



# County of Fairfax, Virginia

*To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County*

June 8, 2011

David R. Lasso  
Venable LLP  
8010 Towers Crescent Drive, Suite 300  
Vienna, VA 22182

RE: Rezoning Application RZ 2010-LE-020

Dear Mr. Lasso:

Enclosed you will find a copy of an Ordinance adopted by the Board of Supervisors at a regular meeting held on June 7, 2011, granting Rezoning Application RZ 2010-LE-020 in the name of FB Property, LLC (A Virginia Limited Liability Company). The Board's action rezones certain property in the Lee District from the C-8 and R-1 Districts to the PDC District and permits commercial development (hotel) with an overall Floor Area Ratio (FAR) of 0.70 and approval of the conceptual development plan and a waiver of the 75 foot setback from interstate highway right-of-way. The subject property is located in the northwest quadrant of the intersection of Loisdale Road and Newington Road on approximately 4.543 acres of land [Tax Map 99-1 ((1)) 5A and 6], and is subject to the proffers dated May 23, 2011.

Please note that on May 5, 2011, the Planning Commission approved Final Development Plan Application FDP 2010-LE-020.

**The Board also:**

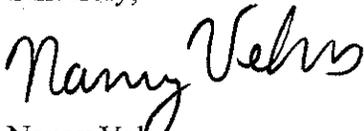
- Modified the 75-foot minimum required distance for a commercial building from an interstate highway right-of-way to that shown on the CDP/FDP.
- Modified the loading space requirement.
- Modified the trail requirement along the Loisdale Road property frontage to that shown on the CDP/Final Development Plan (FDP).
- Modified the peripheral parking lot landscaping requirement to that shown on the CDP/FDP.
- Modified the transitional screening and barrier requirements along the eastern perimeter of the site to that shown on the CDP/FDP.

**Office of the Clerk to the Board of Supervisors**  
12000 Government Center Parkway, Suite 533  
Fairfax, Virginia 22035

Phone: 703-324-3151 ♦ Fax: 703-324-3926 ♦ TTY: 703-324-3903  
Email: [clerktothebos@fairfaxcounty.gov](mailto:clerktothebos@fairfaxcounty.gov)  
<http://www.fairfaxcounty.gov/bosclerk>

- Approved a deviation from the tree preservation target requirement of the Public Facilities Manual.
- Directed staff to send a written request to the Virginia Department of Transportation (VDOT) urging that it retain the existing access for a southbound left turn into the service station and fast food restaurant [located at Tax Map 99-1 ((1)) 4 and 5D] until such time as all access options to southbound and northbound Loisdale Road are evaluated by VDOT, and that staff send a draft of that letter to Supervisor Hyland and Supervisor McKay for their co-signatures.

Sincerely,



Nancy Velus  
Clerk to the Board of Supervisors  
NV/ph  
Enclosure

Cc: Chairman Sharon Bulova  
Supervisor Jeffrey McKay, Lee District  
Janet Coldsmith, Director, Real Estate Division, Dept. of Tax Administration  
Barbara Berlin, Director, Zoning Evaluation Division, DPZ  
Diane Johnson-Quinn, Deputy Zoning Administrator, Dept. of Planning and Zoning  
Thomas Conry, Dept. Manager. – GIS - Mapping/Overlay  
Angela K. Rodeheaver, Section Chief, Transportation. Planning Division  
Ken Williams, Plans & Document Control, ESRD, DPWES  
Department of Highways-VDOT  
Sandy Stallman, Park Planning Branch Manager, FCPA  
Charlene Fuhrman-Schulz, Development Officer, DHCD/Design Development Division  
District Planning Commissioner  
Denise James, Office of Capital Facilities/Fairfax County Public Schools  
Karyn Moreland, Chief Capital Projects Sections, Dept. of Transportation

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium in the Government Center at Fairfax, Virginia, on the 7th day of June, 2011, the following ordinance was adopted:

**AN ORDINANCE AMENDING THE ZONING ORDINANCE  
PROPOSAL NUMBER RZ 2010-LE-020**

**WHEREAS**, FB Property, LLC, (A Virginia Limited Liability Company), filed in the proper form an application requesting the zoning of a certain parcel of land herein after described, from the C-8 and R-1 Districts to the PDC District, and

**WHEREAS**, at a duly called public hearing the Planning Commission considered the application and the propriety of amending the Zoning Ordinance in accordance therewith, and thereafter did submit to this Board its recommendation, and

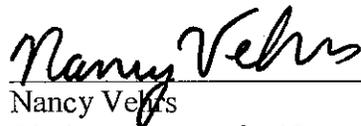
**WHEREAS**, this Board has today held a duly called public hearing and after due consideration of the reports, recommendation, testimony and facts pertinent to the proposed amendment, the Board is of the opinion that the Ordinance should be amended,

**NOW, THEREFORE, BE IT ORDAINED**, that that certain parcel of land situated in the Lee District, and more particularly described as follows (see attached legal description):

Be, and hereby is, zoned to the PDC District, and said property is subject to the use regulations of said PDC District, and further restricted by the conditions proffered and accepted pursuant to Va. Code Ann., 15.2-2303(a), which conditions are in addition to the Zoning Ordinance regulations applicable to said parcel, and

**BE IT FURTHER ENACTED**, that the boundaries of the Zoning Map heretofore adopted as a part of the Zoning Ordinance be, and they hereby are, amended in accordance with this enactment, and that said zoning map shall annotate and incorporate by reference the additional conditions governing said parcel.

