



APPLICATION ACCEPTED: March 16, 2011
BOARD OF ZONING APPEALS: June 8, 2011
TIME: 9:00 a.m.

County of Fairfax, Virginia

June 1, 2011

STAFF REPORT

SPECIAL PERMIT APPLICATION NO. SP 2011-MV-023

MOUNT VERNON DISTRICT

APPLICANT: Michael A. Smith

OWNERS: Michael A. Smith and
Allison A. Ingram

SUBDIVISION: Collingwood Springs

STREET ADDRESS: 8318 Woodacre Street

TAX MAP REFERENCE: 102-4 ((14)) 1

LOT SIZE: 10,517 square feet

ZONING DISTRICT: R-3

ZONING ORDINANCE PROVISIONS: 8-922

SPECIAL PERMIT PROPOSAL: To permit reduction of certain yard requirements to permit construction of a two-story addition 16.8 feet from the rear lot line.

STAFF RECOMMENDATION: Staff recommends approval of SP 2011-MV-023 for the addition, subject to the proposed development conditions contained in Appendix 1.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

O:\SMCKN\SPSMITH, MICHAEL SP 2011-MV-023\Staff Report Michael Smith.doc

Shelby Johnson

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals. A copy of the BZA's Resolution setting forth this decision will be mailed within five (5) days after the decision becomes final.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

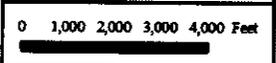
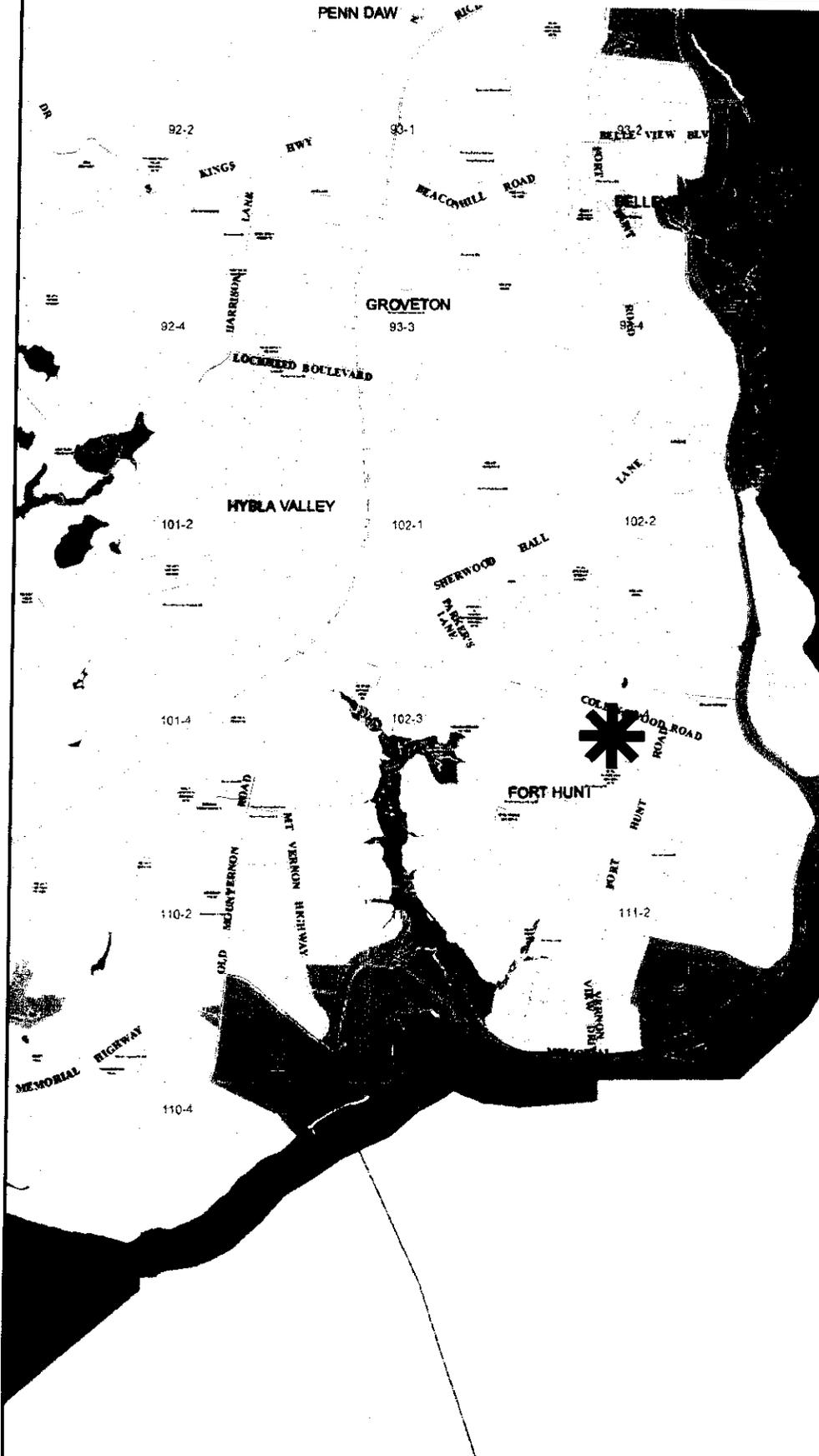
For additional information, call Zoning Evaluation Division, Department of Planning and Zoning at 703-324-1280, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035. **Board of Zoning Appeals' meetings are held in the Board Room, Ground Level, Government Center Building, 12000 Government Center Parkway, Fairfax, Virginia 22035-5505.**



Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 7 days advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

Special Permit

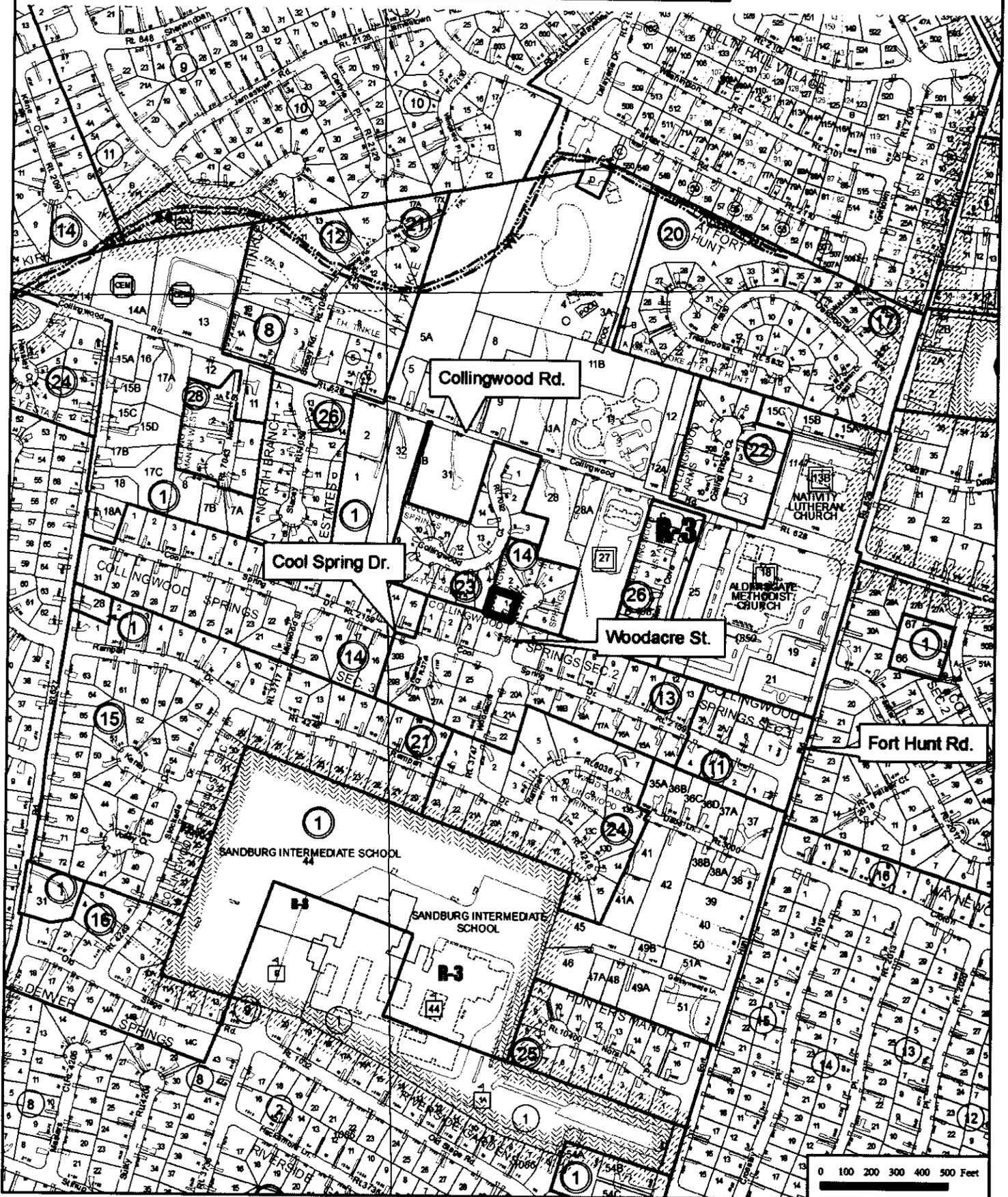
SP 2011-MV-023
MICHAEL A. SMITH

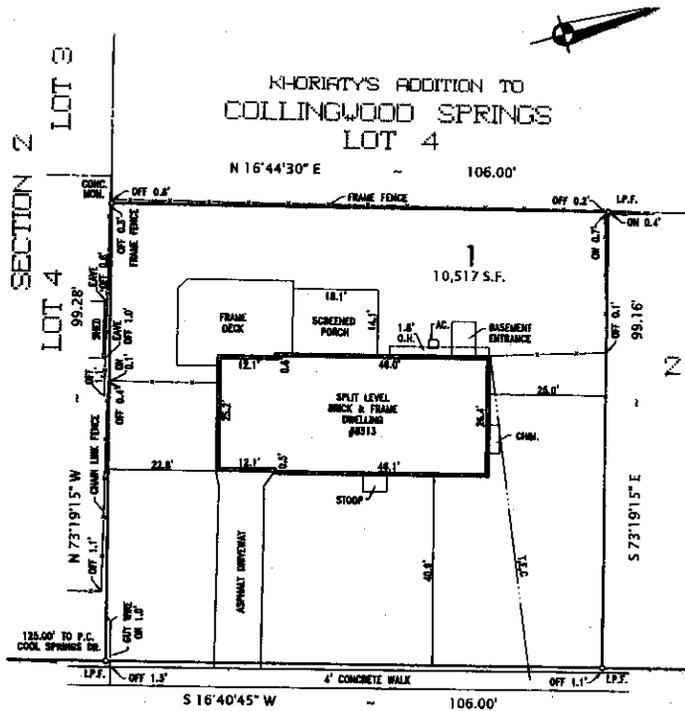


Special Permit

SP 2011-MV-023

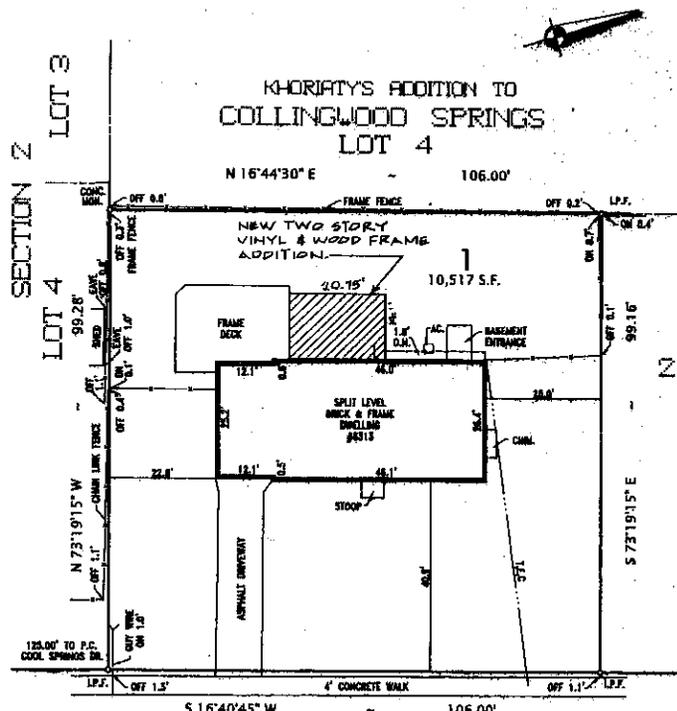
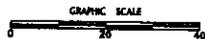
MICHAEL A. SMITH





