



County of Fairfax, Virginia

January 26, 2011

STAFF REPORT

SPECIAL PERMIT APPLICATION NO. SP 2010-DR-060

DRANESVILLE DISTRICT

APPLICANTS/ OWNERS: Edward J. & Lisa W. Bennett

SUBDIVISION: Franklin Park

STREET ADDRESS: 6201 Park Road

TAX MAP REFERENCE: 41-1 ((13)) (2) 4A

LOT SIZE: 17,540 square feet

ZONING DISTRICT: R-2

ZONING ORDINANCE PROVISIONS: 8-914 and 8-922

SPECIAL PERMIT PROPOSAL: To permit reduction to minimum yard requirements based on error in building location to permit existing dwelling to remain 7.2 feet from side lot line and to permit reduction of certain yard requirements to permit construction of a second-story addition 7.5 feet from the eastern side lot line and 11.6 feet from the western side lot line and roofed deck 10.1 feet from the western side lot line.

STAFF RECOMMENDATION: Staff, with reservations, recommends approval of SP 2010-DR-060 for the addition and roofed-deck, but only subject to the proposed development conditions contained in Appendix 1 of this staff report.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

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Shelby Johnson

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals. A copy of the BZA's Resolution setting forth this decision will be mailed within five (5) days after the decision becomes final.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

For additional information, call Zoning Evaluation Division, Department of Planning and Zoning at 703-324-1280, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035. **Board of Zoning Appeals' meetings are held in the Board Room, Ground Level, Government Center Building, 12000 Government Center Parkway, Fairfax, Virginia 22035-5505.**

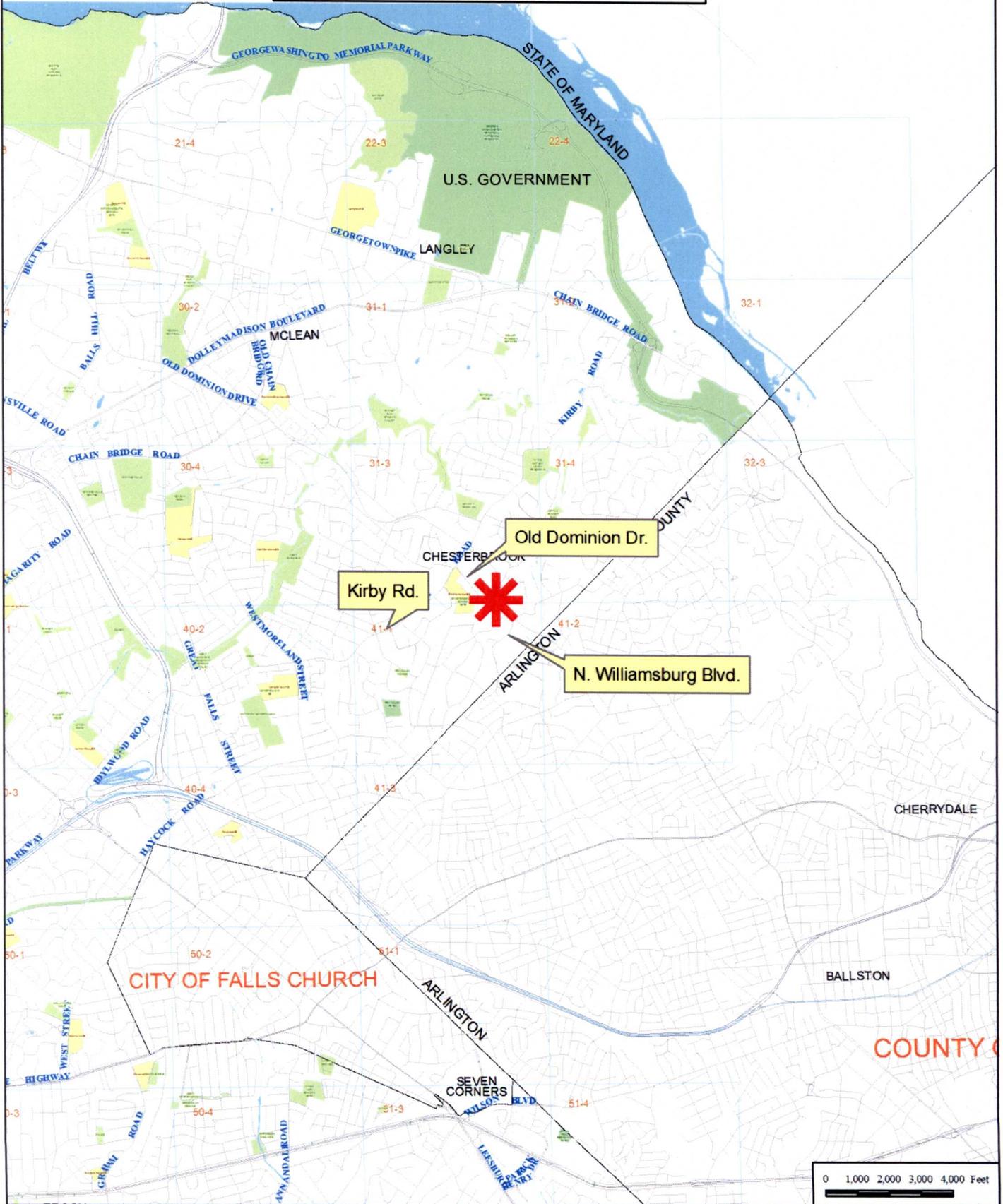


Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 7 days advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

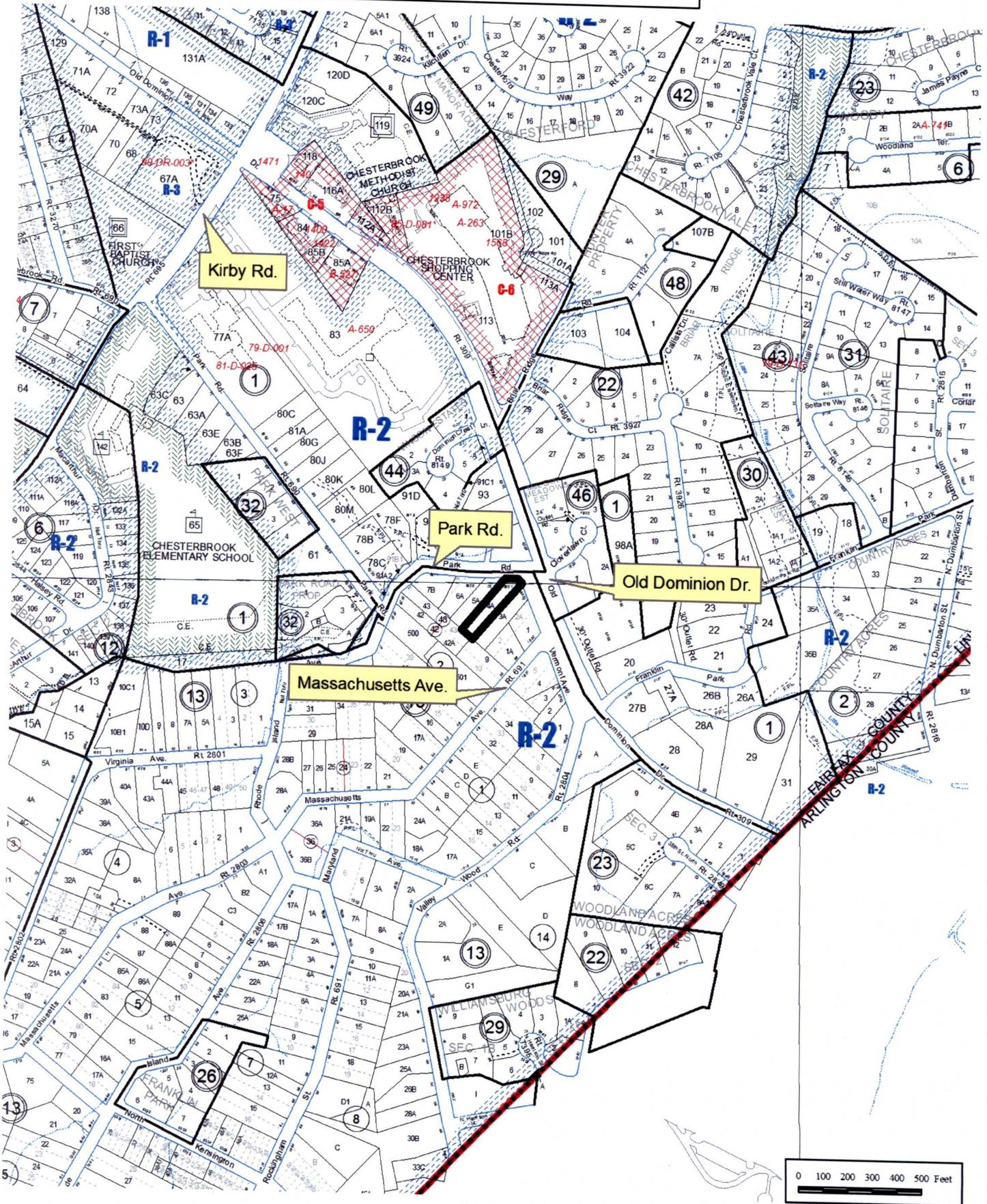
Special Permit

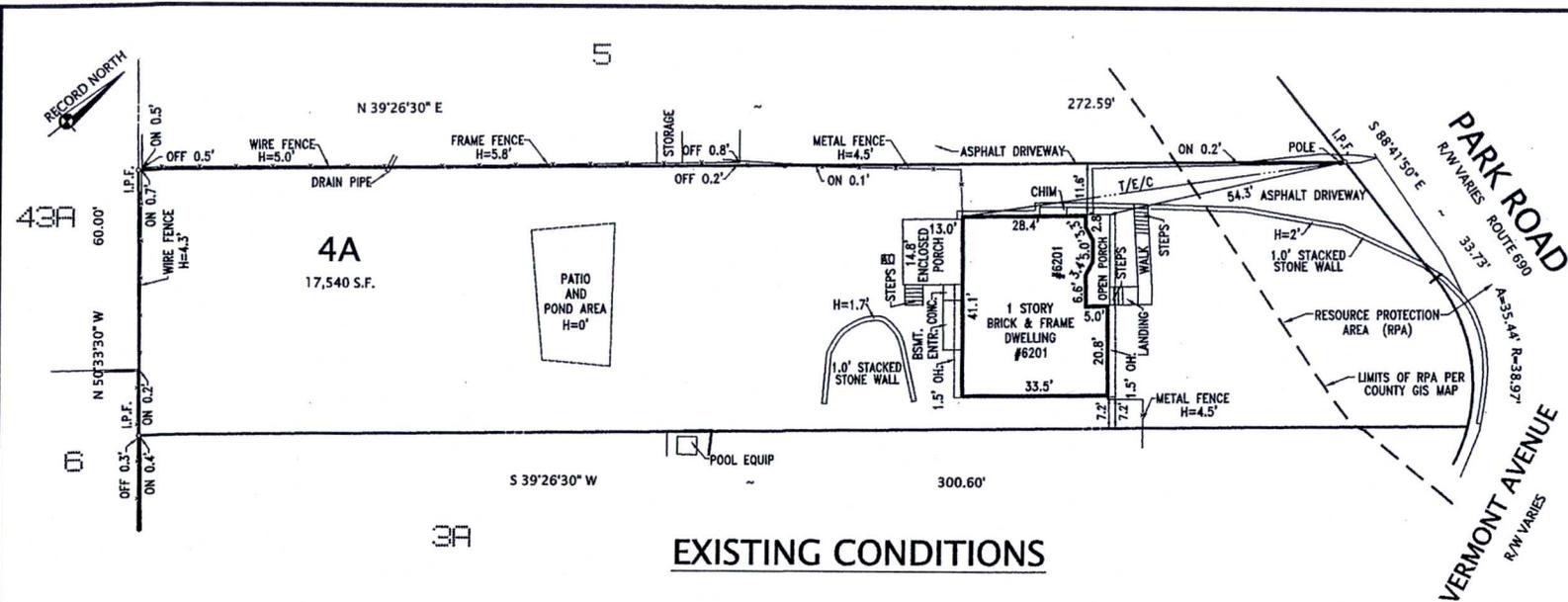
SP 2010-DR-060

EDWARD & LISA BENNETT



Special Permit
SP 2010-DR-060
EDWARD & LISA BENNETT





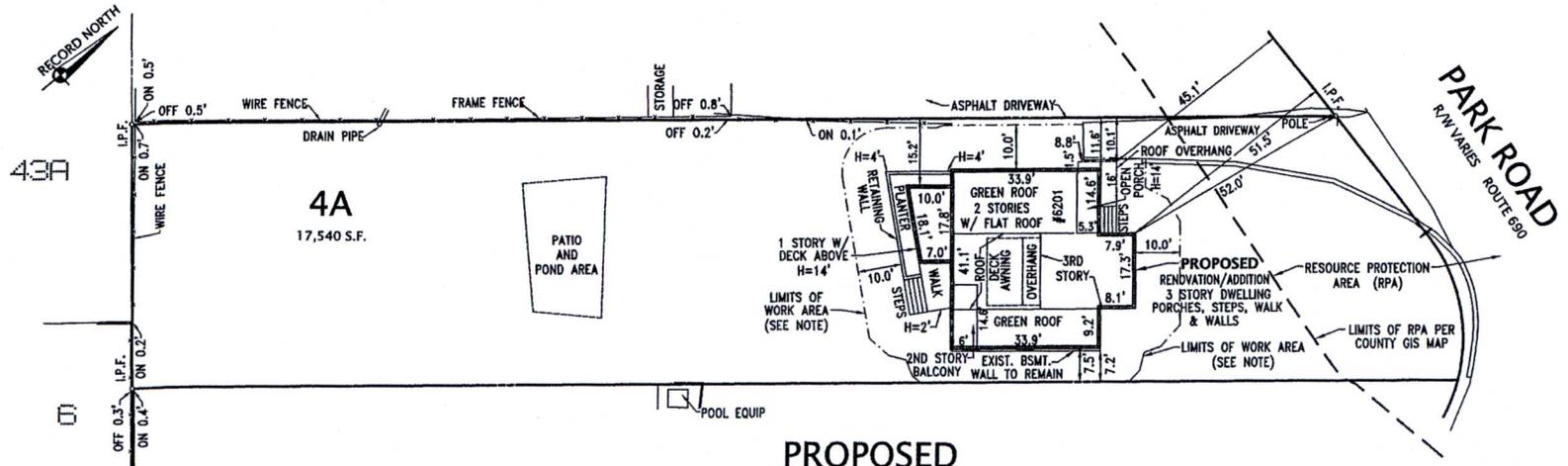
EXISTING CONDITIONS

- NOTES
- TAX MAP: 041-1-13-02-0004A
 - ZONE: R-2
 - LOT AREA: 17,540 SQUARE FEET
 - MINIMUM REQUIRED YARDS:

| | | |
|--------|---|---------|
| FRONT: | = | 35 FEET |
| SIDE: | = | 15 FEET |
| REAR: | = | 25 FEET |
 - HEIGHTS:

| | | |
|-------------------|---|---------------------|
| DWELLING | = | 15 FEET |
| OPEN PORCH | = | 13 FEET |
| ENCLOSED PORCH | = | 10.5 FEET |
| FENCES | = | AS NOTED ON DRAWING |
| PROPOSED DWELLING | = | 35 FEET |
 - THIS PROPERTY IS SERVED BY PUBLIC WATER AND SEWER.
 - THERE IS NO OBSERVABLE EVIDENCE OF GRAVE SITES OR BURIAL GROUNDS ON THIS PROPERTY.
 - THE SURVEYOR IS NOT AWARE OF ANY UTILITY EASEMENTS 25 FEET IN WIDTH OR GREATER AFFECTING THIS PROPERTY.
 - THERE ARE NO KNOWN FLOOD PLAINS OR FLOOD HAZARD AREAS ON THIS PROPERTY.
 - APPROXIMATE GROSS FLOOR AREAS:

| | |
|--|-------------------|
| (PROVIDED BY PROJECT ARCHITECT, INSCAPE STUDIOS) | |
| EXISTING DWELLING: | 1,453 SQUARE FEET |
| PROPOSED ADDITION: | 2,080 SQUARE FEET |
| FLOOR AREA OF ADDITION EQUALS 143% OF THE EXISTING FLOOR AREA. | |
| LOWEST LEVEL EXCLUDED (CELLAR BY DEFINITION) | |



PROPOSED

PLAT
 SHOWING THE IMPROVEMENTS ON
 LOT 4A BLOCK 2
FRANKLIN PARK
 DRANESVILLE DISTRICT
 FAIRFAX COUNTY, VIRGINIA
 1 - 20' JUNE 30, 2010
 OCTOBER 27, 2010 (REVISED)
 JANUARY 14, 2011 (REVISED)

