



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

May 17, 2011

Reverend Sandra Butler, Associate Minister
Unity of Fairfax Church of the Daily Word
2854 Hunter Mill Road
Oakton, VA 22124

Re: Interpretation for SPA 99-P-036, Trustees of Unity of Fairfax Church of the Daily Word,
Tax Map 47-2 ((1)) 18A: Viewing Platform

Dear Rev. Butler:

This is in response to your letter of April 11, 2011, requesting an interpretation of the development conditions and Special Permit Amendment Plat (SPA) approved by the Board of Zoning Appeals (BZA) in conjunction with the above-referenced application. As I understand it, the question is whether the construction of a freestanding viewing platform adjacent to the sanctuary to permit observation of the green roof on the sanctuary building would be in substantial conformance with SPA Plat and development conditions. This determination is based on your letter; a brochure entitled "The Bayscape Project of Unity of Fairfax Church;" a photograph of the green roof; a plat showing the proposed location of the viewing platform; a color rendering of the proposed viewing platform; and a photograph taken toward the adjacent property. Copies of your letter with relevant exhibits are attached.

Special Permit SP 99-P-036 was approved by the Board of Zoning Appeals (BZA) on September 7, 1999, to permit a new sanctuary, administrative and multi-purpose buildings, an increase in the number of seats, and site modifications at the existing church and related facilities. Special Permit SPA 99-P-036 was approved by the Board of Zoning Appeals (BZA) on July 29, 2008, subject to development conditions, to permit a change in permittee for a previously approved place of worship, a private school of general education, and a child care center. As I understand it, the church has been working on a BayScape Project for stormwater management in order to promote the health of the Chesapeake Bay and its watershed by reducing pollution and stormwater runoff in the local streams. The church is located on Rocky Branch Stream in the Difficult Run Watershed. You state that in May, 2008, an aging roof one of the major campus buildings (the Mildred Park Center) was replaced with a vegetative roof. For visitors to be able to view the green roof up close you are proposing to construct a freestanding platform adjacent to the building. You state that the platform would be 13 feet high, 10 feet long, and 5 feet deep as shown on your attached rendering. The location is behind the sanctuary and not visible from Hunter Mill Road. Your photograph demonstrates that it would not be visible from the adjacent properties to the northwest because of existing vegetation.

Department of Planning and Zoning
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035-5509
Phone 703 324-1290
FAX 703 324-3924
www.fairfaxcounty.gov/dpz/



Reverend Sandra Butler

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The proposed viewing platform is an accessory structure. It is not located in any required yard and does not decrease the building setbacks from any peripheral property line shown on the approved SPA Plat. As such, it is my determination that the proposed viewing platform discussed above would be in substantial conformance with the SPA Plat and development conditions.

This determination has been made in my capacity as the duly authorized agent of the Zoning Administrator and addresses only the issue described herein. If you have any questions regarding this interpretation, please feel free to contact Mary Ann Godfrey at (703) 324-1290.

Sincerely,



Barbara C. Berlin, AICP, Director
Zoning Evaluation Division, DPZ

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Attachments: A/S

cc: Linda Q. Smyth, Supervisor, Providence District
Kenneth Lawrence, Planning Commissioner, Providence District
Members, Board of Zoning Appeals
Diane Johnson-Quinn, Deputy Zoning Administrator, Zoning Permit Review Branch, ZAD, DPZ
Kenneth Williams, Plan Control, Land Development Services, DPWES
Angela Rodeheaver, Section Chief for Site Analysis, DOT
Jack Weyant, Director, Environmental and Facilities Inspection Division, DPWES
Kevin Guinaw, Chief, Special Projects and Applications Acceptance Branch, ZED, DPZ
File: SP 99-P-036, SPI 1104 008, Imaging, Reading



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Department of Planning & Zoning

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Zoning Evaluation Division

UNITY OF FAIRFAX CHURCH OF THE DAILY WORD

2854 Hunter Mill Road
Oakton VA 22124
703-281-1767

April 11, 2011

Regina C. Coyle, Director of the Zoning Evaluation Division
Department of Planning and Zoning
12055 Government Center Pkwy., Suite 801
Fairfax, Virginia 22035

Dear Ms. Coyle;

It is our intent to obtain a permit to construct a small observation platform on our church campus which is located at the address shown above.