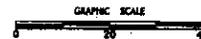
WOODACRE STREET
50' R/W

PLAT
SHOWING HOUSE LOCATION ON
LOT 1 SECTION 4
COLLINGWOOD SPRINGS
FAIRFAX COUNTY, VIRGINIA
SCALE: 1" = 20' APRIL 25, 2005



WOODACRE STREET
50' R/W

PLAT
SHOWING HOUSE LOCATION ON
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FAIRFAX COUNTY, VIRGINIA
SCALE: 1" = 20' APRIL 25, 2005



EXISTING SITE PLAN

DRAWING LIST

- A-1 • Site Plans
- A-2 • Existing Conditions, Removals & Demolition Floor Plans
- A-3 • Existing Elevations
- A-4 • Proposed Foundation Plan
Proposed Roof Plan
- A-5 • Proposed Floor Plans
- A-6 • Proposed Elevations
- S-1 • Framing Plans
- S-2 • Typical Details
Section 'A-A'
- E-1 • Electrical Plans

PROPOSED AREA OF NEW CONSTRUCTION

NOTE:

All plans and specifications to conform to 2006 Virginia Uniform Statewide Residential Building Code (USBC) and in accordance with IRC 2006.

Date: April 30, 2010

DESIGNER

RLS BUILDERS

4605 Valente Court, Annandale, Virginia 22003
Richard L. Sapiro
Phone: 703 428 1640

PROJECT LOCATION

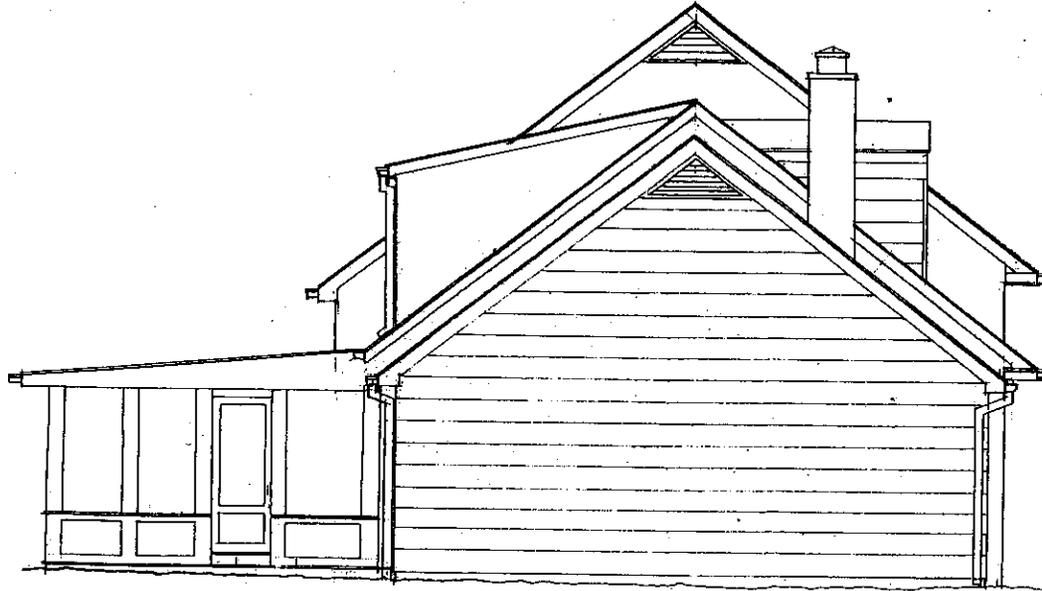
Smith/Ingram Residence

8318 Woodacre Street, Alexandria, Virginia, 22308

Site Plans

DRAWING No.

A-1



EXISTING PARTIAL SIDE ELEVATION

Scale 1/4" = 1'0"



EXISTING PARTIAL REAR ELEVATION

Scale 1/4" = 1'0"

NOTE:

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DESIGNER

RLS BUILDERS

4605 Valerie Court, Almandale, Virginia, 22003
 Phone: 703-426-1640
 Richard L. Sapio

PROJECT LOCATION

Smith/Ingram Residence

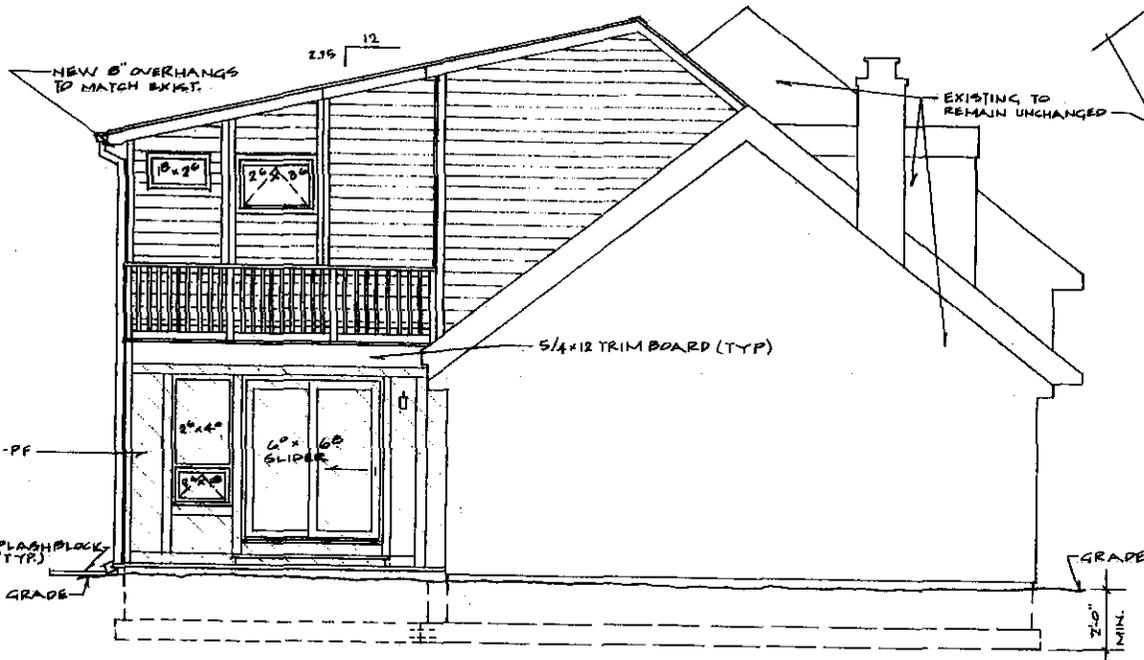
8313 Woodlark Street, Alexandria, Virginia, 22308

Existing Elevations

DRAWING No.

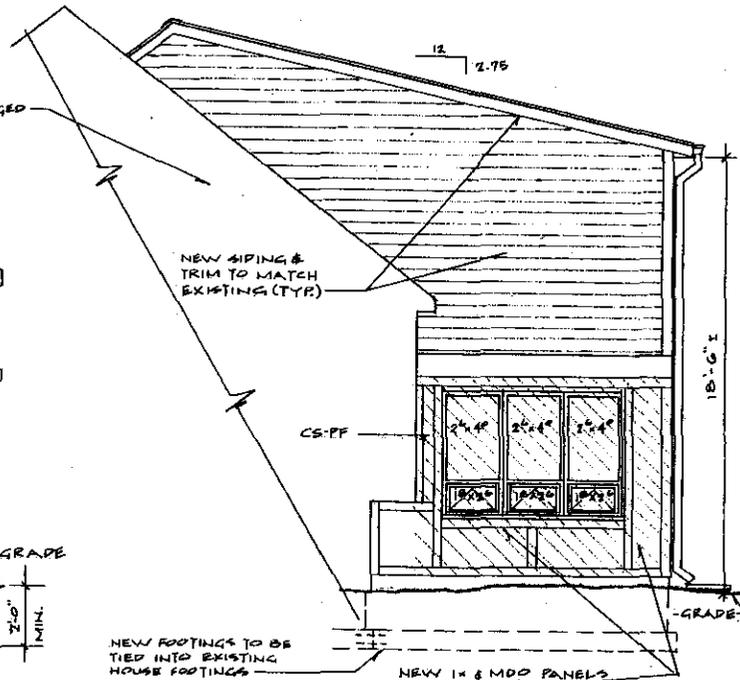
A-3

Date: April 30, 2010



PROPOSED LEFT SIDE ELEVATION

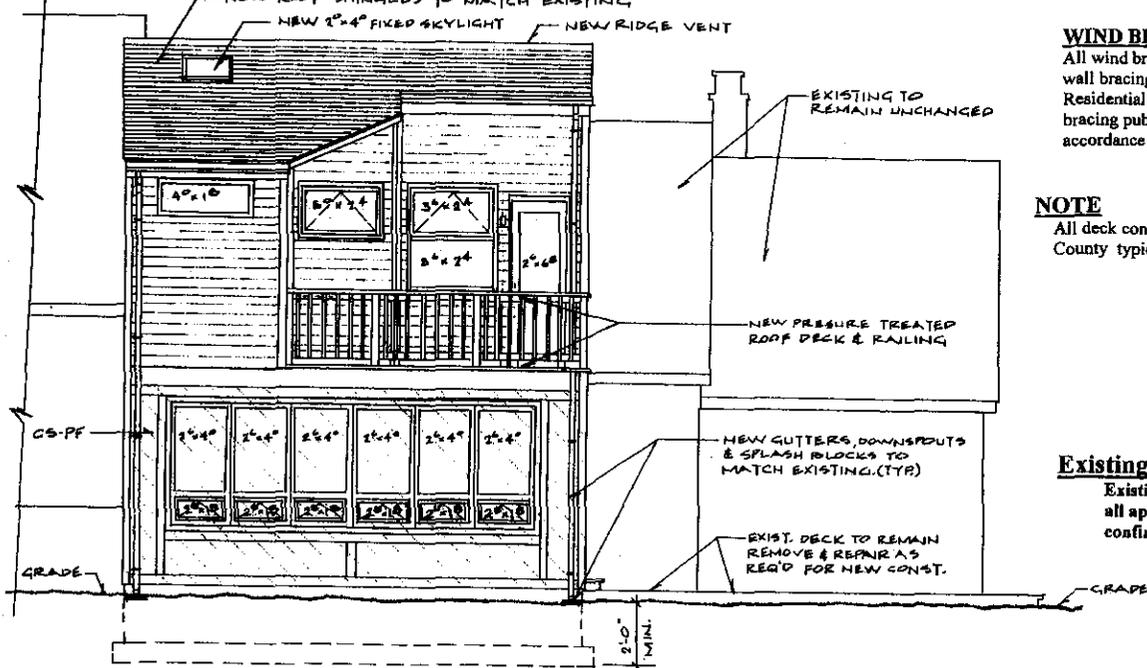
Scale 1/4" = 1'0"



PROPOSED RIGHT SIDE ELEVATION

Scale 1/4" = 1'0"

NOTE: ICE & WATER SHIELD TO BE INSTALLED ON ENTIRE NEW ROOF.
 NEW ROOF SHINGLES TO MATCH EXISTING.
 NEW 2"x4" FIXED SKYLIGHT
 NEW RIDGE VENT



PROPOSED REAR ELEVATION

Scale 1/4" = 1'0"

WIND BRACING

All wind bracing as indicated, to conform to all wall bracing provisions of the 2006 Virginia Residential Code and Fairfax County wind bracing publication last updated 8.22.08, and in accordance with IRC 2006.