GIVEN under my hand this 7<sup>th</sup> day of June, 2011.



Nancy Velts  
Clerk to the Board of Supervisors



**PROFFER STATEMENT**  
**RZ/FDP 2010-LE-020**  
**May 23, 2011**

Pursuant to Section 15.2-2303(a) Code of Virginia, 1950, as amended, FB Property, LLC (hereinafter referred to as the "Applicant"), for the owners, itself, successors and assigns in RZ/FDP 2010-LE-020, filed for property identified as Tax Map 99-1 ((1)) 5A and 6 (hereinafter referred to as the "Application Property") hereby proffers the following, provided that the Board of Supervisors approves a rezoning of the Application Property from R-1 Residential and C-8 Highway Commercial, respectively, to the PDC District in conjunction with a Conceptual/Final Development Plan ("CDP/FDP") for a hotel. These proffers shall replace and supersede all previous proffers, if any, approved on the Application Property.

1. Substantial Conformance: Subject to the proffers and the provisions of Article 16 of the Zoning Ordinance, under which minor modifications per Section 16-404 of the Zoning Ordinance to an approved development plan are permitted as determined by the zoning administrator, the development shall be in substantial conformance with the CDP/FDP containing sixteen (16) sheets prepared by Christopher Consultants and Cooper Carry, Inc., dated October 27, 2010, as revised through May 23, 2011.
2. Building Elevations and Materials: The building elevations and materials on all sides of the Embassy Suites Hotel (the "Hotel") shall be substantially in accordance with the approved conceptual elevations of the front and rear included in the CDP/FDP. The exterior of the ground floor of the Hotel shall be masonry, brick veneer or stone veneer, and the upper floors shall be commercial grade exterior insulating finishing system ("EIFS").

As shown on Sheets 5 and 5A of the CDP/FDP, the "Living Green" Retaining Wall at the northeast corner of the building will be modified from a retaining wall with a maximum height of 8 feet to an elevated exterior wall of the building up to a maximum height of 19 feet to facilitate a second level emergency egress. The façade of this wall will incorporate a living green element as noted on Sheets 5 and 5A of the CDP/FDP.

3. Stormwater Management:
  - a. Stormwater Treatment: Unless waived or modified by the Department of Public Works and Environmental Services ("DPWES"), the Applicant shall provide on-site stormwater management in accordance with the Public Facilities Manual ("PFM") designed with Best Management Practices in the facility shown on the CDP/FDP within an underground structure serving the Hotel, as is shown in the CDP/FDP subject to minor modifications. The maintenance of the underground facilities shall be the responsibility of the Applicant and its successors. The private ownership and maintenance responsibilities shall be disclosed in writing to future purchasers.
  - b. Adequate Outfall: To satisfy adequate outfall standards in accordance with the PFM, as determined by DPWES, at the time of site plan approval, the Applicant shall provide for onsite storm drainage pipes to convey storm water flows from the site to the existing

storm water drainage pipes located in the VDOT right-of-way of Loisdale Road – Route 789, as is shown in the CDP/FDP. The Applicant shall install the onsite outfall pipes needed to carry the stormwater in easements to be recorded in the land records maintained by the Clerk of the Circuit Court of Fairfax County, Virginia.

- c. Rainwater Collection: The Applicant shall install a rainwater collection system on the Application Property to collect stormwater subject to DPWES approval. The collected stormwater shall be used to supplement irrigation of landscaping installed on the Application Property.

4. Type and Physical Characteristics of Use:

- a. The primary use of the Application Property shall be a Hotel. An eating establishment, fast food restaurant, retail and rooftop telecommunications facilities may be permitted as ancillary uses on the property.
- b. The Hotel shall be 7 stories and contain approximately 183,218 gross square feet and a maximum of 219 suites; the ground level shall be “cellar” space as defined in the Zoning Ordinance and limited as shown on the CDP/FDP and, consequently, the gross floor area for the calculation of density is 138,906 gross floor area and the resulting Floor to Area Ratio is 0.70.
- c. Telecommunication Equipment: Antenna, satellite dishes, and other telecommunication facilities may be placed on the proposed building rooftops; however, any such facilities shall be screened and/or set back sufficiently from the perimeter of the roof and penthouse, such that they shall not be visible from the surrounding streets at street level. Other screening measures may be used, such as including the facilities as part of the architecture of the building, utilizing compatible colors, or employing telecommunication screening material, and flush-mounted antennas.

