | 0.00                     | 0.00                      | 155,378              |
| 84.10        | 61.24                    | 266,068                   | 60.00                 | 0.00                     | 0.00                      | 156,662              |
| 84.10        | 61.74                    | 268,250                   | 60.00                 | 0.00                     | 0.00                      | 157,946              |
| 84.10        | 62.24                    | 270,432                   | 60.00                 | 0.00                     | 0.00                      | 159,230              |
| 84.10        | 62.74                    | 272,614                   | 60.00                 | 0.00                     | 0.00                      | 160,514              |
| 84.10        | 63.24                    | 274,796                   | 60.00                 | 0.00                     | 0.00                      | 161,798              |
| 84.10        | 63.74                    | 276,978                   | 60.00                 | 0.00                     | 0.00                      | 163,082              |
| 84.10        | 64.24                    | 279,160                   | 60.00                 | 0.00                     | 0.00                      | 164,366              |
| 84.10        | 64.74                    | 281,342                   | 60.00                 | 0.00                     | 0.00                      | 165,650              |
| 84.10        | 65.24                    | 283,524                   | 60.00                 | 0.00                     | 0.00                      | 166,934              |
| 84.10        | 65.74                    | 285,706                   | 60.00                 | 0.00                     | 0.00                      | 168,218              |
| 84.10        | 66.24                    | 287,888                   | 60.00                 | 0.00                     | 0.00                      | 169,502              |
| 84.10        | 66.74                    | 290,070                   | 60.00                 | 0.00                     | 0.00                      | 170,786              |
| 84.10        | 67.24                    | 292,252                   | 60.00                 | 0.00                     | 0.00                      | 172,070              |
| 84.10        | 67.74                    | 294,434                   | 60.00                 | 0.00                     | 0.00                      | 173,354              |
| 84.10        | 68.24                    | 296,616                   | 60.00                 | 0.00                     | 0.00                      | 174,638              |
| 84.10        | 68.74                    | 298,798                   | 60.00                 | 0.00                     | 0.00                      | 175,922              |
| 84.10        | 69.24                    | 300,980                   | 60.00                 | 0.00                     | 0.00                      | 177,206              |
| 84.10        | 69.74                    | 303,162                   | 60.00                 | 0.00                     | 0.00                      | 178,490              |
| 84.10        | 70.24                    | 305,344                   | 60.00                 | 0.00                     | 0.00                      | 179,774              |
| 84.10        | 70.74                    | 307,526                   | 60.00                 | 0.00                     | 0.00                      | 181,058              |
| 84.10        | 71.24                    | 309,708                   | 60.00                 | 0.00                     | 0.00                      | 182,342              |
| 84.10        | 71.74                    | 311,890                   | 60.00                 | 0.00                     | 0.00                      | 183,626              |
| 84.10        | 72.24                    | 314,072                   | 60.00                 | 0.00                     | 0.00                      | 184,910              |
| 84.10        | 72.74                    | 316,254                   | 60.00                 | 0.00                     | 0.00                      | 186,194              |
| 84.10        | 73.24                    | 318,436                   | 60.00                 | 0.00                     | 0.00                      | 187,478              |
| 84.10        | 73.74                    | 320,618                   | 60.00                 | 0.00                     | 0.00                      | 188,762              |
| 84.10        | 74.24                    | 322,800                   | 60.00                 | 0.00                     | 0.00                      | 190,046              |
| 84.10        | 74.7                     |                           |                       |                          |                           |                      |



OVERALL DRAINAGE MAP TO CROSS-SECTION A-A

SCALE: 1"=200'

| NO. | DESCRIPTION           | AMOUNT |
|-----|-----------------------|--------|
| 1   | 100% PERFORMANCE      | 1.00   |
| 2   | CONCRETE PAVING       | 1.00   |
| 3   | PERVIOUS PAVING       | 1.00   |
| 4   | BIORETENTION FACILITY | 1.00   |
| 5   | BIORETENTION FACILITY | 1.00   |
| 6   | BIORETENTION FACILITY | 1.00   |
| 7   | BIORETENTION FACILITY | 1.00   |
| 8   | BIORETENTION FACILITY | 1.00   |
| 9   | BIORETENTION FACILITY | 1.00   |
| 10  | BIORETENTION FACILITY | 1.00   |
| 11  | BIORETENTION FACILITY | 1.00   |
| 12  | BIORETENTION FACILITY | 1.00   |
| 13  | BIORETENTION FACILITY | 1.00   |
| 14  | BIORETENTION FACILITY | 1.00   |
| 15  | BIORETENTION FACILITY | 1.00   |
| 16  | BIORETENTION FACILITY | 1.00   |
| 17  | BIORETENTION FACILITY | 1.00   |
| 18  | BIORETENTION FACILITY | 1.00   |
| 19  | BIORETENTION FACILITY | 1.00   |
| 20  | BIORETENTION FACILITY | 1.00   |
| 21  | BIORETENTION FACILITY | 1.00   |
| 22  | BIORETENTION FACILITY | 1.00   |
| 23  | BIORETENTION FACILITY | 1.00   |
| 24  | BIORETENTION FACILITY | 1.00   |
| 25  | BIORETENTION FACILITY | 1.00   |
| 26  | BIORETENTION FACILITY | 1.00   |
| 27  | BIORETENTION FACILITY | 1.00   |
| 28  | BIORETENTION FACILITY | 1.00   |
| 29  | BIORETENTION FACILITY | 1.00   |
| 30  | BIORETENTION FACILITY | 1.00   |
| 31  | BIORETENTION FACILITY | 1.00   |
| 32  | BIORETENTION FACILITY | 1.00   |
| 33  | BIORETENTION FACILITY | 1.00   |
| 34  | BIORETENTION FACILITY | 1.00   |
| 35  | BIORETENTION FACILITY | 1.00   |
| 36  | BIORETENTION FACILITY | 1.00   |
| 37  | BIORETENTION FACILITY | 1.00   |
| 38  | BIORETENTION FACILITY | 1.00   |
| 39  | BIORETENTION FACILITY | 1.00   |
| 40  | BIORETENTION FACILITY | 1.00   |
| 41  | BIORETENTION FACILITY | 1.00   |
| 42  | BIORETENTION FACILITY | 1.00   |
| 43  | BIORETENTION FACILITY | 1.00   |
| 44  | BIORETENTION FACILITY | 1.00   |
| 45  | BIORETENTION FACILITY | 1.00   |
| 46  | BIORETENTION FACILITY | 1.00   |
| 47  | BIORETENTION FACILITY | 1.00   |
| 48  | BIORETENTION FACILITY | 1.00   |
| 49  | BIORETENTION FACILITY | 1.00   |
| 50  | BIORETENTION FACILITY | 1.00   |

ADEQUATE OUTFALL COMPUTATIONS

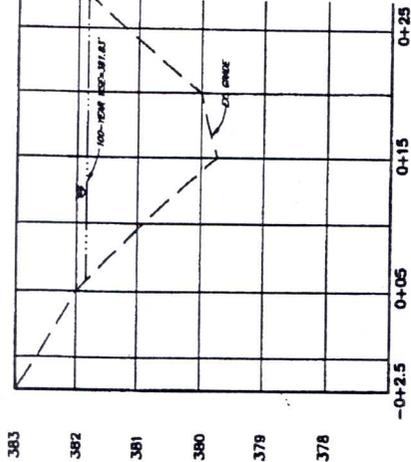
CROSS SECTION A-A

| Time hrs | Inflow cfs | 20/75 - 0 cfs | 25/75 - 0 cfs | 50/75 - 0 cfs | Initial Outflow cfs | Storage cu ft | Outflow cfs | Clk. |
|----------|------------|---------------|---------------|---------------|---------------------|---------------|-------------|------|
| 0.000    | 0.00       | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.010    | 15.28      | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.020    | 30.56      | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.030    | 45.84      | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.040    | 61.12      | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.050    | 76.40      | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.060    | 91.68      | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.070    | 106.96     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.080    | 122.24     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.090    | 137.52     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.100    | 152.80     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.110    | 168.08     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.120    | 183.36     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.130    | 198.64     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.140    | 213.92     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.150    | 229.20     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.160    | 244.48     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.170    | 259.76     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.180    | 275.04     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.190    | 290.32     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.200    | 305.60     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.210    | 320.88     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.220    | 336.16     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.230    | 351.44     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.240    | 366.72     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.250    | 382.00     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.260    | 397.28     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.270    | 412.56     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.280    | 427.84     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.290    | 443.12     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.300    | 458.40     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.310    | 473.68     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.320    | 488.96     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.330    | 504.24     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.340    | 519.52     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.350    | 534.80     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.360    | 550.08     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.370    | 565.36     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.380    | 580.64     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.390    | 595.92     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.400    | 611.20     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.410    | 626.48     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.420    | 641.76     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.430    | 657.04     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.440    | 672.32     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.450    | 687.60     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.460    | 702.88     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.470    | 718.16     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.480    | 733.44     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.490    | 748.72     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.500    | 764.00     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.510    | 779.28     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.520    | 794.56     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.530    | 809.84     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.540    | 825.12     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.550    | 840.40     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.560    | 855.68     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.570    | 870.96     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.580    | 886.24     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.590    | 901.52     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.600    | 916.80     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.610    | 932.08     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.620    | 947.36     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.630    | 962.64     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.640    | 977.92     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.650    | 993.20     | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.660    | 1008.48    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.670    | 1023.76    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.680    | 1039.04    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.690    | 1054.32    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.700    | 1069.60    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.710    | 1084.88    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.720    | 1100.16    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.730    | 1115.44    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.740    | 1130.72    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.750    | 1146.00    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.760    | 1161.28    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.770    | 1176.56    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.780    | 1191.84    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.790    | 1207.12    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.800    | 1222.40    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.810    | 1237.68    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.820    | 1252.96    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.830    | 1268.24    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.840    | 1283.52    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.850    | 1298.80    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.860    | 1314.08    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.870    | 1329.36    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.880    | 1344.64    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.890    | 1359.92    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.900    | 1375.20    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.910    | 1390.48    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.920    | 1405.76    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.930    | 1421.04    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.940    | 1436.32    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.950    | 1451.60    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.960    | 1466.88    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.970    | 1482.16    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.980    | 1497.44    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 0.990    | 1512.72    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |
| 1.000    | 1528.00    | 0.00          | 0.00          | 0.00          | 0.00                | 0.00          | 0.00        | 0.00 |

2 YEAR LEVEL POOL ROUTING CALCULATIONS

REGULAR CROSS SECTION STATION/ELEVATIONS THIN FROM APPROVED GATION ROAD PLAN NUMBER: 9782-SP-01

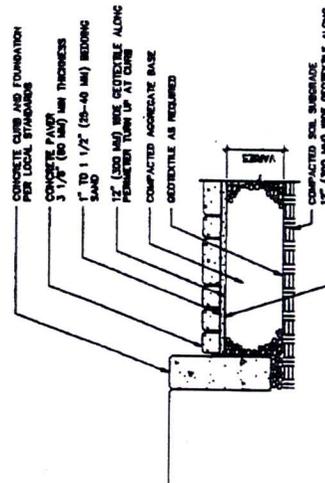
CROSS-SECTION A-A



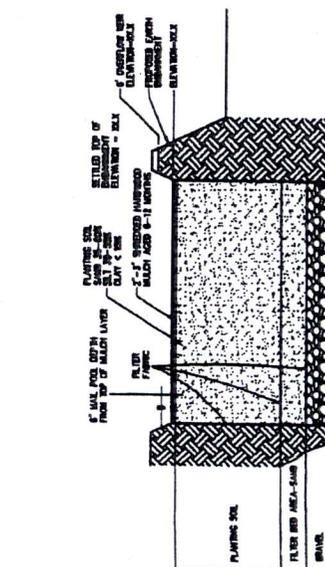
1. The Right-of-Way (ROW) shall be 100% PERFORMANCE. This shall include all structures, utilities, and other improvements within the ROW. This is to be maintained in accordance with the ROW plan. The ROW shall be maintained in accordance with the ROW plan. The ROW shall be maintained in accordance with the ROW plan.

2. The Right-of-Way (ROW) shall be 100% PERFORMANCE. This shall include all structures, utilities, and other improvements within the ROW. This is to be maintained in accordance with the ROW plan. The ROW shall be maintained in accordance with the ROW plan. The ROW shall be maintained in accordance with the ROW plan.

3. The Right-of-Way (ROW) shall be 100% PERFORMANCE. This shall include all structures, utilities, and other improvements within the ROW. This is to be maintained in accordance with the ROW plan. The ROW shall be maintained in accordance with the ROW plan. The ROW shall be maintained in accordance with the ROW plan.



1. DRAIN PIPES BELOW THE BASE MAY BE NECESSARY IN SOME SITUATIONS. SURFACE DRAINAGE SHALL BE PROVIDED TO PREVENT WATER FROM ACCUMULATING UNDER THE PAVEMENT. CONSULT WITH THE DESIGNER FOR DETAILS.
2. CURBS AND WEAR SURF SHALL BE CONSTRUCTED TO PREVENT WATER FROM ACCUMULATING UNDER THE PAVEMENT. CONSULT WITH THE DESIGNER FOR DETAILS.
3. FOR BASE MATERIALS, SURFACE SOIL, AND BASE COMPACTED.
4. DO NOT COVER ENTIRE TOP OF AGGREGATE BASE WITH GEOTEXTILE.



1. BIORETENTION FACILITY
2. PERVIOUS PAVING (CONCRETE PAVING ON COMPACTED AGGREGATE BASE)

ADEQUATE C

NO SCALE

**EXISTING VEGETATION MAP SUMMARY:**

|                                      |  |
|--------------------------------------|--|
| GROSS SITE AREA:                     | 7.44 Ac. ±                                   |
| EXISTING VEGETATION COVER TYPE AREA: | <b>AREA XA</b> , 3.22 Ac. ±                  |
| COVER TYPE:                          | DEVELOPED AREA                               |
| SUCCESSIONAL STAGE:                  | N/A  |
| PRIMARY SPECIES:                     | OAK, MAPLE, ASH, PINE, SPRUCE AND SOME HOLLY |
| CONDITION:                           | GOOD TO FAIR                                 |
| EXISTING VEGETATION COVER TYPE AREA: | <b>AREA XB</b> , 1.38 Ac. ±                  |
| COVER TYPE:                          | DEVELOPED AREA                               |
| SUCCESSIONAL STAGE:                  | N/A  |
| PRIMARY SPECIES:                     | OAK, MAPLE, POPLAR AND SOME CEDAR            |
| CONDITION:                           | GOOD TO FAIR                                 |
| EXISTING VEGETATION COVER TYPE AREA: | <b>AREA XC</b> , 0.35 Ac. ±                  |
| COVER TYPE:                          | PINE GROVE                                   |
| SUCCESSIONAL STAGE:                  | SUBCLIMAX                                    |
| PRIMARY SPECIES:                     | WHITE PINE AND SOME SPRUCE                   |
| CONDITION:                           | FAIR   |
| EXISTING VEGETATION COVER TYPE AREA: | <b>AREA XD</b> , 1.03 Ac. ±                  |
| COVER TYPE:                          | OPEN FIELD                                   |
| SUCCESSIONAL STAGE:                  | N/A  |
| PRIMARY SPECIES:                     | SEMI-MANTAINED LAWN AREAS                    |
| CONDITION:                           | GOOD   |
| EXISTING VEGETATION COVER TYPE AREA: | <b>AREA XE</b> , 0.11 Ac. ±                  |
| COVER TYPE:                          | BOTTOMLAND FOREST                            |
| SUCCESSIONAL STAGE:                  | SUCCESSIONAL                                 |
| PRIMARY SPECIES:                     | OAK, MAPLE, ASH AND BEECH                    |
| CONDITION:                           | GOOD TO FAIR                                 |