Map #	0472 01 0018A
Tax District	70000
District Name	Providence

To obtain the permit, we understand that it may be necessary to request an interpretation related to our Approved Zoning Application to provide a minor modification if it is in substantial conformance with the approved zoning. We believe that our proposed project does conform.

Our church has spent the past five years working on a BayScape Project on our church campus as part of stormwater management. Our ongoing project is approved by the Fairfax County Department of Public Works and Environmental Services, the Providence District Supervisor, the Northern Virginia Soil and Water Conservation District and Northern Virginia Regional Commission (NVRC). The purpose of our efforts is to promote the health of the Chesapeake Bay and its watershed. Our church is located on Rocky Branch Stream in the Difficult Run Watershed.

The projects we have undertaken, and continue to take, support the principles of the Chesapeake Bay Program. They promote the health of the Bay by reducing pollution and stormwater runoff in our local streams. At **Tab A** is a copy of our interpretative brochure explaining our projects. We offer it to better illustrate the magnitude and scope of our work so far. We are very proud of the fact that we are a Certified EarthCare Unity congregation – one of only three nationally and internationally. Additionally, we have been certified by the National Wildlife

Federation as a wildlife habitat, the Audubon Society of Northern Virginia as a home sanctuary and as a certified Monarch butterfly way station. One of the key projects is our "green roof". In May 2008, we replaced an aging roof on one of the major buildings on our campus with a vegetative roof. For identification purposes, we refer to this building as the Mildred Park Center, or MPC for short. See Section 5, page 7, of the brochure at **Tab A** for more details about the roof.

At **Tab B** is a recent photograph of the plants on the roof.

At **Tab C** is a partial plat of the church campus focusing on the location of the MPC and the platform. On the plat, we have colored that building with yellow highlighter. For visitors to be able to view the green roof up close, we need to construct a raised, self-standing platform next to the building. The proposed location of the viewing platform is marked in **red**.

At **Tab D** is an artist's rendering of the proposed viewing platform. The platform will be 13 feet tall, 10 feet long and 5 feet deep and was designed by a licensed architect. It will conform to all applicable specifications and safety requirements. The platform is planned on the back of the MPC and will not be viewable from Hunter Mill Road. Additionally, because of the heavy vegetation bordering our property to the north of the MPC, the viewing platform will not be visible to the neighbors. At **Tab E** is a photograph taken at the proposed site of the viewing platform in the direction of the nearest neighbor's property. This shows that the neighbor's line of sight to the platform is totally obstructed by dense vegetation.

A major component of our ongoing project is educational. We believe that we have a special opportunity and responsibility to inform the general public, local business owners, and the school community of the importance of protecting our Earth. The building on top of which we located our green roof houses the Pinnacle Academy, a nonprofit, private elementary-middle school from Pre-K-8th grade. It is our intention to develop a cooperative environment with the science department of the Academy as part of their school curriculum in the Earth Sciences. We will use the green roof as a teaching vehicle to explain the purpose and advantages of a green roof.

Tours of the campus and the green roof will be restricted to small groups of less than 20 and as such they will not affect Hunter Mill Road traffic, nor will parking be a problem as there is plenty of parking on the campus to accommodate all vehicles used by the visitors.

Enclosed, you will find a check in the amount of \$500 for the processing of this interpretation request. If you require additional information necessary in your deliberation of this request feel free to call me at 703-281-1767, or email me at admin@unityoffairfax.org.