5. Retail Area : The Applicant shall be able to locate, attached to the ground floor, up to 1,475 square feet for retail or other commercial use supporting the Hotel. Such use may include, but not be limited to, a coffee shop or shipping/copy store. The Applicant shall use reasonable commercial efforts to lease the supportive retail space for the identified supportive retail uses. In the event the space cannot be leased for supportive retail uses, the Applicant shall be able to use the space for general hotel purposes.

6. Transportation Improvements and Transportation Demand Management (“TDM”) Strategies: The Applicant shall design and construct the following transportation improvements and implement TDM strategies, in addition to those improvements otherwise required by the County and VDOT pursuant to law:

- a. Loisdale Road/Newington Road Intersection: Primary access to the Application Property shall be provided at the intersection of Loisdale Road and Newington Road, as shown on the CDP/FDP and in accordance with the recommendations of the Comprehensive Plan. Said improvements shall be designed and substantially constructed prior to the issuance of a Non-Residential Use Permit (“Non-RUP”) for the Hotel. Improvements to be

provided in conjunction with the provision of access at this location include the following:

- i. Closure and relocation of the existing site access on Loisdale Road located approximately 450 feet south of Newington Road.
  - ii. Modification of the existing signal at Newington Road/Loisdale Road to accommodate the new site access and pedestrian crossing.
  - iii. Provision of a left turn lane on northbound Loisdale Road at the planned site entrance to provide storage and a taper substantially as shown on the CDP/FDP. The Applicant, if requested by VDOT during the site plan approval for the Hotel, shall adjust the stacking area of this left turn lane in order to allow future construction (by others) of a stacking area for a "left in" and/or a "left out" turn for the benefit of the businesses on the east side of Loisdale Road. The Applicant shall have no responsibility to design or construct the stacking area for the "left in" and/or "left out" serving the business on the east side of Loisdale Road. Upon completion of construction by Applicant of the northbound left turn lane serving the Hotel, the Applicant shall have no further obligation to make any design changes or construction modifications of this left turn lane.
  - iv. Provision of a right-turn deceleration lane on southbound Loisdale Road at the planned site entrance to provide for storage and a taper substantially as shown on the CDP/FDP.
- b. Northern Site Access: The Applicant shall, prior to the issuance of a non-RUP for the Hotel, construct a right-in only entrance at the northern end of the site to a standard as may be approved by VDOT and as generally shown on Sheet 5 of the CDP/FDP. In the alternative, if DPWES, in consultation with the Fairfax County Department of Transportation ("FCDOT"), VDOT and the Lee District Supervisor's office, shall determine, prior to Site Plan approval, that a right-in/right-out intersection shall be constructed, then the Applicant shall construct such an intersection, as shown on Sheet 5A of the CDP/FDP. If, in order to construct a right-in only entrance, an amendment to the County's Comprehensive Plan is required, the Applicant shall pursue an out-of-turn amendment to the Comprehensive Plan after the rezoning process.
  - c. Bus Shelter Pad: Prior to issuance of the Non-RUP for the Hotel, the Applicant shall construct a bus shelter pad and any related sidewalk modifications for a bus stop along the property's frontage in a location coordinated with and approved by the FCDOT, but which, in any event, shall be no closer than 100 feet north of the main entrance opposite Newington Road.
  - d. Trail: The Applicant agrees to provide a ten (10) foot wide asphalt trail as shown on the CDP/FDP; the portion of the trail from the Main intersection northward to the end of the property along Loisdale Road may be eliminated if during Site Plan Review the County deems it not desirable.

- e. Dedication of right-of-way. As shown in the area depicted on the CDP/FDP, the Applicant shall reserve for future dedication approximately 120 gross square feet of right-of-way along the property's Loisdale Road frontage, as generally shown in the CDP/FDP, for the future construction by others of an additional southbound left-turn lane on Loisdale Road at the Fairfax County Parkway subject to VDOT approval. Such dedication shall not require a modification of the CDP/FDP. Dedication of right-of-way shall be in fee simple without encumbrance to the Board of Supervisors. In addition, the Applicant shall grant ancillary 10-foot temporary construction easements along the property's Loisdale Road frontage if required to facilitate said future construction. The dedication and easements shall be provided at the time of site plan approval, or upon written request from Fairfax County Board of Supervisors whichever first occurs.

If the left turn lane noted above, which is to be constructed by others, does not include a raised median in order to allow "left outs" for the benefit of the businesses on the east side of Loisdale Road, VDOT may, in the future, determine that there should be a raised median in Loisdale Road due to safety reasons. Such determination shall be made by VDOT, after consultation with the Lee Magisterial District Supervisor, the Mt. Vernon Magisterial District Supervisor, FCDOT and the Community. Final configuration of the median shall be determined by VDOT.