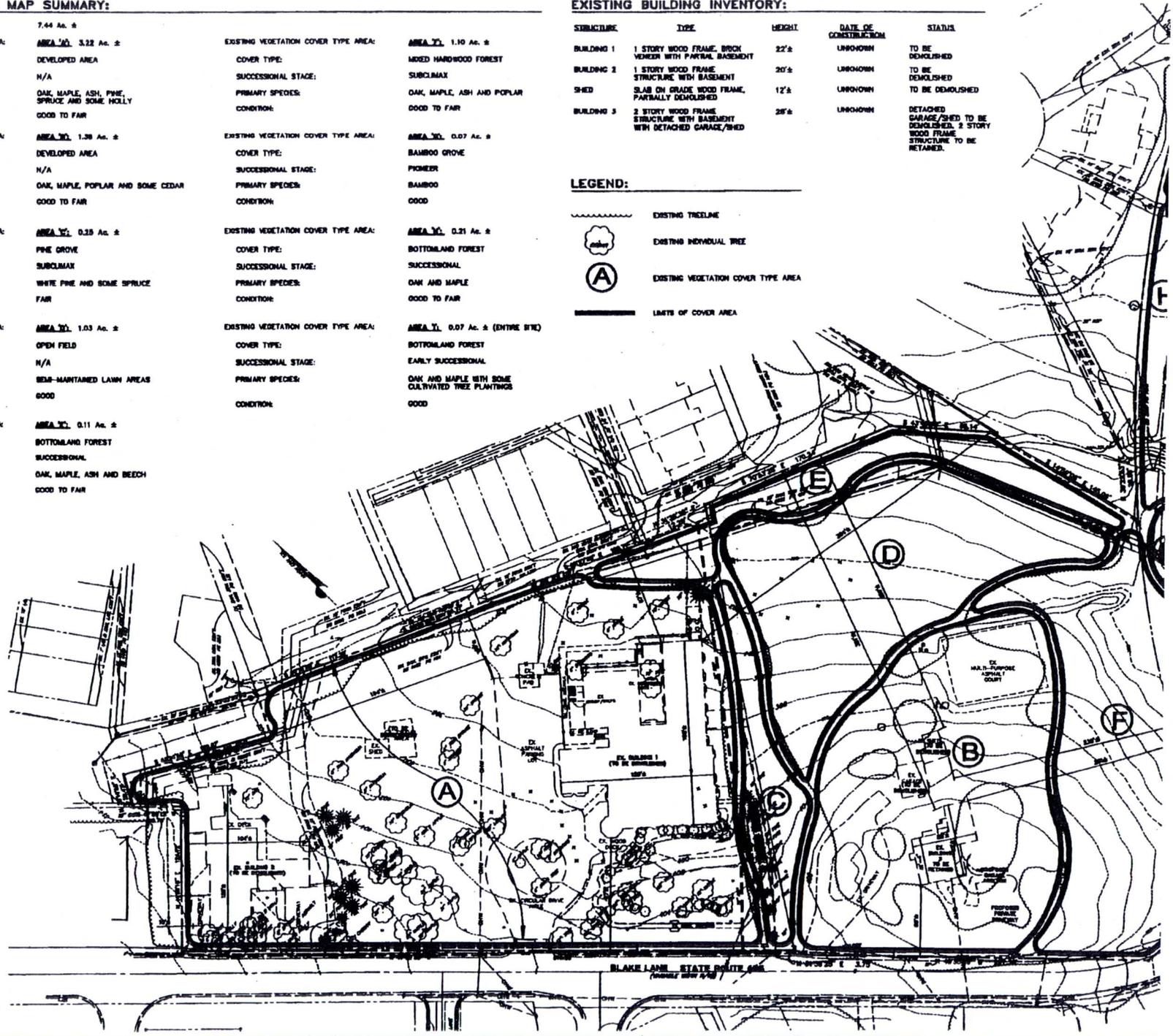
|                                      |   |
|--------------------------------------|---|
| EXISTING VEGETATION COVER TYPE AREA: | <b>AREA XF</b> , 1.10 Ac. ±                       |
| COVER TYPE:                          | MIXED HARDWOOD FOREST                             |
| SUCCESSIONAL STAGE:                  | SUBCLIMAX   |
| PRIMARY SPECIES:                     | OAK, MAPLE, ASH AND POPLAR                        |
| CONDITION:                           | GOOD TO FAIR                                      |
| EXISTING VEGETATION COVER TYPE AREA: | <b>AREA XG</b> , 0.07 Ac. ±                       |
| COVER TYPE:                          | BAMBOO GROVE                                      |
| SUCCESSIONAL STAGE:                  | PIONEER   |
| PRIMARY SPECIES:                     | BAMBOO  |
| CONDITION:                           | GOOD  |
| EXISTING VEGETATION COVER TYPE AREA: | <b>AREA XH</b> , 0.21 Ac. ±                       |
| COVER TYPE:                          | BOTTOMLAND FOREST                                 |
| SUCCESSIONAL STAGE:                  | SUCCESSIONAL                                      |
| PRIMARY SPECIES:                     | OAK AND MAPLE                                     |
| CONDITION:                           | GOOD TO FAIR                                      |
| EXISTING VEGETATION COVER TYPE AREA: | <b>AREA XI</b> , 0.07 Ac. ± (ENTIRE SITE)         |
| COVER TYPE:                          | BOTTOMLAND FOREST                                 |
| SUCCESSIONAL STAGE:                  | EARLY SUCCESSIONAL                                |
| PRIMARY SPECIES:                     | OAK AND MAPLE WITH SOME CULTIVATED TREE PLANTINGS |
| CONDITION:                           | GOOD  |

**EXISTING BUILDING INVENTORY:**

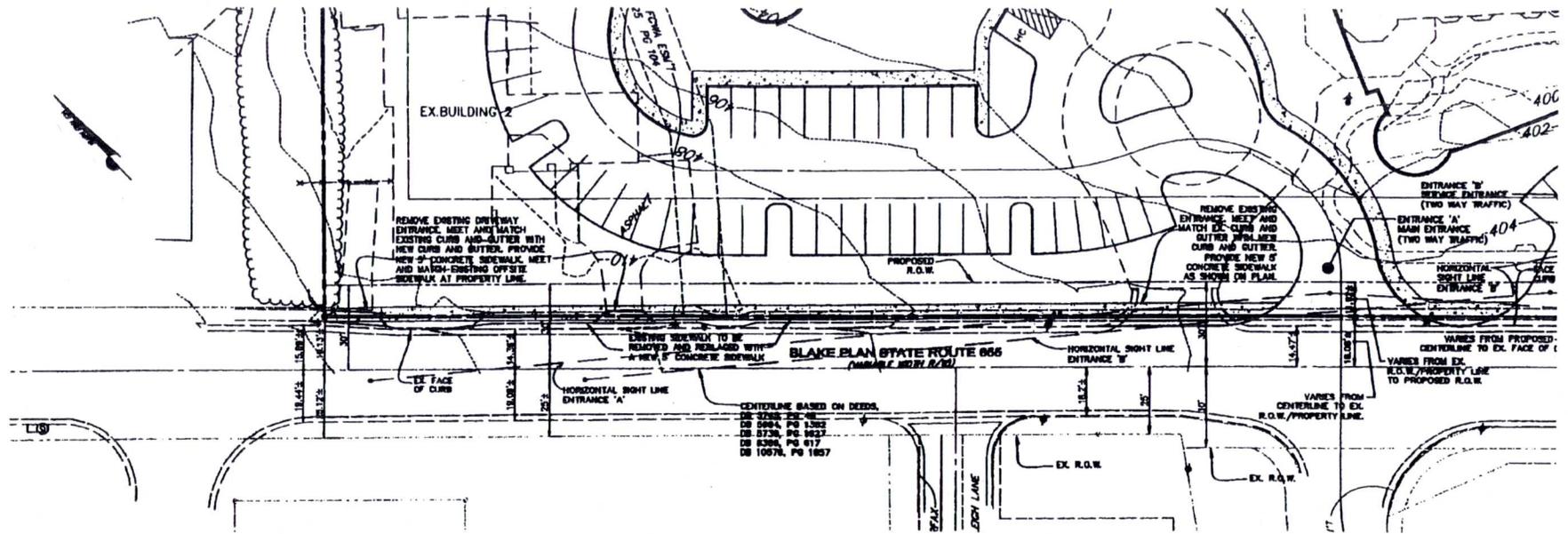
| STRUCTURE  | TYPE   | HEIGHT | DATE OF CONSTRUCTION | STATUS  |
|------------|--|--------|----------------------|---|
| BUILDING 1 | 1 STORY WOOD FRAME, BRICK VENEER WITH PARTIAL BASEMENT               | 22'±   | UNKNOWN              | TO BE DEMOLISHED  |
| BUILDING 2 | 1 STORY WOOD FRAME STRUCTURE WITH BASEMENT                           | 20'±   | UNKNOWN              | TO BE DEMOLISHED  |
| SHED       | SLAB ON GRADE WOOD FRAME, PARTIALLY DEMOLISHED                       | 12'±   | UNKNOWN              | TO BE DEMOLISHED  |
| BUILDING 3 | 2 STORY WOOD FRAME STRUCTURE WITH BASEMENT WITH DETACHED GARAGE/SHED | 28'±   | UNKNOWN              | DETACHED GARAGE/SHED TO BE DEMOLISHED. 2 STORY WOOD FRAME STRUCTURE TO BE RETAINED. |

**LEGEND:**

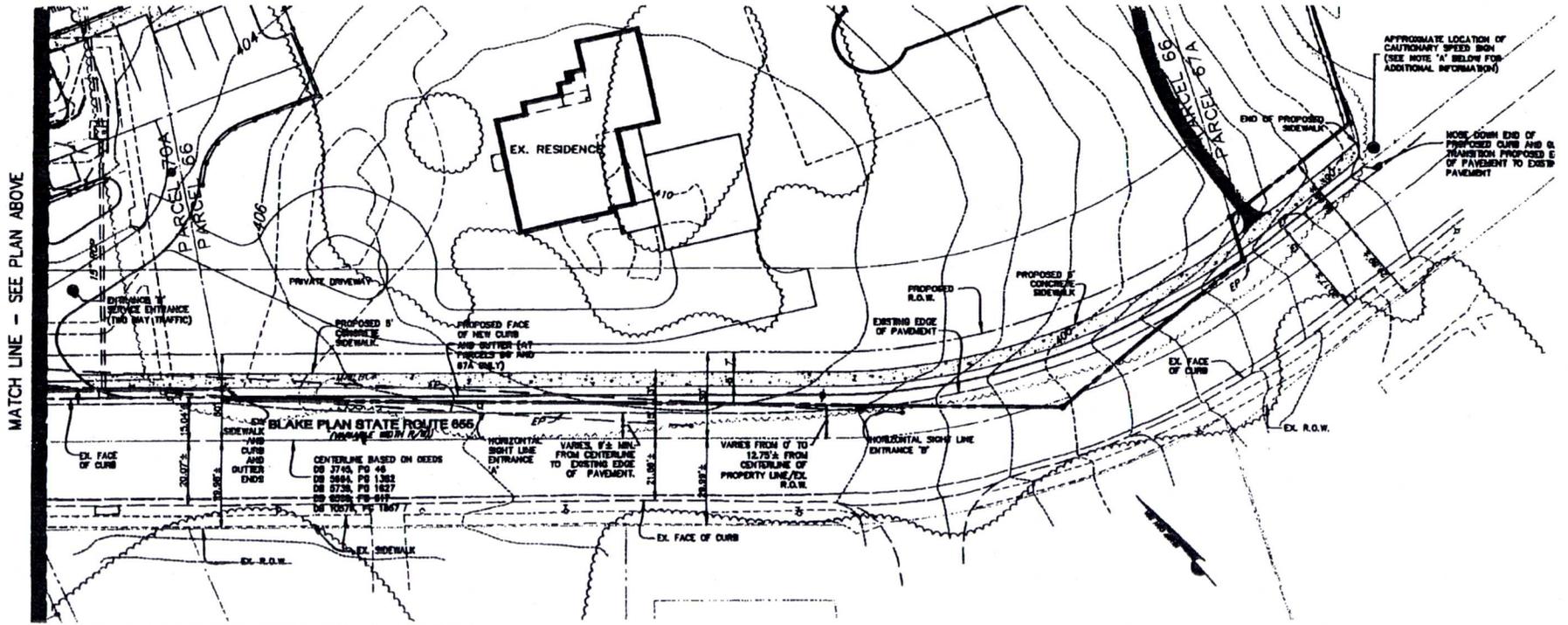
-  EXISTING TREELINE
-  EXISTING INDIVIDUAL TREE
-  EXISTING VEGETATION COVER TYPE AREA
-  LIMITS OF COVER AREA







**BLAKE LANE IMPROVEMENTS PLAN-WEST**

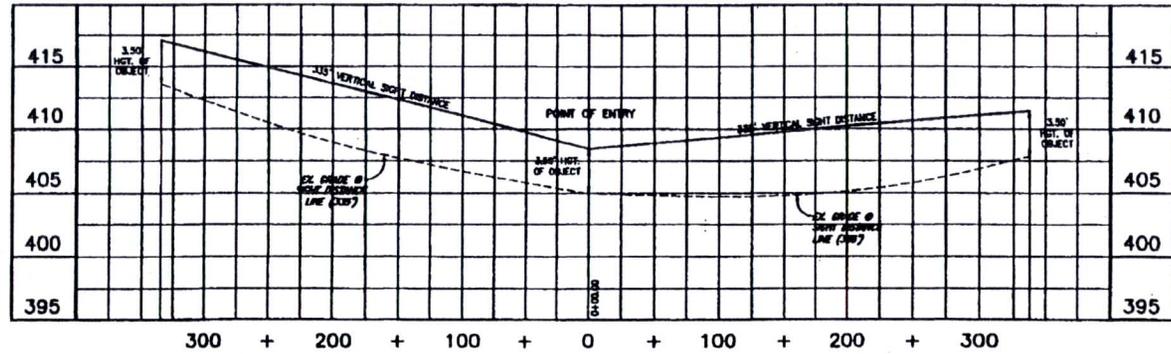


**BLAKE LANE IMPROVEMENTS PLAN-EAST**

SEE SHEET 10 FOR SIGHT DISTANCE PROFILES

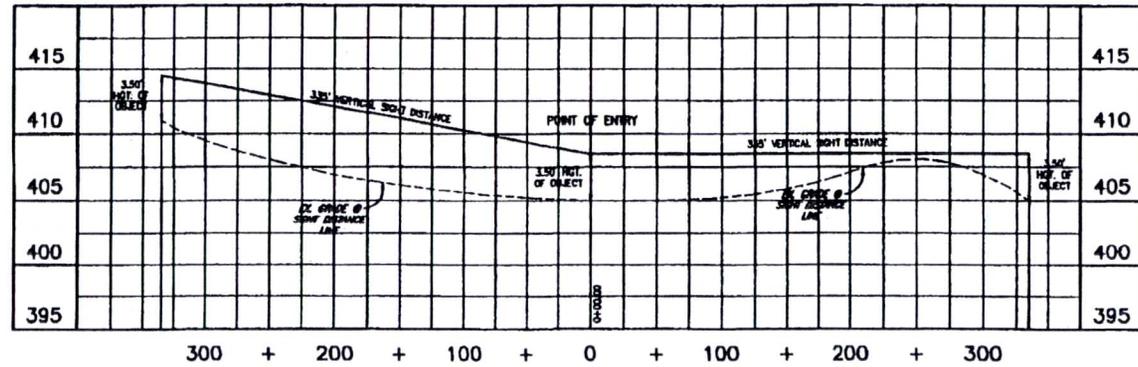
### SIGHT DISTANCE — ENTRANCE A (MAIN)

POSTED SPEED = 30 MPH  
RIGHT-OF-WAY VARIES



### SIGHT DISTANCE — ENTRANCE B

POSTED SPEED = 30 MPH  
RIGHT-OF-WAY VARIES





PROPOSED INDEPENDENT LIVING FACILITY - NORTH-EAST CORNER PERSPECTIVE  
(MAIN BUILDING - 121 UNITS) NO SCALE



PROPOSED INDEPENDENT LIVING FACILITY - VIEW ALONG BLAKE LANE PERSPECTIVE  
NO SCALE



SIDE/REAR ELEVATION OF THE EXISTING BUILDING 3  
(TO REMAIN WITH ALTERATIONS AS 1 UNIT)



PROPOSED INDEPENDENT LIVING FACILITY - EAST ELEVATION

SCALE: 1" = 20'



PROPOSED INDEPENDENT LIVING FACILITY - WEST ELEVATION

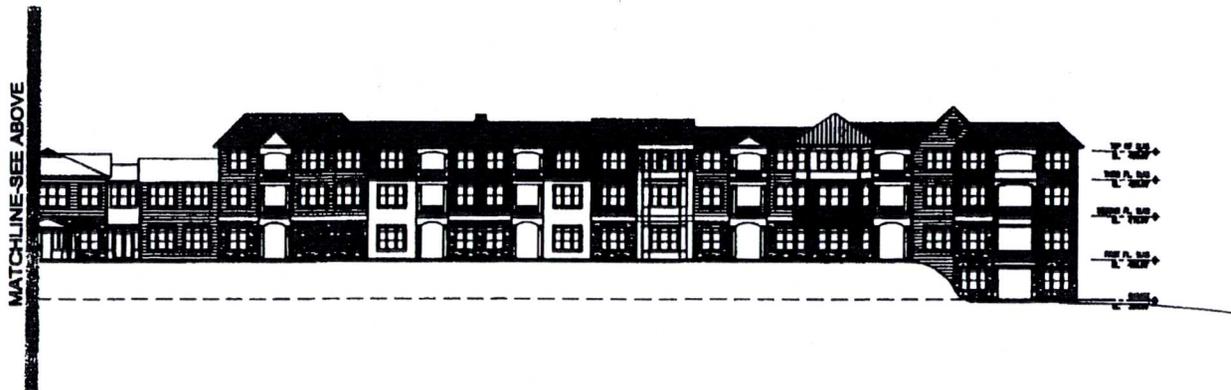


THE IMAGES ON THIS SHEET ARE TO CERTIFY THE QUALITY OF THE PROPOSED DEVELOPMENT AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
THE FINAL DESIGN MAY CHANGE BUT SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE TYPES OF MATERIALS SHOWN AND THE TYPES AND EXTENT OF FEATURES DEPICTED HEREON.