NOTE

All deck construction to conform to Fairfax County typical standard deck details.

Existing Footings:

Existing footings and soil conditions to meet all applicable building codes and to be confirmed by Contractor.

NOTE:

All plans and specifications to conform to 2006 Virginia Uniform Statewide Residential Building Code (USBC) and in accordance with IRC 2006.

DESIGNER

RLS BUILDERS

4605 Valerie Court, Annandale, Virginia 22003
 Richard L. Sapiro
 Phone: 703 426 1640

PROJECT LOCATION

Smith/Ingram Residence

8318 Woodacre Street, Alexandria, Virginia, 22308

Proposed Elevations

DRAWING No.

A-6

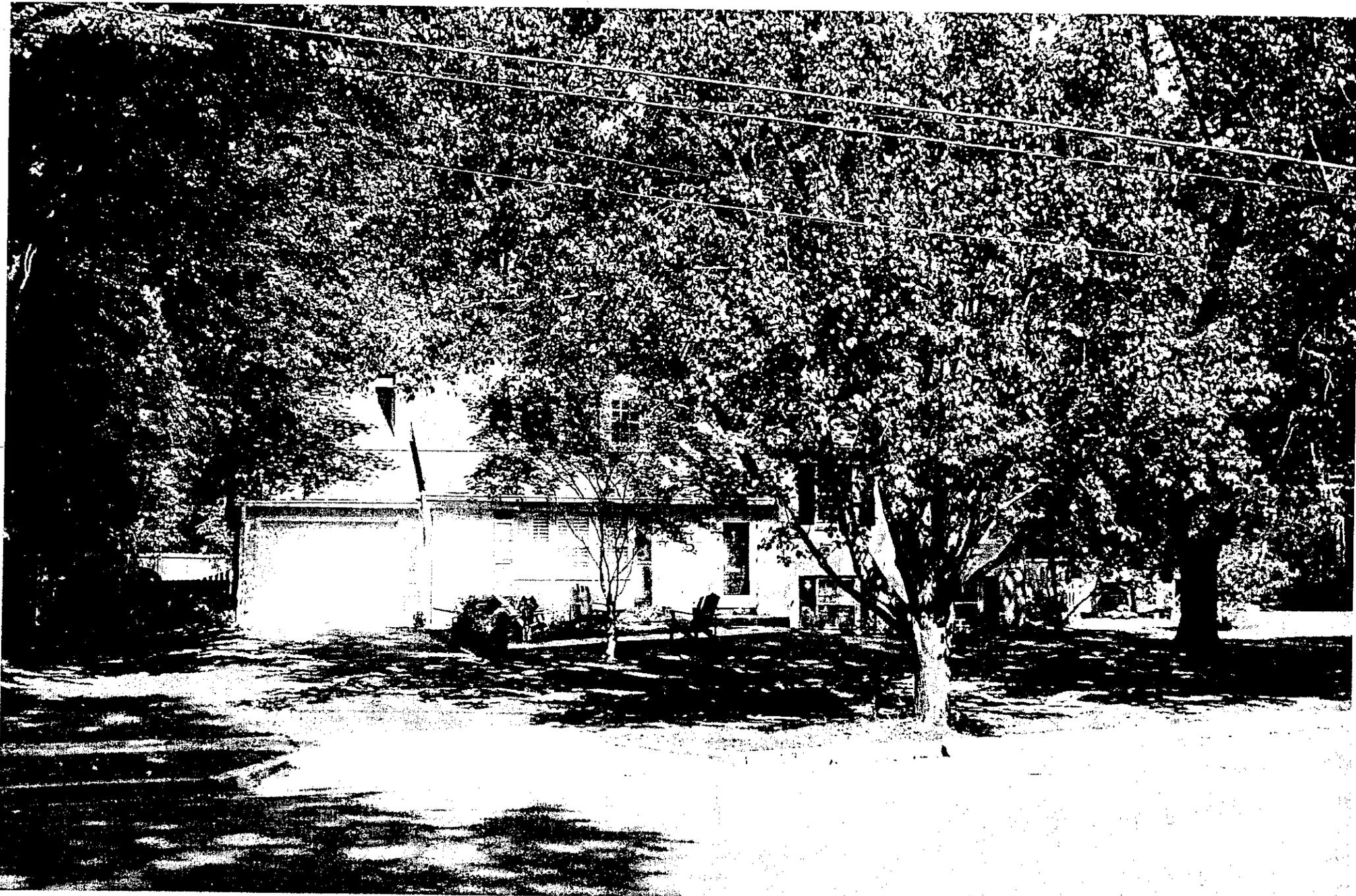


8318 Woodacre Street



06/30/2010

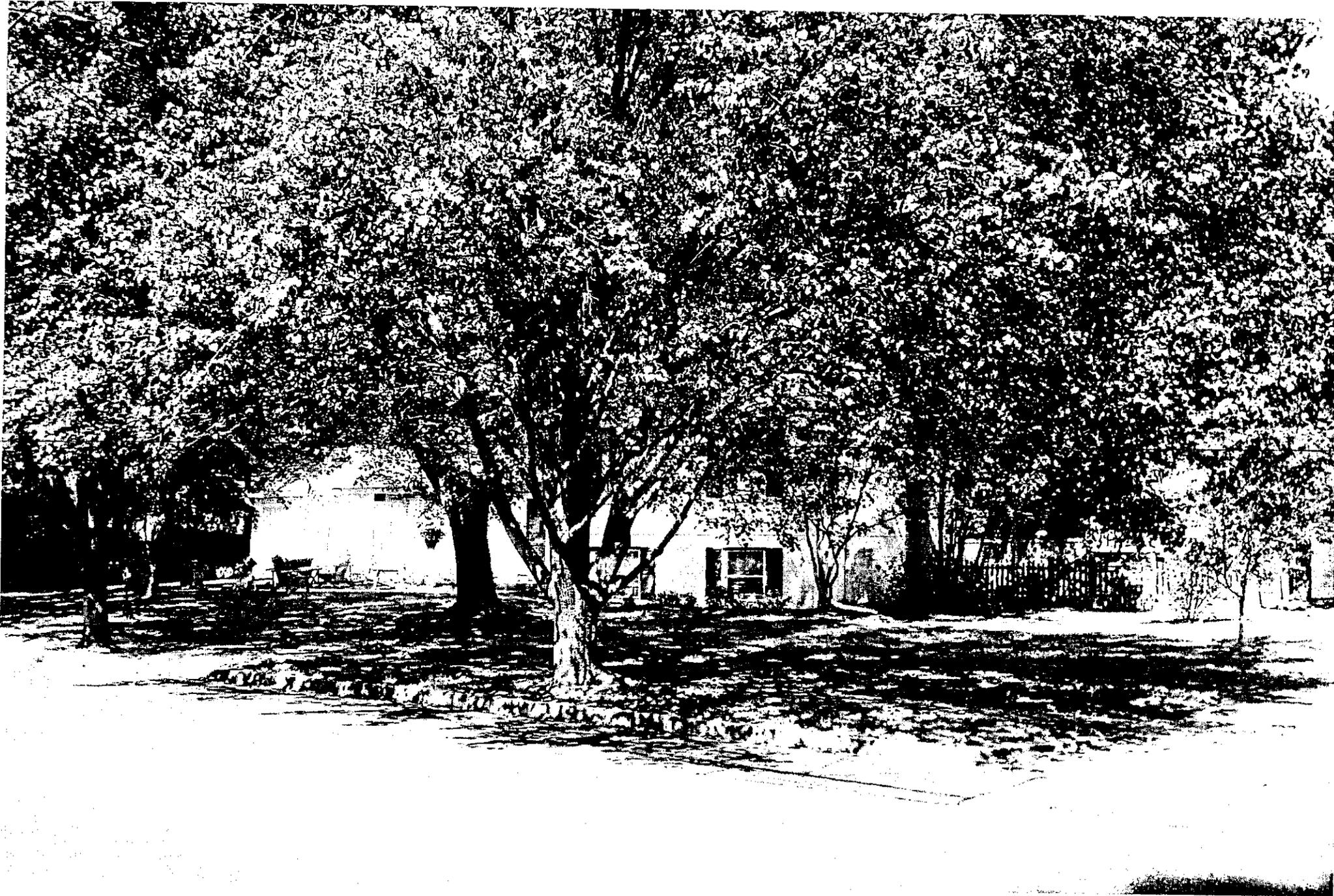
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8318 Woodacre Street 3



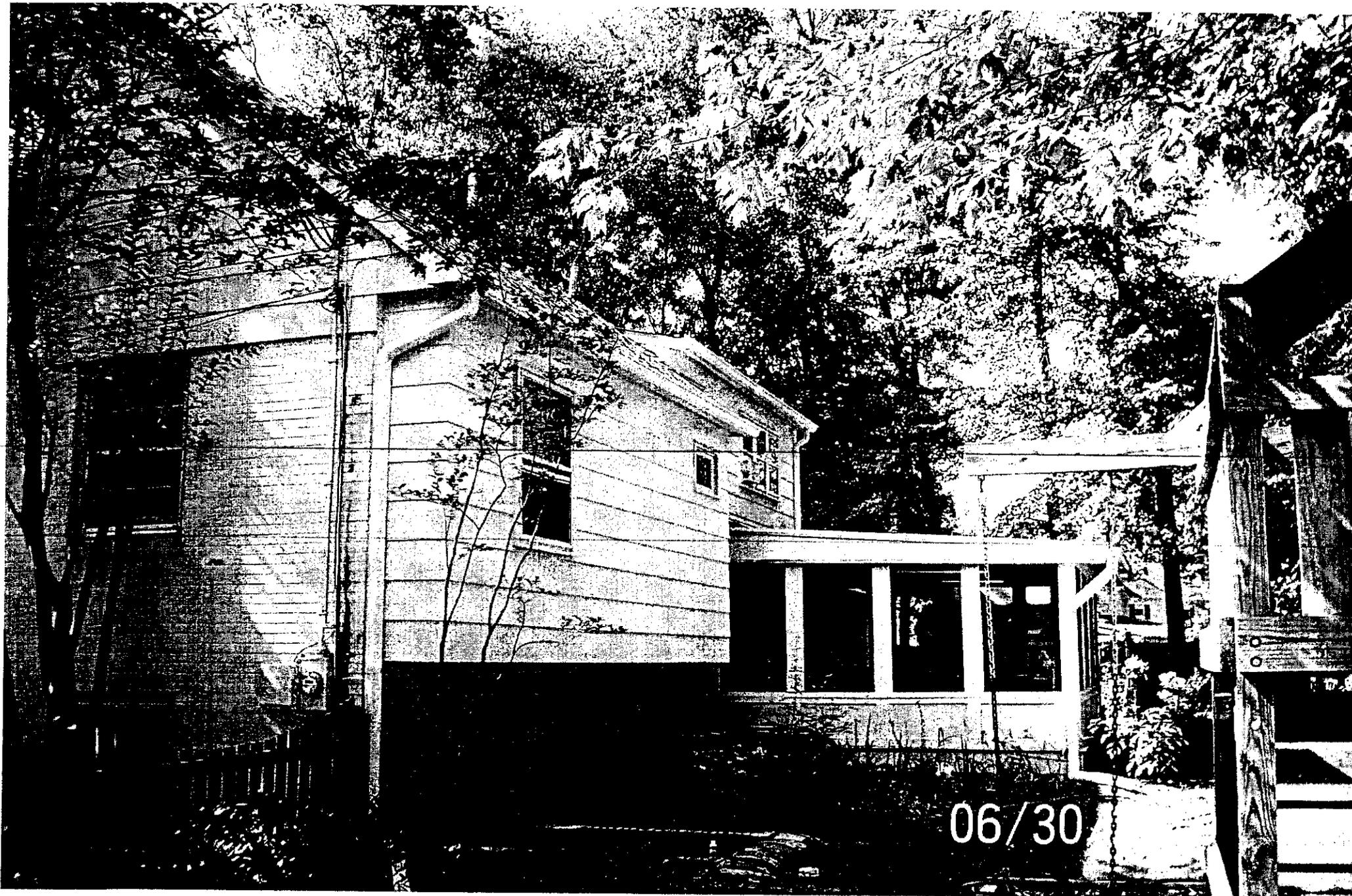
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8318 Woodacre Street 7