- f. Substantially Complete: For purposes of this proffer, the term "substantially complete" shall mean constructed and available for use by the public, but not necessarily accepted by VDOT for maintenance.
- g. Transportation Demand Management Program:
- i. This Proffer sets forth a program for a Transportation Demand Management Plan (the "TDM Plan") that shall be implemented by the Applicant to encourage the use of transit (Metrorail and bus), other high-occupancy vehicle commuting modes, walking and biking, all in order to reduce automobile trips generated by the Application Property:
- (a) Program Manager. Thirty (30) days after issuance of a building permit for the Application Property, the Applicant shall designate an individual to act as the Program Manager ("PM") for the Hotel, whose responsibility will be to implement the TDM strategies. The duties of the PM may be part of other duties assigned to the individual(s). The Applicant shall participate in available Springfield area-wide TDM programs (if available), activities and transportation improvement endeavors provided by Fairfax County, and other various stakeholders in the area, if also available.
- (b) TDM Plan. Ninety (90) days after the appointment of the PM, the PM shall submit to FCDOT for review and approval, the TDM Plan to be implemented for the Application Property. The TDM Plan, and any amendments thereto, shall include, but not be limited to, provisions for the following with respect to the Application Property.

- Information Dissemination. The PM shall make Metrorail and bus maps, schedules and forms, ridesharing and other relevant transit option information available to Hotel employees, visitors, and guests in a common area; such as the central lobby, community room, and/or Hotel management office. The PM shall also make multi-modal transportation information available as part of in-room service guides, or Hotel information through the closed-circuit television system to its Hotel guests.
- Ride Matching. The PM shall coordinate and assist with vanpool and carpool formation programs, ride matching services, and established guaranteed ride home programs for employees.
- High Speed Internet Data. Hotel guests shall be provided access to high speed internet data.
- Teleworking. Encourage Hotel guests to telework through the utilization of high capacity data/network connections available through their employers.
- Board Room. The Applicant shall continually provide a minimum of 400 square feet of space for use by Hotel guests to meet with business associates on site.
- Car Sharing Information. The PM shall make information available regarding the availability of car sharing program(s) to Hotel employees, visitors, and guests (such as ZipCar).
- Preferential Parking. The Applicant shall provide preferential Hotel parking for car/van pools within the Application Property.
- Shuttle Service. The Applicant shall coordinate and/or provide, through other services, the opportunity for both Hotel guests and employees to utilize shuttle services to the Franconia Springfield Metrorail station, or elsewhere, during the A.M. and P.M. peak hours.
- Coordination. The PM shall work with FCDOT, and any other transportation management entities established in the local area of the development, to promote alternatives to single-occupant automobile commuter trips.
- Wayfinding. The Applicant shall provide signage which directs traffic leaving the Hotel to Interstate 95 and the main gate of Fort Belvoir and directs guest traffic entering the Hotel to use the main entrance at Newington Road. Any such signage placed in a VDOT right-of-way shall be subject to VDOT approval.

If FCDOT has not responded with any comments to the PM within sixty (60) days of receipt of the TDM Plan, the TDM Plan shall be deemed to be approved and the Applicant, through the PM, shall implement the TDM Plan.

- ii. The Applicant shall provide a SmarTrip card, with a value of twenty-five dollars (\$25.00) to each Hotel employee at the time of initial employment and, if requested, continue to provide a card of the same value on a monthly basis to employees.
- iii. The Applicant shall become a member of TAGS and pay annual dues. As a member of TAGS, the Applicant shall use best efforts to modify and/or enhance existing TAGS bus routes to serve the Application Property.
- iv. The Applicant shall provide a secure area to accommodate a minimum of ten (10) bicycles.
- h. Prior to Site Plan approval, the Applicant shall provide an escrow of twenty-five thousand dollars (\$25,000.00) toward a future additional southbound left turn lane from southbound Route 7100 onto northbound Loisdale Road.
- i. The Applicant shall contribute fifty thousand dollars (\$50,000) to the County to be used towards the cost of designing and constructing a second left turn lane from southbound Loisdale Road onto southbound Route 7100, as referenced in Section 6.e. Such funds shall be contributed no later than thirty (30) days after Site Plan approval.
- j. The Applicant shall contribute, prior to the issuance of the Non-RUP for the Hotel, two thousand five hundred (\$2,500) dollars for use in traffic calming measures in the Newington Residential subdivision.
- k. All traffic improvements shall be designed and constructed in compliance with VDOT standards (or as may be modified) in effect at the time of Site Plan approval.