PROPOSED INDEPENDENT LIVING FACILITY - SOUTH ELEVATION - WEST WING

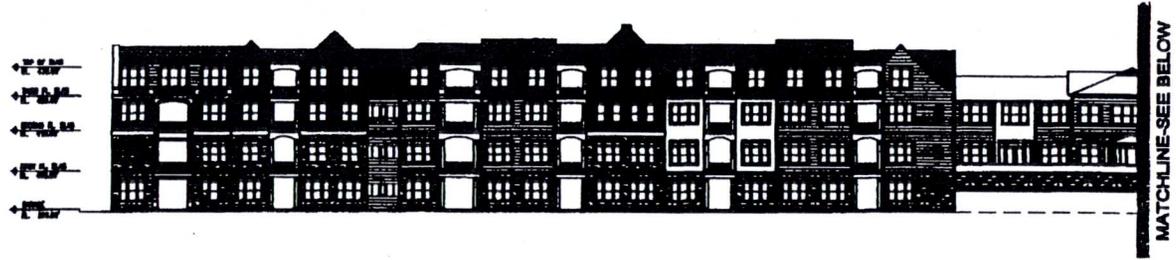
SCALE: 1" = 20'



PROPOSED INDEPENDENT LIVING FACILITY - SOUTH ELEVATION - EAST WING

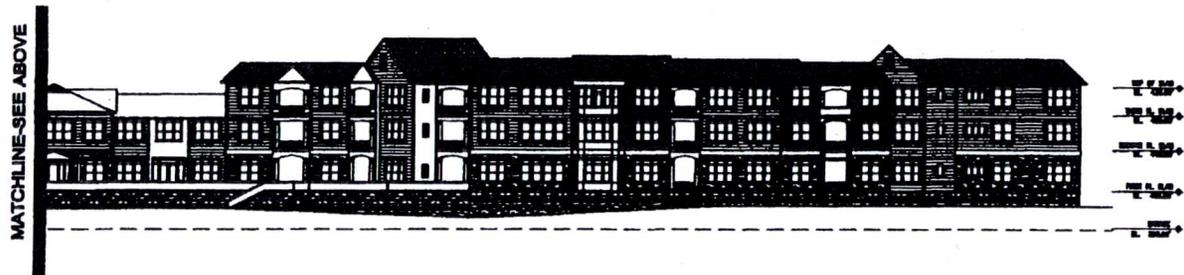
SCALE: 1" = 20'

THE IMAGES ON THIS SHEET ARE TO CERTIFY THE QUALITY OF THE PROPOSED DEVELOPMENT AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.  
 THE FINAL DESIGN MAY CHANGE BUT SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE TYPES OF MATERIALS SHOWN AND THE TYPES AND EXTENT OF FEATURES DEPICTED HEREON.



PROPOSED INDEPENDENT LIVING FACILITY - NORTH ELEVATION - WEST WING

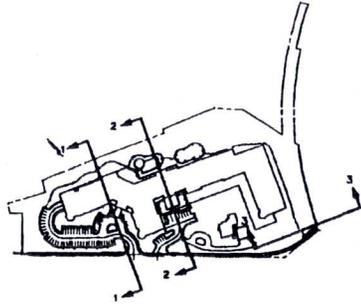
SCALE: 1" = 20'



PROPOSED INDEPENDENT LIVING FACILITY - NORTH ELEVATION - EAST WING

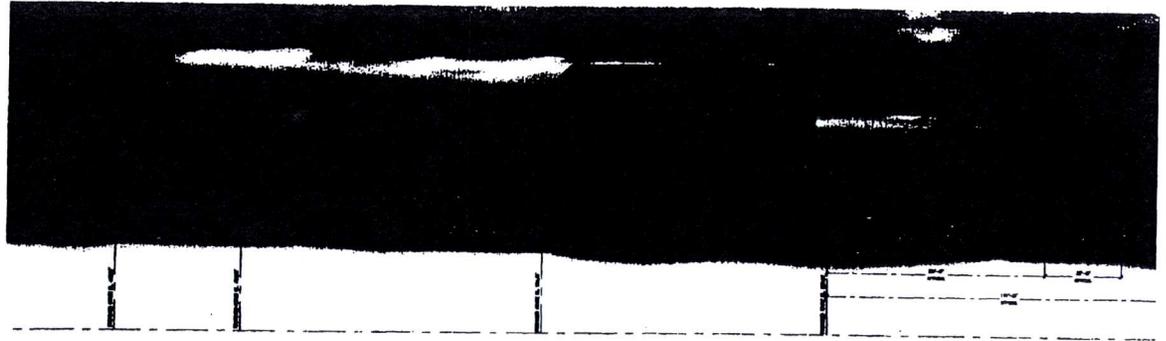
SCALE: 1" = 20'

THE IMAGES ON THIS SHEET ARE TO CERTIFY THE QUALITY OF THE PROPOSED DEVELOPMENT AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE FINAL DESIGN MAY CHANGE BUT SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE TYPES OF MATERIALS SHOWN AND THE TYPES AND EXTENT OF FEATURES DEPICTED HEREON.

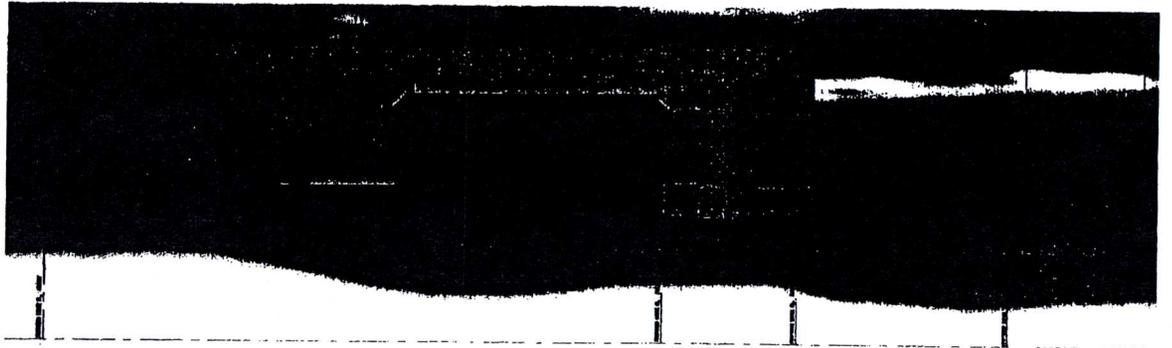


KEY

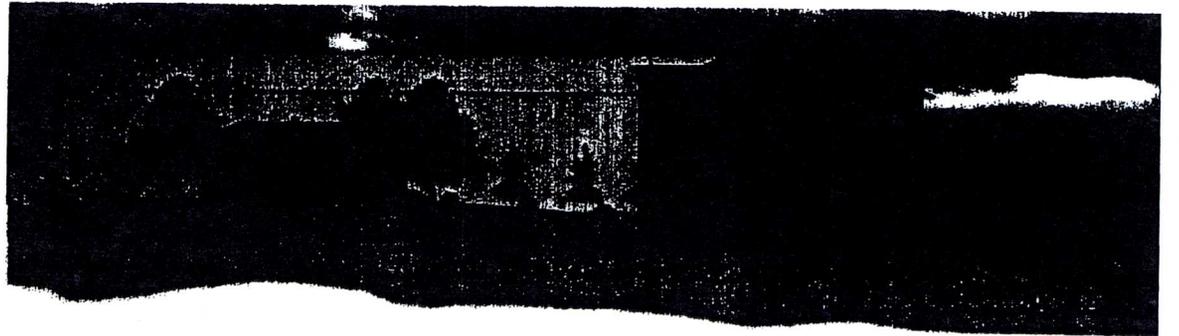
SCALE: 1" = 200'



SECTION 1-1

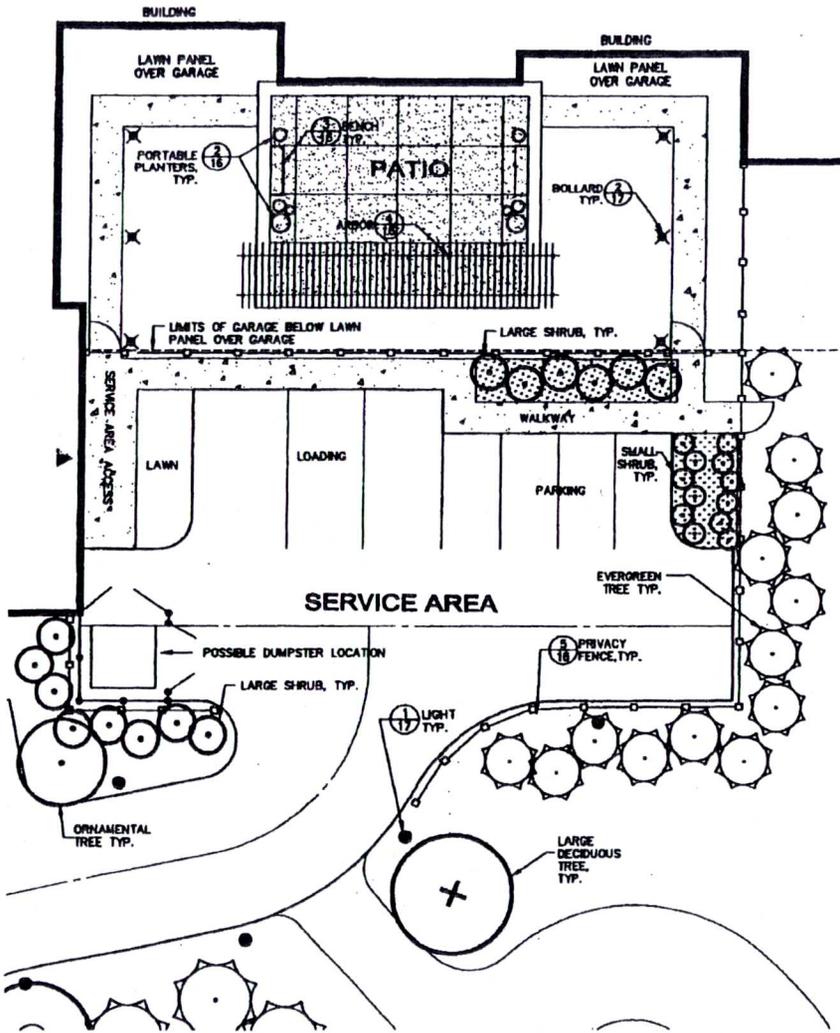


SECTION 2-2



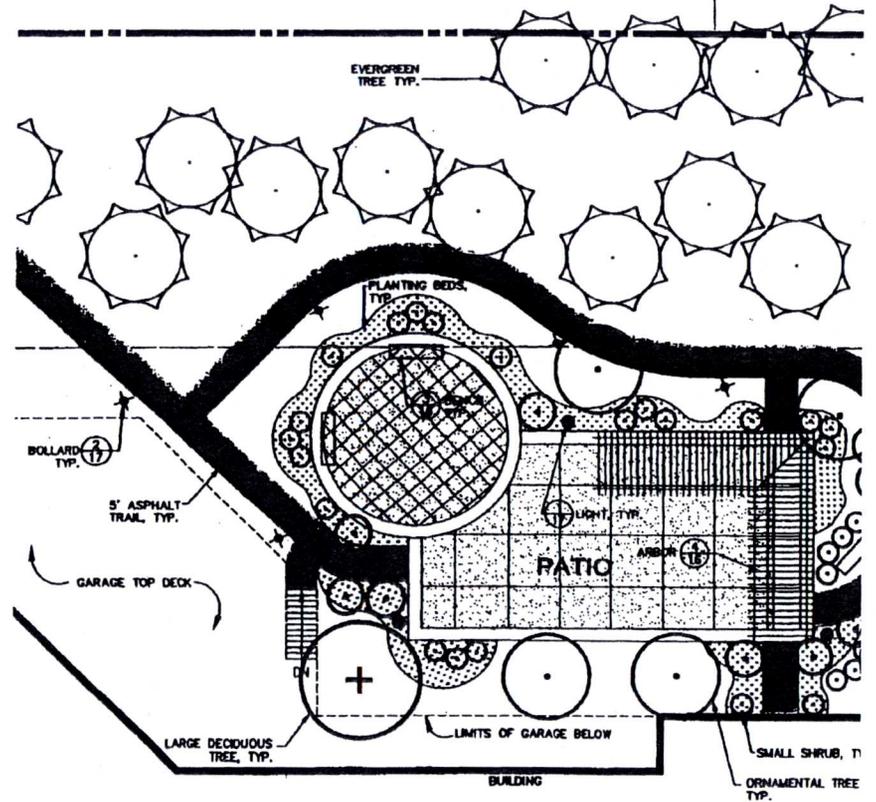
SECTION 3-3

NOTE:  
THE AREAS WITHIN THE ENCLOSED PATIO SPACE MAY BE FULLY PAVED OR A GARAGE TOP DECK MAY BE PROVIDED, HOWEVER, AMENITIES SHOWN ON THIS PLAN WILL BE PROVIDED REGARDLESS OF THE FINAL DESIGN.