8318 Woodacre Street 8



06/30/2010



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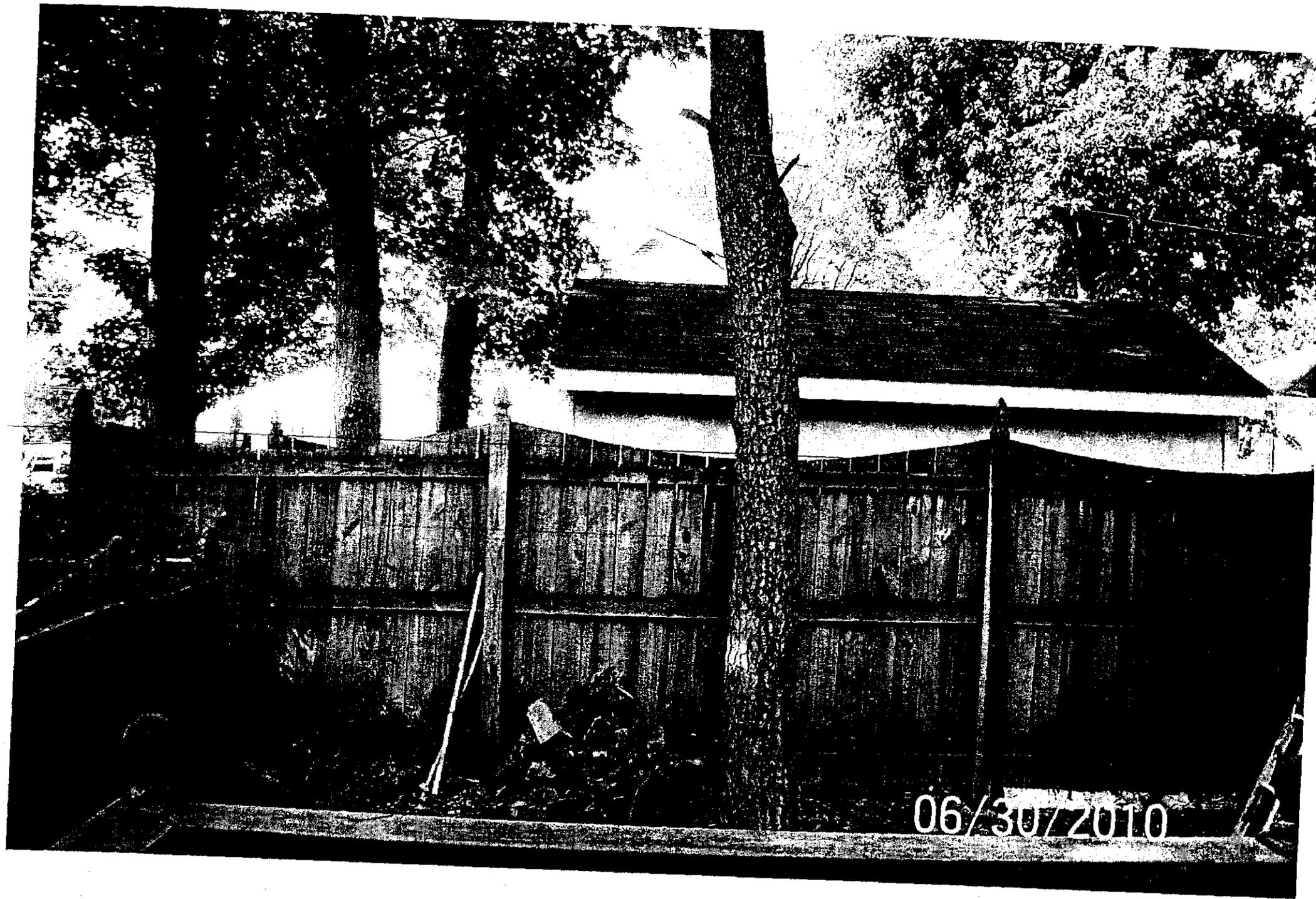
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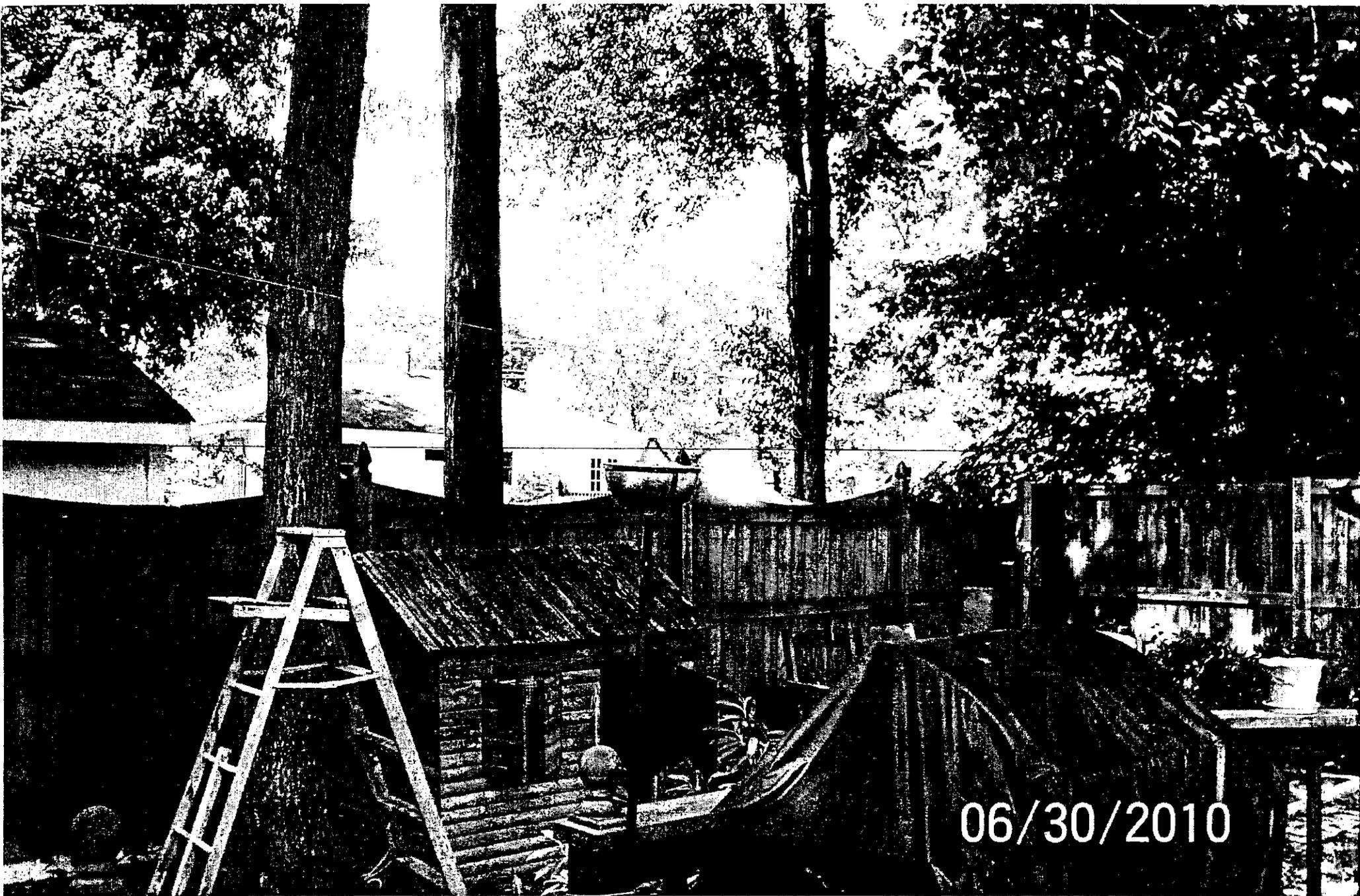


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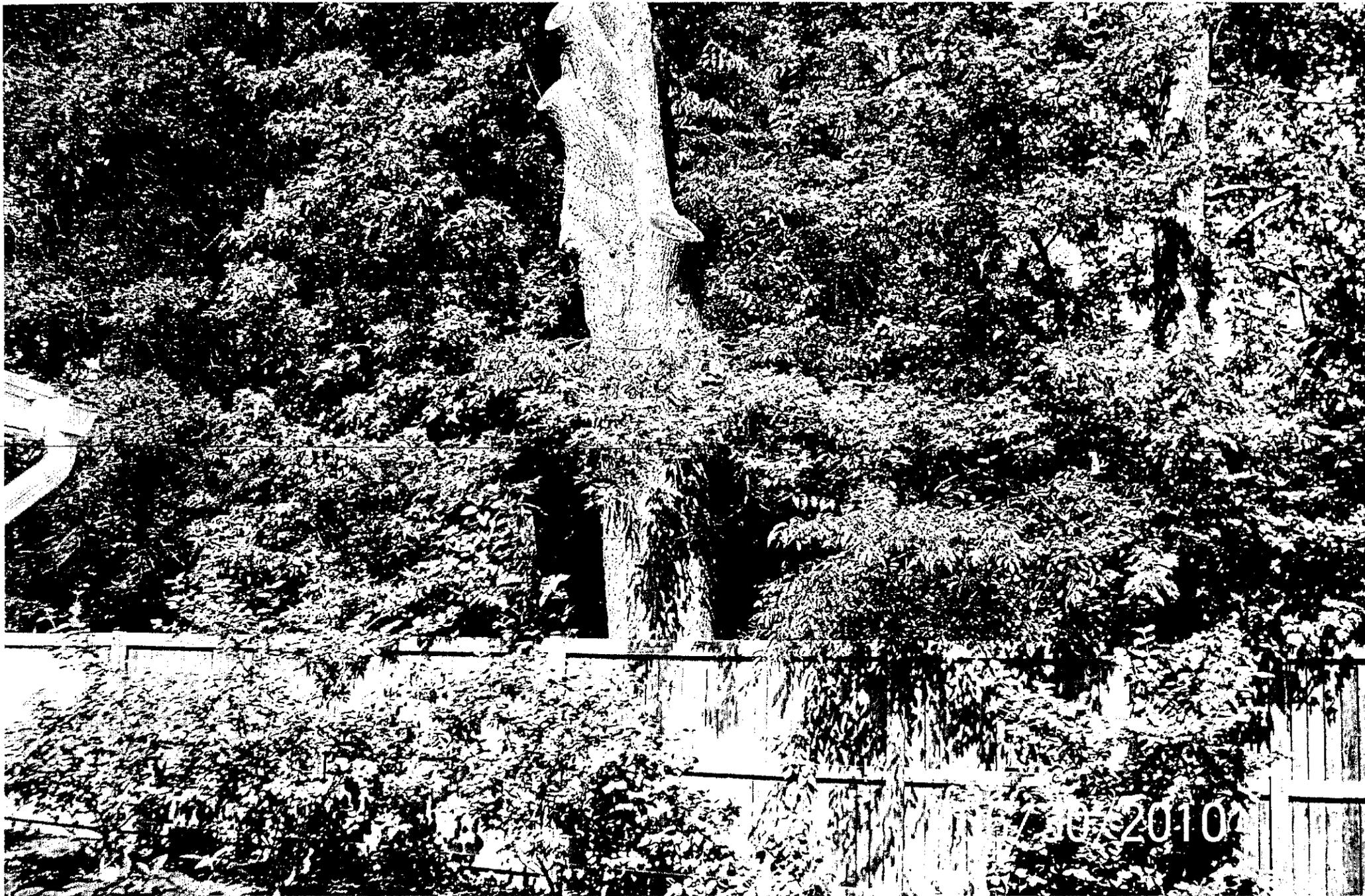
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8318 Woodacre Street 16