7. Green Building Practices:

- a. The Applicant shall include a U.S. Green Building Council ("USGBC") Leadership in Energy and Environmental Design ("LEED") accredited professional as a member of the design team. This professional shall also be a professional engineer, landscape architect, or architect. The LEED accredited professional shall work with the team to incorporate sustainable design elements and innovative technologies into the project, with the goal of having the project attain LEED certification. At the time of site plan submission, the Applicant shall provide documentation to the Environment and Development Review Branch of DPZ demonstrating compliance, with the commitment to engage such a professional.
- b. The Applicant shall include for information, as part of the site plan submission and building plan submission, a LEED Scorecard, listing specific credits within the latest version of the USGBC LEED New Construction (LEED -NC) rating system in effect at the time of site plan submission that the Applicant anticipates attaining. A professional

engineer, landscape architect, or architect will provide certification statements at both the time of site plan review and the time of building plan review, confirming that the items on the list are consistent with LEED certification credits.

- c. Prior to site plan approval, the Applicant shall designate the Chief of the EDRB of DPZ as a team member in the USGBC's LEED online system. This team member will have privileges to review the project status and monitor the progress of all documents submitted by the project, team, but will not be assigned responsibility for any LEED credits, will not be provided with the authority to modify any documentation or paperwork, and shall not provide any documentation or paperwork to the public unless written permission is provided by the Applicant.
- d. LEED certification.
  - Prior to the issuance of a building permit, the Applicant shall execute a separate agreement and post a "green building escrow," in the form of cash or a letter of credit from financial institute acceptable to DPWES as defined in the Public Facilities Manual, in the amount of thirty thousand dollars (\$30,000.00). This escrow shall be in addition to and separate from other bond requirements and shall be released upon demonstration of attainment of LEED Certification, by the USGBC, under the version of the USGBC's LEED-NC rating system in effect at time of site plan submission. The provision of documentation to the EDRB of DPZ from the USGBC that the hotel has attained LEED Certification shall be sufficient to satisfy this commitment
  - If, within one (1) year of the issuance of the Non-RUP for the hotel, the Applicant provides to the EDRB of DPZ documentation demonstrating that LEED Certification for the hotel has not been attained, but that the hotel has been determined by the USGBC to fall within three (3) points of attainment of LEED Certification, 50% of the escrow shall be released to the Applicant, and the other 50% shall be released to Fairfax County and will be posted to a fund within the County budget supporting implementation of County environmental initiatives. However, if the Applicant provides documentation demonstrating, to the satisfaction of the EDRB of DPZ, that USGBC completion of the review of the LEED Certification application has been delayed through no fault of the Applicant and/or the Applicant's contractors or subcontractors, this proffered time frame shall be extended for one (1) year, and no release of escrowed funds shall be made to the Applicant or to Fairfax County during the extension unless the Applicant provides documentation from the USGBC to ERDB within this time frame that the LEED Certification has been obtained. After this one (1) year extension, additional one (1) year extensions may be granted if the Applicant provides documentation at the end of the previous one (1) year extension period demonstrating, to the satisfaction of EDRB of DPZ, that USGBC completion of the review of the LEED Certification application has continued to be delayed through no fault of the Applicant or the Applicant's contractors or subcontractors.
  - Should the Applicant fail to provide documentation to the EDRB of DPZ demonstrating attainment of LEED Certification within one (1) year of issuance of the Non-RUP for the hotel, and no extensions have been granted as described herein, the

escrow shall be released to Fairfax County and will be posted to a fund within the County budget supporting implementation of County environmental initiatives.

- e. Within six (6) months of the issuance of a Non-RUP, the Applicant shall provide to the EDRB of DPZ a letter from a LEED-accredited professional certifying that a green building maintenance reference manual has been prepared for use by future building owners, managers and operators and that this manual, at a minimum
    - provides a narrative description of the green building component, including a description of the environmental benefits of that component and including information regarding the importance of maintenance and operation in retaining the attributes of a green building;
    - provides, where applicable, product manufacturer's manuals or other instructions regarding the operations and maintenance needs for the green building component, including operational practices that can enhance energy and water conservation;
    - provides, as applicable, either or both of the following: (1) a maintenance staff notification process for improperly functioning equipment; and/or (2) a list of local service providers that offer regularly scheduled service maintenance contracts to assure proper performance of green building-related equipment and the features, sealants, and caulks; and
    - provides contact information that building occupants can use to obtain further guidance on each green building component. Within six (6) months of the issuance of the Non-RUP, the Applicant shall provide an electronic copy of the manual in pdf format to the Environment and Development Review Branch of DPZ.
  - f. All references to the USGBC shall apply to similar certifying agencies presently in place, or that are created subsequent to approval of this rezoning application, provided that the alternative certifying agency is acceptable to Fairfax County and the Applicant.
8. Density Credit: The Applicant shall retain the density and/or development rights associated and in accordance with the Zoning Ordinance with all eligible dedications as shown on the CDP/FDP, or as may be required by Fairfax County and/or VDOT as part of their approval of the site plan for the Hotel.
9. Environmental:
- a. Landscape Plan and Maintenance Agreement: A landscape plan shall be submitted as part of the initial submission of the site plan for the Hotel, and as part of each subsequent submission of such site plan, and shall be coordinated with and approved by the Urban Forest Management Division ("UFM") and DPWES. This landscape plan shall be in substantial conformance with the landscape concepts illustrated on the CDP/FDP. Exact location and type of plantings may be modified based on utility location, sight distance easements, and final engineering details as determined by the UFM — provided the modifications are in substantial conformance with the CDP/FDP.