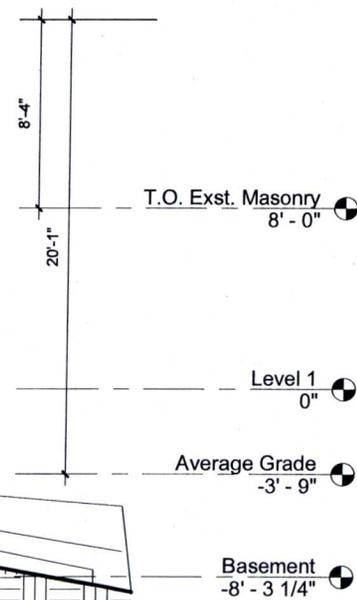
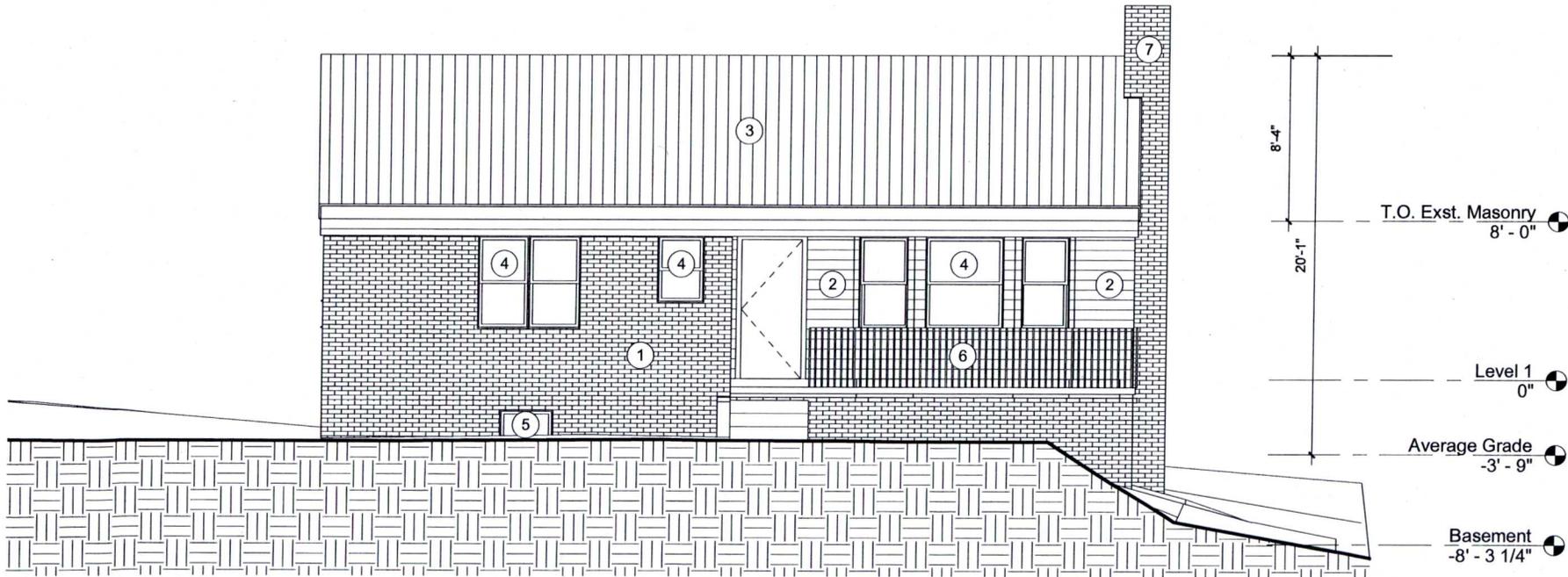
WORK AREA NOTE
 THE AREA WITHIN THE ADDITION FOOTPRINT AND ADJACENT WORK AREA AS SHOWN HEREON TOTALS 2,494 SQUARE FEET. THE LIMITS ARE TO BE STAKED BY THE SURVEYOR. SILT FENCE MUST BE INSTALLED ALONG THE LIMITS OF THE WORK AREA. ALL LAND DISTURBING WORK IS TO BE PERFORMED WITHIN THE WORK AREA LIMITS. NO MECHANIZED EQUIPMENT IS PERMITTED IN THE YARD OUTSIDE OF THE WORK AREA.

THE SILT FENCE IS TO BE PLACED PRIOR TO OR AS THE FIRST STEP OF CLEARING.

THE SILT FENCE IS TO BE INSPECTED DAILY BY THE SUPERINTENDENT OR HIS/HER REPRESENTATIVE. ANY DAMAGED PORTION WILL BE REPAIRED BY THE END OF THE DAY.

UPON COMPLETION OF CONSTRUCTION ONCE ALL AREAS HAVE BEEN STABILIZED, THE SILT FENCE MAY BE REMOVED FROM THE SITE.

| | |
|--------------------------------|---|
| GRAPHIC SCALE 0 20 40 | |
| | BY PROVISIONS OF THE VIRGINIA CODE: NO CORNER MARKERS SET, BOUNDARY SURVEY NOT PERFORMED. PLAT SUBJECT TO RESTRICTIONS OF RECORD AND NO TITLE REPORT IS FURNISHED. |
| | I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY, AND UNLESS OTHERWISE SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS. |
| REQUESTED BY BENNETT | ALEXANDRIA SURVEYS INTERNATIONAL, LLC 12216 WAPLES MILL ROAD SUITE 102 FAIRFAX, VIRGINIA 22030 TEL. NO. 703-660-6615 FAX NO. 703-768-7764 |



GENERAL NOTES

KEY NOTES

- 1 BRICK WALL CLADDING.
- 2 PAINTED WOOD SIDING.
- 3 ASPHALT SHINGLE ROOF.
- 4 DOUBLE-HUNG WINDOWS, TYP.
- 5 AWNING BASEMENT WINDOWS, TYP.
- 6 PAINTED METAL PORCH RAILING.
- 7 BRICK CHIMNEY.
- 8 SCREEN PORCH W/ METAL ROOF.

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 www.inscapestudio.com
 1353 U Street NW, 2nd Floor
 Washington, DC 20009
 202.332.7224
 Project Architect: Stefan Schwarzkopf



NOT FOR CONSTRUCTION

10003

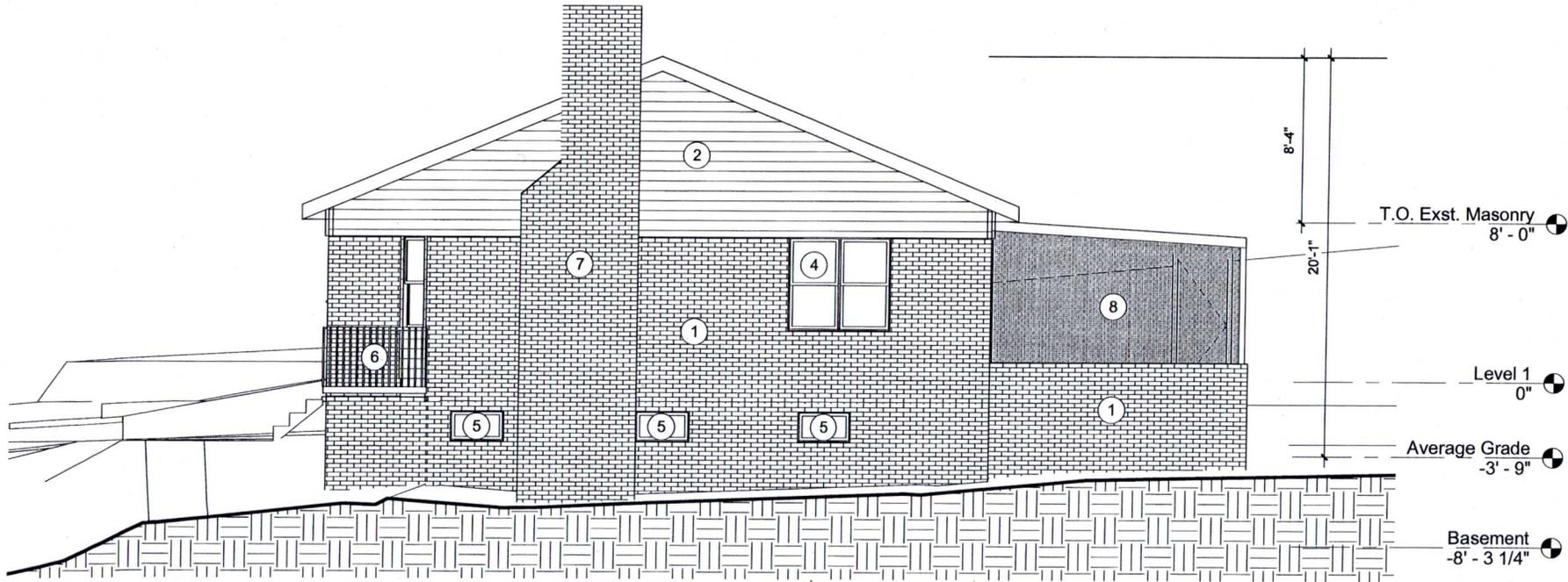
Bennett Residence
 6521 Park Road
 McLean, VA 22101

SPECIAL PERMIT

| REVISIONS |
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3/16" = 1'-0"
 SCALE
 ISSUE DATE
 16 SEP 2010

NORTH EXISTING
 EXTERIOR
 ELEVATION
 SHEET NAME
 SHEET NUMBER
A211



GENERAL NOTES

KEY NOTES

- 1 BRICK WALL CLADDING.
- 2 PAINTED WOOD SIDING.
- 3 ASPHALT SHINGLE ROOF.
- 4 DOUBLE-HUNG WINDOWS, TYP.
- 5 AWNING BASEMENT WINDOWS, TYP.
- 6 PAINTED METAL PORCH RAILING.
- 7 BRICK CHIMNEY.
- 8 SCREEN PORCH W/ METAL ROOF.

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 Bennett Residence
 6201 Park Road
 McLean, VA 22101
SPECIAL PERMIT

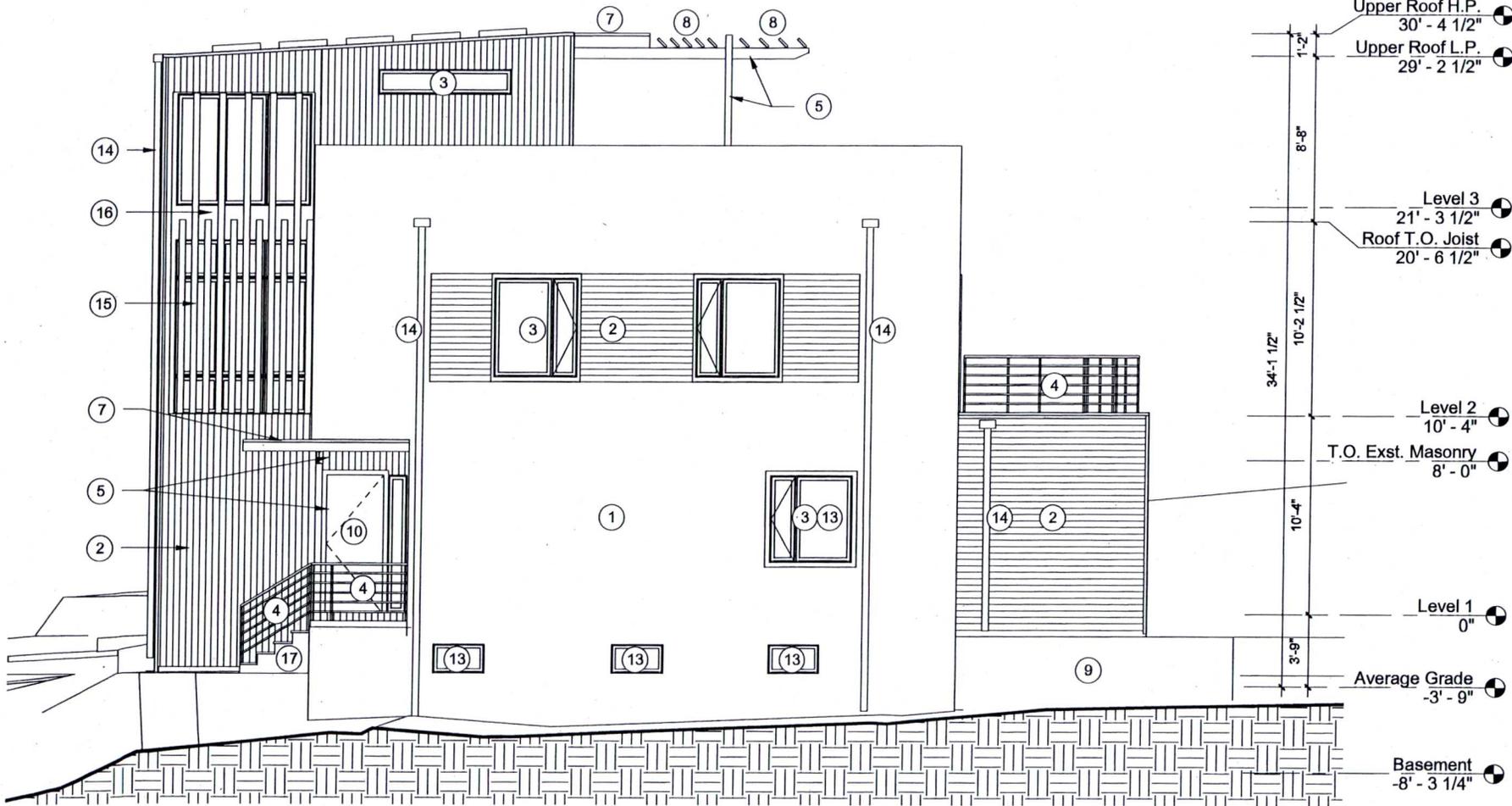
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3/16" = 1'-0"
 SCALE
 ISSUE DATE
 16 SEP 2010

WEST EXISTING EXTERIOR ELEVATION
 SHEET NAME
 SHEET NUMBER
A212

88



Upper Roof H.P.
30' - 4 1/2"

Upper Roof L.P.
29' - 2 1/2"

Level 3
21' - 3 1/2"

Roof T.O. Joist
20' - 6 1/2"

Level 2
10' - 4"

T.O. Exst. Masonry
8' - 0"

Level 1
0"

Average Grade
-3' - 9"

Basement
-8' - 3 1/4"

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McLean, VA 22101

SPECIAL PERMIT

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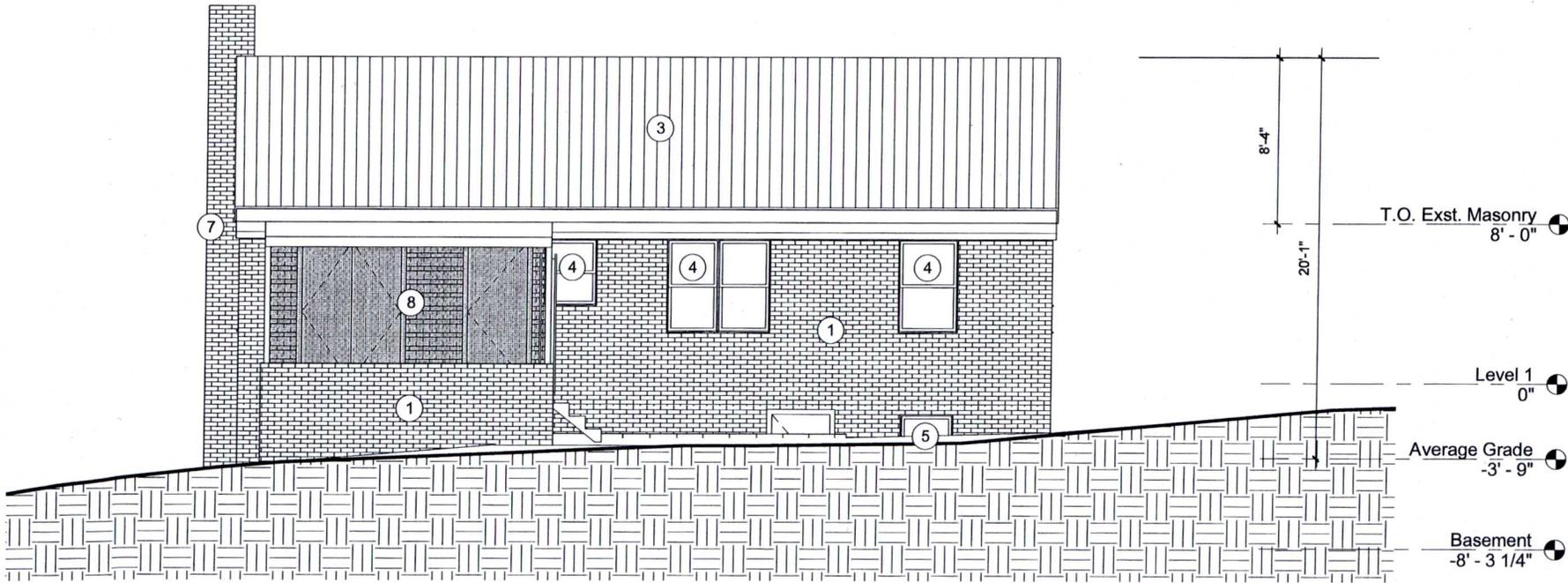
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SCALE
ISSUE DATE
25 OCT 2010

WEST EXTERIOR ELEVATION
SHEET NAME
SHEET NUMBER
A202

GENERAL NOTES

KEY NOTES

- | | | |
|---|---|---|
| 1 OFF WHITE STUCCO. | 10 WOOD ENTRY DOOR. | 17 STUCCO-CLAD MASONRY STEPS W/ STONE TREADS. |
| 2 T&G CLEAR CEDAR SIDING. | 11 ALUM-CLAD WOOD ENTRY DOOR W/ FULL GLASS LITE. | |
| 3 ALUM-CLAD WOOD WINDOWS, TYP. | 12 WOOD STEPS & DECK / LANDING. | |
| 4 METAL GUARDRAIL / HANDRAIL. | 13 NEW WINDOW IN EXISTING OPENING. | |
| 5 PTD METAL SUPPORT POST & BEAM. | 14 PTD MTL SCUPPER & PTD ROUND MTL DOWNSPOUT | |
| 6 PTD METAL SUPPORT BEAM & TENSION RODS. | 15 CLEAR CEDAR SIDING SLATS MECH. FASTENED TO HORIZ. PTD. HSS SUPPORTS. | |
| 7 WOOD CANOPY W/ EXPOSED FRAMING & EPDM MEMBRANE. | 16 HARDIE PANEL SIDING, PTD. TO MATCH WINDOWS. | |
| 8 WOOD SHADE TRELLIS. | | |
| 9 STONE-CLAD MASONRY LANDSCAPING WALL. | | |



GENERAL NOTES

KEY NOTES

- 1 BRICK WALL CLADDING.
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- 3 ASPHALT SHINGLE ROOF.
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- 5 AWNING BASEMENT WINDOWS, TYP.
- 6 PAINTED METAL PORCH RAILING.
- 7 BRICK CHIMNEY.
- 8 SCREEN PORCH W/ METAL ROOF.