8318 Woodacre Street 17



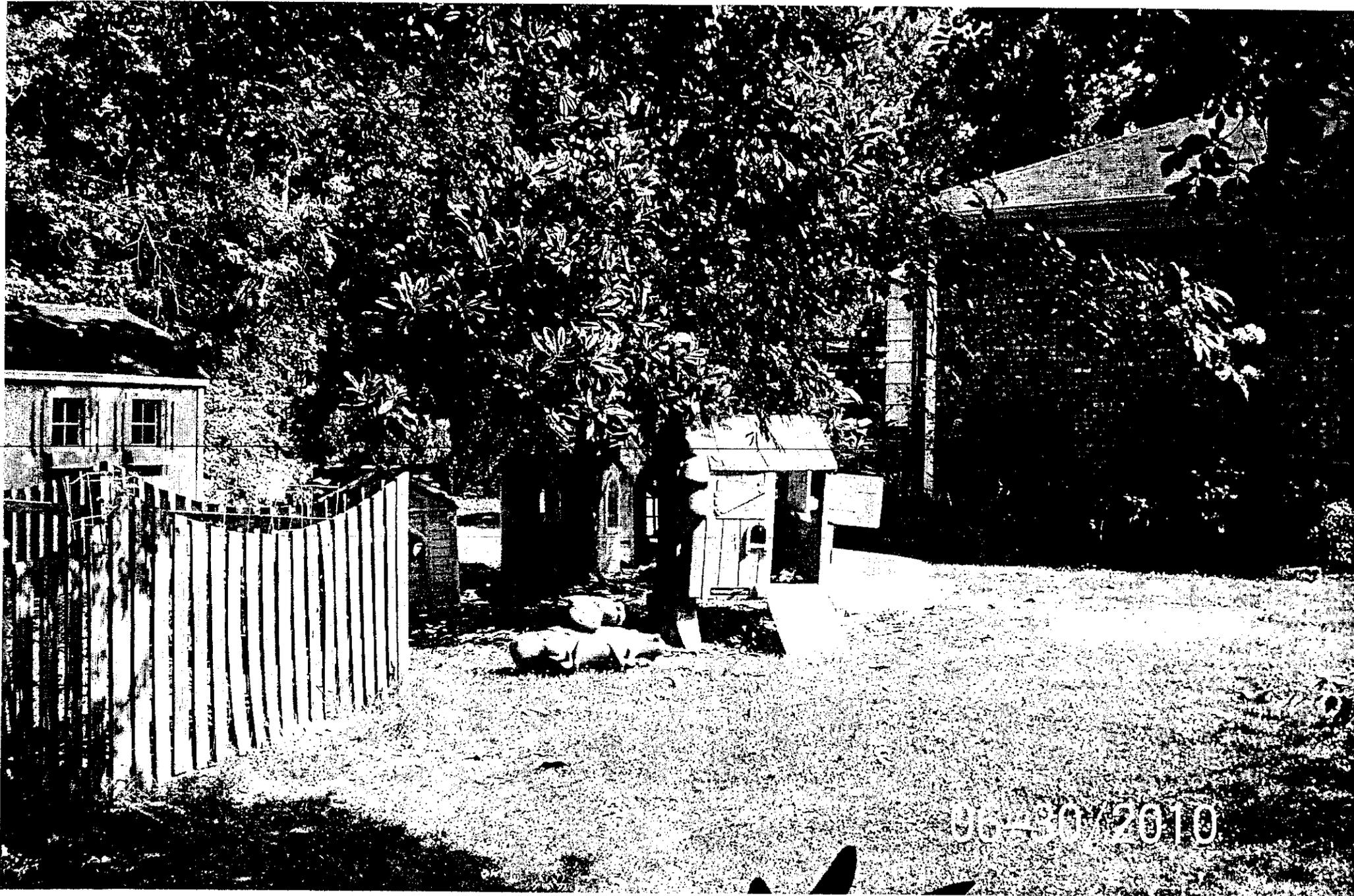
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8318 Woodacre Street 22



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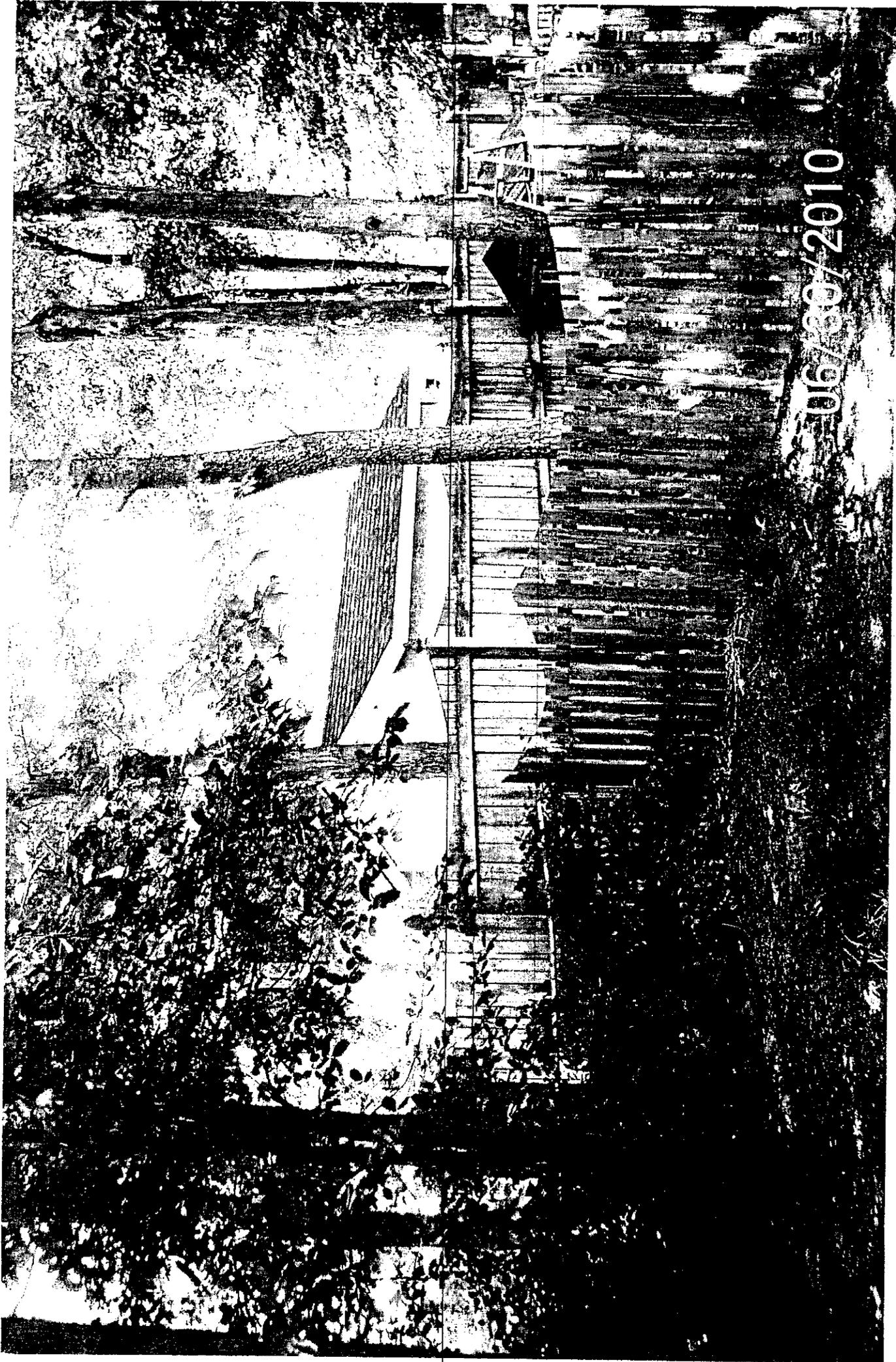
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8318 Woodacre Street 26



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8318 Woodacre Street 28

DESCRIPTION OF THE APPLICATION

The applicant is seeking approval of a special permit for the reduction of certain yard requirements to permit the construction of a two-story addition to be located 16.8 feet from the rear lot line.

	Structure	Yard	Min. Yard Req.*	Structure Location	Proposed Reduction	Percent of Reduction
Special Permit	Addition	Rear	25.0 feet	16.8 feet	8.2 feet	32.8%

* Minimum yard requirement per Section 3-307

EXISTING SITE DESCRIPTION

The 10,517-square foot lot is currently zoned R-3 and developed with a split-level, single family detached dwelling constructed of brick and vinyl siding. The dwelling measures approximately 20 feet in height and consists of 2,600 square feet of above-ground living area. The site is accessed by an asphalt driveway that extends north from Woodacre Street into the site and terminates at the front of the dwelling. The landscaped front yard contains the most significant and mature on-site vegetation including several large shade trees and deciduous shrubs. A wood fence, ranging in height from 4.1 feet at the sides of the dwelling to 6.0 feet in height in the rear, encloses a portion of the side and all of the rear yard. No utility easements, floodplains, RPA or other environmentally sensitive features are shown on the plat.

CHARACTER OF THE AREA

	Zoning	Use
North	R-3	Single-Family Detached Dwellings
East	R-3	Single-Family Detached Dwellings
South	R-3	Single-Family Detached Dwellings
West	R-3	Single-Family Detached Dwellings

BACKGROUND

The Board of Zoning Appeals (BZA) has not heard any similar special permit or variance applications in the vicinity of the application parcel. County records indicate that the dwelling was constructed in 1964. Records show that no building permit was issued for the existing screen porch at the rear of the dwelling. The applicant proposes to remove the existing screen porch prior to constructing the new two-story addition which includes a new first level sunroom with a master bath addition and deck above.

ANALYSIS

Special Permit Plat (Copy at front of staff report)

Title of SP Plat: Special Permit Plat Showing the Improvements on Lot 1, Section 4, Collingwood Springs

Prepared By: Alexandria Surveys, International, LLC, dated February 23, 2011 and signed by Patrick A. Eckert on March 10, 2011

Proposal:

The special permit application consists of a request to permit construction of a two-story addition described as a first floor sunroom and second floor master bathroom and deck, measuring approximately 450 square feet in area (includes first and second floor) and 20 feet in height. The addition is proposed to replace, in part, an existing screen porch and will be located 17.8 feet with eaves 16.8 feet from the rear lot line at the rear of the dwelling. The Zoning Ordinance requires a minimum rear yard of 25 feet in the R-3 Zoning District; therefore, a modification of 8.2 feet (32.8%) for the proposed addition is requested.

ZONING ORDINANCE REQUIREMENTS

Applicable bulk regulation(s) and additional location regulations are set forth on Page 1. The application must meet all of the following standards, copies of which are attached as Appendix 5:

- Sect. 8-006 General Special Permit Standards
- Sect. 8-903 Group 9 Standards
- Sect. 8-922 Provisions for Reduction of Certain Yard Requirements

Sect. 8-006 General Special Permit Standards

Staff believes that the application meets all of the 8 General Special Permit Standards with notes regarding General Standards 3 and 5.

General Standard 3 requires that the proposed uses be harmonious with and not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. *By observation of the neighborhood through submitted photographs, staff believes that the proposed two-story addition will not adversely affect the use or development of neighboring properties and will be located in the most logical location on the property as it minimally expands the footprint of an existing screen porch on the bottom level. It does increase the height and massing at the rear of the dwelling, but the proposed roofline is proposed to meet the height of the existing roofline. The proposed*

construction with building materials, height and scale that are similar to other structures in the neighborhood appear to be in character with both on-site and off-site structures; therefore, staff believes this standard has been met.