The Urban Forest Management, Division, DPWES, or Director of DPWES is directed to permit a deviation from the tree preservations target percentage to the extent requested in the CDP/FDP.

b. Stormwater Management Facilities/Best Management Practices Techniques/Low Impact Development: As shown in the CDP/FDP, SWMs, and BMPs shall be provided, as determined by DPWES, in a combination of an underground SWM/BMP facility and individual BMP facilities. At the time of the site plan, the Applicant may incorporate Low-Impact Development features into the site design. Examples include, but are not limited to, the use of vegetated swales, natural open space, or Filterstrips.

c. Lighting and Noise:

i. All lighting standards shall comply with Zoning Ordinance Article 14, Part 9, Outdoor Lighting Standards, unless such standards conflict with requirements imposed by the Federal Aviation Administration ("FAA"), in which case such FAA requirements shall govern.

ii. Prior to final site plan approval, the Applicant shall submit a noise analysis based on final site grades and future traffic volumes to DPZ for review and approval, in accordance with the established guidelines for noise analysis at the time of rezoning approval. The noise analysis shall utilize standard measures to evaluate noise, and shall demonstrate that exterior noise within outdoor recreational areas is reduced to below DNL 65 dBA. In order to reduce interior noise to a level of no greater than DNL 45 dBA within a highway noise impact zoning of DNL 65-70 dBA, the Applicant shall employ the following acoustical treatment measures:

(a) Exterior walls shall have a laboratory sound transmission class ("STC") rating of at least 39.

(b) Doors and windows shall have a laboratory STC rating of at least 28, unless windows constitute more than 20% of any façade exposed to noise levels of DNL 65 dBA or above. If glazing constitutes more than 20% of an exposed façade, then the windows should have a STC rating of at least 39.

(c) All surfaces shall be sealed and caulked in accordance with methods approved by the American Society for Testing and Materials ("ASTM") to minimize sound transmission.

Prior to issuance of building permits, the Applicant reserves the right to pursue other methods of mitigating noise impacts that can be demonstrated through an independent noise study, as reviewed and approved by DPZ, that these methods will be effective in reducing noise levels to DNL 45 dBA Ldn or less. Should the highway noise impact zone exceed DNL 70 dBA, the Applicant shall employ additional treatment measures as approved by DPZ to achieve an interior noise level of approximately DNL 45 dBA.

d. Right-of-Way Landscaping: The Applicant shall provide, subject to approval of a

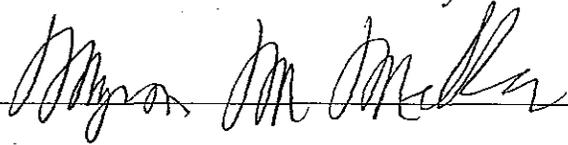
license agreement by VDOT, trees and shrubs in the VDOT right-of-way bordered by Loisdale Road and the Fairfax County Parkway, and landscaping in the VDOT right-of-way on Loisdale Road fronting the Application Property.

- e. Tree Preservation and Proposed Tree Coverage: The proposed 11 percent tree coverage requirement shall be met through on-site tree planting, as illustrated on the Landscape Plan on page 6 of the CDP/FDP, as determined by UFM and DPWES.
10. Parks and Recreation: The Applicant shall contribute the sum of fifteen thousand dollars (\$15,000) to the Board of Supervisors for transfer to the Fairfax County Park Authority, at the time of site plan approval, to be used to help construct a park(s) in the Authority service district of the Lee Magisterial District.
11. Signage: All signage on the Application Property shall conform to the requirements of Article 12 of the Zoning Ordinance. Specifically, the Applicant intends to provide a monument sign, as shown on the CDP/FDP, as well as Hotel signs and signs for the supporting retail, the approximate locations, and conceptual designs of which are shown in the CDP/FDP. No temporary signs (including "Popsicle" style paper or cardboard signs), which are prohibited by Article 12 of the Zoning Ordinance, and no signs that are prohibited by Chapter 7 of Title 33.1 or Chapter 8 of Title 46.2 of the Code of Virginia, shall be placed on or off-site by the Applicant. The Applicant shall also provide directional signs in accordance with Article 12 of the Zoning Ordinance to facilitate vehicular and pedestrian movements through the Application Property and towards Interstate 95 and the main gate of Fort Belvoir.
12. Energy Conservation: Suites constructed on the Application Property shall meet thermal guidelines of the Virginia Power Energy Saver Program for energy-efficient homes, or its equivalent, as determined by DPWES.
13. Successors and Assigns: These proffers will bind and inure to the benefit of the Applicant and his/her successors and assigns.
14. Counterparts: These proffers may be executed in one or more counterparts, each of which, when so executed and delivered, shall be deemed an original document, and all of which taken together, shall constitute but one in the same instrument.
15. Escalation: All monetary contributions required by the Proffers shall be annually adjusted on January 1 upwards or downward, based on changes to the Marshall and Swift Building Cost Index, subsequent to the date of the Board of Supervisors' approval of this rezoning, and up to the date of payment.