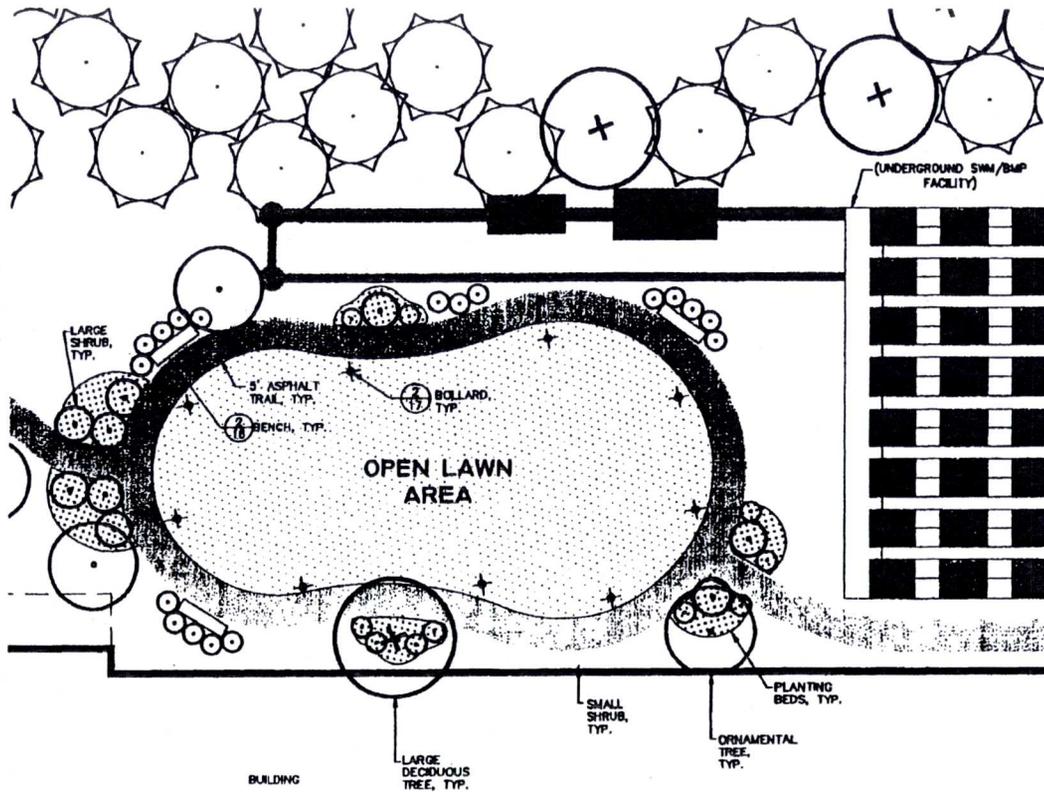
1  
15 FRONT PATIO/SERVICE AREA PLAN

SCALE: 1" = 10'



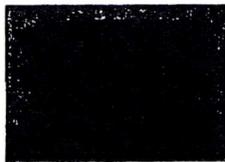
2  
15 REAR PATIO AREA PLAN

THE IMAGES ON THIS SHEET ARE TO CERTIFY THE QUALITY OF THE PROPOSED DEVELOPMENT AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE FINAL DESIGN MAY CHANGE BUT SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE TYPES OF MATERIALS SHOWN AND THE TYPES AND EXTENT OF FEATURES DEPICTED HEREON.

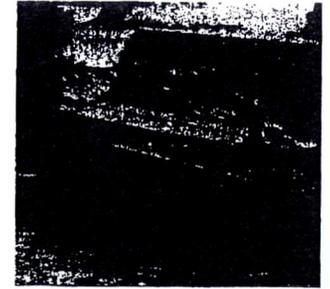


**1**  
**16** LAWN PANEL AREA

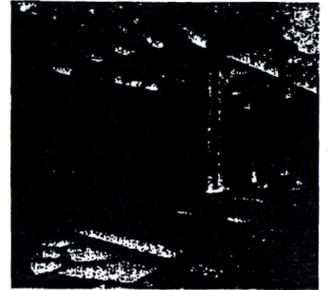
SCALE: 1" = 10'



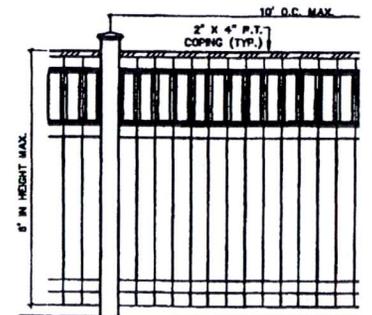
**2**  
**16** PORTABLE PLANTERS  
NO SCALE



**3**  
**16** BENCH  
PHOTO



**4**  
**16** ARBOR  
PHOTO



**5**  
**16** PRIVACY FENCE  
ELEVATION

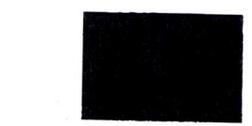
FOR USE AT THE POOL AREA AND AT EAST PROPERTY LINE WHERE SHOWN ON PLAN. (ACTUAL CONFIGURATION TO BE DETERMINED)

**LEGEND:**

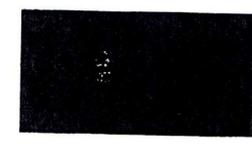
- + BOLLARD
- POLE MOUNTED LIGHT
- \* FLAGPOLE LIGHT
- SIGN LIGHT (POSSIBLE LOCATION)

**NOTES:**

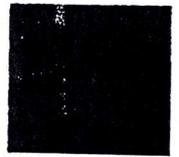
1. ALL LIGHT FIXTURE LOCATIONS ARE APPROXIMATE AND WILL BE ADJUSTED AT THE SITE PLAN PHASE BASED ON A PHOTO-METRIC ANALYSIS.
2. ALL LIGHT FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE FAIRFAX COUNTY ZONING REGULATIONS, ARTICLE 22.1-10, OUTDOOR LIGHTING STANDARDS.
3. FINAL LIGHT FIXTURES TO BE INSTALLED SHALL BE DETERMINED BY THE ARCHITECTURAL DESIGNER. HOWEVER, ANY ALTERNATE LIGHT FIXTURES SHALL BE OF THE SAME QUALITY AND CHARACTER OF THOSE SHOWN HERE.



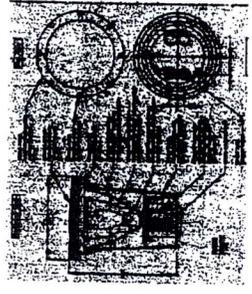
1 POLE MOUNTED LIGHT



2 BOLLARD

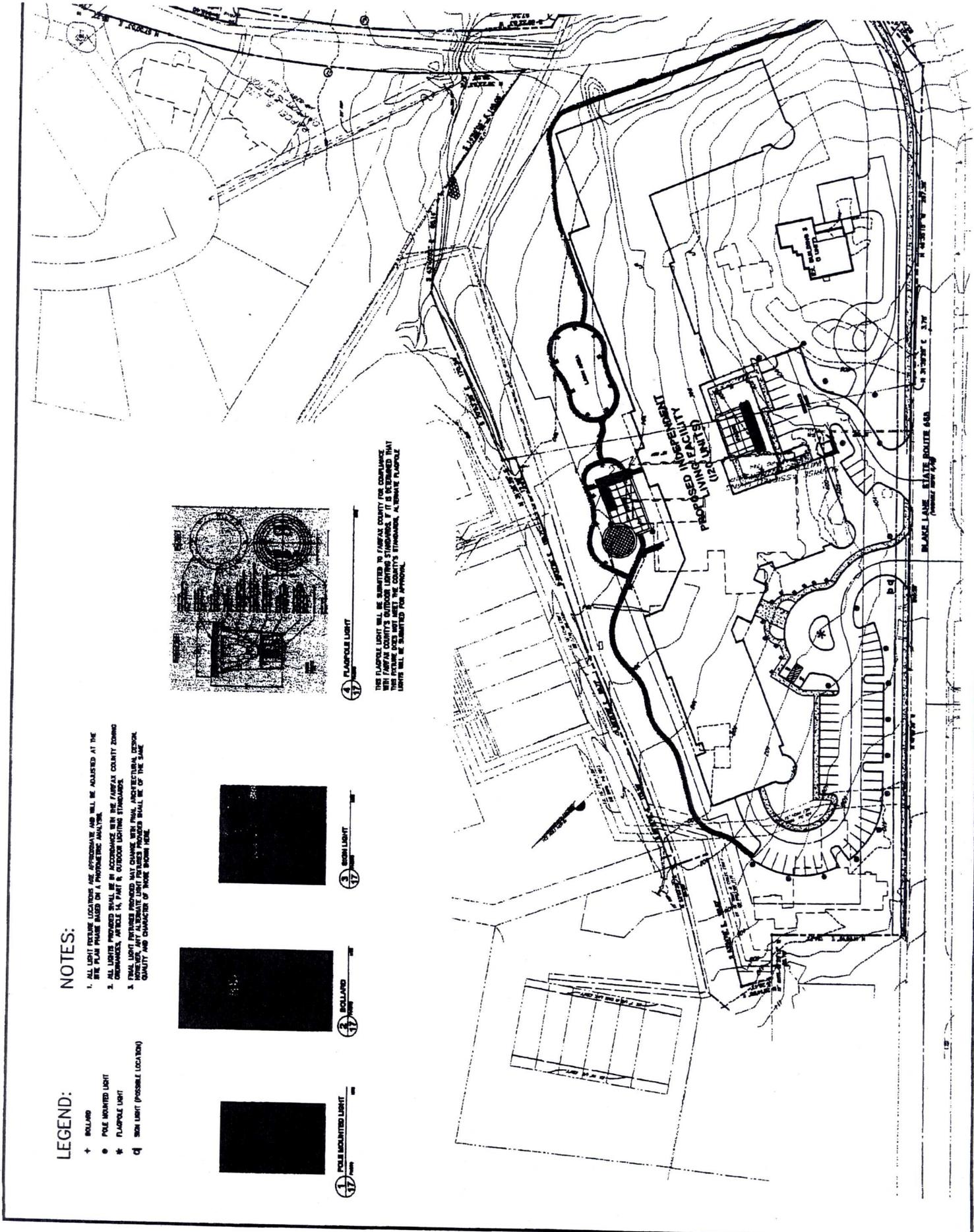


3 SIGN LIGHT



4 FLAGPOLE LIGHT

THIS FLAGPOLE LIGHT WILL BE SUBMITTED TO FAIRFAX COUNTY FOR COMPLIANCE WITH FAIRFAX COUNTY'S OUTDOOR LIGHTING STANDARDS. IF IT IS DETERMINED THAT THE FLAGPOLE LIGHT DOES NOT MEET THE COUNTY'S STANDARDS, ALTERNATE LIGHT FIXTURES WILL BE SUBMITTED FOR APPROVAL.





# County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

January 4, 2011

Lisa M. Chiblow  
 McGuire Woods, L.L.P.  
 1750 Tysons Boulevard, Suite 1800  
 McLean, VA 22102

Re: Special Exception SE 2005-PR-009 – Sunrise Assisted Living Limited Partnership  
 10300 & 10322 Blake Lane  
 Tax Map Ref: 47-2 ((1)) 66, 67A, & 70A  
 Zoning District: R-2

Dear Ms. Chiblow:

A review of the above-referenced special exception indicates that the Board of Supervisors (BOS) adopted SE 2005-PR-009 to permit an independent living facility. To date, our records find that site plan #2352-SP-003-1 was disapproved on March 9, 2009, by Fairfax County with no further action. Consequently, construction has not commenced for this work. In accordance with Sect. 9-015 of the Zoning Ordinance, the above-referenced special exception was to expire, without notice, thirty (30) months after the date of approval unless construction has commenced and been diligently prosecuted. On February 9, 2009 the BOS approved your request for additional time to commence construction with a new expiration date of June 26, 2011.

Please be advised that on March 27, 2009 the Virginia General Assembly adopted House Bill 2077 which added a new § 15.2-2209.1 to the *Code of Virginia* which states, in pertinent part, the following:

[F]or any valid special exception, special use permit, or conditional use permit outstanding as of January 1, 2009, and related to new residential or commercial development, any deadline in the exception permit, or in the local zoning ordinance that requires the landowner or developer to commence the project or to incur significant expenses related to improvements for the project with a certain time, shall be extended until July 1, 2014.

Given that SE 2005-PR-009 was valid and outstanding on January 1, 2009 and the special exception pertains to new commercial development, § 15.2-2209.1 is applicable. As such, the applicant has until July 1, 2014 in which to commence construction or establish the use on the property. Therefore, at this time, no additional action is required by the BOS.

**Department of Planning and Zoning**

Zoning Administration Division  
 Zoning Permit Review Branch  
 12055 Government Center Parkway, Suite 250  
 Fairfax, Virginia 22035-5508  
 Phone 703-324-1359 FAX 703-324-2301  
[www.fairfaxcounty.gov/dpz/](http://www.fairfaxcounty.gov/dpz/)



Lisa M. Chiblow  
January 4, 2011  
Page 2

If you have any questions, please feel free to contact me or Winnie Williams at 703-324-1359.

Sincerely,

A handwritten signature in black ink, appearing to read "Diane Johnson-Quinn". The signature is fluid and cursive, with the first name "Diane" being the most prominent.

Diane Johnson-Quinn  
Deputy Zoning Administrator for  
Zoning Permit Review Branch

cc: Linda Q. Smyth, Supervisor, Providence District  
Eileen M. McLane, Zoning Administrator  
Barbara C. Berlin Director, Zoning Evaluation Division  
Hoa Huynh, Administrative Assistant, Zoning Evaluation Division

## CONCEPT FOR FUTURE DEVELOPMENT

The Concept for Future Development recommends that most of this sector be identified as a Suburban Neighborhood. The Flint Hill Suburban Center is located in this sector (see the Flint Hill Suburban Center).

## RECOMMENDATIONS

### Land Use

The Mosby Woods sector is largely developed as stable residential neighborhoods. Infill development in these neighborhoods should be compatible with existing development in the vicinity in terms of use, type and intensity, in accordance with the guidance provided by the Policy Plan under Land Use Objectives 8 and 14.

Where substantial parcel consolidation is specified, it is intended that such consolidations will provide for projects that function in a well-designed, efficient manner and provide for the development of unconsolidated parcels in conformance with the Area Plan.

Figure 19 indicates the geographic locations of land use recommendations for this sector. Where recommendations are not shown on the General Locator Map, it is so noted.

1. Neighborhoods containing older, more moderately priced housing should be maintained and protected in order to provide affordable housing opportunities. Some of these areas include Fairfax Acres, Dudley Heights and Grays/Grays Oakton.
2. Bannockbairn Estates north of I-66, planned for residential use at 5-8 dwelling units per acre, is an older single-family detached residential subdivision that was bisected by I-66. The portion north of I-66 [(Tax Map 48-3((18)) and ((31)))] may be considered for redevelopment at 8-12 dwelling units per acre with substantial parcel consolidation. This density would be compatible with adjacent development, which is built at a density between 8 and 20 dwelling units per acre.
3. Commercial development in this sector should be limited to those areas designated for commercial use on the Plan map. Existing commercial uses generally should not be intensified, except minimally for modernization or beautification. Additional landscaping and buffering between commercial and residential uses and carefully designed pedestrian connections to adjacent residential areas are strongly encouraged where appropriate. [Not shown]
4. There is a small industrial area on Draper Drive that is planned and developed in a manner similar to adjacent land in Fairfax City. The intensity of development on this land should not exceed .50 FAR. Adjacent to this area is a vacant parcel that is owned by Virginia Power (Tax Map 48-3((1))25), which is programmed for a substation. The substation should be designed with a substantial buffer area (at a minimum - 50 feet) adjacent to residential neighborhoods to the north and east. The buffer area should include berms, barrier walls and landscaping designed to minimize the visual impact of the substation. Transmission lines should access the property from the industrial area to the south or west or be provided underground to minimize the visual impact on the adjoining residential area.



# County of Fairfax, Virginia

## MEMORANDUM

DATE: November 17, 2010

**TO:** Regina Coyle, Director  
Zoning Evaluation Division, DPZ

**FROM:** Pamela G. Nee, Chief *PAN*  
Environment and Development Review Branch, DPZ

**SUBJECT:** Environmental Assessment: RZ 2010-PR-010  
Neighborhood VI, LLC

This memorandum, prepared by Mary Ann Welton, includes citations from the Comprehensive Plan that provide guidance for the evaluation of the subject rezoning application for this property and the revised Generalized Development Plan (GDP) dated November 12, 2010 and draft proffer statement dated October 4, 2010. Possible solutions to remedy identified issues are suggested. Other solutions may be acceptable, provided that they achieve the desired degree of mitigation and are in harmony with Plan policies.

### COMPREHENSIVE PLAN CITATIONS:

Fairfax County Comprehensive Plan, 2007 Edition, Policy Plan, Environment, as amended through July 27, 2010, on pages 7-9, the Plan states:

**“Objective 2: Prevent and reduce pollution of surface and groundwater resources. Protect and restore the ecological integrity of streams in Fairfax County.**

Policy a. Maintain a best management practices (BMP) program for Fairfax County and ensure that new development and redevelopment complies with the County’s best management practice (BMP) requirements. . . .

Policy j. Regulate land use activities to protect surface and groundwater resources.

Policy k. For new development and redevelopment, apply better site design and low impact development (LID) techniques. . . .”