General Standard 5 requires that in addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13. The property has mature vegetation at the front of the site; the mature trees at the rear of the property are located along the rear property line which is not likely to be impacted by the proposed construction. Since the lower level of the proposed two-story addition is to be located in the same general location as the existing screen porch, there should be minimal impact to existing vegetation which will continue to serve as a buffer between the dwellings to the west. As such, staff does not believe any additional vegetation is needed and this standard has been met.

Sect. 8-922 Provisions for Reduction of Certain Yard Requirements

This special permit application must satisfy all of the provisions contained in Sect. 8-922, Provisions for Reduction of Certain Yard Requirements. Standards 1, 2, 3, 11 and 12 relate to submission requirements and were satisfied at the time of submission. Standard 5 relates to existing accessory structures, which does not apply to this application and Standard 10 allows the BZA to impose development conditions. Staff believes that the application has met all of the remaining standards, specifically Standards 4, 6, 7, 8, and 9.

Standard 4 states that the resulting gross floor area of an addition to an existing principal structure may be up to 150 percent of the total gross floor area of the principal structure that existed at the time of the first yard reduction request. In such instance, if a portion of the principal structure is to be removed; no more than fifty (50) percent of the gross floor area of the existing principal structure at the time of the first yard reduction shall be removed. According to the special permit plat, the floor area of the existing dwelling measures 2,600 square feet. Therefore 150% of the total gross floor area could result in an addition up to 3,900 square feet in size for a possible total building size of 6,500 square feet at build out. The proposed two-story addition is 450 square feet in area, thereby realizing a total house size of 3,050 square feet. Therefore the application meets this provision.

Standard 6 states that the BZA shall determine that the proposed development will be in character with the existing on-site development in terms of the location, height, bulk and scale of the existing structure(s) on the lot. The elevation drawings submitted indicate that the materials, size and scale of the proposed two-story addition will be compatible with the existing structure. The addition is clearly subordinate in bulk and scale to the principal dwelling and the proposed addition will comprise of 17.3% of the existing floor area of the dwelling. Staff believes that the application meets this provision.

Standard 7 states that the BZA shall determine that the proposed development is harmonious with the surrounding off-site uses and structures in terms of location, height, bulk and scale of surrounding structures, topography, existing vegetation and the preservation of significant trees as determined by the Director. With review of the photographs submitted, staff believes that the proposed improvements are compatible with the surrounding houses in the neighborhood. The surrounding neighborhood contains homes of similar size and height. The proposed exterior building materials are consistent with the on-site dwelling and compatible with those in the neighborhood. There is no significant vegetation that will be impacted by the addition. Staff believes that the application meets this provision.

Standard 8 states that the BZA shall determine that the proposed development shall not adversely impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air, safety, erosion, and stormwater runoff. The Department of Public Works and Environmental Services (DPWES) has confirmed that there is no Resource Protection Areas (RPA) or floodplains located on the property and no downstream drainage complaints related to the application site have been found. Staff believes that this standard has been met.

Standard 9 states that the BZA shall determine that the proposed reduction represents the minimum amount of reduction necessary to accommodate the proposed structure on the lot. Specific factors to be considered include, but are not limited to, the layout of the existing structure; availability of alternate locations for the addition; orientation of the structure(s) on the lot; shape of the lot and the associated yard designations on the lot; environmental characteristics of the site, including presence of steep slopes, floodplains and/or Resource Protection Areas; preservation of existing vegetation and significant trees as determined by the Director; location of a well and/or septic field; location of easements; and/or preservation of historic resources. The proposed scale of the addition is consistent with the dwelling and is proposed in a logical location utilizing, in part, the existing footprint of the previously constructed screen porch. There should be minimal impact to existing vegetation. Staff believes that the application meets this provision. Other issues of well, floodplains and/or Resource Protection Areas are not applicable to this site.

CONCLUSION

Staff believes that the subject application is in conformance with the applicable Zoning Ordinance provisions with the implementation of the Proposed Development Conditions contained in Appendix 1 of the staff report.

RECOMMENDATION

Staff recommends approval of SP 2011-MV-023 for the addition and deck, subject to the Proposed Development Conditions contained in Appendix 1 of the staff report.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

APPENDICES

1. Proposed Development Conditions with Attachment 1
2. Applicant's Affidavit
3. Applicant's Statement of Justification
4. Applicable Zoning Ordinance Provisions

PROPOSED DEVELOPMENT CONDITIONS

SP 2011-MV-023

June 1, 2011

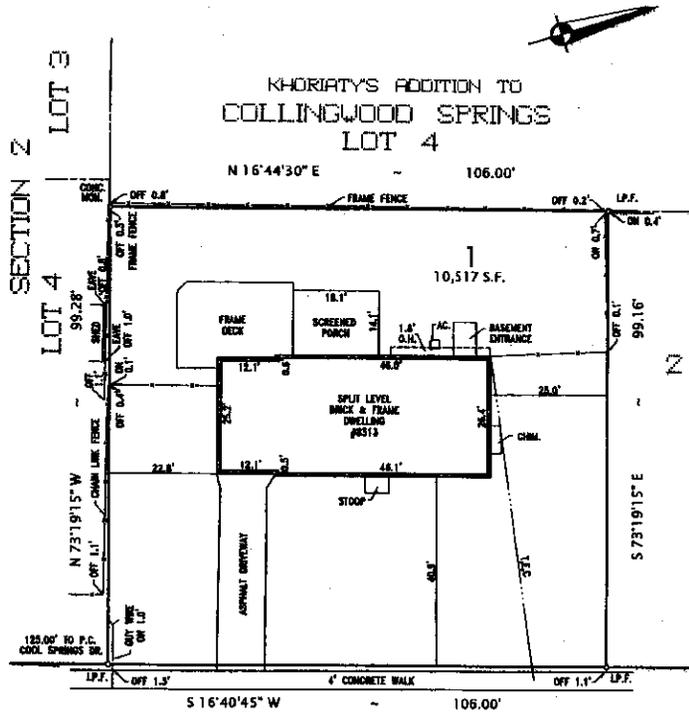
If it is the intent of the Board of Zoning Appeals to approve SP 2011-MV-023 located at 8318 Woodacre Street, Tax Map 102-4 ((14)) 1 to permit reduction of certain yard requirements pursuant to Section 8-922 of the Fairfax County Zoning Ordinance, staff recommends that the Board condition the approval by requiring conformance with the following development conditions.

1. These conditions shall be recorded by the applicant among the land records of Fairfax County for this lot prior to the issuance of a building permit. A certified copy of the recorded conditions shall be provided to the Zoning Permit Review Branch, Department of Planning and Zoning.
2. This special permit is approved for the location and size (approximately 450 square feet) of the two-story addition (including a deck on the second floor), as shown on the plat prepared by Alexandria Surveys, International, LLC., dated February 23, 2011 and signed by Patrick A. Eckert on March 10, 2011, submitted with this application and is not transferable to other land.
3. Pursuant to Paragraph 4 of Section 8-922 of the Zoning Ordinance, the resulting gross floor area of an addition to the existing principal structure may be up to 150 percent of the gross floor area of the dwelling that existed at the time of the first expansion (2,600 square feet existing + 3,900 square feet (150%) = 6,500 square feet maximum permitted on lot) regardless of whether such addition complies with the minimum yard requirement or is the subject of a subsequent yard reduction special permit. Notwithstanding the definition of gross floor area as set forth in the Ordinance, the gross floor area of a single family dwelling for the purpose of this paragraph shall be deemed to include the floor area of any attached garage. Subsequent additions that meet minimum yard requirements shall be permitted without an amendment to this special permit.
4. The addition shall be consistent with the architectural renderings and materials as shown on Attachment 1 to these conditions.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, thirty (30) months after the date of approval unless construction has commenced and has been diligently prosecuted. The Board of Zoning Appeals

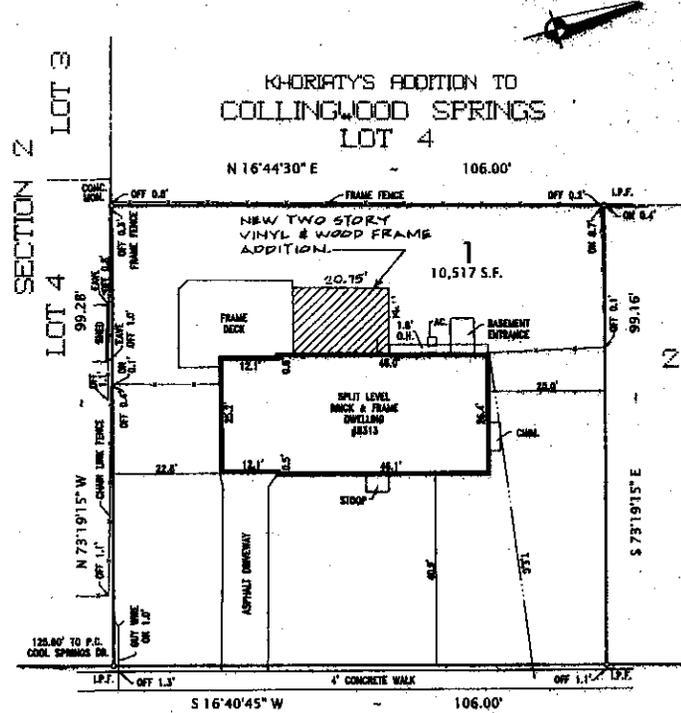
may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.



WOODACRE STREET
50' R/W

PLAT
SHOWING HOUSE LOCATION ON
LOT 1 SECTION 4
COLLINGWOOD SPRINGS
FAIRFAX COUNTY, VIRGINIA
SCALE: 1" = 20' APRIL 25, 2005

GRAPHIC SCALE
0 20 40



WOODACRE STREET
50' R/W

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FAIRFAX COUNTY, VIRGINIA
SCALE: 1" = 20' APRIL 25, 2005

GRAPHIC SCALE
0 20 40

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DRAWING LIST

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- S-2 • Typical Details
Section 'A-A'
- E-1 • Electrical Plans

PROPOSED AREA OF NEW CONSTRUCTION

NOTE:

All plans and specifications to conform to 2006 Virginia Uniform Statewide Residential Building Code (USBC) and in accordance with IRC 2006.

DESIGNER

RLS BUILDERS
4605 Valerie Court, Annandale, Virginia 22003
Richard L. Staple
Phone: 703-428-1640

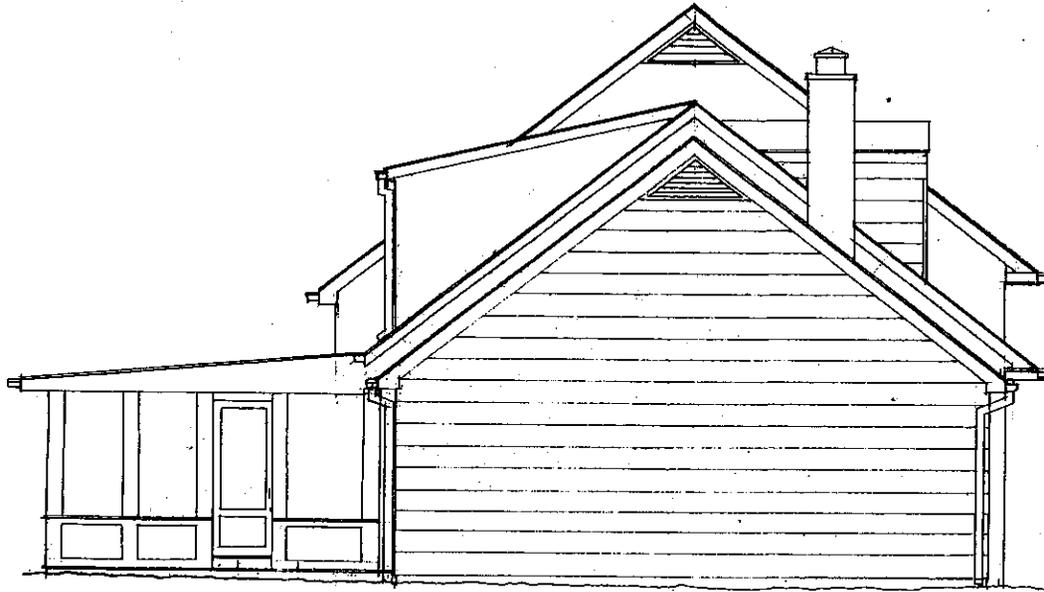
PROJECT LOCATION

Smith/Ingram Residence
6318 Woodacre Street, Alexandria, Virginia, 22308

Site Plans

DRAWING No.