**[SIGNATURES BEGIN ON NEXT PAGE]**

PROFFER STATEMENT  
RZ/FDP 2010-LE-020

FB Property, LLC

By: 

Name: Myron M. Miller

Title: Member and Co-Manager

Date: Monday, May 23, 2011

PROFFER STATEMENT  
RZ/FDP 2010-LE-020

E. V. Hunter Trust, for the benefit of  
Edith H. Rameika

By: Edith H. Rameika - Trustee

Name: Edith H. Rameika

Title: Edith H. Rameika, Trustee, as the Successor Trustee  
of the E.V. Hunter Trust, for the benefit of  
Edith H. Rameika

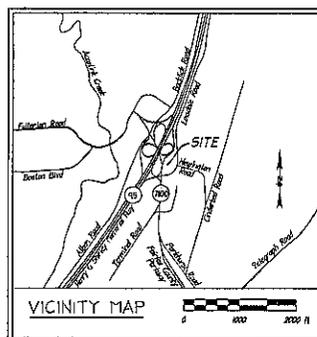
Date: 5/23/11

DATE	REVISION

CONCEPTUAL DEVELOPMENT PLAN  
 FINAL DEVELOPMENT PLAN  
 RZ/FDP 2010-LE-020

EMBASSY SUITES – SPRINGFIELD

LEE DISTRICT  
 FAIRFAX COUNTY, VIRGINIA



SHEET INDEX

1. COVER SHEET
2. NOTES & TABULATIONS
3. EXISTING CONDITIONS PLAN
4. EXISTING VEGETATION MAP/TREE PRESERVATION
5. CONCEPTUAL DEVELOPMENT PLAN/FINAL DEVELOPMENT PLAN
- 5A. CONCEPTUAL DEVELOPMENT PLAN/FINAL DEVELOPMENT PLAN - ALTERNATIVE DESIGN OPTION
6. LANDSCAPE PLAN
7. OPEN SPACE PLAN
8. BMP AND SWM COMPUTATIONS
9. OVERALL DRAINAGE DIVIDES MAP AND ADEQUATE OUTFALL ANALYSIS
10. RIGHT OF WAY SKETCH AND DETAILS
11. SITE DISTANCE AND RIGHT TURN LANE PLAN AND PROFILE
12. SITE ILLUSTRATIVE
13. BUILDING ELEVATIONS
14. BUILDING SECTIONS
15. SIGNAGE DETAILS

DATE OF FIRST SUBMISSION: October 27, 2010  
 DATE OF SECOND SUBMISSION: December 15, 2010  
 DATE OF THIRD SUBMISSION: February 16, 2011  
 DATE OF FOURTH SUBMISSION: March 17, 2011  
 DATE OF FIFTH SUBMISSION: March 25, 2011  
 DATE OF SIXTH SUBMISSION: May 23, 2011  
 (The purpose of this re-submission  
 is for a revised note on Page 10.)

ARCHITECT  
 COOPER CARRY, INC.  
 625 NORTH WASHINGTON STREET, SUITE 200  
 ALEXANDRIA, VA  
 ph: 703-519-6192

APPLICANT/DEVELOPER  
 FB PROPERTY, LLC  
 4643 SOUTH ULSTER STREET, SUITE 1500  
 DENVER, CO 80237  
 ph: 303-773-0369, fax: 303-694-0082



PREPARED BY:  
**christopher consultants**  
 engineering • surveying • land planning  
 9520 main street (south side) • springfield, va 22151-1007  
 703-573-8626 • fax 703-573-7636