Fairfax County Comprehensive Plan, 2007 Edition, Policy Plan, Environment, as amended through July 27, 2010, on page 10, the Plan states:

**“Objective 3: Protect the Potomac Estuary and the Chesapeake Bay from the avoidable impacts of land use activities in Fairfax County.**

Policy a. Ensure that new development and redevelopment complies with the County's Chesapeake Bay Preservation Ordinance. . . .”

Fairfax County Comprehensive Plan, 2007 Edition, Policy Plan, Environment, as amended through July 27, 2010, on page 18, the Plan states:

**“Objective 10: Conserve and restore tree cover on developed and developing sites. Provide tree cover on sites where it is absent prior to development.**

Policy a: Protect or restore the maximum amount of tree cover on developed and developing sites consistent with planned land use and good silvicultural practices.”

Fairfax County Comprehensive Plan, 2007 Edition, Policy Plan, Environment, as amended through July 27, 2010, on pages 19-21, the Plan states:

**“Objective 13: Design and construct buildings and associated landscapes to use energy and water resources efficiently and to minimize short- and long-term negative impacts on the environment and building occupants.**

Policy a. Consistent with other Policy Plan objectives,+ encourage the application of energy conservation, water conservation and other green building practices in the design and construction of new development and redevelopment projects. These practices can include, but are not limited to:

- Environmentally-sensitive siting and construction of development

- Application of low impact development practices, including minimization of impervious cover (See Policy k under Objective 2 of this section of the *Policy Plan*)
- Optimization of energy performance of structures/energy-efficient design
- Use of renewable energy resources
- Use of energy efficient appliances, heating/cooling systems, lighting and/or other products
- Application of water conservation techniques such as water efficient landscaping and innovative wastewater technologies
- Reuse of existing building materials for redevelopment projects
- Recycling/salvage of non-hazardous construction, demolition, and land clearing debris
- Use of recycled and rapidly renewable building materials
- Use of building materials and products that originate from nearby sources
- Reduction of potential indoor air quality problems through measures such as increased ventilation, indoor air testing and use of low-emitting adhesives, sealants, paints/coatings, carpeting and other building materials.

Encourage commitments to implementation of green building practices through certification under established green building rating systems (e.g., the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED<sup>®</sup>) program or other comparable programs with third party certification). Encourage commitments to the attainment of the ENERGY STAR<sup>®</sup> rating where applicable and to ENERGY STAR qualification for homes. Encourage the inclusion of professionals with green building accreditation on development teams. Encourage commitments to the provision of information to owners of buildings with green building/energy efficiency measures that identifies both the benefits of these measures and their associated maintenance needs. . . .

Policy c. Ensure that zoning proposals for residential development will qualify for the ENERGY STAR Qualified Homes designation, where such zoning proposals seek development at the high end of the Plan density range and where broader commitments to green building practices are not being applied.”

## ENVIRONMENTAL ANALYSIS

This section characterizes the environmental concerns raised by an evaluation of this site and the proposed development. Solutions are suggested to remedy the concerns that have been identified by staff. There may be other acceptable solutions. Particular emphasis is given to opportunities provided by this application to conserve the county's remaining natural amenities.

**Water Quality/Stormwater Management/Adequate Outfall:** The 7.44 acre subject property is located within the Accotink Creek Watershed. The application requests approval of a rezoning from the R-2 to the R-5 Zoning District to allow for the development of 35 town homes and the retention of one existing single-family detached dwelling for an overall density of 4.84 dwelling units per acre. To meet water quantity control requirements for this development, the stormwater narrative indicates that an underground detention facility known as a "raintank" will be installed. Stormwater runoff will be detained in the tank and gradually released at an allowable release rate. The raintank will be designed to include a gravel bed underneath to allow the first half inch of rain to be filtered. The filtration component of the facility is proposed to accommodate water quality control requirements. In the event that soils are not conducive to good infiltration, the applicant is encouraged to depict on the development plan and describe an alternative stormwater method to achieve water quality control benefits for this development.

The outfall narrative indicates that runoff from much of the site will be held in the underground detention facility before being discharged in the floodplain located northeast of the subject property. Stormwater management/best management practice measures and outfall adequacy are subject to review and approval by the Department of Public Works and Environmental Services.

**Tree Preservation:** The existing vegetation on the subject property most worthy of preservation is the mixed hardwood forest located on the eastern and southeastern portion of the property, as well as the forty foot wide strip of land which projects northeast of the main property. The proposed layout of the development and particularly the construction of a retaining wall on the eastern portion of the site could result in the removal of much of the existing vegetation which has been identified for tree preservation. The applicant is encouraged re-evaluate the use of a retaining wall on the east side of the site. In addition, the applicant is encouraged to work with the Urban Forestry Management Branch of the Department of Public Works and Environmental Services to identify additional tree preservation and restoration opportunities in order to augment those areas shown on the development plan.

**Green Building:** The Policy Plan recommends that residential proposals seeking the high end of the planned density range obtain Energy Star Qualified Homes designation. This 7.44 acre site is planned for residential development at 4-5 dwelling units per acre. The current proposal

for 36 dwelling units, at an overall density of 4.84 dwelling units per acre, is at the high end of the density range. In support of the Policy Plan's green building guidance, the October 4, 2010, draft proffer statement includes a commitment that new dwellings will obtain the Energy Star Qualified Homes designation for this development. However, the proffer should be modified to identify that documentation for demonstration of Energy Star Qualified Homes designation will be provided prior to the issuance of each Residential Use Permit (RUP). This timing of demonstration of green building certification would be consistent with other commitments received by Fairfax County for Energy Star Qualified Homes designation.

### **COUNTYWIDE TRAILS MAP**

The Countywide Trails Plan does not depict any trails immediately adjacent to the subject property.

PGN: MAW



# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** October 26, 2010

**TO:** Kelli Goddard-Sobers, Staff Coordinator  
Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Beth Forbes, Stormwater Engineer *Bef*  
Environmental and Site Review Division  
Department of Public Works and Environmental Services

**SUBJECT:** Rezoning Application #RZ 2010-PR-010, Neighborhoods VI – Oakton East, Generalized Development Plan dated October 14, 2010, LDS Project #2352-ZONA-002-2, Tax Map #47-2-01-0066, -0067A and -0070A, Providence District

We have reviewed the subject application and offer the following stormwater management comments.

Chesapeake Bay Preservation Ordinance (CBPO)

There is no Resource Protection Area (RPA) on this site. Water quality controls are required for this development (PFM 6-0401.2A). An infiltration facility is depicted on the plan.

Floodplain

There are no regulated floodplains on the property.

Downstream Drainage Complaints

There are no downstream drainage complaints on file.

Stormwater Detention

Stormwater detention is required, if not waived (PFM 6-0301.3). A Raintank infiltration facility has been proposed. Raintank systems and other infiltration systems using manufactured components are discouraged due to maintenance difficulties (LTI 10-4).

The applicant should be aware that the EPA has issued a Draft Benthic TMDL Development Report for the Accotink Creek Watershed. Should the recommendations in this report be adopted, detention requirements more stringent than those currently in the PFM may be applied to this project.

Department of Public Works and Environmental Services  
Land Development Services, Environmental and Site Review Division  
12055 Government Center Parkway, Suite 535  
Fairfax, Virginia 22035-5503  
Phone 703-324-1720 • TTY 711 • FAX 703-324-8359





## County of Fairfax, Virginia

**MEMORANDUM**

November 18, 2010

**TO:** Kelli-Mae Goddard-Sobers, Staff Coordinator

**FROM:** Phyllis Wilson, Urban Forester III  
Forest Conservation Branch, DPWES

**SUBJECT:** Oakton East, RZ 2010-PR-010

A review of the revised Generalized Development Plan (GDP) for the subject application, dated as received by DPZ on 11/12/2010, has been completed. Most issues noted on the previous GDP have been resolved.

It should be noted by the applicant that at time of site plan review, any tree whose canopy will be used toward meeting the tree cover requirements must have no more than 40% of the critical root zone impacted and disturbed by construction activity. This includes all trees near the base of the proposed retaining walls. Any tree that exceeds these criteria for tree preservation will not be counted toward tree cover credit.

Recommendation: The proffers should include at minimum a requirement for root pruning along the limits of clearing (LOC), installation of welded wire tree protection fencing, and a requirement to permit field adjustments to the LOC to the degree possible by the Urban Forester prior to commencement of construction in order to maximize survival of peripheral LOC trees.

PAW/  
UFMID #: 153400

cc: RA File  
DPZ File





# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** November 5, 2010

**TO:** Regina Coyle  
Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Angela Kadar Rodeheaver  
Site Analysis Section  
Department of Transportation

**FILE:** 3-4 (RZ 2010-PR-010)

**SUBJECT:** Transportation Impact

**REFERENCE:** RZ 2010-PR-010 Neighborhoods VI, LLC – Oakton East  
Traffic Zone: 1606  
Land Identification Map: 47-2 ((1)) 66, 67A, 70A

Transmitted herewith are the comments from the Department of Transportation with respect to the referenced application. These comments are based on plats made available to this office dated June 2010, and revised through October 14, 2010. The applicant wishes to rezone the 7.44 acre site from R-2 to R-5 for 35 single family attached dwelling units (TH's) and one single family dwelling unit for a density of 4.84 dwelling units per acre. The access will be to Blake Lane via a private street. The single family dwelling exists and will retain a separate driveway to Blake Lane. The applicant has provided internal pedestrian connections and connections to the five-foot sidewalk along Blake Lane.

The VDOT memo has stated that "All existing entrances and driveways to the site must be closed." The driveway to the single family dwelling may have to be changed to access an internal street.

AKR/LAH/lah

Fairfax County Department of Transportation

4050 Legato Road, Suite 400

Fairfax, VA 22033-2895

Phone: (703) 877-5600 TTY: 711

Fax: (703) 877 5723

[www.fairfaxcounty.gov/fcdot](http://www.fairfaxcounty.gov/fcdot)





FAIRFAX COUNTY  
PUBLIC SCHOOLS

Department of Facilities and Transportation Services

Office of Facilities Planning Services  
8115 Gatehouse Road, Suite 3300  
Falls Church, Virginia 22042

September 7, 2010

**TO:** Kelli-Mae Goddard-Sobers  
Fairfax County Department of Planning & Zoning  
Zoning Evaluation Division

**FROM:** Denise M. James, Director *DMJ*  
Office of Facilities Planning Services

**SUBJECT:** RZ 2010-PR-010, Blake Lane

**ACREAGE:** 7.44 acres

**TAX MAP:** 47-2 ((1)) 66, 67A, 70A

**PROPOSAL:** Rezone property from the R-2 District to the R-5 District to permit 35 townhomes and one single family dwelling.

**COMMENTS:** The proposed rezoning area is within the Oakton Elementary School, Luther Jackson Middle School, and Oakton High School boundaries. The chart below shows the existing school capacity, enrollment, and projected five year enrollment.

| School     | Capacity | Enrollment<br>(9/30/09) | 2010-2011<br>Projected<br>Enrollment | Capacity<br>Balance<br>2010-2011 | 2015-16<br>Projected<br>Enrollment | Capacity<br>Balance<br>2015-16 |
|------------|----------|-------------------------|--------------------------------------|----------------------------------|------------------------------------|--------------------------------|
| Oakton ES  | 630/650* | 666                     | 731                                  | -101                             | 858                                | -208                           |
| Jackson MS | 1125     | 1070                    | 1170                                 | -45                              | 1457                               | -332                           |
| Oakton HS  | 2150     | 2374                    | 2323                                 | -173                             | 2431                               | -281                           |

*Capacity and enrollment are based on the FCPS FY 2011-15 CIP and projection update.*

*\* Renovations at Oakton ES are anticipated to be completed for the 2012-13 school year.*

The school capacity chart shows a snapshot in time for student enrollment and school capacity balance. Student enrollment projections are done on a six year timeframe, currently through school year 2015-16 and are updated annually. All three receiving schools are projected to be over capacity for the 2010 school year and are projected to remain over capacity through school year 2015. Beyond the six year projection horizon, enrollment projections are not available.

The rezoning application proposes to rezone property from the R-2 District to the R-5 District to permit 35 townhomes and one single family detached dwelling unit. If developed by-right, it appears that 2 single family dwelling units would be permitted.

The chart below shows the number of projected students by school level.

| School level    | Single family attached ratio / single family detached ratio | Proposed # of units | Student yield | Single family detached ratio | Current # of units permitted by-right | Student yield |
|-----------------|---|---------------------|---------------|------------------------------|---------------------------------------|---------------|
| Elementary      | .204 / .266   | 35 / 1              | 7 / 0         | .266                         | 2                                     | 1             |
| Middle          | .057.084  | 35 / 1              | 2 / 0         | .084                         | 2                                     | 0             |
| High            | .118.181  | 35 / 1              | 4 / 0         | .181                         | 2                                     | 0             |
| <b>13 total</b> |   |                     |               | <b>1 total</b>               |                                       |               |

It is noted that Jackson Middle School is the receiving school for the Merrifield Town Center area and both Jackson Middle and Oakton High schools are the receiving schools for the Pulte Metro West development, where future student growth is anticipated. Future student yields from these developments will further exacerbate the projected capacity deficits at the respective schools.

#### SUMMARY:

##### Suggested Proffer Contribution

The rezoning application is anticipated to yield 12 new students (13-1=12). Based on the approved proffer formula guidelines, the students generated would justify a proffer contribution of \$112,536 (12 students x \$9,378) in order to address capital improvements for the receiving schools. It is recommended that all proffer contributions be directed to Cluster II or Cluster VIII schools that encompass this area at the time of site plan or building permit approval. It is also recommended that notification be given to FCPS when construction is anticipated to commence in order for FCPS to include the timely projection of students into its six year Capital Improvement Program.

In addition, a proffer for an escalation condition is recommended. The suggested proffer contribution is updated on an annual basis to reflect current market conditions and the amount has decreased over the last couple of years because of the down turn in the economy and lower construction costs for FCPS. As a result, an escalation condition would allow for payment of the school proffer based on either the current suggested proffer contribution or the proffer contribution in effect at the time of development, whichever is greater. This would better reflect the per student proffer contribution at the time of development, given that in this economy, development may not immediately commence. For your reference, below is an example of an escalation condition that was included as part of an approved proffer contribution to FCPS.

- A. Adjustment to Contribution Amounts. Following approval of this Application and prior to the Applicant's payment of the amount(s) set forth in this Proffer, if Fairfax County should increase the ratio of students per high-rise multifamily unit or the amount of the contribution per student, the Applicant shall increase the amount of the contribution for that phase of development to reflect the then-current ratio and/or contribution. If the County should decrease the ratio or contribution amount, the Applicant shall provide the greater of the two amounts.

##### Attachment: Locator Map

cc: Patricia S. Reed, School Board Member, Providence District  
 Ilryong Moon, School Board Member, At-Large  
 James L. Raney, School Board Member, At-Large  
 Martina A. Hone, School Board Member, At-Large  
 Dean Tistadt, Chief Operating Officer, FCPS  
 Phyllis Pajardo, Cluster II, Assistant Superintendent  
 Fabio Zuluaga, Cluster VIII, Assistant Superintendent  
 Christine Gray, Principal, Oakton Elementary School  
 Louise H. Porter, Principal, Luther Jackson Middle School  
 John Banbury, Principal, Oakton High School



FAIRFAX COUNTY WATER AUTHORITY  
8560 Arlington Boulevard, Fairfax, Virginia 22031  
www.fairfaxwater.org

**PLANNING & ENGINEERING  
DIVISION**

Jamie Bain Hedges, P.E.  
Director  
(703) 289-6325  
Fax (703) 289-6382

August 12, 2010

Ms. Regina Coyle, Director  
Fairfax County Department of Planning and Zoning  
12055 Government Center Parkway, Suite 801  
Fairfax, Virginia 22035-5505

Re: RZ 2010-PR-010  
Tax Map: 47-2  
Oakton East

Dear Ms. Coyle:

The following information is submitted in response to your request for a water service analysis for the above application:

1. The property is served by Fairfax Water.
2. Adequate domestic water service is available at the site from existing 8-inch and 20-inch water mains located at the property. See the enclosed water system map.
3. The existing 8-inch water main routed through the western portion of the site is a critical line providing fire protection to the Oakton Mains subdivision adjacent to the northern property edge. Any relocation of this water line will be at the developer's expense and the sequence of construction approved by the Fire Marshal and Fairfax Water to minimize any reduction in fire protection service.
4. Depending upon the configuration of the on-site water mains, additional water main extensions may be necessary to satisfy fire flow requirements and accommodate water quality concerns.

