

COUNTY OF FAIRFAX, VIRGINIA

SPECIAL PERMIT RESOLUTION OF THE BOARD OF ZONING APPEALS

MICHAEL BYRNE, SP 2011-SP-015 Appl. under Sect(s). 8-922 of the Zoning Ordinance to permit reduction of certain yard requirements to permit construction of accessory structure 10.6 ft. from side lot line. Located at 12408 Ramrod Ct. on approx. 44,540 sq. ft. of land zoned R-1 and WS. Springfield District. Tax Map 55-4 ((4)) 17. Mr. Hart moved that the Board of Zoning Appeals adopt the following resolution:

WHEREAS, the captioned application has been properly filed in accordance with the requirements of all applicable State and County Codes and with the by-laws of the Fairfax County Board of Zoning Appeals; and

WHEREAS, following proper notice to the public, a public hearing was held by the Board on May 18, 2011, and

WHEREAS, the Board has made the following findings of fact:

1. The applicant is the owner of the land.
2. The Board has a staff recommendation of approval.
3. The rationale in the staff report is adopted.
4. In the location it is proposed, the garage is not going to have significant negative impacts on anybody.
5. It is further away from the lot line than the existing garage is. It is a little tight through there. If the garage is at 10.6 feet, it is unsure what would happen with the Health Department at the counter, but that is an issue the Board is not necessarily reaching now. As long as it is far enough away from the septic field, it works.
6. The vegetation is fairly mature in that corner of the lot.
7. Based on the photographs and the testimony, the house on Lot 16 would be located forward of where the garage is going.
8. This is perhaps less of an impact than the existing garage is in its location slightly closer to the lot line.
9. The Board has determined that the standards in Sect. 8-922 motion have been met.

AND WHEREAS, the Board of Zoning Appeals has reached the following conclusions of law:

THAT the applicant has presented testimony indicating compliance with the general standards for Special Permit Uses as set forth in Sect. 8-006 and the additional standards for this use as contained in the Zoning Ordinance.

NOW, THEREFORE, BE IT RESOLVED that the subject application is **APPROVED** with the following limitations:

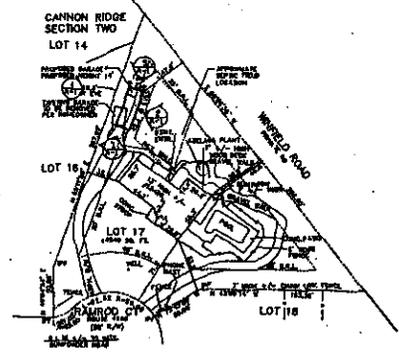
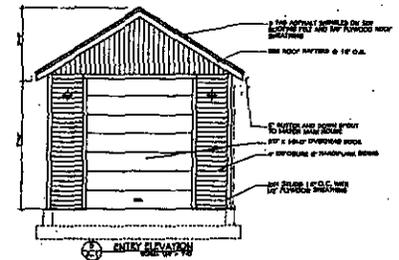
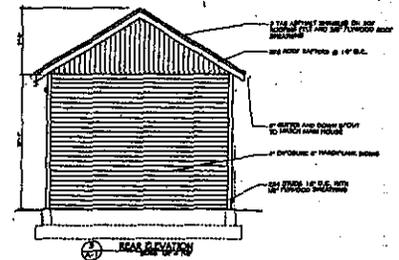
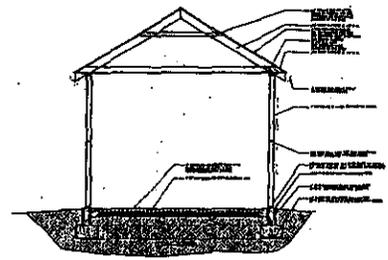
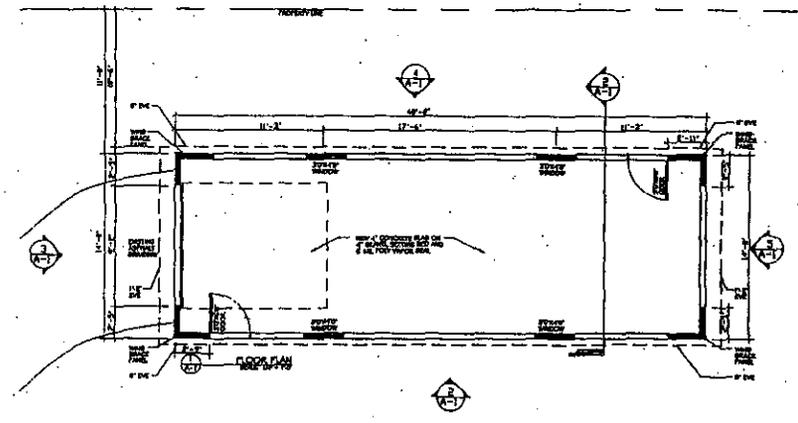
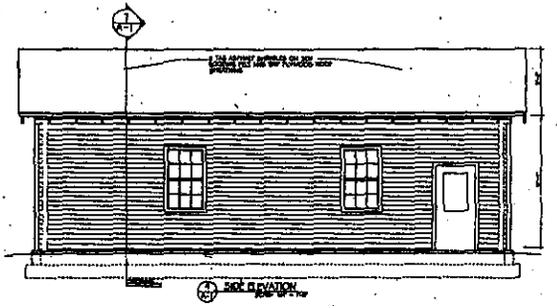
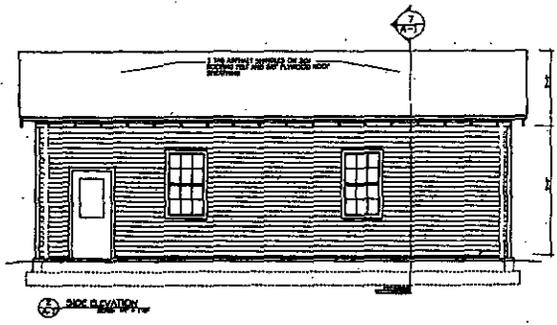
1. This special permit is approved for the location and size of an accessory structure (detached garage) as shown on the plat prepared by VM Architecture, P.L.L.C., dated February 9, 2010, as sealed on February 23, 2011, submitted with this application and is not transferable to other land.

2. The accessory structure shall be generally consistent with the architectural renderings and materials included in Attachment 1 to these conditions.
3. A building permit for the accessory structure (garage) shall be obtained prior to construction and approval of final inspections shall be obtained.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, thirty (30) months after the date of approval unless construction has commenced and has been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

Mr. Beard seconded the motion, which carried by a vote of 4-0. Ms. Gibb, Mr. Hammack, and Mr. Smith were absent from the meeting.



DATE: OCTOBER 10, 2008 SCALE: 1" = 8'-0"

PROJECT: 12408 RAMROD DRIVE, FAIRFAX, VA 22031

DESIGNED BY: MIKE BYRNE

DRAWN BY: MIKE BYRNE

CHECKED BY: MIKE BYRNE

DATE: OCTOBER 10, 2008

MIKE BYRNE
12408 RAMROD
FAIRFAX
VIRGINIA

V M ARCHITECTURE, P. L. L. C.
8002 ILIFF DR, DUNN LORING, VIRGINIA 22027 703 868.7677
VMARCHITECTURE.COM

SITE & FLOOR PLANS & ELEVATIONS

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ATTACHMENT 1

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