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SPECIAL PERMIT

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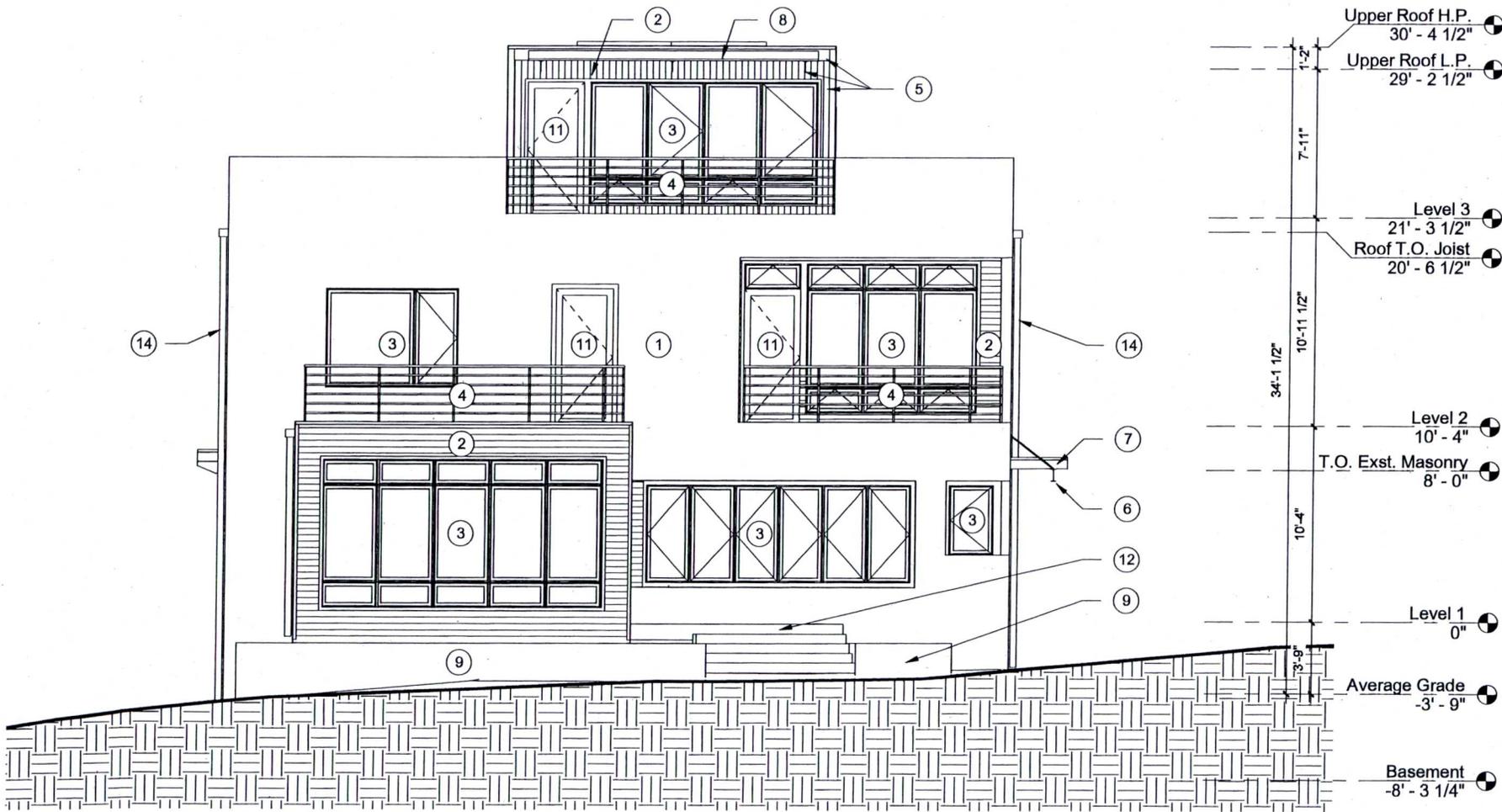
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 SCALE
 ISSUE DATE
 16 SEP 2010

SOUTH EXISTING
 EXTERIOR
 ELEVATION

SHEET NAME
 SHEET NUMBER

A213

10



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Bennett Residence
 6201 Park Road
 McLean, VA 22101
SPECIAL PERMIT

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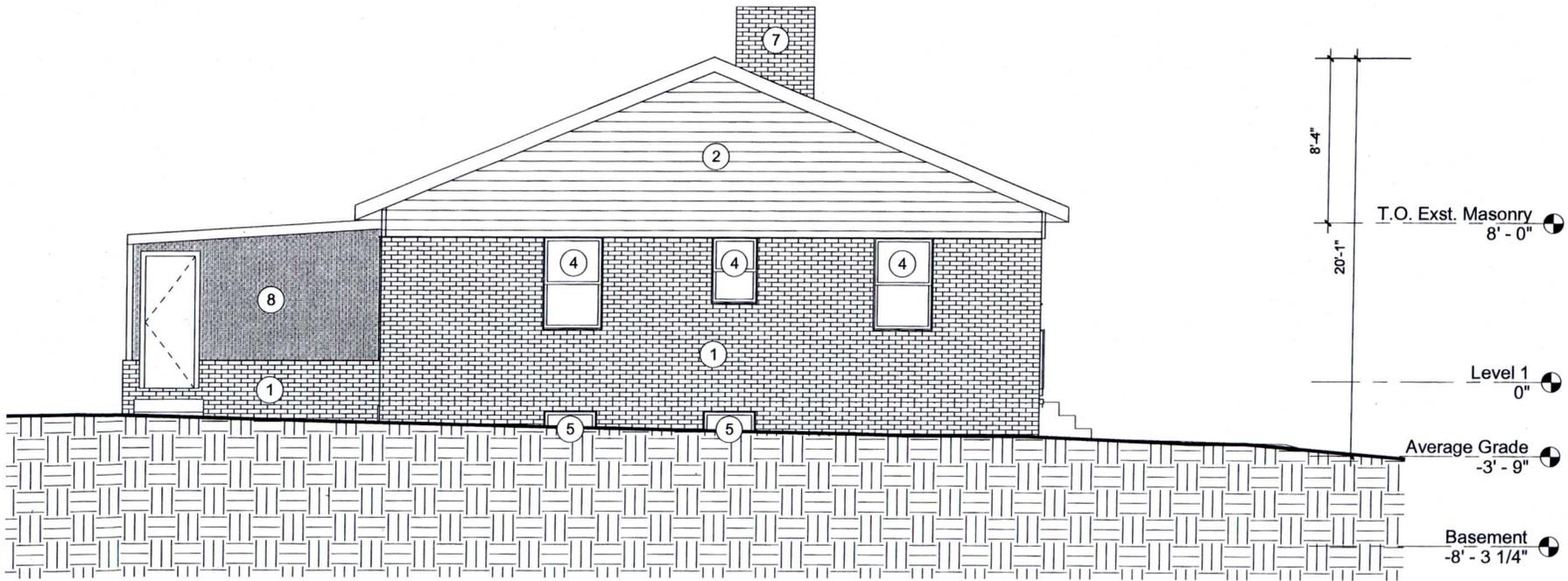
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 SCALE
 ISSUE DATE
 25 OCT 2010

SOUTH EXTERIOR ELEVATION
 SHEET NAME
 SHEET NUMBER
A203

GENERAL NOTES

- KEY NOTES**
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| 1 OFF WHITE STUCCO. | 10 WOOD ENTRY DOOR. | 17 STUCCO-CLAD MASONRY STEPS W/ STONE TREADS. |
| 2 T&G CLEAR CEDAR SIDING. | 11 ALUM-CLAD WOOD ENTRY DOOR W/ FULL GLASS LITE. | |
| 3 ALUM-CLAD WOOD WINDOWS, TYP. | 12 WOOD STEPS & DECK / LANDING. | |
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| 8 WOOD SHADE TRELLIS. | | |
| 9 STONE-CLAD MASONRY LANDSCAPING WALL. | | |



GENERAL NOTES

KEY NOTES

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- 5 AWNING BASEMENT WINDOWS, TYP.
- 6 PAINTED METAL PORCH RAILING.
- 7 BRICK CHIMNEY.
- 8 SCREEN PORCH W/ METAL ROOF.

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10003
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 McLean, VA 22101
SPECIAL PERMIT

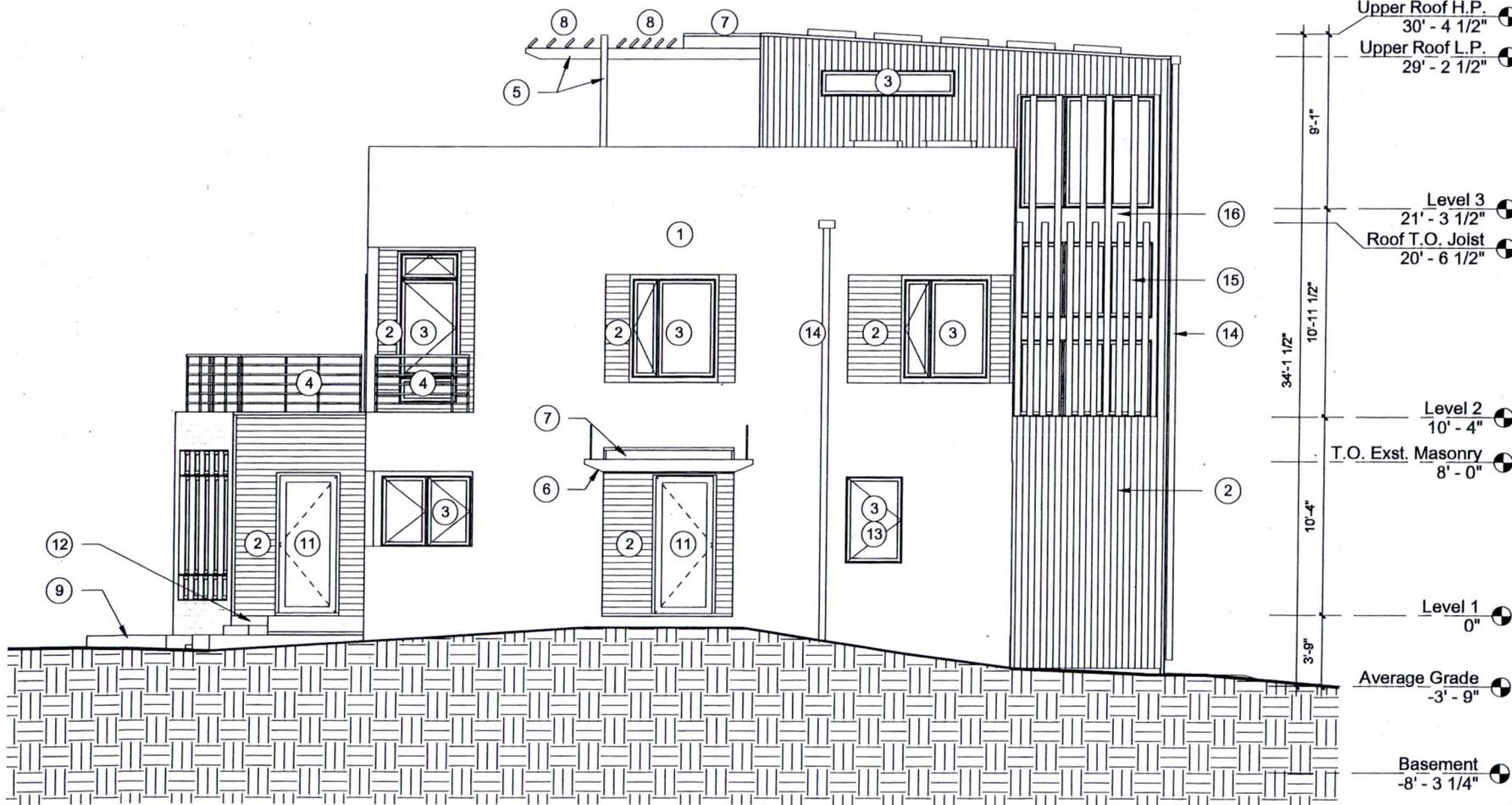
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 SCALE
 ISSUE DATE
 16 SEP 2010

EAST EXISTING
 EXTERIOR
 ELEVATION
 SHEET NAME
 SHEET NUMBER

A214



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CONSTRUCTION

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 McLean, VA 22101
 SPECIAL PERMIT

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3/16" = 1'-0"
 SCALE
 ISSUE DATE
 25 OCT 2010

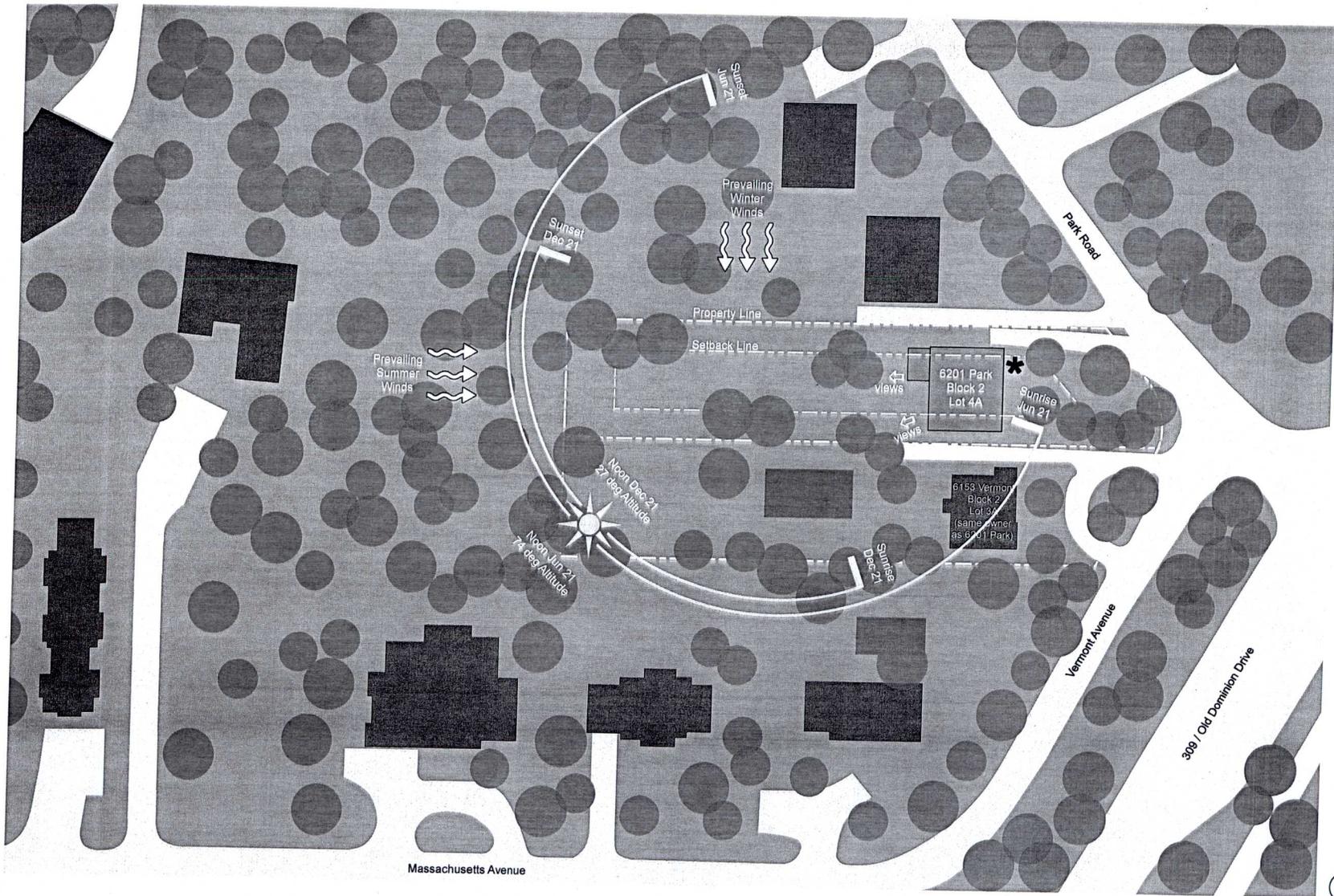
EAST EXTERIOR
 ELEVATION
 SHEET NAME
 SHEET NUMBER
A204

GENERAL NOTES

1 OFF WHITE STUCCO.
 2 T&G CLEAR CEDAR SIDING.
 3 ALUM-CLAD WOOD WINDOWS, TYP.
 4 METAL GUARDRAIL / HANDRAIL.
 5 PTD METAL SUPPORT POST & BEAM.
 6 PTD METAL SUPPORT BEAM & TENSION RODS.
 7 WOOD CANOPY W/ EXPOSED FRAMING & EPDM MEMBRANE.
 8 WOOD SHADE TRELLIS.
 9 STONE-CLAD MASONRY LANDSCAPING WALL.