If you have any questions regarding this information please contact Dave Guerra  
at (703) 289-6343.

Sincerely,

A handwritten signature in cursive script that reads "Traci K. Goldberg". The signature is written in black ink and is positioned to the right of the word "Sincerely,".

Traci K. Goldberg, P.E.  
Manager, Planning Department

Enclosure

cc: Peter Riner, BC Consultants  
Lisa M. Chiblow, McGuire Woods, LLP



# County of Fairfax, Virginia

## MEMORANDUM

DATE: August 19, 2010

**TO:** Regina Coyle, Director  
Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Eric Fisher, GIS Analyst III  
Information Technology Section  
Fire and Rescue Department

**SUBJECT:** Fire and Rescue Department Preliminary Analysis of Rezoning Application  
RZ 2010-PR-010

The following information is submitted in response to your request for a preliminary Fire and Rescue Department analysis for the subject:

1. The application property is serviced by the Fairfax County Fire and Rescue Department Station #434, **Oakton**
2. After construction programmed \_\_\_\_\_ this property will be serviced by the fire station \_\_\_\_\_
3. In summary, the Fire and Rescue Department considers that the subject rezoning application property:
  - a. currently meets fire protection guidelines.
  - b. will meet fire protection guidelines when a proposed fire station becomes fully operational.
  - c. does not meet current fire protection guidelines without an additional facility; however, a future station is projected for this area.
  - d. does not meet current fire protection guidelines without an additional facility. The application property is \_\_\_ of a mile outside the fire protection guidelines. No new facility is currently planned for this area.





# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** August 16, 2010

**TO:** Staff Coordinator  
Zoning Evaluation Division  
Department of Planning & Zoning

**FROM:** Lana Tran (Tel: 703 324-5008)  
Wastewater Planning & Monitoring Division  
Department of Public Works & Environmental Services

**SUBJECT:** Sanitary Sewer Analysis Report

**REFERENCE:** Application No. RZ2010-PR-010

Tax Map No. 047-2 /01/0066, 0067A, 0070A

The following information is submitted in response to your request for a sanitary sewer analysis for above referenced application:

1. The application property is located in the Accotink (M-1) watershed. It would be sewer into the Noman M. Cole Treatment Plant (NMCPCP).
2. Based upon current and committed flow, there is excess capacity in the NMCPCP. For purposes of this report, committed flow shall be deemed that for which fees have been paid, building permits have been issued, or priority reservations have been established by the Board of Supervisors. No commitment can be made, however, as to the availability of treatment capacity for the development of the subject property. Availability of treatment capacity will depend upon the current rate of construction and the timing for development of this site.
3. An existing 8" inch line located in the street is adequate for the proposed use at this time.
4. The following table indicates the condition of all related sewer facilities and the total effect of this application.

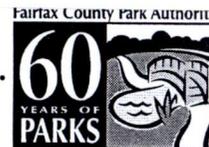
| <u>Sewer Network</u> | <u>Existing Use + Application</u> |                | <u>Existing Use + Application Previous Rezonings</u> |                | <u>Existing Use + Application + Comp Plan</u> |                |
|----------------------|-----------------------------------|----------------|--|----------------|---|----------------|
|                      | <u>Adeq.</u>                      | <u>Inadeq.</u> | <u>Adeq.</u>   | <u>Inadeq.</u> | <u>Adeq.</u>                                  | <u>Inadeq.</u> |
| Collector            | <u>X</u>                          | <u>---</u>     | <u>X</u>   | <u>---</u>     | <u>X</u>                                      | <u>---</u>     |
| Submain              | <u>X</u>                          | <u>---</u>     | <u>X</u>   | <u>---</u>     | <u>X</u>                                      | <u>---</u>     |
| Main/Trunk           | <u>X</u>                          | <u>---</u>     | <u>X</u>   | <u>---</u>     | <u>X</u>                                      | <u>---</u>     |
| Interceptor          | <u>---</u>                        | <u>---</u>     | <u>---</u>   | <u>---</u>     | <u>---</u>                                    | <u>---</u>     |
| Outfall              | <u>---</u>                        | <u>---</u>     | <u>---</u>   | <u>---</u>     | <u>---</u>                                    | <u>---</u>     |

5. Other pertinent information or comments:





# FAIRFAX COUNTY PARK AUTHORITY



## M E M O R A N D U M

**TO:** Regina M. Coyle, Director  
Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Sandy Stallman, Manager  
Park Planning Branch, PDD *SS*

**DATE:** November 24, 2010

**SUBJECT:** RZ 2010-PR-010, Oakton East - ADDENDUM  
Tax Map Number(s): 47-2 ((1)) 66, 67A, 70A

### BACKGROUND

The Park Authority previously commented on this plan in memos dated August 31, 2010, September 21, 2010 and October 19, 2010. The Park Authority staff has reviewed the proposed Development Plan for the above referenced application dated June 2010 as revised through November 12, 2010 in conjunction with draft proffers dated October 4, 2010. The Development Plan shows the retention of one existing single-family detached home plus 35 new single-family attached homes on a 7.43± parcel. The property is proposed to be rezoned from the R-2 to the R-5 zoning district. The proposed rezoning will potentially generate 87 new residents in the Providence Supervisory District.

### COMPREHENSIVE PLAN CITATIONS

#### 1. Park Services and New Development (The Policy Plan, Parks and Recreation Objective 6, p. 8)

**“Objective 6: Ensure the mitigation of adverse impacts to park and recreation facilities and service levels caused by growth and land development through the provision of proffers, conditions, contributions, commitments, and land dedication.”**

“Policy a: Offset residential development impacts to parks and recreation resources, facilities and service levels based on the adopted facility service level standards (Appendix 2). The provision of suitable new park and recreational lands and facilities will be considered in the review of land development proposals in accordance with Residential Development Criteria - Appendix 9 of the Land Use element of the Countywide Policy Plan.”

“Policy b: To implement Policy a. above, residential land development should include provisions for contributions, or dedication, to the Park Authority of usable parkland and facilities, public trails, development of recreational facilities on private open space, and/or provision of improvements at existing nearby park facilities.”

2. **Heritage Resources** (The Policy Plan, Heritage Resources, Objective 1, p. 3)

**“Objective 1: Identify heritage resources representing all time periods and in all areas of the County.”**

“Policy a: Identify heritage resources well in advance of potential damage or destruction.”

3. **Heritage Resources** (Comprehensive Policy Plan, Heritage Resources Objective 3, page 4)

**“Objective 3: Protect significant historical resources from degradation or damage and destruction by public or private action.”**

## **ANALYSIS AND RECOMMENDATIONS**

### Recreational Impact:

Through the previous review, the Park Authority had requested a fair share contribution of \$77,691.00 to offset impacts to parks generated by the proposed development. The Park Authority acknowledges the applicant’s preliminary proffer commitment to provide the requested contribution, the allocation of which is to be determined by FCPA in consultation with the Providence District Supervisor.

### Cultural Resources Impact:

Previous Park Authority review noted the existence of several architectural and archaeological sites located within the subject property. The parcels had been previously reviewed for case number SE 2005-PR-009. As part of that review, a Phase I archaeological survey was conducted. Two architectural sites were previously identified (VDHR Architectural #'s 029-5469 and 029-5470). Both were documented and assessed as part of the survey. Due to their compromised integrity, both were deemed not eligible for the National Register of Historic Places. Two archaeological sites were recorded during the survey (44FX3032 and 44FX3033). 44FX3033, located on Parcel 66, had no subsurface integrity and all artifacts were found in disturbed contexts, and were found unlikely to be eligible. This site merits no further archaeological work. 44FX3032 on Parcel 70A, however, was found to have subsurface integrity, with evidence of foundations features. Site 44FX3032 should be subject for a Phase II archaeological testing, if it is slated for ground disturbing activities, in order to determine eligibility to the National Register of Historic Places. If the site is found eligible, avoidance, or Phase III data recovery is recommended.

Should significant archaeological resources be discovered, the Park Authority requests that further archaeological studies be conducted and copies of the reports provided to the Cultural Resource Management and Protection section (CRMP) (Attention: Liz Crowell). At the

completion of any cultural resource studies, field notes, photographs and artifacts should be submitted to CRMP within 30 days.

The Park Authority continues to recommend the addition of a proffered commitment to provide Phase II archaeological testing of site 44FX3032, as noted above, with avoidance or Phase III data recovery as indicated.

### **SUMMARY OF RECOMMENDATIONS**

This section summarizes the recommendations included in the preceding analysis section.

- Provide a proffered commitment to provide a Phase II archaeological study for Site 44FX3032, if it is slated for ground disturbing activities, in order to determine eligibility to the National Register of Historic Places. If the site is found eligible, avoidance, or Phase III data recovery is recommended.

FCPA Reviewer: Gayle Hooper  
DPZ Coordinator: Kelli-Mae Goddard-Sobers

Copy: Cindy Walsh, Director, Resource Management Division  
Liz Crowell, Manager, Cultural Resource Management & Protection Section  
Chron Binder  
File Copy

September 9, 2002

**BOARD OF SUPERVISORS' ADOPTED**  
**PLAN TEXT**

Replace Appendix 9 of the Land Use Element of the Policy Plan (Pages 47 through 49) with the following:

**RESIDENTIAL DEVELOPMENT CRITERIA**

Fairfax County expects new residential development to enhance the community by: fitting into the fabric of the neighborhood, respecting the environment, addressing transportation impacts, addressing impacts on other public facilities, being responsive to our historic heritage, contributing to the provision of affordable housing and, being responsive to the unique site specific considerations of the property. To that end, the following criteria are to be used in evaluating zoning requests for new residential development. The resolution of issues identified during the evaluation of a specific development proposal is critical if the proposal is to receive favorable consideration.

Where the Plan recommends a possible increase in density above the existing zoning of the property, achievement of the requested density will be based, in substantial part, on whether development related issues are satisfactorily addressed as determined by application of these development criteria. Most, if not all, of the criteria will be applicable in every application; however, due to the differing nature of specific development proposals and their impacts, the development criteria need not be equally weighted. If there are extraordinary circumstances, a single criterion or several criteria may be overriding in evaluating the merits of a particular proposal. Use of these criteria as an evaluation tool is not intended to be limiting in regard to review of the application with respect to other guidance found in the Plan or other aspects that the applicant incorporates into the development proposal. Applicants are encouraged to submit the best possible development proposals. In applying the Residential Development Criteria to specific projects and in determining whether a criterion has been satisfied, factors such as the following may be considered:

- the size of the project
- site specific issues that affect the applicant's ability to address in a meaningful way relevant development issues
- whether the proposal is advancing the guidance found in the area plans or other planning and policy goals (e.g. revitalization).

When there has been an identified need or problem, credit toward satisfying the criteria will be awarded based upon whether proposed commitments by the applicant will significantly advance problem resolution. In all cases, the responsibility for demonstrating satisfaction of the criteria rests with the applicant.

## 1. Site Design:

All rezoning applications for residential development should be characterized by high quality site design. Rezoning proposals for residential development, regardless of the proposed density, will be evaluated based upon the following principles, although not all of the principles may be applicable for all developments.

- a) *Consolidation*: Developments should provide parcel consolidation in conformance with any site specific text and applicable policy recommendations of the Comprehensive Plan. Should the Plan text not specifically address consolidation, the nature and extent of any proposed parcel consolidation should further the integration of the development with adjacent parcels. In any event, the proposed consolidation should not preclude nearby properties from developing as recommended by the Plan.
- b) *Layout*: The layout should:
  - provide logical, functional and appropriate relationships among the various parts (e. g. dwelling units, yards, streets, open space, stormwater management facilities, existing vegetation, noise mitigation measures, sidewalks and fences);
  - provide dwelling units that are oriented appropriately to adjacent streets and homes;
  - include usable yard areas within the individual lots that accommodate the future construction of decks, sunrooms, porches, and/or accessory structures in the layout of the lots, and that provide space for landscaping to thrive and for maintenance activities;
  - provide logical and appropriate relationships among the proposed lots including the relationships of yards, the orientation of the dwelling units, and the use of pipestem lots;
  - provide convenient access to transit facilities;
  - Identify all existing utilities and make every effort to identify all proposed utilities and stormwater management outfall areas; encourage utility collocation where feasible.
- c) *Open Space*: Developments should provide usable, accessible, and well-integrated open space. This principle is applicable to all projects where open space is required by the Zoning Ordinance and should be considered, where appropriate, in other circumstances.
- d) *Landscaping*: Developments should provide appropriate landscaping: for example, in parking lots, in open space areas, along streets, in and around stormwater management facilities, and on individual lots.
- e) *Amenities*: Developments should provide amenities such as benches, gazebos, recreational amenities, play areas for children, walls and fences, special paving treatments, street furniture, and lighting.

## 2. Neighborhood Context:

All rezoning applications for residential development, regardless of the proposed density, should be designed to fit into the community within which the development is to be located. Developments should fit into the fabric of their adjacent neighborhoods, as evidenced by an evaluation of:

- transitions to abutting and adjacent uses;
- lot sizes, particularly along the periphery;
- bulk/mass of the proposed dwelling units;
- setbacks (front, side and rear);
- orientation of the proposed dwelling units to adjacent streets and homes;
- architectural elevations and materials;
- pedestrian, bicycle and vehicular connections to off-site trails, roadways, transit facilities and land uses;
- existing topography and vegetative cover and proposed changes to them as a result of clearing and grading.

It is not expected that developments will be identical to their neighbors, but that the development fit into the fabric of the community. In evaluating this criterion, the individual circumstances of the property will be considered: such as, the nature of existing and planned development surrounding and/or adjacent to the property; whether the property provides a transition between different uses or densities; whether access to an infill development is through an existing neighborhood; or, whether the property is within an area that is planned for redevelopment.

## 3. Environment:

All rezoning applications for residential development should respect the environment. Rezoning proposals for residential development, regardless of the proposed density, should be consistent with the policies and objectives of the environmental element of the Policy Plan, and will also be evaluated on the following principles, where applicable.

- a) *Preservation:* Developments should conserve natural environmental resources by protecting, enhancing, and/or restoring the habitat value and pollution reduction potential of floodplains, stream valleys, EQCs, RPAs, woodlands, wetlands and other environmentally sensitive areas.
- b) *Slopes and Soils:* The design of developments should take existing topographic conditions and soil characteristics into consideration.
- c) *Water Quality:* Developments should minimize off-site impacts on water quality by commitments to state of the art best management practices for stormwater management and low-impact site design techniques.
- d) *Drainage:* The volume and velocity of stormwater runoff from new development should be managed in order to avoid impacts on downstream properties. Where

drainage is a particular concern, the applicant should demonstrate that off-site drainage impacts will be mitigated and that stormwater management facilities are designed and sized appropriately. Adequate drainage outfall should be verified, and the location of drainage outfall (onsite or offsite) should be shown on development plans.

- e) *Noise*: Developments should protect future and current residents and others from the adverse impacts of transportation generated noise.
- f) *Lighting*: Developments should commit to exterior lighting fixtures that minimize neighborhood glare and impacts to the night sky.
- g) *Energy*: Developments should use site design techniques such as solar orientation and landscaping to achieve energy savings, and should be designed to encourage and facilitate walking and bicycling.

#### **4. Tree Preservation and Tree Cover Requirements:**

All rezoning applications for residential development, regardless of the proposed density, should be designed to take advantage of the existing quality tree cover. If quality tree cover exists on site as determined by the County, it is highly desirable that developments meet most or all of their tree cover requirement by preserving and, where feasible and appropriate, transplanting existing trees. Tree cover in excess of ordinance requirements is highly desirable. Proposed utilities, including stormwater management and outfall facilities and sanitary sewer lines, should be located to avoid conflicts with tree preservation and planting areas.