A-1



EXISTING PARTIAL SIDE ELEVATION

Scale 1/4" = 1'0"



EXISTING PARTIAL REAR ELEVATION

Scale 1/4" = 1'0"

NOTE:

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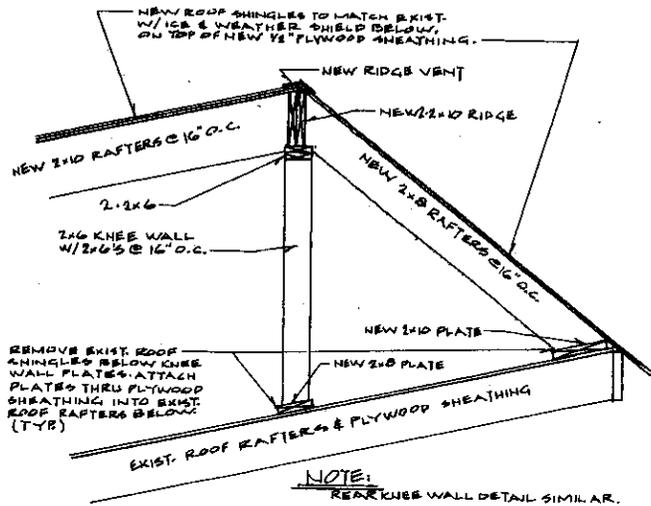
8313 Woodacre Street, Alexandria, Virginia, 22308

Existing Elevations

DRAWING NO.

A-3

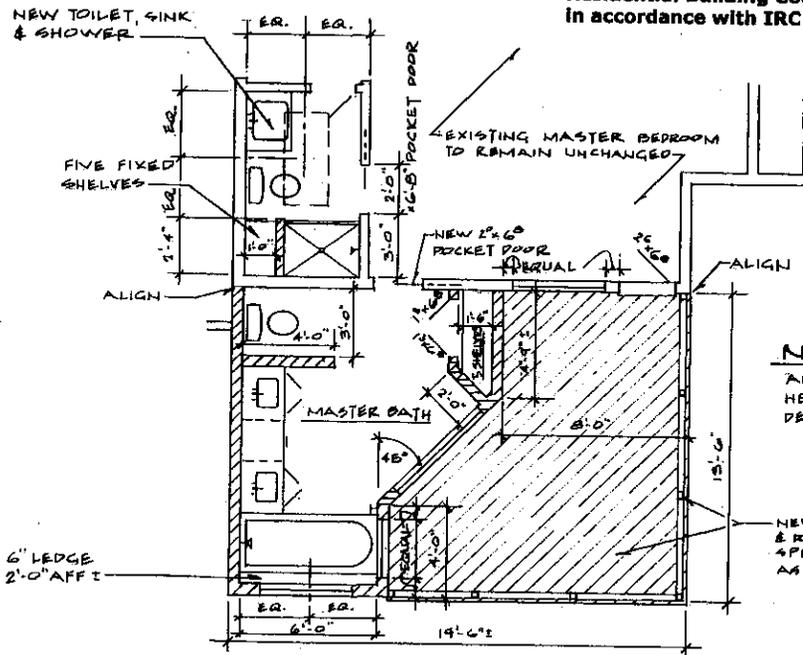
Date: April 30, 2010



RIDGE KNEE WALL & ROOF EXTENSION DETAIL "F"

Scale: 1/4" = 1'-0"

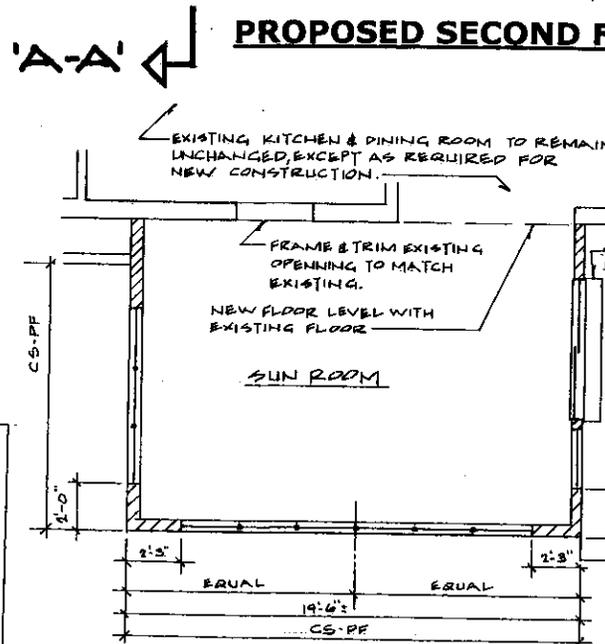
NOTE:
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PROPOSED SECOND FLOOR PLAN

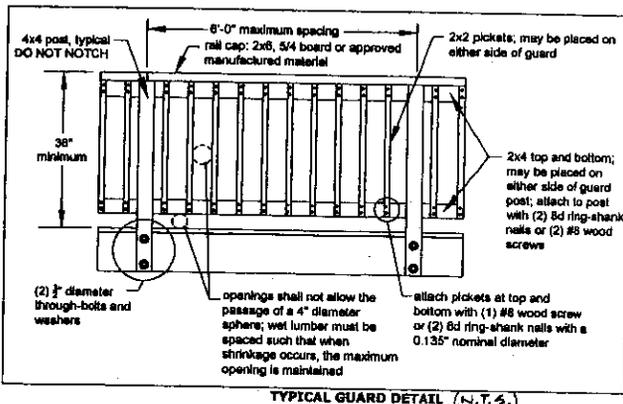
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WIND BRACING

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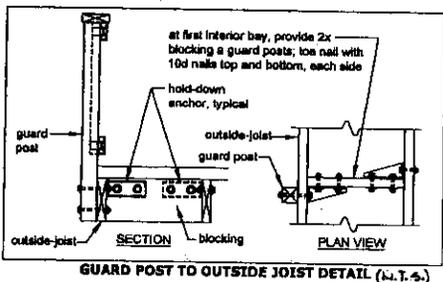


PROPOSED FIRST FLOOR PLAN

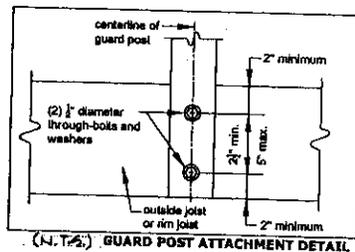
Scale 1/4" = 1'0"



TYPICAL GUARD DETAIL (N.T.S.)



GUARD POST TO OUTSIDE JOIST DETAIL (N.T.S.)



(N.T.S.) GUARD POST ATTACHMENT DETAIL

NOTE

All deck construction to conform to Fairfax County typical standard deck details.

DESIGNER

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Phone: 703 426 1640
Richard L. Seipio

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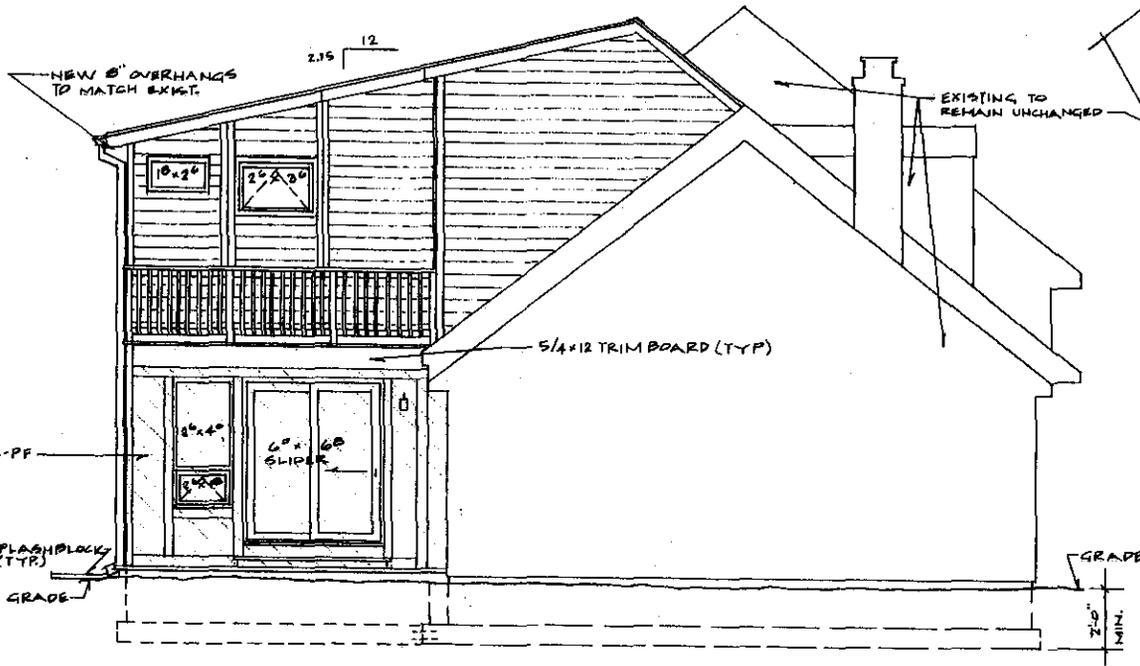
8218 Woodacre Street, Alexandria, Virginia, 22308

First Floor Plan
Second Floor Plan

Construction Details

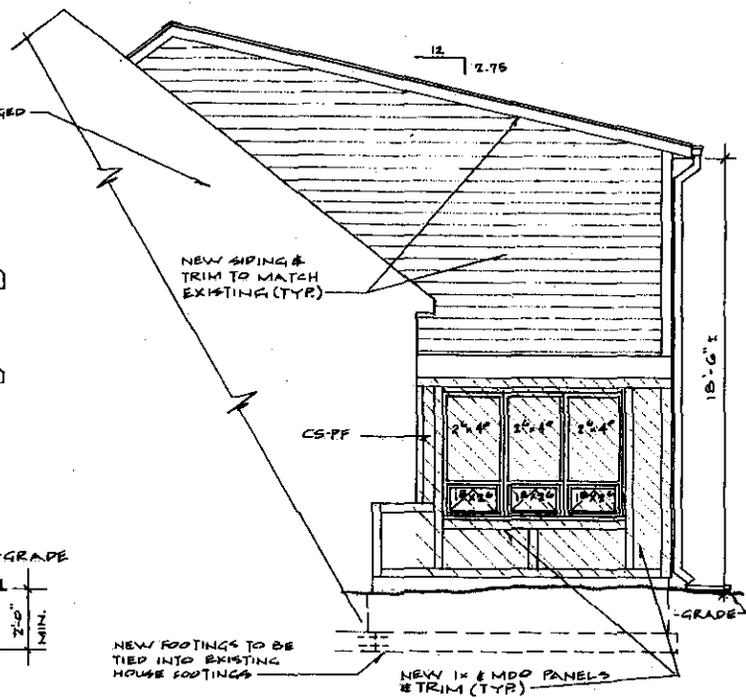
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A-1-J