KEY NOTES

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 16 HARDIE PANEL SIDING, PTD. TO MATCH WINDOWS.
 17 STUCCO-CLAD MASONRY STEPS W/ STONE TREADS.



 Site Analysis

Bennett Residence

11 January 2011 | Zoning Special Permit Application

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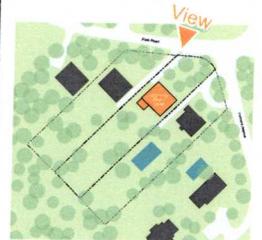
▼ 6201 Park Road

▲ 6201 Park Road

View from NE



View from North

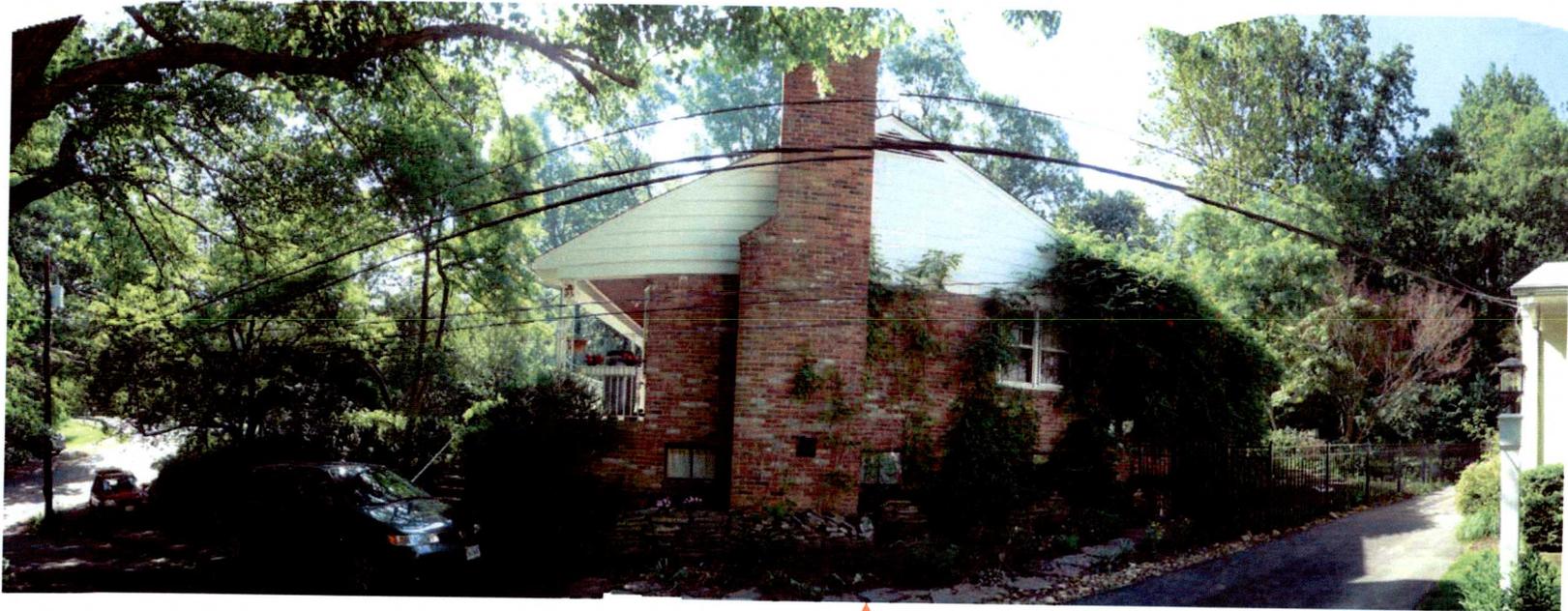


Existing Photographs

Bennett Residence

15 July 2010 | Zoning Special Permit Application

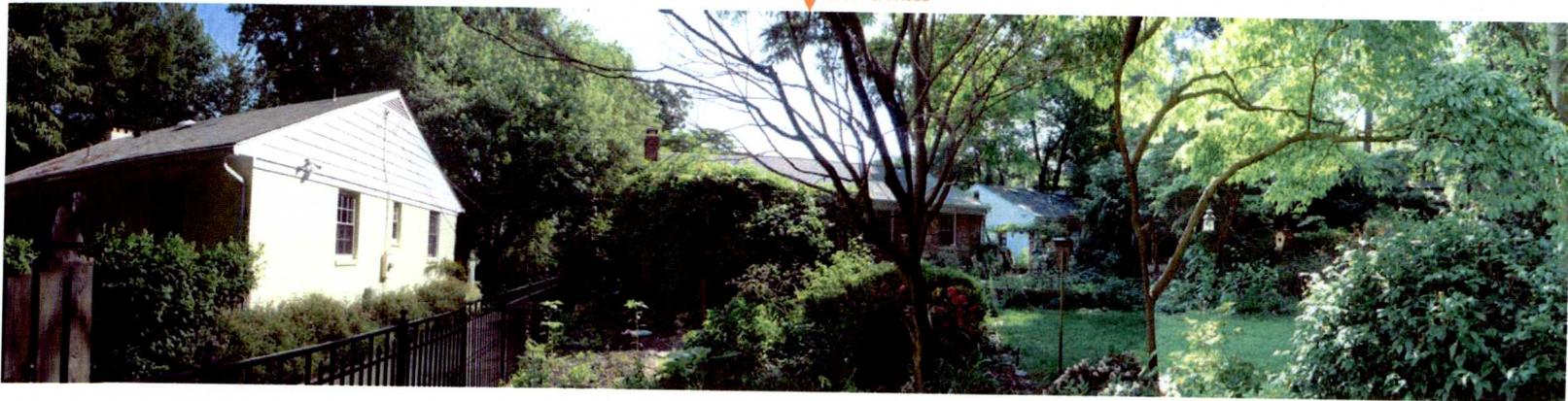
19



View from NW



▲ 6201 Park Road
▼ 6201 Park Road



View from SW



Existing Photographs

Bennett Residence

15 July 2010 | Zoning Special Permit Application

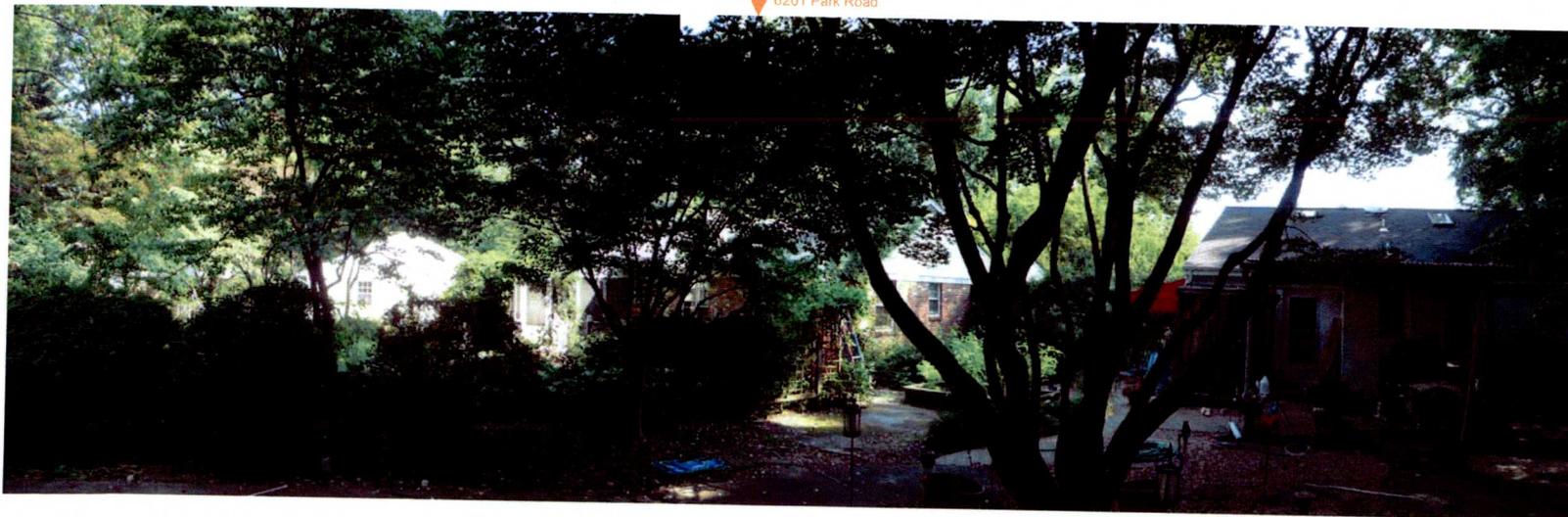




View from South



▲ 6201 Park Road
▼ 6201 Park Road



View from SSE



Bennett Residence

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View from SE



▼ 6201 Park Road

▲ 6201 Park Road



View from East



Bennett Residence

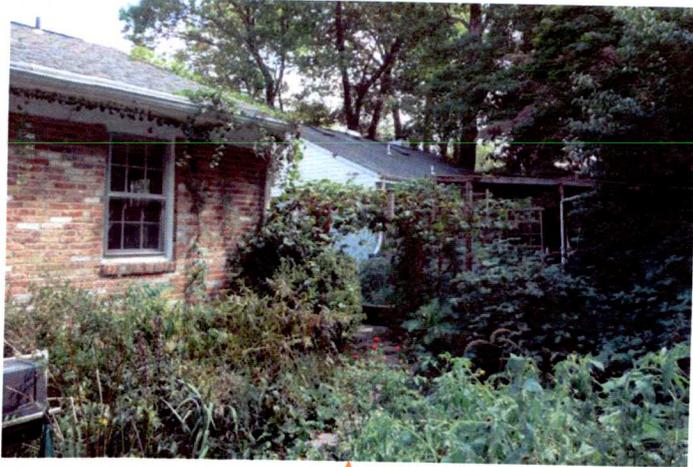
15 July 2010 | Zoning Special Permit Application

Existing Photographs

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▲ Rear View

▼ Rear View



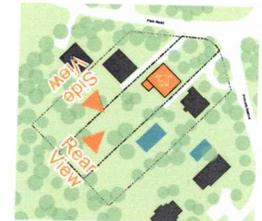
▲ Side View

▼ Side View

Freestanding
Plant Trellis



Patio and Pond Area
(ref: Plat)



Bennett Residence

16 September 2010 | Zoning Special Permit Application

Existing Photographs

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29



Front View
Existing Photo

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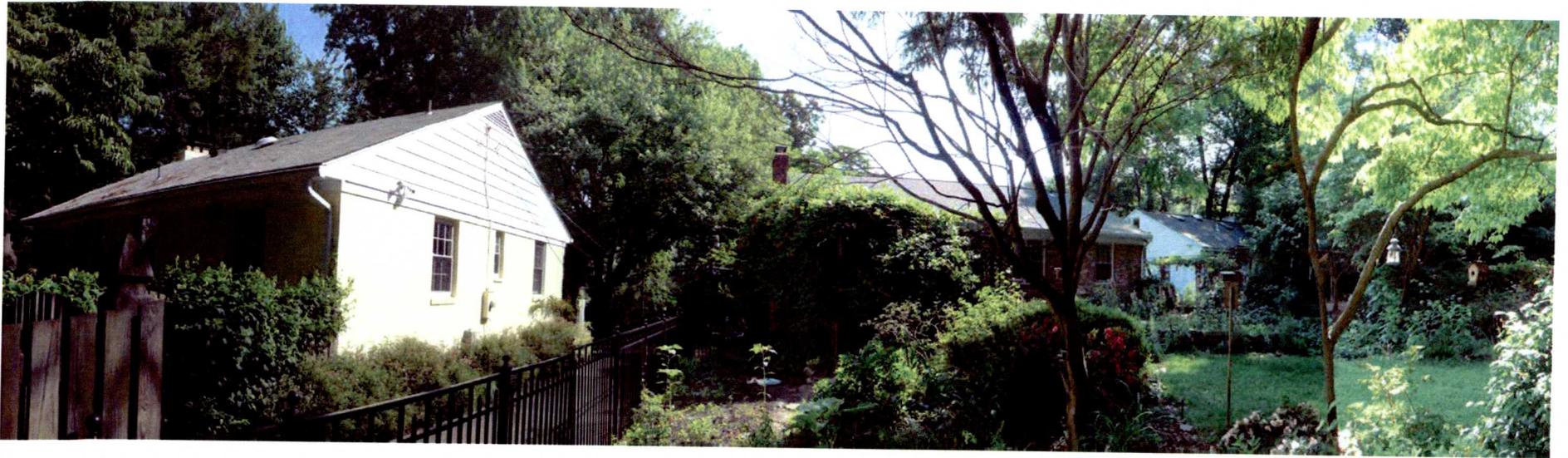


Front View
Photo Rendering

Bennett Residence

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12



SW Rear View
Existing Photo

Bennett Residence

11 January 2011 | Zoning Special Permit Application





Bennett Residence

11 January 2011 | Zoning Special Permit Application

SW Rear View
Photo Rendering

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23



Context Photographs:
Existing Houses on
Park Road

Bennett Residence

11 January 2011 | Zoning Special Permit Application

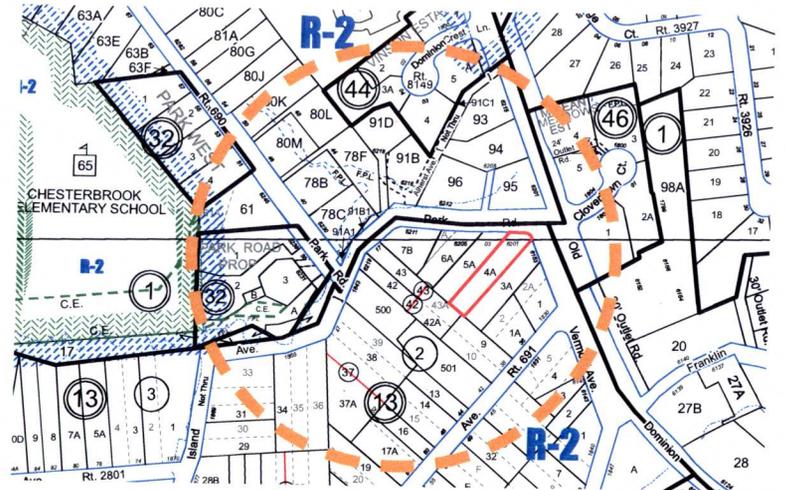
23



▲ View from Massachusetts Ave



▲ View from back yard of subject property



▲ Area where Context Photos were taken (red outline = subject property)



Context Photographs:
Existing Houses on
Massachusetts Ave

Bennett Residence

11 January 2011 | Zoning Special Permit Application

DESCRIPTION OF THE APPLICATIONS

This application includes three special permit requests. The first request is for approval to permit a reduction to minimum yard requirements based on an error in building location to permit the existing dwelling to remain 7.2 feet from the eastern side lot line.