#### **5. Transportation:**

All rezoning applications for residential development should implement measures to address planned transportation improvements. Applicants should offset their impacts to the transportation network. Accepted techniques should be utilized for analysis of the development's impact on the network. Residential development considered under these criteria will range widely in density and, therefore, will result in differing impacts to the transportation network. Some criteria will have universal applicability while others will apply only under specific circumstances. Regardless of the proposed density, applications will be evaluated based upon the following principles, although not all of the principles may be applicable.

- a) *Transportation Improvements*: Residential development should provide safe and adequate access to the road network, maintain the ability of local streets to safely accommodate traffic, and offset the impact of additional traffic through commitments to the following:
  - Capacity enhancements to nearby arterial and collector streets;
  - Street design features that improve safety and mobility for non-motorized forms of transportation;
  - Signals and other traffic control measures;

- Development phasing to coincide with identified transportation improvements;
  - Right-of-way dedication;
  - Construction of other improvements beyond ordinance requirements;
  - Monetary contributions for improvements in the vicinity of the development.
- b) *Transit/Transportation Management:* Mass transit usage and other transportation measures to reduce vehicular trips should be encouraged by:
- Provision of bus shelters;
  - Implementation and/or participation in a shuttle bus service;
  - Participation in programs designed to reduce vehicular trips;
  - Incorporation of transit facilities within the development and integration of transit with adjacent areas;
  - Provision of trails and facilities that increase safety and mobility for non-motorized travel.
- c) *Interconnection of the Street Network:* Vehicular connections between neighborhoods should be provided, as follows:
- Local streets within the development should be connected with adjacent local streets to improve neighborhood circulation;
  - When appropriate, existing stub streets should be connected to adjoining parcels. If street connections are dedicated but not constructed with development, they should be identified with signage that indicates the street is to be extended;
  - Streets should be designed and constructed to accommodate safe and convenient usage by buses and non-motorized forms of transportation;
  - Traffic calming measures should be implemented where needed to discourage cut-through traffic, increase safety and reduce vehicular speed;
  - The number and length of long, single-ended roadways should be minimized;
  - Sufficient access for public safety vehicles should be ensured.
- d) *Streets:* Public streets are preferred. If private streets are proposed in single family detached developments, the applicant shall demonstrate the benefits for such streets. Applicants should make appropriate design and construction commitments for all private streets so as to minimize maintenance costs which may accrue to future property owners. Furthermore, convenience and safety issues such as parking on private streets should be considered during the review process.
- e) *Non-motorized Facilities:* Non-motorized facilities, such as those listed below, should be provided:
- Connections to transit facilities;
  - Connections between adjoining neighborhoods;
  - Connections to existing non-motorized facilities;
  - Connections to off-site retail/commercial uses, public/community facilities, and natural and recreational areas;

- An internal non-motorized facility network with pedestrian and natural amenities, particularly those included in the Comprehensive Plan;
- Offsite non-motorized facilities, particularly those included in the Comprehensive Plan;
- Driveways to residences should be of adequate length to accommodate passenger vehicles without blocking walkways;
- Construction of non-motorized facilities on both sides of the street is preferred. If construction on a single side of the street is proposed, the applicant shall demonstrate the public benefit of a limited facility.

f) *Alternative Street Designs*: Under specific design conditions for individual sites or where existing features such as trees, topography, etc. are important elements, modifications to the public street standards may be considered.

## 6. Public Facilities:

Residential development impacts public facility systems (i.e., schools, parks, libraries, police, fire and rescue, stormwater management and other publicly owned community facilities). These impacts will be identified and evaluated during the development review process. For schools, a methodology approved by the Board of Supervisors, after input and recommendation by the School Board, will be used as a guideline for determining the impact of additional students generated by the new development.

Given the variety of public facility needs throughout the County, on a case-by-case basis, public facility needs will be evaluated so that local concerns may be addressed.

All rezoning applications for residential development are expected to offset their public facility impact and to first address public facility needs in the vicinity of the proposed development. Impact offset may be accomplished through the dedication of land suitable for the construction of an identified public facility need, the construction of public facilities, the contribution of specified in-kind goods, services or cash earmarked for those uses, and/or monetary contributions to be used toward funding capital improvement projects. Selection of the appropriate offset mechanism should maximize the public benefit of the contribution.

Furthermore, phasing of development may be required to ensure mitigation of impacts.

## 7. Affordable Housing:

Ensuring an adequate supply of housing for low and moderate income families, those with special accessibility requirements, and those with other special needs is a goal of the County. Part 8 of Article 2 of the Zoning Ordinance requires the provision of Affordable Dwelling Units (ADUs) in certain circumstances. Criterion #7 is applicable to all rezoning applications and/or portions thereof that are not required to provide any Affordable Dwelling Units, regardless of the planned density range for the site.

- a) *Dedication of Units or Land*: If the applicant elects to fulfill this criterion by providing affordable units that are not otherwise required by the ADU Ordinance: a

maximum density of 20% above the upper limit of the Plan range could be achieved if 12.5% of the total number of single family detached and attached units are provided pursuant to the Affordable Dwelling Unit Program; and, a maximum density of 10% or 20% above the upper limit of the Plan range could be achieved if 6.25% or 12.5%, respectively of the total number of multifamily units are provided to the Affordable Dwelling Unit Program. As an alternative, land, adequate and ready to be developed for an equal number of units may be provided to the Fairfax County Redevelopment and Housing Authority or to such other entity as may be approved by the Board.

- b) *Housing Trust Fund Contributions*: Satisfaction of this criterion may also be achieved by a contribution to the Housing Trust Fund or, as may be approved by the Board, a monetary and/or in-kind contribution to another entity whose mission is to provide affordable housing in Fairfax County, equal to 0.5% of the value of all of the units approved on the property except those that result in the provision of ADUs. This contribution shall be payable prior to the issuance of the first building permit. For for-sale projects, the percentage set forth above is based upon the aggregate sales price of all of the units subject to the contribution, as if all of those units were sold at the time of the issuance of the first building permit, and is estimated through comparable sales of similar type units. For rental projects, the amount of the contribution is based upon the total development cost of the portion of the project subject to the contribution for all elements necessary to bring the project to market, including land, financing, soft costs and construction. The sales price or development cost will be determined by the Department of Housing and Community Development, in consultation with the Applicant and the Department of Public Works and Environmental Services. If this criterion is fulfilled by a contribution as set forth in this paragraph, the density bonus permitted in a) above does not apply.

## **8. Heritage Resources:**

Heritage resources are those sites or structures, including their landscape settings, that exemplify the cultural, architectural, economic, social, political, or historic heritage of the County or its communities. Such sites or structures have been 1) listed on, or determined eligible for listing on, the National Register of Historic Places or the Virginia Landmarks Register; 2) determined to be a contributing structure within a district so listed or eligible for listing; 3) located within and considered as a contributing structure within a Fairfax County Historic Overlay District; or 4) listed on, or having a reasonable potential as determined by the County, for meeting the criteria for listing on, the Fairfax County Inventories of Historic or Archaeological Sites.

In reviewing rezoning applications for properties on which known or potential heritage resources are located, some or all of the following shall apply:

- a) Protect heritage resources from deterioration or destruction until they can be documented, evaluated, and/or preserved;
- b) Conduct archaeological, architectural, and/or historical research to determine the presence, extent, and significance of heritage resources;

- c) Submit proposals for archaeological work to the County for review and approval and, unless otherwise agreed, conduct such work in accordance with state standards;
- d) Preserve and rehabilitate heritage resources for continued or adaptive use where feasible;
- e) Submit proposals to change the exterior appearance of, relocate, or demolish historic structures to the Fairfax County Architectural Review Board for review and approval;
- f) Document heritage resources to be demolished or relocated;
- g) Design new structures and site improvements, including clearing and grading, to enhance rather than harm heritage resources;
- h) Establish easements that will assure continued preservation of heritage resources with an appropriate entity such as the County's Open Space and Historic Preservation Easement Program; and
- i) Provide a Fairfax County Historical Marker or Virginia Historical Highway Marker on or near the site of a heritage resource, if recommended and approved by the Fairfax County History Commission.

### **ROLE OF DENSITY RANGES IN AREA PLANS**

Density ranges for property planned for residential development, expressed generally in terms of dwelling units per acre, are recommended in the Area Plans and are shown on the Comprehensive Plan Map. Where the Plan text and map differ, the text governs. In defining the density range:

- the "base level" of the range is defined as the lowest density recommended in the Plan range, i.e., 5 dwelling units per acre in the 5-8 dwelling unit per acre range;
- the "high end" of the range is defined as the base level plus 60% of the density range in a particular Plan category, which in the residential density range of 5-8 dwelling units per acre would be considered as 6.8 dwelling units per acre and above; and,
- the upper limit is defined as the maximum density called for in any Plan range, which, in the 5-8 dwelling unit per acre range would be 8 dwelling units per acre.
- In instances where a range is not specified in the Plan, for example where the Plan calls for residential density up to 30 dwelling units per acre, the density cited in the Plan shall be construed to equate to the upper limit of the Plan range, and the base level shall be the upper limit of the next lower Plan range, in this instance, 20 dwelling units per acre.

## RESIDENTIAL DISTRICT REGULATIONS

1. Minimum district size: 4 acres
2. Minimum lot area
  - A. Single family detached dwellings: 5,000 sq. ft.
  - B. Single family attached dwellings: No Requirement
  - C. Non-residential uses: 14,000 sq. ft.
3. Minimum lot width
  - A. Single family detached dwellings:
    - (1) Interior lot - 50 feet
    - (2) Corner lot - 70 feet
  - B. Single family attached dwellings: 18 feet
  - C. Non-residential uses:
    - (1) Interior lot - 75 feet
    - (2) Corner lot - 100 feet

**3-507****Bulk Regulations**

1. Maximum building height
  - A. Single family dwellings: 35 feet
  - B. All other structures: 65 feet
2. Minimum yard requirements
  - A. Single family detached dwellings
    - (1) Front yard: 20 feet
    - (2) Side yard: 8 feet
    - (3) Rear yard: 25 feet
  - B. Single family attached dwellings
    - (1) Front yard: Controlled by a 15° angle of bulk plane, but not less than 5 feet

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- (2) Side yard: Controlled by a 15° angle of bulk plane, but not less than 10 feet
- (3) Rear yard: Controlled by a 30° angle of bulk plane, but not less than 20 feet
- (4) A privacy yard, having a minimum area of 200 square feet, shall be provided on each lot.

C. All other structures

- (1) Front yard: Controlled by a 30° angle of bulk plane, but not less than 20 feet
  - (2) Side yard: Controlled by a 25° angle of bulk plane, but not less than 10 feet
  - (3) Rear yard: Controlled by a 25° angle of bulk plane, but not less than 25 feet
- 3. Maximum floor area ratio: 0.35 for uses other than residential
  - 4. Refer to Sect. 13-301 for provisions that may qualify the minimum yard requirements set forth above.
  - 5. Refer to Par. 4 of Sect. 2-307 for provisions that qualify the minimum yard requirements for individual units in single family attached dwellings.
  - 6. The minimum yard requirements presented in Par. 2B above may be waived by the Board in accordance with the provisions of Sect. 9-613.

**3-508 Maximum Density**

Five (5) dwelling units per acre

**3-509 Open Space**

25% of the gross area shall be open space

**3-510 Affordable Dwelling Unit Developments**

Affordable dwelling unit developments may consist of single family detached and attached dwelling units. In addition, multiple family dwelling units are permitted, provided that no more than fifty (50) percent of the total number of dwelling units allowed within an affordable dwelling unit development shall be multiple family dwelling units. The following regulations shall apply to dwelling units in affordable dwelling unit developments:

- 1. Minimum lot area

## RESIDENTIAL DISTRICT REGULATIONS

- A. Single family detached dwellings: 4,000 sq. ft.
  - B. Single family attached dwellings: No Requirement
  - C. Multiple family dwellings: No Requirement
2. Minimum lot width
- A. Single family detached dwellings:
    - (1) Interior lot - 40 feet
    - (2) Corner lot - 56 feet
  - B. Single family attached dwellings: 14 feet
  - C. Multiple family dwellings: No Requirement
3. Maximum building height
- A. Single family detached dwellings: 35 feet
  - B. Single family attached dwellings: 40 feet
  - C. Multiple family dwellings: 50 feet
4. Minimum yard requirements
- A. Single family detached dwellings
    - (1) Front yard: 16 feet
    - (2) Side yard: 8 feet
    - (3) Rear yard: 20 feet
  - B. Single family attached dwellings
    - (1) Front yard: Controlled by a 15° angle of bulk plane, but not less than 5 feet
    - (2) Side yard: Controlled by a 15° angle of bulk plane, but not less than 8 feet
    - (3) Rear yard: Controlled by a 25° angle of bulk plane, but not less than 16 feet
  - C. Multiple family dwellings
    - (1) Front yard: Controlled by a 25° angle of bulk plane, but not less than 20 feet

## FAIRFAX COUNTY ZONING ORDINANCE

- (2) Side yard: Controlled by a 25° angle of bulk plane, but not less than 10 feet
  - (3) Rear yard: Controlled by a 25° angle of bulk plane, but not less than 25 feet
5. Refer to Par. 4 of Sect. 2-307 for provisions that qualify the minimum yard requirements for individual units in single family attached dwellings.
  6. All other structures shall be subject to the lot size requirements and bulk regulations of Sections 506 and 507 above.
  7. The maximum density shall be six (6) dwelling units per acre.
  8. 20% of the gross area shall be open space.

### 3-511

#### **Additional Regulations**

1. Refer to Article 2, General Regulations, for provisions which may qualify or supplement the regulations presented above, including the shape factor limitations contained in Sect. 2-401. The shape factor limitations may be modified by the Board in accordance with the provisions of Sect. 9-626.
2. Refer to Article 11 for off-street parking, loading and private street requirements.
3. Refer to Article 12 for regulations on signs.
4. Refer to Article 13 for landscaping and screening requirements.
5. Refer to Article 17 for uses and developments which are subject to site plan provisions.

## GLOSSARY

This Glossary is provided to assist the public in understanding the staff evaluation and analysis of development proposals. It should not be construed as representing legal definitions. Refer to the Fairfax County Zoning Ordinance, Comprehensive Plan or Public Facilities Manual for additional information.

**ABANDONMENT:** Refers to road or street abandonment, an action taken by the Board of Supervisors, usually through the public hearing process, to abolish the public's right-of-passage over a road or road right-of way. Upon abandonment, the right-of-way automatically reverts to the underlying fee owners. If the fee to the owner is unknown, Virginia law presumes that fee to the roadbed rests with the adjacent property owners if there is no evidence to the contrary.

**ACCESSORY DWELLING UNIT (OR APARTMENT):** A secondary dwelling unit established in conjunction with and clearly subordinate to a single family detached dwelling unit. An accessory dwelling unit may be allowed if a special permit is granted by the Board of Zoning Appeals (BZA). Refer to Sect. 8-918 of the Zoning Ordinance.

**AFFORDABLE DWELLING UNIT (ADU) DEVELOPMENT:** Residential development to assist in the provision of affordable housing for persons of low and moderate income in accordance with the affordable dwelling unit program and in accordance with Zoning Ordinance regulations. Residential development which provides affordable dwelling units may result in a density bonus (see below) permitting the construction of additional housing units. See Part 8 of Article 2 of the Zoning Ordinance.

**AGRICULTURAL AND FORESTAL DISTRICTS:** A land use classification created under Chapter 114 or 115 of the Fairfax County Code for the purpose of qualifying landowners who wish to retain their property for agricultural or forestal use for use/value taxation pursuant to Chapter 58 of the Fairfax County Code.

**BARRIER:** A wall, fence, earthen berm, or plant materials which may be used to provide a physical separation between land uses. Refer to Article 13 of the Zoning Ordinance for specific barrier requirements.

**BEST MANAGEMENT PRACTICES (BMPs):** Stormwater management techniques or land use practices that are determined to be the most effective, practicable means of preventing and/or reducing the amount of pollution generated by nonpoint sources in order to improve water quality.

**BUFFER:** Graduated mix of land uses, building heights or intensities designed to mitigate potential conflicts between different types or intensities of land uses; may also provide for a transition between uses. A landscaped buffer may be an area of open, undeveloped land and may include a combination of fences, walls, berms, open space and/or landscape plantings. A buffer is not necessarily coincident with transitional screening.