Yours truly,

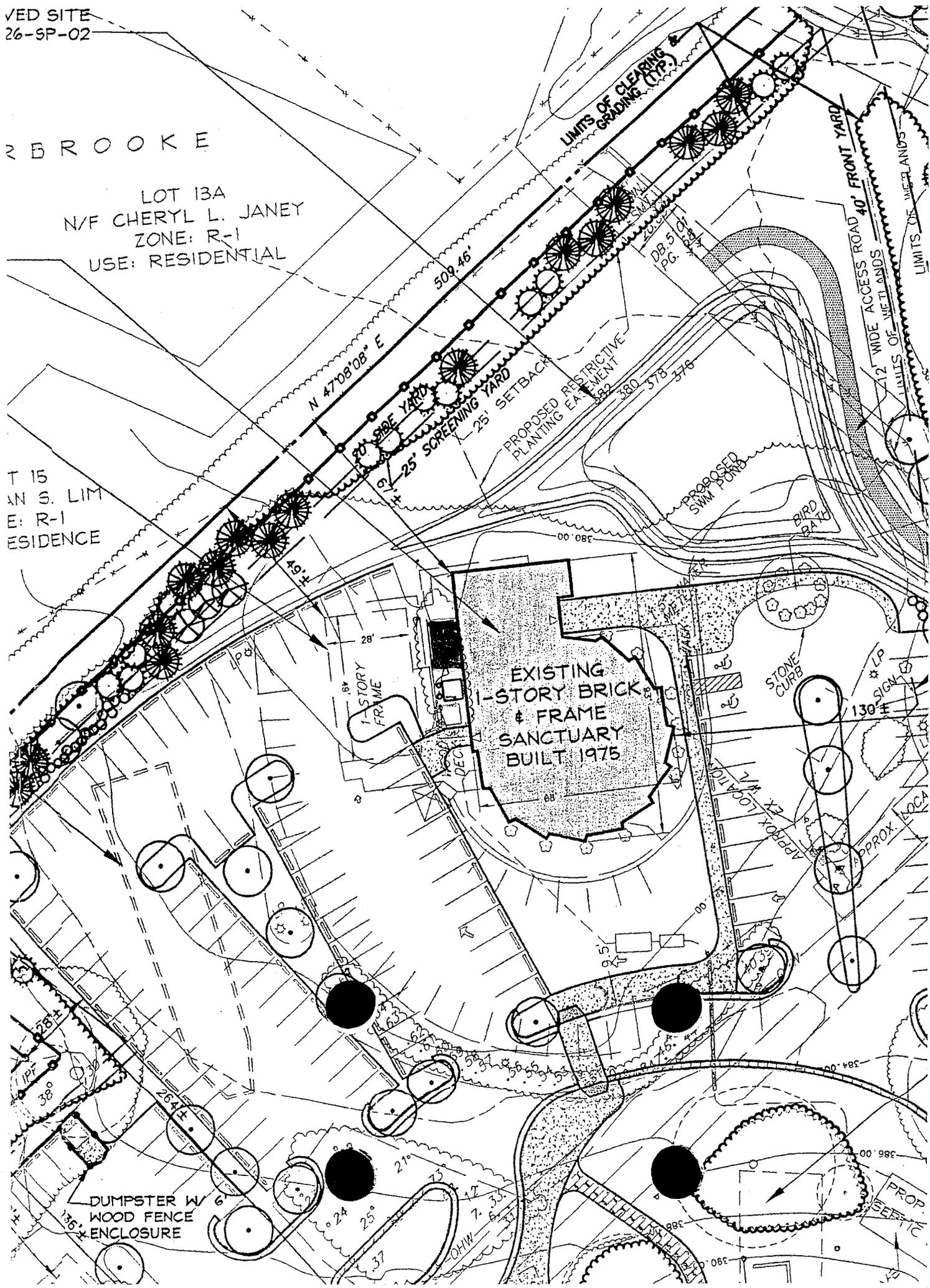
Reverend Sandra Butler
Associate Minister

VED SITE
26-SP-02

2 BROOKE

LOT 13A
N/F CHERYL L. JANEY
ZONE: R-1
USE: RESIDENTIAL

T 15
AN S. LIM
E: R-1
ESIDENCE





Unity of Fairfax Green Roof Viewing Platform