Description of Special Permit Request #1

| | Structure | Yard | Min. Yard Req.* | Structure Location | Amount of Error | Percent of Error |
|----------------------------------|------------------------|-------------|-----------------|--------------------|-----------------|------------------|
| Special Permit Request #1 | Single-Family Dwelling | Side (East) | 15.0 feet | 7.2 feet | 7.8 feet | 52.0% |

*Minimum yard requirement per Section 3-207

The second request is to permit a reduction of certain yard requirements to permit construction of a second-floor addition to be located 7.5 feet from the eastern side lot line and 11.6 feet from the western side lot line. The third request is to permit construction of a roofed deck 10.1 feet from the western side lot line.

Description of Special Permit Request #2 and #3

| | Structure | Yard | Minimum Yard Required* | Proposed Location | Proposed Reduction | Percentage of Reduction Requested |
|----------------------------------|--------------------------------|-------------|------------------------|-------------------|--------------------|-----------------------------------|
| Special Permit Request #2 | 2 nd Floor Addition | Side (East) | 15.0 feet | 7.5 feet | 7.5 feet | 50.0% |
| Special Permit Request #2 | 2 nd Floor Addition | Side (West) | 15.0 feet | 11.6 feet | 3.4 feet | 22.7% |
| Special Permit Request #3 | Roofed Deck | Side (West) | 15.0 feet | 10.1 feet | 4.9 feet | 32.7% |

*Minimum yard requirement per Section 3-207

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EXISTING SITE DESCRIPTION

Zoned to the R-2 Zoning District, the application property is located in the Franklin Park Subdivision on the south side of Park Road, just west of its intersection with Vermont Avenue. The 17,540 square-foot lot is currently developed with a one-story, brick, single-family detached dwelling measuring 1,453 square feet in area and 15 feet in height. An open front porch and a rear porch were added to the house with approved building permits in 1964. Access to the site is provided from Park Road via an existing asphalt driveway located along the western property line and terminating at the front plane of the dwelling. Stairs extend from the driveway to a walkway that leads to the dwelling's existing front entrance. There is a significant amount of mature and lush vegetation along the perimeter of the property, particularly in the front and rear yards. A Resource Protection Area (RPA) is located along the northern half of the front yard. The site is surrounded by single family detached homes on all lot lines. Arlington County borders this area to the southeast.

CHARACTER OF THE AREA

| | Zoning | Use |
|-------|--------|----------------------------------|
| North | R-2 | Single family detached dwellings |
| South | R-2 | Single family detached dwellings |
| East | R-2 | Single family detached dwellings |
| West | R-2 | Single family detached dwellings |

BACKGROUND

County records indicate the existing dwelling was constructed in 1957, measuring approximately 1,251 square feet in area and 20 feet in absolute height. A building permit was issued in 1964 for the addition of an open porch at the rear of the dwelling which is included as Appendix 4 of this report.

Following adoption of the current Ordinance, the BZA heard the following similar special permit and variance applications in the vicinity of the application parcel:

- *Variance VC 83-D-017* was approved on April 26, 1983 for Tax Map 41-1((13)) (5) 69, 70 & 71, zoned R-2, at 1965 Virginia Avenue, to permit living space and deck additions to dwelling to remain 7.1 feet and 7.4 feet respectively from side lot line (15 feet minimum side yard required).
- *Variance VC 88-D-109* was approved on October 5, 1988 for Tax Map 41-1((13)) (4) 22A, zoned R-2, at 1939 Virginia Avenue, to permit construction of addition to dwelling 9.8 feet from side lot line (15 feet minimum side yard required).

- *Variance VC 90-D-029* was approved on June 12, 1990 for Tax Map 41-1((13)) (1) 22 and 23, zoned R-2, at 1867 Massachusetts Avenue, to permit construction of garage addition to dwelling 11.7 feet from side lot line (15 feet minimum side yard required).
- *Variance VC 91-D-072* was approved on September 18, 1991 for Tax Map 41-1((13)) (8) 10, zoned R-2, at 1935 Rockingham Street, to permit construction of addition 5.2 feet from side lot line and to allow existing house to remain 6.6 feet from side lot line and existing deck to remain 4.6 feet from side lot line (15 feet minimum side yard required).
- *Variance VC 91-D-137* was approved on February 19, 1992 for Tax Map 41-1((13)) (7) 17A, zoned R-2, at 1909 Rhode Island Avenue, to permit enclosure of screened porch 10.0 feet from side lot line (15 feet minimum side yard required).
- *Variance VC 93-D-097* was denied on December 28, 1993 for Tax Map 41-1((13)) (5) 72 and 73, zoned R-2, at 1963 Virginia Avenue, to permit construction of dwelling 10.0 feet from side lot line (15 feet minimum side yard required).
- *Variance VC 01-D-067* was approved on July 25, 2001 for Tax Map 41-1((13)) (8) 3A, zoned R-2, at 1920 Valley Wood Road, to permit construction of addition 9.6 feet from side lot line (15 feet minimum side yard required).

ANALYSIS

Special Permit Plat (Copy at front of staff report)

- **Title of Plat:** Plat Showing The Improvements on Lot 4A, Block 2, Franklin Park
- **Prepared by:** Alexandria Surveys International, LLC, and signed by Patrick A. Eckert, Land Surveyor
- **Dated:** June 30, 2010, as revised through January 14, 2011
- **Building Permit required for Dwelling:** Yes
- **Error Made by:** Original construction pre-dates the adopted Zoning Ordinance

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Proposal:

The applicant is requesting special permit approval for a reduction to minimum yard requirements based on error in building location to permit the existing dwelling to remain 7.2 feet from the eastern side lot line. The Zoning Ordinance requires a single-family detached dwelling to be set back a distance of 15.0 feet from a side lot line in the R-2 Zoning District. The applicant also proposes to construct a second floor addition which steps in slightly from the footprint of the existing dwelling to be located a distance of 7.5 feet from the eastern lot line and 11.6 feet from the western lot line; therefore a reduction of 7.5 feet (50%) and 3.4 feet (22.7%) respectively, are requested. A new covered front porch is proposed with the roof overhang located 10.1 feet from the western side lot line; a reduction of 4.9 feet (or 32.7%) is requested. Additionally, the applicant proposes to construct a one-story first floor addition onto the rear of the dwelling as well as a third floor addition in the middle of house which provides access to a roof terrace. The new roof height of the dwelling is proposed at an absolute height of 35 feet and the new dwelling will consist of four levels including the cellar area. The dwelling is proposed to increase in size from 1,453 square feet in area to 3,533 square feet, an increase of 2,080 square feet (or 143%) in gross floor area. The applicant has committed to maintaining much of the existing mature vegetation on site. All of the proposed construction is to occur outside of the limits of the RPA.

ZONING ORDINANCE REQUIREMENTS

Applicable bulk regulation(s) and additional location regulations are set forth on Page 1.

The application must meet all of the following standards, copies of which are attached as Appendix 7:

- Sect. 8-006 General Special Permit Standards
- Sect. 8-903 Group 9 Standards
- Sect. 8-914 Provisions for Approval of Reduction to the Minimum Yard Requirements Based on Error in Building Location
- Sect. 8-922 Provisions for Reduction of Certain Yard Requirements

Sect. 8-006 General Special Permit Standards

Staff believes that the application for the addition meets all of the 8 General Special Permit Standards. Of particular note regarding this application is General Standard 3 and Standard 5.

General Standard 3 requires that the application proposed use be harmonious with and not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof. *By observation of the neighborhood as*

well as the review of photographs submitted by the applicant, staff believes that the proposed addition will not adversely affect the use or development of neighboring properties. This neighborhood contains an eclectic mix of housing stock with a wide range of housing styles, sizes, heights and shapes. While the existing dwelling will certainly undergo a dramatic transformation from its current style, the proposed additions and resulting housing style will not negatively impact the neighborhood. With the exception of the one-story addition on the first floor and the third floor addition, both of which meet the minimum required yards, the remaining second floor addition utilizes the existing footprint of the dwelling. The proposed building materials will be utilized on the existing structure and the proposed additions for a unified building façade. The applicant has committed to maintaining the existing mature trees and most of the vegetation on the site. Staff believes that this standard has been met.

General Standard 5 requires that in addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13. The property has a significant amount of mature vegetation on site. Since much of the proposed addition is to be located within the same footprint as the existing dwelling, there should be minimal impact to existing vegetation which will continue to serve as a buffer between the existing dwelling and adjacent properties. The applicant has committed to maintaining the existing mature trees and staff has proposed a development condition to ensure that these trees are protected and that other mature vegetation will be relocated or replanted if removed. With the adoption of these development conditions, staff believes that this standard has been met.

Sect. 8-922 Provisions for Reduction of Certain Yard Requirements

This special permit application must satisfy all of the provisions contained in Sect. 8-922, Provisions for Reduction of Certain Yard Requirements. Standards 1, 2, 3, 11 and 12 relate to submission requirements and were satisfied at the time of submission. Standard 5 relates to accessory structures, which does not apply to this application and Standard 10 allows the BZA to impose development conditions. Staff believes that the application has met all of the remaining standards, but has strong reservations with regards to Standards 6, 8, and 9 which are discussed herein.

Standard 4 states that the resulting gross floor area of an addition to an existing principal structure may be up to 150 percent of the total gross floor area of the principal structure that existed at the time of the first yard reduction request. In such instance, if a portion of the principal structure is to be removed; no more than fifty (50) percent of the gross floor area of the existing principal structure at the time of the first yard reduction shall be removed. According to the special permit plat, the existing dwelling is 1,453 square feet in area. Therefore 150% of the total gross floor area could result in an addition up to 2,179.5 square feet in size for a possible total at build out of 3,632.5 square feet. The proposed additions are 2,080 square feet, for a total gross floor area of the house, with all the additions, of 3,533 square feet (or 143%). The application meets this provision.

Standard 6 states that the BZA shall determine that the proposed development will be in character with the existing on-site development in terms of the location, height, bulk and scale of the existing structure(s) on the lot. The elevation drawings submitted indicate that the materials, size and scale of the proposed additions will dramatically transform the appearance of the existing dwelling. The additions are not subordinate in bulk and scale to the principal dwelling, but they are within the range of the permitted size of additions under the provision of this ordinance. At 35 feet in height, the additions will maximize the permitted height for dwellings in the R-2 Zoning District, creating additional height, bulk and scale that far exceed that of the existing structure. However, the majority of the additions are proposed to be within the same building footprint as the existing dwelling. Staff believes that the application technically meets this provision.

Standard 7 states that the BZA shall determine that the proposed development is harmonious with the surrounding off-site uses and structures in terms of location, height, bulk and scale of surrounding structures, topography, existing vegetation and the preservation of significant trees as determined by the Director. Subsequent to a site visit and with the review of the photographs submitted with this application, staff believes that the proposed improvements are compatible with the surrounding houses in the neighborhood. As previously stated, the neighborhood contains an eclectic mix of housing stock with a wide variety of housing styles, sizes, heights and shapes. The proposed additions and resulting housing style should not negatively impact the neighborhood. The surrounding neighborhood contains homes with similar additions, both in size and height. As noted previously, numerous variances have been approved in the area, however many of the additions and new homes built meet minimum yard requirements. The proposed exterior building materials are compatible with those in the neighborhood and the applicant has agreed to maintain the significant vegetation located on the site. Staff has proposed a development condition to ensure that on-site and off-site vegetation is protected. With the adoption of this development condition, staff believes that the application meets this provision.

Standard 8 states that the BZA shall determine that the proposed development shall not adversely impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air, safety, erosion, and stormwater runoff. Due to the height of the proposed additions, staff made a request of the applicant to demonstrate that the proposed additions would not create a looming effect and cast shadows on adjacent properties. The analysis provided by the applicant shows that the proposed additions do indeed cast a shadow for a period of approximately two hours in the morning on the adjacent property to the east (Lot 3A). However, the applicant also owns Lot 3A and contends that the shadow will not significantly impact the use and/or enjoyment of that property.

The Department of Public Works and Environmental Services (DPWES) has indicated that the area of disturbance for the proposed additions may exceed 2,500 square feet in area (see Appendix 6) which will require the applicant to submit an infill grading plan. Should an infill grading plan be required, water quality controls will also be required if the site's imperviousness is greater than 18%. There are no controls shown on the plat and the site's impervious area computation has not been provided with the application.

Additionally, the applicant has indicated that they plan to use the driveway on Lot 3A as a staging area for construction material. That area may have to be included in the area of disturbance. There is also a downstream drainage complaint on file; Lot 6A reported yard flooding in 2005. There is a Resource Protection Area (RPA) located on the property; however none of the proposed site improvements are located within the RPA. Staff has proposed a development condition requiring the applicant to adequately demonstrate that the area of disturbance for the proposed additions does not exceed 2,500 square feet. In the event that the applicant is unable to meet these requirements to the satisfaction of DPWES, a special permit amendment (SPA) may be required. With the adoption of this development condition, staff believes that this standard has been met.

Standard 9 states that the BZA shall determine that the proposed reduction represents the minimum amount of reduction necessary to accommodate the proposed structure on the lot. Specific factors to be considered include, but are not limited to, the layout of the existing structure; availability of alternate locations for the addition; orientation of the structure(s) on the lot; shape of the lot and the associated yard designations on the lot; environmental characteristics of the site, including presence of steep slopes, floodplains and/or Resource Protection Areas; preservation of existing vegetation and significant trees as determined by the Director; location of a well and/or septic field; location of easements; and/or preservation of historic resources. Staff believes that the applicant could utilize more of the rear yard to accommodate the proposed additions and decrease the proposed width of the addition to achieve the minimum amount of reduction necessary for the additions, as well as decrease the height of the additions to lessen the negative impact on the immediately adjacent properties, particularly Lot 3A to the east. The applicant contends that the impact on Lot 3A is minor and since they own that lot, the shadows that would be cast on the dwelling are inconsequential. The applicant believes that modifying the proposed design to utilize more of the rear yard would have a greater impact on the views of the adjacent property to the west, as well as require the removal of more vegetation in the rear of the application site. If the applicant's rationale is adopted, then the application meets this provision. There is an RPA on the front of this property and staff has proposed a development condition to ensure that the RPA remains protected. Other issues of wells and floodplains are not applicable to this site.

CONCLUSION

Staff believes that the subject application could be in conformance with the applicable Zoning Ordinance provisions, but only with the implementation of the Proposed Development Conditions contained in Appendix 1 of the staff report.

RECOMMENDATION

Staff recommends approval of SP 2010-DR-060 for the proposed additions, but only subject to the Proposed Development Conditions contained in Appendix 1 of the staff report.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

APPENDICES

1. Proposed Development Conditions
2. Applicant's Affidavit
3. Applicant's Statement of Justification
4. Building Permit History
5. Urban Forest Management Analysis
6. Stormwater Management Analysis
7. Applicable Zoning Ordinance Provisions

PROPOSED DEVELOPMENT CONDITIONS**SP 2010-DR-060****January 26, 2011**

If it is the intent of the Board of Zoning Appeals to approve SP 2010-DR-060 located at Tax Map 41-1 ((13)) (2) 4A to permit reduction of certain yard requirements pursuant to Sections 8-914 and 8-922 of the Fairfax County Zoning Ordinance, staff recommends that the Board condition the approval by requiring conformance with the following development conditions.