**CHESAPEAKE BAY PRESERVATION ORDINANCE:** Regulations which the State has mandated must be adopted to protect the Chesapeake Bay and its tributaries. These regulations must be incorporated into the comprehensive plans, zoning ordinances and subdivision ordinances of the affected localities. Refer to Chesapeake Bay Preservation Act, Va. Code Section 10.1-2100 et seq and VR 173-02-01, Chesapeake Bay Preservation Area Designation and Management Regulations.

**CLUSTER DEVELOPMENT:** Residential development in which the lots are clustered on a portion of a site so that significant environmental/historical/cultural resources may be preserved or recreational amenities provided. While smaller lot sizes are permitted in a cluster subdivision to preserve open space, the overall density cannot exceed that permitted by the applicable zoning district. See Sect. 2-421 and Sect. 9-615 of the Zoning Ordinance.

**COUNTY 2232 REVIEW PROCESS:** A public hearing process pursuant to Sect. 15.2-2232 (Formerly Sect. 15.1-456) of the Virginia Code which is used to determine if a proposed public facility not shown on the adopted Comprehensive Plan is in substantial accord with the plan. Specifically, this process is used to determine if the general or approximate location, character and extent of a proposed facility is in substantial accord with the Plan.

**dBA:** The momentary magnitude of sound weighted to approximate the sensitivity of the human ear to certain frequencies; the dBA value describes a sound at a given instant, a maximum sound level or a steady state value. See also Ldn.

**DENSITY:** Number of dwelling units (du) divided by the gross acreage (ac) of a site being developed in residential use; or, the number of dwelling units per acre (du/ac) except in the PRC District when density refers to the number of persons per acre.

**DENSITY BONUS:** An increase in the density otherwise allowed in a given zoning district which may be granted under specific provisions of the Zoning Ordinance when a developer provides excess open space, recreation facilities, or affordable dwelling units (ADUs), etc.

**DEVELOPMENT CONDITIONS:** Terms or conditions imposed on a development by the Board of Supervisors (BOS) or the Board of Zoning Appeals (BZA) in connection with approval of a special exception, special permit or variance application or rezoning application in a "P" district. Conditions may be imposed to mitigate adverse impacts associated with a development as well as secure compliance with the Zoning Ordinance and/or conformance with the Comprehensive Plan. For example, development conditions may regulate hours of operation, number of employees, height of buildings, and intensity of development.

**DEVELOPMENT PLAN:** A graphic representation which depicts the nature and character of the development proposed for a specific land area: information such as topography, location and size of proposed structures, location of streets trails, utilities, and storm drainage are generally included on a development plan. A development plan is a submission requirement for rezoning to the PRC District. A **GENERALIZED DEVELOPMENT PLAN (GDP)** is a submission requirement for a rezoning application for all conventional zoning districts other than a P District. A development plan submitted in connection with a special exception (SE) or special permit (SP) is generally referred to as an SE or SP plat. A **CONCEPTUAL DEVELOPMENT PLAN (CDP)** is a submission requirement when filing a rezoning application for a P District other than the PRC District; a CDP characterizes in a general way the planned development of the site. A **FINAL DEVELOPMENT PLAN (FDP)** is a submission requirement following the approval of a conceptual development plan and rezoning application for a P District other than the PRC District; an FDP further details the planned development of the site. See Article 16 of the Zoning Ordinance.

**EASEMENT:** A right to or interest in property owned by another for a specific and limited purpose. Examples: access easement, utility easement, construction easement, etc. Easements may be for public or private purposes.

**ENVIRONMENTAL QUALITY CORRIDORS (EQCs):** An open space system designed to link and preserve natural resource areas, provide passive recreation and protect wildlife habitat. The system includes stream valleys, steep slopes and wetlands. For a complete definition of EQCs, refer to the Environmental section of the Policy Plan for Fairfax County contained in Vol. 1 of the Comprehensive Plan.

**ERODIBLE SOILS:** Soils that wash away easily, especially under conditions where stormwater runoff is inadequately controlled. Silt and sediment are washed into nearby streams, thereby degrading water quality.

**FLOODPLAIN:** Those land areas in and adjacent to streams and watercourses subject to periodic flooding; usually associated with environmental quality corridors. The 100 year floodplain drains 70 acres or more of land and has a one percent chance of flood occurrence in any given year.

**FLOOR AREA RATIO (FAR):** An expression of the amount of development intensity (typically, non-residential uses) on a specific parcel of land. FAR is determined by dividing the total square footage of gross floor area of buildings on a site by the total square footage of the site itself.

**FUNCTIONAL CLASSIFICATION:** A system for classifying roads in terms of the character of service that individual facilities are providing or are intended to provide, ranging from travel mobility to land access. Roadway system functional classification elements include Freeways or Expressways which are limited access highways, Other Principal (or Major) Arterials, Minor Arterials, Collector Streets, and Local Streets. Principal arterials are designed to accommodate travel; access to adjacent properties is discouraged. Minor arterials are designed to serve both through traffic and local trips. Collector roads and streets link local streets and properties with the arterial network. Local streets provide access to adjacent properties.

**GEOTECHNICAL REVIEW:** An engineering study of the geology and soils of a site which is submitted to determine the suitability of a site for development and recommends construction techniques designed to overcome development on problem soils, e.g., marine clay soils.

**HYDROCARBON RUNOFF:** Petroleum products, such as motor oil, gasoline or transmission fluid deposited by motor vehicles which are carried into the local storm sewer system with the stormwater runoff, and ultimately, into receiving streams; a major source of non-point source pollution. An oil-grit separator is a common hydrocarbon runoff reduction method.

**IMPERVIOUS SURFACE:** Any land area covered by buildings or paved with a hard surface such that water cannot seep through the surface into the ground.

**INFILL:** Development on vacant or underutilized sites within an area which is already mostly developed in an established development pattern or neighborhood.

**INTENSITY:** The magnitude of development usually measured in such terms as density, floor area ratio, building height, percentage of impervious surface, traffic generation, etc. Intensity is also based on a comparison of the development proposal against environmental constraints or other conditions which determine the carrying capacity of a specific land area to accommodate development without adverse impacts.

**Ldn:** Day night average sound level. It is the twenty-four hour average sound level expressed in A-weighted decibels; the measurement assigns a "penalty" to night time noise to account for night time sensitivity. Ldn represents the total noise environment which varies over time and correlates with the effects of noise on the public health, safety and welfare.

**LEVEL OF SERVICE (LOS):** An estimate of the effectiveness of a roadway to carry traffic, usually under anticipated peak traffic conditions. Level of Service efficiency is generally characterized by the letters A through F, with LOS-A describing free flow traffic conditions and LOS-F describing jammed or grid-lock conditions.

**MARINE CLAY SOILS:** Soils that occur in widespread areas of the County generally east of Interstate 95. Because of the abundance of shrink-swell clays in these soils, they tend to be highly unstable. Many areas of slope failure are evident on natural slopes. Construction on these soils may initiate or accelerate slope movement or slope failure. The shrink-swell soils can cause movement in structures, even in areas of flat topography, from dry to wet seasons resulting in cracked foundations, etc. Also known as slippage soils.

**OPEN SPACE:** That portion of a site which generally is not covered by buildings, streets, or parking areas. Open space is intended to provide light and air; open space may function as a buffer between land uses or for scenic, environmental, or recreational purposes.

**OPEN SPACE EASEMENT:** An easement usually granted to the Board of Supervisors which preserves a tract of land in open space for some public benefit in perpetuity or for a specified period of time. Open space easements may be accepted by the Board of Supervisors, upon request of the land owner, after evaluation under criteria established by the Board. See Open Space Land Act, Code of Virginia, Sections 10.1-1700, et seq.

**P DISTRICT:** A "P" district refers to land that is planned and/or developed as a Planned Development Housing (PDH) District, a Planned Development Commercial (PDC) District or a Planned Residential Community (PRC) District. The PDH, PDC and PRC Zoning Districts are established to encourage innovative and creative design for land development; to provide ample and efficient use of open space; to promote a balance in the mix of land uses, housing types, and intensity of development; and to allow maximum flexibility in order to achieve excellence in physical, social and economic planning and development of a site. Refer to Articles 6 and 16 of the Zoning Ordinance.

**PROFFER:** A written condition, which, when offered voluntarily by a property owner and accepted by the Board of Supervisors in a rezoning action, becomes a legally binding condition which is in addition to the zoning district regulations applicable to a specific property. Proffers are submitted and signed by an owner prior to the Board of Supervisors public hearing on a rezoning application and run with the land. Once accepted by the Board, proffers may be modified only by a proffered condition amendment (PCA) application or other zoning action of the Board and the hearing process required for a rezoning application applies. See Sect. 15.2-2303 (formerly 15.1-491) of the Code of Virginia.

**PUBLIC FACILITIES MANUAL (PFM):** A technical text approved by the Board of Supervisors containing guidelines and standards which govern the design and construction of site improvements incorporating applicable Federal, State and County Codes, specific standards of the Virginia Department of Transportation and the County's Department of Public Works and Environmental Services.

**RESOURCE MANAGEMENT AREA (RMA):** That component of the Chesapeake Bay Preservation Area comprised of lands that, if improperly used or developed, have a potential for causing significant water quality degradation or for diminishing the functional value of the Resource Protection Area. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

**RESOURCE PROTECTION AREA (RPA):** That component of the Chesapeake Bay Preservation Area comprised of lands at or near the shoreline or water's edge that have an intrinsic water quality value due to the ecological and biological processes they perform or are sensitive to impacts which may result in significant degradation of the quality of state waters. In their natural condition, these lands provide for the removal, reduction or assimilation of sediments from runoff entering the Bay and its tributaries, and minimize the adverse effects of human activities on state waters and aquatic resources. New development is generally discouraged in an RPA. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

**SITE PLAN:** A detailed engineering plan, to scale, depicting the development of a parcel of land and containing all information required by Article 17 of the Zoning Ordinance. Generally, submission of a site plan to DPWES for review and approval is required for all residential, commercial and industrial development except for development of single family detached dwellings. The site plan is required to assure that development complies with the Zoning Ordinance.

**SPECIAL EXCEPTION (SE) / SPECIAL PERMIT (SP):** Uses, which by their nature, can have an undue impact upon or can be incompatible with other land uses and therefore need a site specific review. After review, such uses may be allowed to locate within given designated zoning districts if appropriate and only under special controls, limitations, and regulations. A special exception is subject to public hearings by the Planning Commission and Board of Supervisors with approval by the Board of Supervisors; a special permit requires a public hearing and approval by the Board of Zoning Appeals. Unlike proffers which are voluntary, the Board of Supervisors or BZA may impose reasonable conditions to assure, for example, compatibility and safety. See Article 8, Special Permits and Article 9, Special Exceptions, of the Zoning Ordinance.

**STORMWATER MANAGEMENT:** Engineering practices that are incorporated into the design of a development in order to mitigate or abate adverse water quantity and water quality impacts resulting from development. Stormwater management systems are designed to slow down or retain runoff to re-create, as nearly as possible, the pre-development flow conditions.

**SUBDIVISION PLAT:** The engineering plan for a subdivision of land submitted to DPWES for review and approved pursuant to Chapter 101 of the County Code.

**TRANSPORTATION DEMAND MANAGEMENT (TDM):** Actions taken to reduce single occupant vehicle automobile trips or actions taken to manage or reduce overall transportation demand in a particular area.

**TRANSPORTATION SYSTEM MANAGEMENT (TSM) PROGRAMS:** This term is used to describe a full spectrum of actions that may be applied to improve the overall efficiency of the transportation network. TSM programs usually consist of low-cost alternatives to major capital expenditures, and may include parking management measures, ridesharing programs, flexible or staggered work hours, transit promotion or operational improvements to the existing roadway system. TSM includes Transportation Demand Management (TDM) measures as well as H.O.V. use and other strategies associated with the operation of the street and transit systems.

**URBAN DESIGN:** An aspect of urban or suburban planning that focuses on creating a desirable environment in which to live, work and play. A well-designed urban or suburban environment demonstrates the four generally accepted principles of design: clearly identifiable function for the area; easily understood order; distinctive identity; and visual appeal.

**VACATION:** Refers to vacation of street or road as an action taken by the Board of Supervisors in order to abolish the public's right-of-passage over a road or road right-of-way dedicated by a plat of subdivision. Upon vacation, title to the road right-of-way transfers by operation of law to the owner(s) of the adjacent properties within the subdivision from whence the road/road right-of-way originated.

**VARIANCE:** An application to the Board of Zoning Appeals which seeks relief from a specific zoning regulation such as lot width, building height, or minimum yard requirements, among others. A variance may only be granted by the Board of Zoning Appeals through the public hearing process and upon a finding by the BZA that the variance application meets the required Standards for a Variance set forth in Sect. 18-404 of the Zoning Ordinance.

**WETLANDS:** Land characterized by wetness for a portion of the growing season. Wetlands are generally delineated on the basis of physical characteristics such as soil properties indicative of wetness, the presence of vegetation with an affinity for water, and the presence or evidence of surface wetness or soil saturation. Wetland environments provide water quality improvement benefits and are ecologically valuable. Development activity in wetlands is subject to permitting processes administered by the U.S. Army Corps of Engineers

**TIDAL WETLANDS:** Vegetated and nonvegetated wetlands as defined in Chapter 116 Wetlands Ordinance of the Fairfax County Code: includes tidal shores and tidally influenced embayments, creeks, and tributaries to the Occoquan and Potomac Rivers. Development activity in tidal wetlands may require approval from the Fairfax County Wetlands Board.

#### Abbreviations Commonly Used in Staff Reports

|         |   |         |  |
|---------|---|---------|--|
| A&F     | Agricultural & Forestal District                      | PDH     | Planned Development Housing                    |
| ADU     | Affordable Dwelling Unit                              | PFM     | Public Facilities Manual                       |
| ARB     | Architectural Review Board                            | PRC     | Planned Residential Community                  |
| BMP     | Best Management Practices                             | RC      | Residential-Conservation                       |
| BOS     | Board of Supervisors                                  | RE      | Residential Estate                             |
| BZA     | Board of Zoning Appeals                               | RMA     | Resource Management Area                       |
| COG     | Council of Governments                                | RPA     | Resource Protection Area                       |
| CBC     | Community Business Center                             | RUP     | Residential Use Permit                         |
| CDP     | Conceptual Development Plan                           | RZ      | Rezoning                                       |
| CRD     | Commercial Revitalization District                    | SE      | Special Exception                              |
| DOT     | Department of Transportation                          | SEA     | Special Exception Amendment                    |
| DP      | Development Plan                                      | SP      | Special Permit                                 |
| DPWES   | Department of Public Works and Environmental Services | TDM     | Transportation Demand Management               |
| DPZ     | Department of Planning and Zoning                     | TMA     | Transportation Management Association          |
| DU/AC   | Dwelling Units Per Acre                               | TSA     | Transit Station Area                           |
| EQC     | Environmental Quality Corridor                        | TSM     | Transportation System Management               |
| FAR     | Floor Area Ratio                                      | UP & DD | Utilities Planning and Design Division, DPWES  |
| FDP     | Final Development Plan                                | VC      | Variance                                       |
| GDP     | Generalized Development Plan                          | VDOT    | Virginia Dept. of Transportation               |
| GFA     | Gross Floor Area                                      | VPD     | Vehicles Per Day                               |
| HC      | Highway Corridor Overlay District                     | VPH     | Vehicles per Hour                              |
| HCD     | Housing and Community Development                     | WMATA   | Washington Metropolitan Area Transit Authority |
| LOS     | Level of Service                                      | WS      | Water Supply Protection Overlay District       |
| Non-RUP | Non-Residential Use Permit                            | ZAD     | Zoning Administration Division, DPZ            |
| OSDS    | Office of Site Development Services, DPWES            | ZED     | Zoning Evaluation Division, DPZ                |
| PCA     | Proffered Condition Amendment                         | ZPRB    | Zoning Permit Review Branch                    |
| PD      | Planning Division                                     |         |  |
| PDC     | Planned Development Commercial                        |         |  |