PROPOSED LEFT SIDE ELEVATION

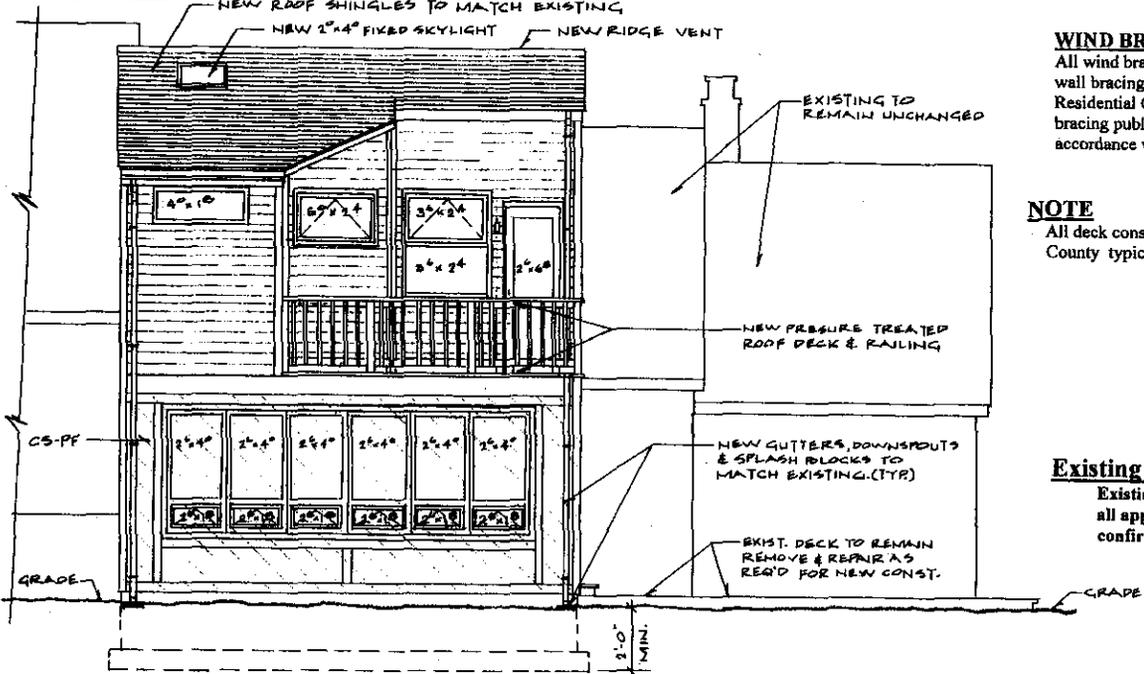
Scale 1/4" = 1'0"



PROPOSED RIGHT SIDE ELEVATION

Scale 1/4" = 1'0"

NOTE: ICE & WATER SHIELD TO BE INSTALLED ON ENTIRE NEW ROOF.
NEW ROOF SHINGLES TO MATCH EXISTING.
NEW 2'x4' FIXED SKYLIGHT
NEW RIDGE VENT



PROPOSED REAR ELEVATION

Scale 1/4" = 1'0"

WIND BRACING

All wind bracing as indicated, to conform to all wall bracing provisions of the 2006 Virginia Residential Code and Fairfax County wind bracing publication last updated 8.22.08, and in accordance with IRC 2006.

NOTE

All deck construction to conform to Fairfax County typical standard deck details.

Existing Footings:

Existing footings and soil conditions to meet all applicable building codes and to be confirmed by Contractor.

NOTE:

All plans and specifications to conform to 2006 Virginia Uniform Statewide Residential Building Code (USBC) and in accordance with IRC 2006.

DESIGNER

RLS BUILDERS

4605 Valerie Court, Annandale, Virginia 22003
Phone: 703 426 1640
Richard L. Sappo

PROJECT LOCATION

Smith/Ingram Residence

8315 Woodacre Street, Alexandria, Virginia, 22308

Proposed Elevations

DRAWING No.

A-6

'A-A' ←

Application No.(s): SP 2011-MV-023
 (county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 9/13/10
 (enter date affidavit is notarized)

I, MICHAEL A. SMITH, do hereby state that I am an
 (enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below 109860

and that, to the best of my knowledge and belief, the following is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,* and, if any of the foregoing is a **TRUSTEE,**** each **BENEFICIARY** of such trust, and all **ATTORNEYS and REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
MICHAEL A. SMITH	8318 WOODACRE STREET ALEXANDRIA, VA 22308	APPLICANT/ TITLE OWNER
ALLISON INGRAM	8318 WOODACRE STREET ALEXANDRIA, VA 22308	TITLE OWNER

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Special Permit/Variance Attachment to Par. 1(a)" form.

* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.

** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Application No.(s): SP 2011-MV-023
(county-assigned application number(s), to be entered by County Staff)

Page Two

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 9/13/10
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109860

1(b). The following constitutes a listing*** of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

(NOTE: Include **SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS** herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF SHAREHOLDERS: (enter first name, middle initial, and last name)

(check if applicable) There is more corporation information and Par. 1(b) is continued on a "Special Permit/Variance Attachment 1(b)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): SP 2011-MV-023
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

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109860

1(c). The following constitutes a listing*** of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state, and zip code)

(check if applicable) The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. General Partner, Limited Partner, or General and Limited Partner)

(check if applicable) There is more partnership information and Par. 1(c) is continued on a "Special Permit/Variance Attachment to Par. 1(c)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): SP 2011-MV-023
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 9/13/10
(enter date affidavit is notarized)

109860

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land.

2. That no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on the line below.)

NONE

(check if applicable) There are more interests to be listed and Par. 2 is continued on a "Special Permit/Variance Attachment to Par. 2" form.

Application No.(s): SP 2011-MV-223
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 9/13/10
(enter date affidavit is notarized)

109860

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

NONE

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [] There are more disclosures to be listed and Par. 3 is continued on a "Special Permit/Variance Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one) Applicant [Signature] [] Applicant's Authorized Agent

MICHAEL A. SMITH, APPLICANT
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 13th day of September 2010, in the State/Comm. of Virginia, County/City of Arlington.

[Signature]
Notary Public

My commission expires: June 30, 2014
#260363



Special Permit Statement of Justification

8318 Woodacre Street, Alexandria, Virginia 22308

2 September 2010

This special permit request is for a residential rear yard requirement reduction as per Fairfax County Zoning Ordinance 8-922.

The proposed addition will be for residential use only by the property owners, Michael A. Smith and Allison Ingram, with no employees on the premises and would have no impact on traffic.

The additional area is to be located in the rear portion of the existing structure and shall consist of a First Floor Sun Room and Second Floor Master Bathroom and deck.

The building façade is to match all existing materials and colors with horizontal wood siding and wood framed windows.

No hazardous or toxic substances exist on the property nor will they be introduced to the property.

Any and all use of the property and structure shall conform to all provisions of all applicable ordinances, regulations, adopted standards, and any applicable conditions that are existing.

RECEIVED
Department of Planning & Zoning

SEP 22 2010

Zoning Evaluation Division

8-006 General Standards

In addition to the specific standards set forth hereinafter with regard to particular special permit uses, all special permit uses shall satisfy the following general standards:

1. The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.
2. The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations.
3. The proposed use shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.
4. The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.
5. In addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13.
6. Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.
7. Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11.
8. Signs shall be regulated by the provisions of Article 12; however, the BZA, under the authority presented in Sect. 007 below, may impose more strict requirements for a given use than those set forth in this Ordinance.

8-903 Standards for All Group 9 Uses

In addition to the general standards set forth in Sect. 006 above, all Group 9 special permit uses shall satisfy the following standards:

1. All uses shall comply with the lot size and bulk regulations of the zoning district in which located, except as may be qualified below.
2. All uses shall comply with the performance standards specified for the zoning district in which located.
3. Before establishment, all uses, including modifications or alterations to existing uses, shall be subject to the provisions of Article 17, Site Plans, or other appropriate submission as determined by the Director.

8-922 Provisions for Reduction of Certain Yard Requirements

The BZA may approve a special permit to allow a reduction of certain yard requirements subject to all of the following:

1. Only the following yard requirements shall be subject to such special permit:
 - A. Minimum required yards, as specified in the residential, commercial, industrial and planned development districts in Articles 3, 4, 5 and 6, provided such yards are not subject to proffered conditions or development conditions related to yards and/or such yards are not depicted on an approved conceptual development plan, final development plan, development plan, special exception plat, special permit plat or variance plat.
 - B. Yard regulations for pipestem lots and lots contiguous to pipestem driveways set forth in Sect. 2-416.
 - C. Accessory structure location requirements set forth in Sect. 10-104.
 - D. Regulations on permitted extensions into a minimum required yard as set forth in Sect. 2-412.

Approval of a reduction of yard requirements specified in Paragraphs A, B and C above shall not result in any yard that is less than fifty (50) percent of the requirement and

shall not result in any yard of less than five (5) feet, as measured from the lot line to the closest point of the proposed structure.

Approval of a reduction of yard requirements specified in Par. D above shall not result in an extension that exceeds the applicable distances set forth in Sect. 2-412 by more than fifty (50) percent. Where no extension is permitted by the provisions of Sect. 2-412, the BZA shall not approve a special permit that results in a structure that extends into a minimum required yard by more than fifty (50) percent.

2. Such reduction shall not result in the placement of a detached accessory structure in a front yard where the placement of such accessory structure is not otherwise permitted in that yard.
3. This special permit shall only apply to those lots that contain a principal structure and use that complied with the minimum yard requirements in effect when the use or structure was established.
4. The resulting gross floor area of an addition to an existing principal structure may be up to 150 percent of the total gross floor area of the principal structure that existed at the time of the first yard reduction request. In such instance, if a portion of the principal structure is to be removed, no more than fifty (50) percent of the gross floor area of the existing principal structure at the time of the first yard reduction shall be removed.
5. The resulting gross floor area of an existing accessory structure and any addition to it shall be clearly subordinate in purpose, scale, use and intent to the principal structure on the site.
6. The BZA shall determine that the proposed development will be in character with the existing on-site development in terms of the location, height, bulk and scale of the existing structure(s) on the lot.
7. The BZA shall determine that the proposed development is harmonious with the surrounding off-site uses and structures in terms of location, height, bulk and scale of surrounding structures, topography, existing vegetation and the preservation of significant trees as determined by the Director.
8. The BZA shall determine that the proposed development shall not adversely impact the use and/or enjoyment of any adjacent

property with regard to issues such as noise, light, air, safety, erosion, and stormwater runoff.

9. The BZA shall determine that the proposed reduction represents the minimum amount of reduction necessary to accommodate the proposed structure on the lot. Specific factors to be considered include, but are not limited to, the layout of the existing structure; availability of alternate locations for the addition; orientation of the structure(s) on the lot; shape of the lot and the associated yard designations on the lot; environmental characteristics of the site, including presence of steep slopes, floodplains and/or Resource Protection Areas; preservation of existing vegetation and significant trees as determined by the Director; location of a well and/or septic field; location of easements; and/or preservation of historic resources.
10. The BZA may impose such conditions as it deems necessary to satisfy these criteria, including, but not limited to imposition of a maximum gross floor area, floor area ratio, lot coverage, landscaping and/or screening requirements.
11. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by fifteen (15) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia. Such plat shall contain the following information:
 - A. Boundaries of entire property, with bearings and distances of the perimeter property lines, and of each zoning district.
 - B. Total area of the property and of each zoning district in square feet or acres.
 - C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
 - D. The location, dimension and height of any building, structure or addition, whether existing or proposed. In addition, for decks, the height of the finished floor above finished ground level.

- E. All required minimum yards to include front, side and rear, a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing and proposed structures to lot lines.
 - F. Means of ingress and egress to the property from a public street(s).
 - G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).
 - H. If applicable, the location of a well and/or septic field.
 - I. Existing and proposed gross floor area and floor area ratio.
 - J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.
 - K. The location, type and height of any existing and proposed landscaping and screening.
 - L. Approximate delineation of any floodplain designated by the Federal Insurance Administration, United States Geological Survey, or Fairfax County, the delineation of any Resource Protection Area and Resource Management Area, and the approximate delineation of any environmental quality corridor as defined in the adopted comprehensive plan, and, if applicable, the distance of any existing and proposed structures from the floodplain, Resource Protection Area and Resource Management Area, or environmental quality corridor.
 - M. Seal and signature of professional person certifying the plat.
12. Architectural depictions of the proposed structure(s) as viewed from all lot lines and street lines to include building materials, roof type, window treatment and any associated landscaping and/or screening shall be provided.