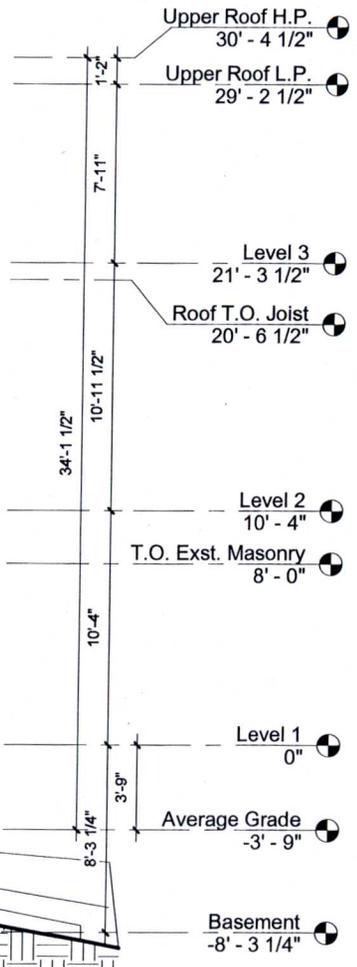
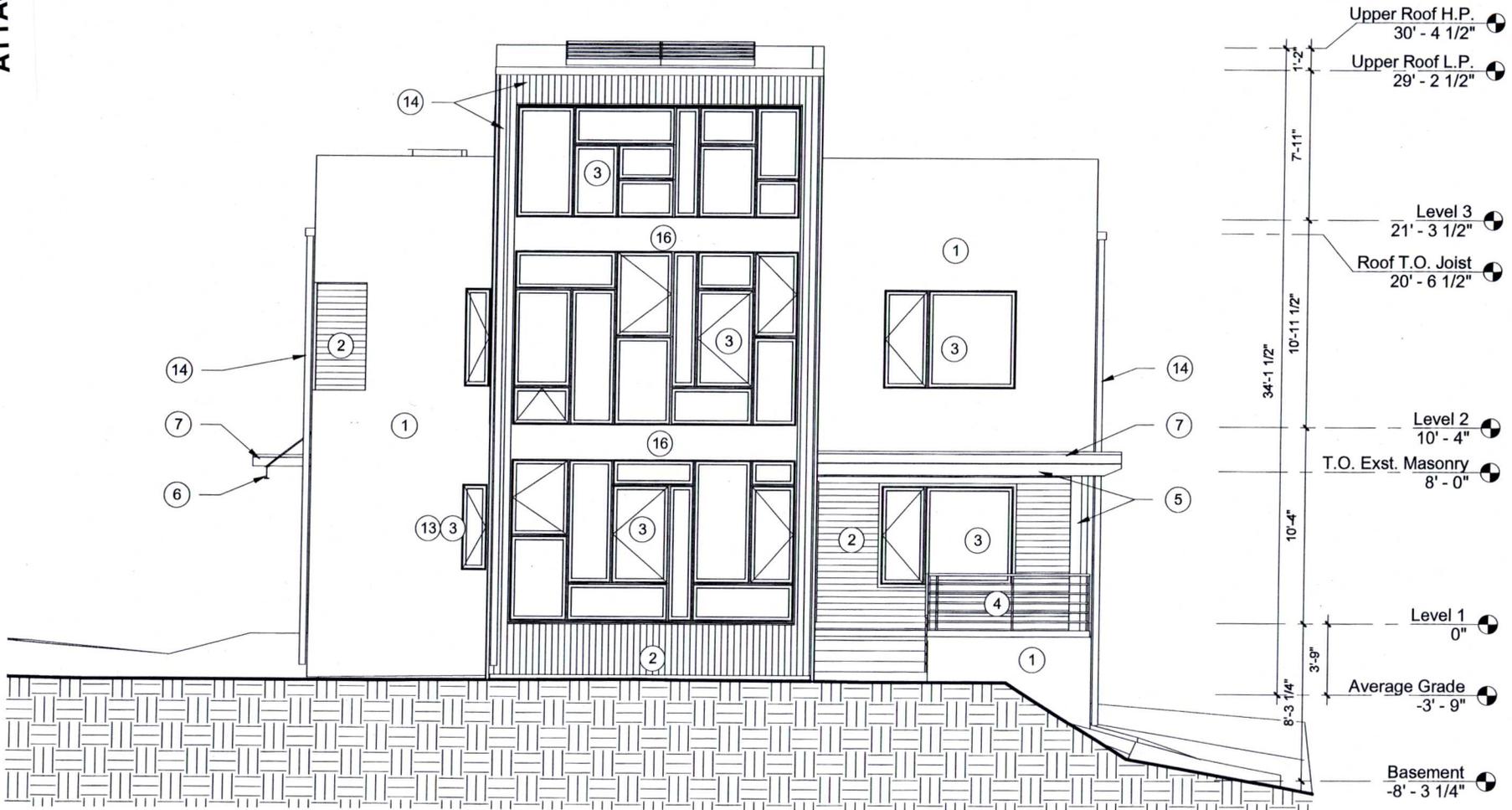
1. These conditions shall be recorded by the applicant, Edward J. and Lisa W. Bennett, among the land records of Fairfax County for this lot prior to the issuance of a building permit. A certified copy of the recorded conditions shall be provided to the Zoning Permit Review Branch, Department of Planning and Zoning.
2. This special permit is approved for the location 6201 Park Road and size, 2,080 square feet for the proposed additions, as shown on the plat prepared by Alexandria Surveys International, LLC and signed by Patrick A. Eckert, Land Surveyor, dated June 30, 2010, as revised through January 14, 2011, as submitted with this application and is not transferable to other land.
3. Pursuant to Paragraph 4 of Section 8-922 of the Zoning Ordinance, the resulting gross floor area of an addition to the existing principal structure may be up to 150 percent of the gross floor area of the dwelling that existed at the time of the first expansion (1,453 square feet existing + 2,179.5 square feet (150%) = 3,632.5 square feet maximum permitted on lot) regardless of whether such addition complies with the minimum yard requirement or is the subject of a subsequent yard reduction special permit. Notwithstanding the definition of gross floor area as set forth in the Ordinance, the gross floor area of a single family dwelling for the purpose of this paragraph shall be deemed to include the floor area of any attached garage. Subsequent additions that meet minimum yard requirements shall be permitted without an amendment to this special permit.
4. The additions shall be generally consistent with the architectural drawings as depicted on Attachment 1 to these conditions.
5. Prior to any land disturbing activities, a pre-construction conference shall be held on-site between the Department of Public Works and Environmental Services (DPWES), including the Urban Forester, and representatives of the applicant to include the construction site superintendent responsible for the on-site construction activities. The purpose of this meeting shall be to discuss and

clarify the limits of the Resource Protection Area (RPA), clearing and grading, areas of tree preservation, tree protection measures, and the erosion and sedimentation control plan to be implemented during construction. The limits of the RPA and the limits of clearing shall be clearly marked for this meeting and during all phases of construction.

6. Prior to commencement of and during the entire construction process, tree protective fencing shall be installed between the location of the proposed additions and the limits of clearing and grading within all property boundaries. Tree protection fencing in the form of 14-gauge welded wire fence mounted on steel posts shall be installed at the limits of clearing and grading to protect the critical root zones of on-site and off-site trees from any construction activity, including material storage and vehicular and construction equipment traffic. The applicant shall monitor the site to ensure that inappropriate activity such as the storage of construction equipment does not occur within the tree save areas. Any trees that are damaged or removed shall be replaced with a like kind in size and species as determined by the Urban Forest Management Division (UFMD), DPWES.
7. There shall be no clearing or grading of any vegetation within the RPA except for dead or dying trees and shrubs.
8. Prior to the issuance of a building permit, the applicant shall obtain approval of land disturbance calculations as determined by DPWES, Environmental and Site Review Division. If the applicant is required to provide Stormwater Management (SWM) and/or Best Management Practices (BMP) facilities and those facilities can not be provided in substantial conformance with the SP Plat, then a special permit amendment (SPA) shall be filed to provide water quantity and quality control measures in accordance with the PFM as determined by DPWES.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, thirty (30) months after the date of approval unless construction has commenced and has been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.



GENERAL NOTES

KEY NOTES

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| 1 OFF WHITE STUCCO. | 10 WOOD ENTRY DOOR. | 17 STUCCO-CLAD MASONRY STEPS W/ STONE TREADS. |
| 2 T&G CLEAR CEDAR SIDING. | 11 ALUM-CLAD WOOD ENTRY DOOR W/ FULL GLASS LITE. | |
| 3 ALUM-CLAD WOOD WINDOWS, TYP. | 12 WOOD STEPS & DECK / LANDING. | |
| 4 METAL GUARDRAIL / HANDRAIL. | 13 NEW WINDOW IN EXISTING OPENING. | |
| 5 PTD METAL SUPPORT POST & BEAM. | 14 PTD MTL SCUPPER & PTD ROUND MTL DOWNSPOUT | |
| 6 PTD METAL SUPPORT BEAM & TENSION RODS. | 15 CLEAR CEDAR SIDING SLATS MECH. FASTENED TO HORIZ. PTD. HSS SUPPORTS. | |
| 7 WOOD CANOPY W/ EXPOSED FRAMING & EPDM MEMBRANE. | 16 HARDIE PANEL SIDING, PTD. TO MATCH WINDOWS. | |
| 8 WOOD SHADE TRELLIS. | | |
| 9 STONE-CLAD MASONRY LANDSCAPING WALL. | | |

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 www.inscapestudio.com
 1353 U Street NW, 2nd Floor
 Washington, DC 20009
 202.332.7224
 Project Architect: Stefan Schwarzkopf



NOT FOR CONSTRUCTION

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 Bennett Residence
 6501 Park Road
 McLean, VA 22101
 SPECIAL PERMIT

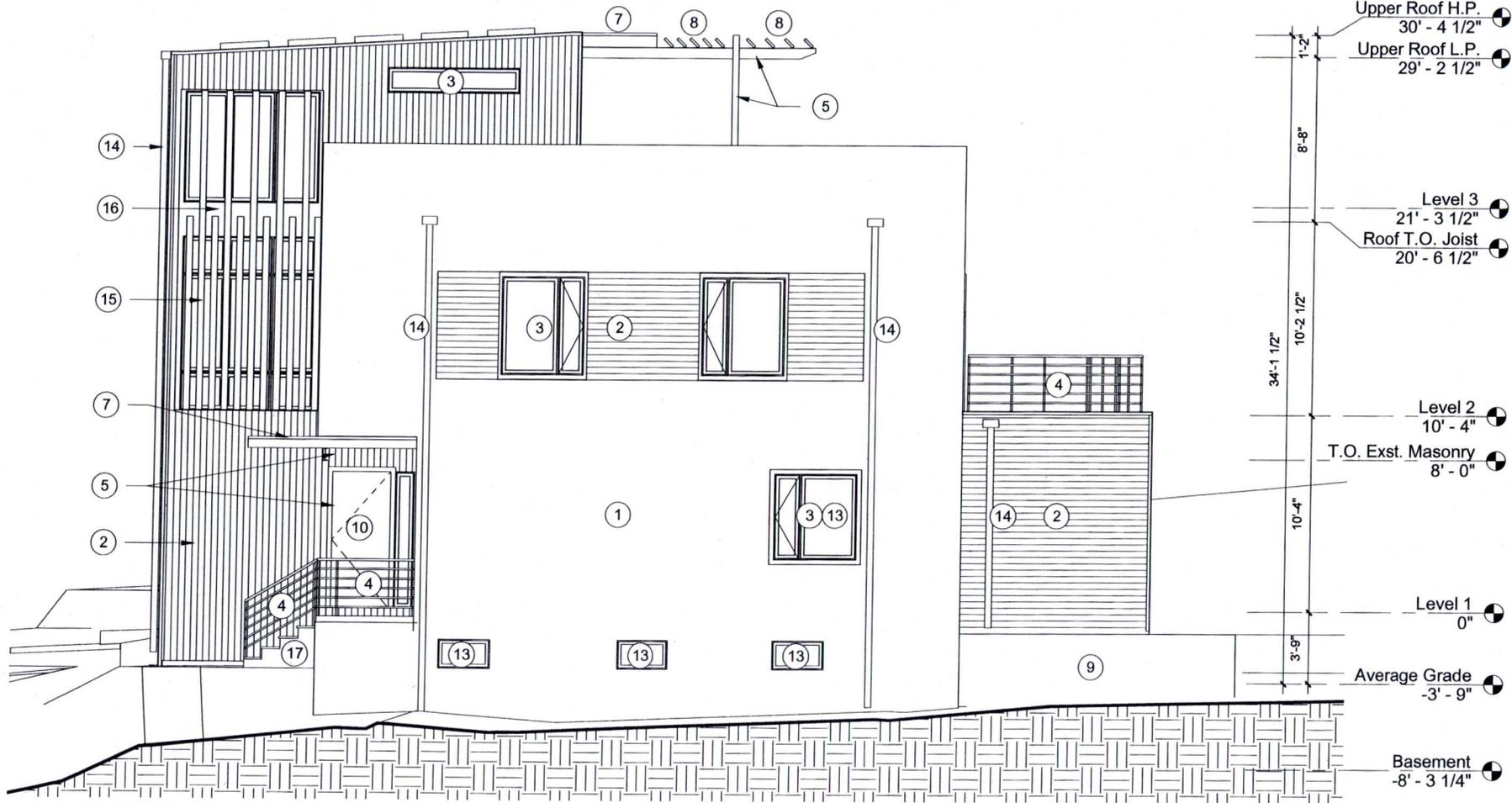
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 SHEET NUMBER
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SPECIAL PERMIT

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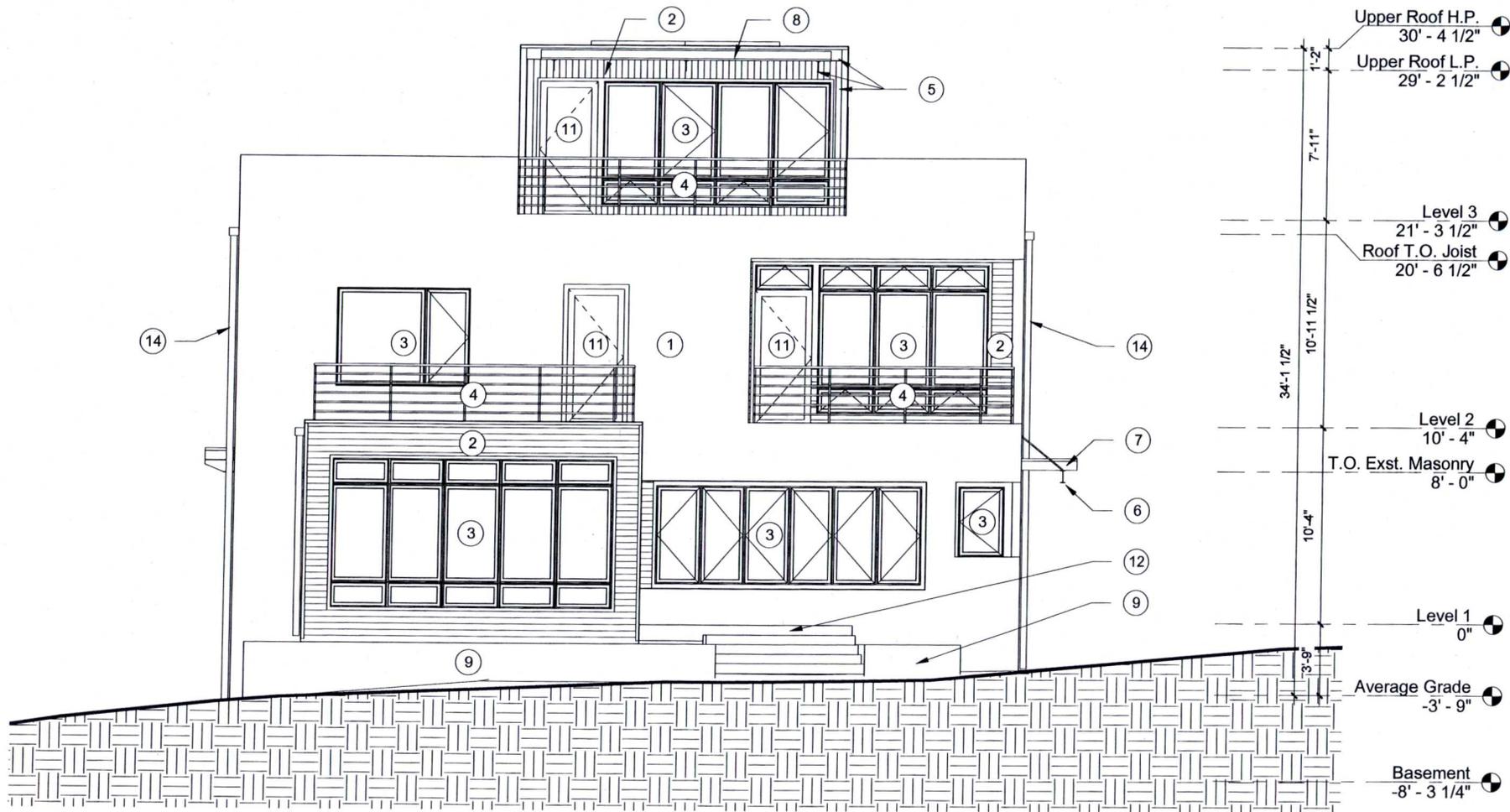
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GENERAL NOTES

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5201 Park Road
McLean, VA 22101
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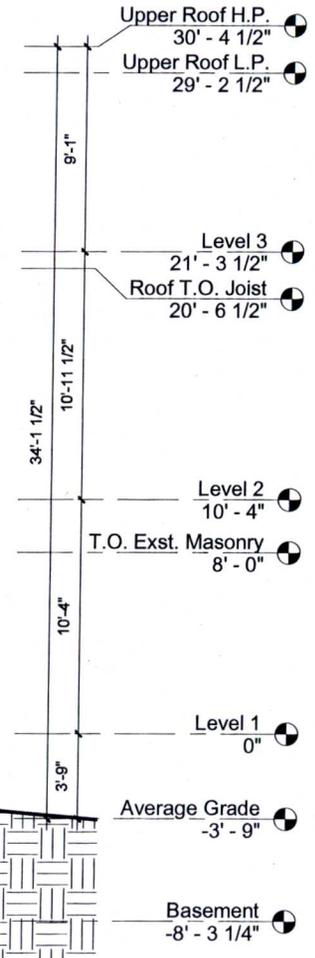
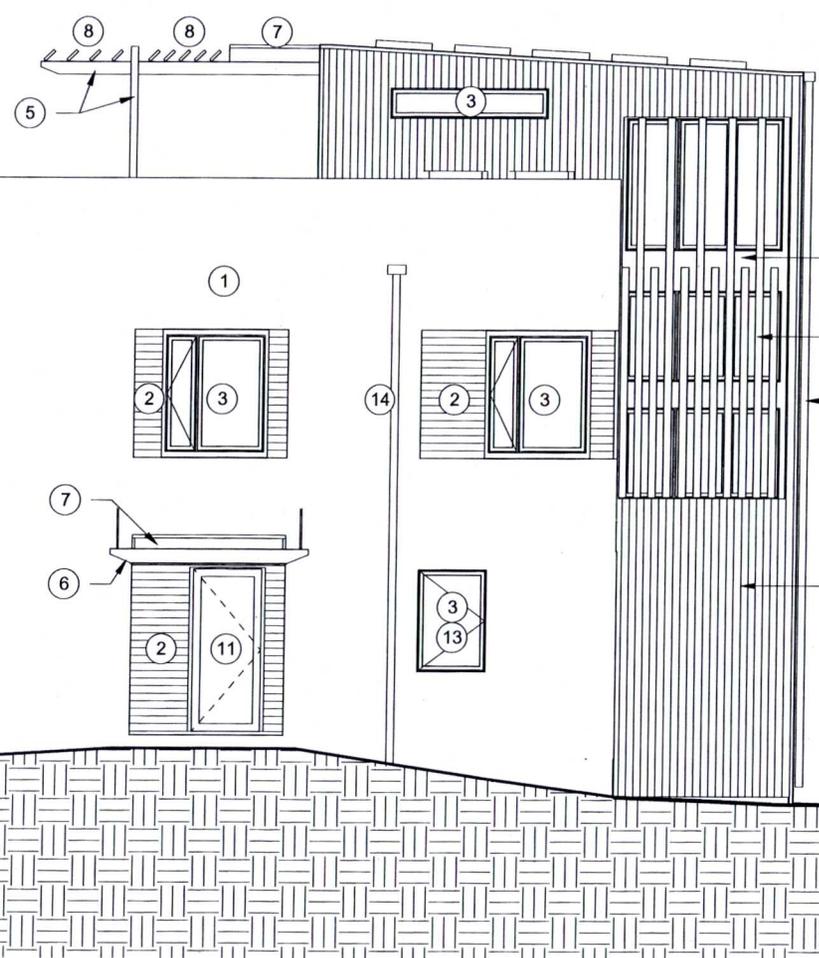
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| 9 STONE-CLAD MASONRY LANDSCAPING WALL. | | |

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ISSUE DATE
25 OCT 2010

SOUTH EXTERIOR
ELEVATION
SHEET NAME
SHEET NUMBER
A203



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 Washington, DC 20009
 Project Architect: Stefan Schwarzkopf



10003
 NOT FOR CONSTRUCTION

Bennett Residence
 6207 Park Road
 McLean, VA 22101
 SPECIAL PERMIT

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EAST EXTERIOR ELEVATION
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GENERAL NOTES

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| 9 STONE-CLAD MASONRY LANDSCAPING WALL. | | |

Application No.(s): SP 2010-DR-060
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: September 1 2010
(enter date affidavit is notarized)

I, Gregory Kearley, do hereby state that I am an
(enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below

109389a

and that, to the best of my knowledge and belief, the following is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,* and, if any of the foregoing is a **TRUSTEE,**** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

| NAME (enter first name, middle initial, and last name) | ADDRESS (enter number, street, city, state, and zip code) | RELATIONSHIP(S) (enter applicable relationships listed in BOLD above) |
|--|---|--|
| Edward J Bennett | 6201 Park Road, McLean, VA 22101 | Applicant / Title Owner |
| Lisa W Bennett | 6201 Park Road, McLean, VA 22101 | Applicant / Title Owner |
| Gregory A Kearley | 1353 U Street, NW, 2nd flr, Washington, DC 20009 | Agent |
| Inscape Studio, PC | 1353 U Street, NW, 2nd flr, Washington, DC 20009 | Agent |

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Special Permit/Variance Attachment to Par. 1(a)" form.

* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.

** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

41

Application No.(s): SP 2010-DR-060
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: September 1, 2010
(enter date affidavit is notarized)

109389a

1(b). The following constitutes a listing*** of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

(NOTE: Include **SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS** herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Inscape Studio, PC
1353 U Street, NW 2nd flr
Washington, DC 20009

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF SHAREHOLDERS: (enter first name, middle initial, and last name)

Gregory A. Kearley

(check if applicable) There is more corporation information and Par. 1(b) is continued on a "Special Permit/Variance Attachment 1(b)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

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Application No.(s): SP 2010-DR-060
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 1 September, 2010
(enter date affidavit is notarized)

109389 a

1(c). The following constitutes a listing*** of all of the **PARTNERS**, both **GENERAL** and **LIMITED**, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state, and zip code)

(check if applicable) The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. **General Partner, Limited Partner, or General and Limited Partner**)

(check if applicable) There is more partnership information and Par. 1(c) is continued on a "Special Permit/Variance Attachment to Par. 1(c)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

43

Application No.(s): SP 2010-DR-060
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: September 1, 2010
(enter date affidavit is notarized)

109389a

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land.

2. That no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on the line below.)

NONE

(check if applicable) There are more interests to be listed and Par. 2 is continued on a "Special Permit/Variance Attachment to Par. 2" form.

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: September 1, 2010
(enter date affidavit is notarized)

109389a

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

NONE

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [] There are more disclosures to be listed and Par. 3 is continued on a "Special Permit/Variance Attachment to Par. 3" form.

4. **That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.**

WITNESS the following signature:

(check one)

Applicant Applicant's Authorized Agent

Gregory A Kearley
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 1 day of September, 2010, in the State/Comm. of District, County/City of Columbia.

Cheryl Y. Hoyle
Notary Public, District of Columbia
My Commission Expires 3/31/2015

[Signature]
Notary Public

My commission expires: _____

45



1 November 2010

Bennett Residence
6201 Park Road
McLean, VA 22101

Zoning Special Permit Application

Statement of Justification regarding Error in Building Location

The subject property, including the existing single-family dwelling constructed in 1957, was purchased in 1997 by the Bennetts, who are the current Owners. Refer to the printout of the public tax record, included with the special permit application, for substantiation of these dates. The Bennetts have not added to or otherwise significantly modified the exterior of the existing dwelling.

The error in location on the east side is greater than 50% of the required side yard, and on the west side is greater than 20% of the required side yard. The Bennetts purchased the property in good faith and without any knowledge of issues with the dwelling location in general, or in particular with regard to the Zoning-required side yards. The error in location has not impaired the purpose and intent of the Zoning Ordinance as this dwelling has existed harmoniously with the adjacent dwellings and without detriment to the use and enjoyment of other property in the immediate vicinity since it was constructed in 1957. It has never created an unsafe condition with respect to both other property and public streets, and to force compliance with the minimum yard requirements now, 53 years after the dwelling was constructed, would cause unreasonable hardship upon the Bennetts. The reduction in side yards will not result in an increase in density or floor area ratio from that permitted by the R-2 zoning district regulations.



1 November 2010
rev. 11 January 2011

Bennett Residence
6201 Park Road
McLean, VA 22101

Zoning Special Permit Application

Statement of Justification Regarding the Reduction of Certain Yard Requirements

The proposed project is an addition to an existing single-family detached house, with no change to the use of the property. A full second floor will be added which matches the footprint of the existing house except at the east side where it will extend only to 7.5' from the property line which is 50% of the required side yard. Also, a study will be added at the new roof level providing access to a roof terrace, the existing house interior will be extensively renovated, a small one-story addition will be built on the rear of the house to extend the living room area and provide a terrace at the second floor level, and an addition will be built on the front of the house to accommodate the stair serving the first floor, second floor and roof level. The additions beyond the existing house footprint are within the required yards. The extensive existing landscaping, which includes many mature trees and provides screening from the streets and most adjacent properties, will be protected and remain undisturbed during construction except in the area immediately adjacent to the house where construction activity will occur. *Construction fencing will be provided at mature trees to ensure they are protected from construction activity, no trees will be removed.*

The main mass of the residence will be clad in a light colored stucco finish to create a unified volume between the existing first floor exterior walls and new second floor. The small additions at the front and rear will be clad in natural cedar siding, as will particular areas carved into the stucco volume such as the Master Bedroom balcony and front door area. Limited terraced landscaping and wood steps will be built at the rear to integrate the house into the existing rear yard landscaping.

The additions that extend beyond the existing house footprint comply with all current R-2 zone yard requirements, and all additions comply with the R-2 zone height limit and other requirements.

The reduction does not affect any accessory structure, since there are none present or proposed. The existing dwelling was constructed in 1957, and was purchased in 1997 by the Bennetts, who are the current Owners, in good faith and without knowledge of any issues with the dwelling location in general, or in particular with regard to the Zoning-required side yards. The Bennetts have not added to or otherwise significantly modified the exterior of the existing dwelling, and the currently proposed addition floor area is 143% of the existing dwelling floor area.

The proposed addition is in character with the existing on-site development, and is harmonious with the existing off-site surrounding structures which are all also single-family dwellings. The proposed addition will not adversely affect the adjacent properties in any way.

The proposed reduction represents the minimum amount necessary to accommodate the proposed structure on this narrow lot in a reasonable configuration in relation to the layout of the existing structure, and in a way that maximizes the preservation of the extensive existing landscaping, which includes several significant trees.

MAP REFERENCE

| | | | |
|-------------|------------|--------------|---------------|
| PLAT NUMBER | SUBD. JOB. | BLK. OF REG. | PARCEL OR LOT |
| 411 | 13 | 2 | 4A |

COUNTY OF FAIRFAX, VIRGINIA

OFFICE OF THE BUILDING INSPECTOR

Application for Building Permit

| | | |
|------------------|----|------------|
| CENSUS TRACT NO. | 19 | P29165 |
| DATE | | PERMIT NO. |

To: BUILD Alter or Repair Add to Demolish Move

| | | | |
|--------------------|--|--|---|
| JOB LOCATION | C3308 DIRECTIONS Route OFF # 309 Street: 5400 PARK AV. Lot No. 4A Block 2 Section Subdivision: Franklin Park | | DESCRIPTION For: Residential <input checked="" type="checkbox"/> Institutional <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> No. of Bldgs. 1 Type CONCRETE PORCH No. of Units No. of Kitchens No. of Baths No. of Rooms (Exclude Kit. & Bath) Basement <input type="checkbox"/> Slab <input type="checkbox"/> Crawl <input type="checkbox"/> FILL <input type="checkbox"/> SOLID <input type="checkbox"/> Soil Footing Size Material of Exterior Walls Basement 2nd Floor Material of Interior Walls HEAT: Gas <input type="checkbox"/> Oil <input type="checkbox"/> Hot Air <input type="checkbox"/> Hot Water <input type="checkbox"/> Boiler <input type="checkbox"/> Air Conditioner <input type="checkbox"/> Sprinkler <input type="checkbox"/> ROOF: Flat <input type="checkbox"/> Pitch <input type="checkbox"/> Shed <input type="checkbox"/> SEWAGE: Public <input type="checkbox"/> Community <input type="checkbox"/> Septic Tank <input type="checkbox"/> Pit Privy <input type="checkbox"/> None <input type="checkbox"/> WATER: Public <input type="checkbox"/> Individual Well <input type="checkbox"/> None <input type="checkbox"/> Remarks: |
| | OWNER | Name: CLAUDE CHESNEAU Address: 5400 PARK AVE City: McLEAN, VA. Tel. No. | |
| ARCHITECT ENGINEER | Name Address City State Reg. No. | | |
| CONTRACTOR | Name: POTOMAC CONST CO Address: 3633-18th ST NE City: WASH, DC 255 State Reg. No. | | |

14'-9" X 13'-0" Porch w/o Roof

I hereby certify that I have the authority to make this application, that the information given is correct, and that the use and construction shall conform to the County Health Regulations, the Building and Zoning Ordinances, and private deed restrictions, if any, which are imposed on the property.

LAG-0575 Phone No. 7-15-64 Date Signature of Owner or Auth. Agent

PLAN APPROVAL

Use Group of Building L-3 Area of Bldg. @ per Sq. Ft. \$
 Type of Construction 4-B Area of Bldg. @ per Sq. Ft. \$
 Fire District 0 Total Each Bldg. \$
 Date Checked 7-24-64 By DSB TOTAL FEE \$ 500
 Approved by Building Inspector Charles W. Woods

| ROUTING | OFFICE | Rm. No. | DATE | APPROVAL | REMARKS |
|---------|----------------------|---------|---------|----------|-------------------------------------|
| v | Land Office | 112 | 7-15-64 | L.A. | |
| v | Zoning Administrator | 210 | 7-15-64 | PT | |
| | Health Officer | Rt. 237 | | | Health and Welfare Bldg. on Rt. 237 |
| | Sanitary Engineer | Bsmt | | | |
| v | Finance Office | 120 | | | |
| v | Building Inspector | 203 | | | Return to secure Bldg. Permit |

SUBSET DESIGN - June 15, 1964

CERTIFICATION
 Supervisor of Assessments
 Property is listed in name of Claude Chesneau
 Magisterial District Manassville Deed Book Reference 1914-563
 Authorization: John W. Ferguson (L.A.)

ZONING
 Subdivision Franklin Park Lot No. 4-A Block 2 Section Zone 0.5
 No. Acres or Sq. Ft.
 Street Address
 LOT SIZE: Front Right Side Left Side Rear
 Use of Bldg. Porch Use after Alteration No. Families
 Set Back: Front 50' Rt. Side 21' Left Side 7.5' Rear 100' Authorization

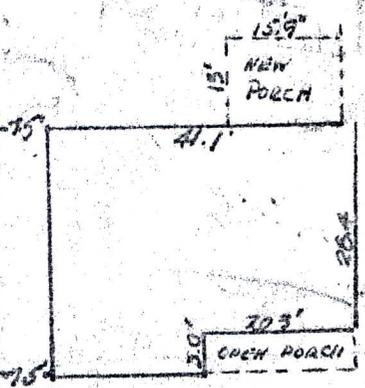
RETURN THIS COMPLETED APPLICATION TO THE BUILDING INSPECTOR'S OFFICE FOR ISSUANCE OF BUILDING PERMIT.

Approved HJL 7-15-64 smh

N. 50° 33' 30" W. - 60.00'

N. 83° 26' 30" W. - 53.75'

N. 83° 26' 30" E. - 21.00'



Lot 4 A
Blk 2
Franklin Park

Department of Public Works
Fairfax County, Virginia
Application Number: 3300

I hereby certify that this plot plan
and structure shown hereon conform
with the requirements of Section 118.10
of the Fairfax County, Virginia
Zoning Code.

Director of Public Works

[Signature]
His Agent

PL 15 1964

Date

Approved for purposes as
shown. Location of building as
shown. Final approval
subject to wall clearance
Date: JUL-1 5 1964
[Signature]
Zoning Administrator

A = 35.43'

A = 35.43'

33.75'

COUNTY OF FAIRFAX, VIRGINIA

OFFICE OF BUILDING INSPECTOR

Building Permit No. 17744

| MAP REFERENCE | | | |
|---------------|------------|--------------|---------------|
| PLAT NUMBER | Subd. Des. | Blk. or Sec. | PARCEL OR LOT |
| | | | |

37A

APPLICATION FOR PERMIT TO BUILD

Fairfax, Va., FEB. 17th 1957

TO THE BUILDING INSPECTOR:

The undersigned hereby applies for a permit to build according to the following specifications:

- State how many buildings to be erected ONE
- Material BRICK
- Name of Owner W. L. BOGAN CONST. CORP. Phone 107-6627
Address 2040 Wilson Blvd. ARL. VA.
- Name of Designer " Phone "
Address "
- Name of Contractor SAME Phone "
Address "
- Location: Lot No. 4A Block 2 Section " Subdivision FRANKLIN PARK
Name (NO.) of Street 7th Street East of Wilson Ave.

I hereby certify that the property described above is listed in the name of Sarah D. Scott

Mag. Dist. Arden Deed Book Reference 1476-116
John W. Ferguson
Supervisor of Assessments

- Size of building: No. of feet front 45; No. feet rear 45; No. feet deep 30'-2"; No. stories in height 1; No. rooms 0; Cubic contents of bldg. " cu. ft. Estimated cost \$13,500.00
- Zoning: Use of building RESIDENCE No. of families or housekeeping units ONE; No. kitchens ONE; Size of lot: Width 60 ft., Depth 2700 ft., Area 17540; Height of building (to highest point of roof) 20' ft. Setback from property line: Front 40' ft., Rear 25+ ft., Side 7' ft. Zone SUBURBAN
- Check system to be used: (a) Sewage Disposal by: Public Sewer ", Community System ", Septic tank
Pit privy " (b) Water Supply: Public System ", Individual well "
- What will the building be erected on? (Solid or filled land) SOLID
Finished outside grade to cellar floor " ft. First floor is 5' ft. above curb grade.
- Material of foundation CONCRETE & G.C. Thickness and material of external walls:
Cellar or basement 8" G.C.; 1st story 8" BRICK
2nd story "; 3rd story "
4th story "; 5th story "
Thickness of other walls 8" BRICK; 1st story "
2nd story "; 3rd story "
4th story "; 5th story "
- What will be the material of the front? BRICK
- Will the roof be flat, pitch, or mansard? PITCH
- Roofing material Comp. SHINGLES
- What will be the means of access to the roof? "
- How is the building heated? GAS. H.A.
- Is the lower story to be used for business purposes of any kind? No.

SEPTIC TANK
 INSULATED
 PLASTERED
 BRICK

I hereby certify that I have the authority to make this application, that the information given is correct, and that the same and construction shall conform to the County Health Regulations, the Building and Zoning Ordinances, and private deed restrictions, if any, which are imposed on the property.

W. L. Bogan
Signature of owner or authorized agent
2040 Wilson Blvd. ARL. VA.
Address

| | |
|--------------------------------|-----------------------|
| Fire-proof | Non-fireproof |
| Total sq. ft. | Fee <u>1023.00</u> |
| Pay't Order No. | |
| Date received | |
| Initials | |
| Approved by Building Inspector | |
| <u>2/17/57</u> | <u>Dennis A. Gray</u> |
| Date | |

Telephone Number _____ Date _____

COUNTY OF FAIRFAX, VIRGINIA
OFFICE OF BUILDING INSPECTOR

Building Permit No. 18157

37A

APPLICATION FOR PERMIT TO ALTER, REPAIR OR ADD TO EXISTING BUILDING

Fairfax, Va., MARCH 14, 1957

TO THE BUILDING INSPECTOR:

The undersigned applies for a permit to REVISE PLANS

Description of Building BRICK
Location: Lot No. 4A Block 2 Section - Subdivision FRANKLIN PARK
Name of Owner W.L. ROYAN CONST. CORP. Phone
Address 2040 WILSON BLVD, ARL. VA.
Name of Designer Address Phone
Name of Contractor SAME. Phone 1A7-1627
Address

I hereby certify that the property described above is listed in the name of: Sarah G. Scott

Dist. Manassas Deed Book Reference 1476-116
John W. Ferguson
Supervisor of Assessments

Zoning: Use of building RES. No. of families or housekeeping units ONE
No. kitchens 1; Size of lot: Width ft, Depth ft, Area ft; Height of building (to highest point of roof) ft. Setback from property line: Front 40 ft, Rear 75+ ft, Side 7' ft.
Zone Suburban
Check system to be used: (a) Sewage Disposal by: Public Sewer, Community System, Septic Tank, Pit privy
(b) Water Supply: Public system, Individual well
Give Details:

CHANGE IN PLANS. USE PLAN AS FILED IN PERMIT # 17745

CERTIFIED LOCATION PLATS REQUIRED

Use of Building after Alterations: RES.
Estimated Cost of Improvement

I hereby certify that I have the authority to make this application, that the information given is correct, and that the work and construction shall conform to the County Health Regulations, the Building and Zoning Ordinances, and private deed restriction, if any, which are imposed on the property.
Signature of owner or authorized agent

Fire-proof Non-fireproof
Total sq. ft. Fee \$4.00
Approved by Building Inspector
3/14/57 Denny A. Gray
Date

Address Telephone No. Date

51

Lot 3-A

17,540#
Lot 4-A

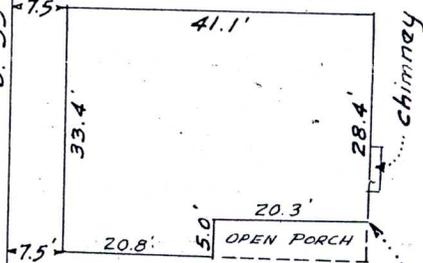
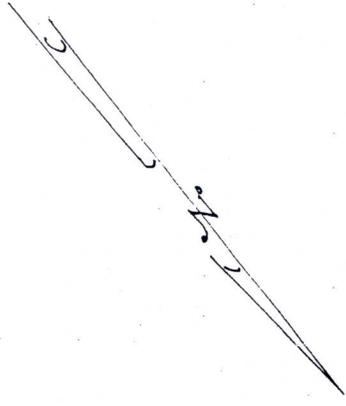
Lot 5-A

300.60'

272.58'

S. 39° 26' 30" W.

N. 39° 26' 30" E.



APPROVED
[Signature]
ZONING ADMINISTRATOR
DATE JAN 28 1958

EASEMENT FOR SERVICE DRIVE

WASHINGTON AVENUE
S. 23° 20' E.
A: 9.03'

RHODE ISLAND AVENUE
33.75'
S. 88° 41' 50" E.
A: 35.43'
R: 38.97'
Δ: 65° 21' 50"
A: 44.46'
T: 25.00'

PLAT
SHOWING HOUSE LOCATION ON
LOT 4-A
RESUBDIVISION OF LOTS 3 THRU 8, INCL., BLOCK 2
FRANKLIN PARK SUBDIVISION
(DB. 1288, PAGE 553)
DRANESVILLE MAGISTERIAL DISTRICT

52



County of Fairfax, Virginia

MEMORANDUM

December 22, 2010

TO: Shelby Johnson, Staff Coordinator
Zoning Evaluation Division, DPZ

FROM: Craig Herwig, Urban Forester III *CH*
Forest Conservation Branch, DPWES

SUBJECT: Franklin Park Block 2 Lot 4A, SP 2010-DR-060

RE: Request for assistance dated December 8, 2010

This review is based upon the Special Permit Application and Special Permit Plat stamped "Received, Department of Planning and Zoning, November 3, 2010. A site visit was conducted on December 21, 2010.

- 1. Comment:** There is existing mature vegetation at the front and rear of the property that appears to be in fair to good condition and should be considered a priority for preservation.

Recommendation: The existing vegetation at the front and rear of the property should be protected from construction activity using a barrier such as orange plastic "snow fence" or 14-gauge welded wire fence to protect the critical root zones of the trees from any construction activity, including material storage and vehicular, construction equipment traffic.

Please feel free to contact me at 703-324-1770 if you have any questions or concerns.

CSH/
UFMID #: 157000

cc: RA File
DPZ File



Johnson, Shelby**APPENDIX 6**

From: Johnson, Shelby
Sent: Tuesday, January 25, 2011 4:45 AM
To: Johnson, Shelby
Subject: FW: 6201 Park Road, SP 2010-DR-060, Lot # 4A, 9176-ZONA-003-1

From: Regmi, Sharad
Sent: Thursday, January 20, 2011 10:55 AM
To: Johnson, Shelby
Subject: RE: 6201 Park Road, SP 2010-DR-060, Lot # 4A, 9176-ZONA-003-1

Shelby,

The area of disturbance is not just 10 foot wide work zone around the perimeter of the proposed structure. The disturbance should include the all land disturbance including, but not limited to, the area of stockpile, and the construction access road to the site (LTI 09-05). Also, applicant proposes to remove the stone wall on the back of the house. The proposed extent of disturbance does not cover the clearing limits of the exiting stone wall. Applicant needs to demonstrate how they are not doing land disturbance in their adjacent property within 10 feet of construction.

Sharad Regmi, P.E.
 Senior Engineer III
 Stormwater and Geotechnical Section
 Fairfax County Environmental and Site Review Division
 (703) 324-1720 (voice), (703) 324-8359 (fax)

From: Johnson, Shelby
Sent: Thursday, January 20, 2011 9:53 AM
To: Regmi, Sharad
Subject: FW: 6201 Park Road, SP 2010-DR-060, Lot # 4A, 9176-ZONA-003-1

Hi Sharad,

I just wanted to make sure that you had this markup from the applicant's architect regarding the area of disturbance.

Please confirm whether you agree with his calculations. They are right at the limit, but if we use their calculation, they are proposing less than 2500 square feet of disturbance, except that they don't actually have 10 feet of clearance immediately adjacent to the property on the left. The applicants own that adjacent property and have said that they will likely use that driveway to bring in construction equipment. Does that change the disturbance calculations?

Do you have a recommendation for a development condition that we should include in the staff report? Let me know.

~ Shelby

Shelby C. Johnson
 Senior Staff Coordinator - ZED

From: Regmi, Sharad
Sent: Monday, January 10, 2011 12:20 PM

1/25/2011

54

Subject: 6201 Park Road, SP 2010-DR-060, Lot # 4A, 9176-ZONA-003-1

The application for the 6201 Park Road, SP 2010-DR-060, seems to be more than 2500 square feet of land disturbance and it will require an infill grading plan.

Should an infill grading plan be required, water quality control will be required if the site's imperviousness is greater than 18%. There are no controls shown on the plat. Site impervious area computation has not provided with the application.

There is an RPA on the property. If a grading plan is required, a site specific RPA delineation is required with the grading plan.

There is a downstream drainage complaint on file. Lot # 6A reported yard flooding in 2005.

If you need further information, please contact me.

Sharad Regmi, P.E.
Stormwater and Geotechnical Section
DPWES - LDS

8-006 General Standards

In addition to the specific standards set forth hereinafter with regard to particular special permit uses, all special permit uses shall satisfy the following general standards:

1. The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.
2. The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations.
3. The proposed use shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.
4. The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.
5. In addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13.
6. Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.
7. Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11.
8. Signs shall be regulated by the provisions of Article 12; however, the BZA, under the authority presented in Sect. 007 below, may impose more strict requirements for a given use than those set forth in this Ordinance.

8-903 Standards For All Group 9 Uses

In addition to the general standards set forth in Sect. 006 above, all Group 9 special permit uses shall satisfy the following standards:

1. All uses shall comply with the lot size and bulk regulations of the zoning district in which located, except as may be qualified below.
2. All uses shall comply with the performance standards specified for the zoning district in which located.
3. Before establishment, all uses, including modifications or alterations to existing uses, shall be subject to the provisions of Article 17, Site Plans, or other appropriate submission as determined by the Director.

8-914 Provisions for Approval of Reduction to the Minimum Yard Requirements Based on Error in Building Location

The BZA may approve a special permit to allow a reduction to the minimum yard requirements for any building existing or partially constructed which does not comply with such requirements applicable at the time such building was erected, but only in accordance with the following provisions:

1. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by ten (10) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia and such plat shall contain the following information:
 - A. Boundaries of entire property, with bearings and distances of the perimeter property lines and of each zoning district.
 - B. Total area of the property and of each zoning district in square feet or acres.
 - C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
 - D. Location of all existing structures, with dimensions, including height of any structure and penthouse, and if known, the construction date(s) of all existing structures.

- E. All required minimum yards to include front, side and rear, and a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing structures to lot lines.
- F. Means of ingress and egress to the property from a public street(s).
- G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).
- H. If applicable, the location of well and/or septic field.
- I. For nonresidential uses, a statement setting forth the maximum gross floor area and FAR for all uses.
- J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.
- K. Seal and signature of professional person certifying the plat.

In addition, the application shall contain a statement of justification explaining how the error in building location occurred and any supportive material such as aerial photographs, Building Permit applications, County assessments records, a copy of the contract to build the structure which is in error, or a statement from a previous owner indicating how the error in building location occurred.

- 2. The BZA determines that:
 - A. The error exceeds ten (10) percent of the measurement involved, and
 - B. The noncompliance was done in good faith, or through no fault of the property owner, or was the result of an error in the relocation of the building subsequent to the issuance of a Building Permit, if such was required, and
 - C. Such reduction will not impair the purpose and intent of this Ordinance, and
 - D. It will not be detrimental to the use and enjoyment of other property in the immediate vicinity, and
 - E. It will not create an unsafe condition with respect to both other property and public streets, and

- F. To force compliance with the minimum yard requirements would cause unreasonable hardship upon the owner.
 - G. The reduction will not result in an increase in density or floor area ratio from that permitted by the applicable zoning district regulations.
3. In granting such a reduction under the provisions of this Section, the BZA shall allow only a reduction necessary to provide reasonable relief and may, as deemed advisable, prescribe such conditions, to include landscaping and screening measures, to assure compliance with the intent of this Ordinance.
 4. Upon the granting of a reduction for a particular building in accordance with the provisions of this Section, the same shall be deemed to be a lawful building.
 5. The BZA shall have no power to waive or modify the standards necessary for approval as specified in this Section.

8-922 Provisions for Reduction of Certain Yard Requirements

The BZA may approve a special permit to allow a reduction of certain yard requirements subject to all of the following:

1. Only the following yard requirements shall be subject to such special permit:
 - A. Minimum required yards, as specified in the residential, commercial, industrial and planned development districts in Articles 3, 4, 5 and 6, provided such yards are not subject to proffered conditions or development conditions related to yards and/or such yards are not depicted on an approved conceptual development plan, final development plan, development plan, special exception plat, special permit plat or variance plat.
 - B. Yard regulations for pipestem lots and lots contiguous to pipestem driveways set forth in Sect. 2-416.
 - C. Accessory structure location requirements set forth in Sect. 10-104.
 - D. Regulations on permitted extensions into a minimum required yard as set forth in Sect. 2-412.

Approval of a reduction of yard requirements specified in Paragraphs A, B and C above shall not result in any yard that is less than fifty (50) percent of the requirement and shall not result in any yard of less than five (5) feet, as measured from the lot line to the closest point of the proposed structure.

Approval of a reduction of yard requirements specified in Par. D above shall not result in an extension that exceeds the applicable distances set forth in Sect. 2-412 by more than fifty (50) percent. Where no extension is permitted by the provisions of Sect. 2-412, the BZA shall not approve a special permit that results in a structure that extends into a minimum required yard by more than fifty (50) percent.

2. Such reduction shall not result in the placement of a detached accessory structure in a front yard where the placement of such accessory structure is not otherwise permitted in that yard.
3. This special permit shall only apply to those lots that contain a principal structure and use that complied with the minimum yard requirements in effect when the use or structure was established.
4. The resulting gross floor area of an addition to an existing principal structure may be up to 150 percent of the total gross floor area of the principal structure that existed at the time of the first yard reduction request. In such instance, if a portion of the principal structure is to be removed, no more than fifty (50) percent of the gross floor area of the existing principal structure at the time of the first yard reduction shall be removed.
5. The resulting gross floor area of an existing accessory structure and any addition to it shall be clearly subordinate in purpose, scale, use and intent to the principal structure on the site.
6. The BZA shall determine that the proposed development will be in character with the existing on-site development in terms of the location, height, bulk and scale of the existing structure(s) on the lot.
7. The BZA shall determine that the proposed development is harmonious with the surrounding off-site uses and structures in terms of location, height, bulk and scale of surrounding structures, topography, existing vegetation and the preservation of significant trees as determined by the Director.
8. The BZA shall determine that the proposed development shall not adversely impact the use and/or enjoyment of any adjacent property with

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regard to issues such as noise, light, air, safety, erosion, and stormwater runoff.

9. The BZA shall determine that the proposed reduction represents the minimum amount of reduction necessary to accommodate the proposed structure on the lot. Specific factors to be considered include, but are not limited to, the layout of the existing structure; availability of alternate locations for the addition; orientation of the structure(s) on the lot; shape of the lot and the associated yard designations on the lot; environmental characteristics of the site, including presence of steep slopes, floodplains and/or Resource Protection Areas; preservation of existing vegetation and significant trees as determined by the Director; location of a well and/or septic field; location of easements; and/or preservation of historic resources.
10. The BZA may impose such conditions as it deems necessary to satisfy these criteria, including, but not limited to imposition of a maximum gross floor area, floor area ratio, lot coverage, landscaping and/or screening requirements.
11. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by fifteen (15) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia. Such plat shall contain the following information:
 - A. Boundaries of entire property, with bearings and distances of the perimeter property lines, and of each zoning district.
 - B. Total area of the property and of each zoning district in square feet or acres.
 - C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
 - D. The location, dimension and height of any building, structure or addition, whether existing or proposed. In addition, for decks, the height of the finished floor above finished ground level.

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- E. All required minimum yards to include front, side and rear, a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing and proposed structures to lot lines.
 - F. Means of ingress and egress to the property from a public street(s).
 - G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).
 - H. If applicable, the location of a well and/or septic field.
 - I. Existing and proposed gross floor area and floor area ratio.
 - J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.
 - K. The location, type and height of any existing and proposed landscaping and screening.
 - L. Approximate delineation of any floodplain designated by the Federal Insurance Administration, United States Geological Survey, or Fairfax County, the delineation of any Resource Protection Area and Resource Management Area, and the approximate delineation of any environmental quality corridor as defined in the adopted comprehensive plan, and, if applicable, the distance of any existing and proposed structures from the floodplain, Resource Protection Area and Resource Management Area, or environmental quality corridor.
 - M. Seal and signature of professional person certifying the plat.
12. Architectural depictions of the proposed structure(s) as viewed from all lot lines and street lines to include building materials, roof type, window treatment and any associated landscaping and/or screening shall be provided.

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