**ZONING NOTES**

1. THE SUBJECT PROPERTY IS IDENTIFIED ON FAIRFAX COUNTY ASSESSMENT MAP '94-1 (11), PARCELS 24 AND 25.
2. THE EXISTING ZONING OF THE SUBJECT PROPERTY IS SP17-1000, COMPRISED OF PARCEL 24 AS R-1 (RESIDENTIAL 1/4 AC) AND PARCEL 25 AS C-3 (COMMERCIAL).
3. FOR THE PURPOSES OF THIS APPLICATION, THE TOTAL SITE AREA OF THE PROPERTY IS 16,438 SQUARE FEET OR 4.338 ACRES. THE REAL ESTATE DIVISION OF THE FAIRFAX COUNTY DEPARTMENT OF TAX ADMINISTRATION LISTS THE AREA OF THIS PROPERTY WITHIN THEIR TAX RECORDS AS 16,492 SQUARE FEET.
4. THE OWNER OF THE PROPERTY IS E.V. HUNTER TRUST.
5. THE APPLICANT/OWNER OF THE PROPERTY IS FB PROPERTY, LLC.
6. THE PROPOSED ZONING OF THE SUBJECT PROPERTY IS PDC (PLANNED DEVELOPMENT COMMERCIAL).
7. THE EXISTING PROPERTY USE IS A TWO-STORY HOTEL. THE EXISTING HOTEL WILL BE RAZED AND THIS SUBMISSION IS A REZONING APPLICATION FOR A PROPOSED 200 ROOM MULTI-STORY HOTEL WITH 1,475 SF OF SUPPORTIVE RETAIL AND RELATED ON-SITE PARKING.
8. THE NECESSARY SURVEY IS BASED ON A FIELD SURVEY PERFORMED BY CONSULTANTS CONSULTANTS, LTD. IN JULY, 2001.
9. TOPOGRAPHIC INFORMATION IS FROM A FIELD RUN TOPOGRAPHIC SURVEY BY CHRISTOPHER CONSULTANTS, LTD. IN JULY, 2001. THE CONTIGUOUS INTERVAL IS 100 (2) FEET.
10. THE PROPERTY SHOWN HEREIN IS LOCATED ON F.E.P.L.A. MAP CONVEYANCE PANEL NUMBER 3855 0350 DATED MARCH 15, 1993. DESIGNATOR AS ZONE X, AREAS DETERMINED TO BE OUTSIDE 600-TEAR FLOODPLAIN.
11. TITLE REPORT (HUBBARD) FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER 10000044, EFFECTIVE DATE IS 2/20 AT 8:00 A.M.
12. THE SUBJECT PROPERTY IS LOCATED IN LEE DISTRICT AND THE ACCOTINK CREEK WATERSHED OF FAIRFAX COUNTY, VA. REFER TO SHEETS 4 AND 9 FOR INFORMATION AND MATERIALS FOR STORM WATER MANAGEMENT (SWM), BEST MANAGEMENT PRACTICES (BMP) AND STORM DRAIN OUTFALL.
13. THE SUBJECT PROPERTY IS SERVED BY FAIRFAX COUNTY PUBLIC WATER AND SEWER.
14. TO THE BEST KNOWLEDGE OF THE ENGINEER AND DEVELOPER, THERE ARE NO EXISTING CHANNELED OR BURIAL SITES LOCATED ON THE PROPERTY.
15. A PHASE I ENVIRONMENTAL SITE ASSESSMENT STUDY (DATED AUGUST 9, 2001) AND A HAZARDOUS MATERIALS ASSESSMENT STUDY (DATED AUGUST 12, 2001) FOR THE SITE HAS BEEN COMPLETED BY TCS ENVIRONMENTAL, LLC. IN SUMMARY, THE FOLLOWING MATERIALS WERE FOUND ON SITE TO VARYING DEGREES: ASBESTOS, LEAD-BASED PAINT, PCB'S, MERCURY CONTAINING COMPONENTS, REFRIGERANTS AND LEAD-ACID BATTERIES. REFER TO THE ABOVE STUDIES FOR MORE DETAILS AND RECOMMENDATIONS.
16. THERE IS NO EVIDENCE OF EXISTING UTILITY EXISTENTS HAVING A WIDTH OF 24 FEET OR MORE ON THIS PROPERTY.
17. NO ADVERSE EFFECTS TO ADJACENT NEIGHBORING PROPERTIES ARE ANTICIPATED WITH THIS PROJECT. THIS DEVELOPMENT PROPOSAL IS COMPATIBLE WITH THE EXISTING DEVELOPMENT IN THE VICINITY OF THIS SITE.
18. THERE ARE NO SCENIC ASSETS OR NATURAL FEATURES DESERVING OF PROTECTION AND PRESERVATION ON THE SUBJECT PROPERTY.
19. TO THE BEST KNOWLEDGE OF THE ENGINEER AND DEVELOPER, THIS CONCEPTUAL DEVELOPMENT PLAN/FINAL DEVELOPMENT PLAN CONFORMS TO ALL APPLICABLE ORDINANCES, REGULATIONS AND ADJUTED STANDARDS, INCLUDING THE ADJUTED CONCEPTUAL PLAN FOR THE COUNTY, UNLESS OTHERWISE SPECIFICALLY NOTED.
20. THE COUNTDOWN TRAILS PLAN CALLS FOR A MAJOR PAVED TRAIL (ASPHALT/CONCRETE) - 8 FEET OR MORE (4) HOTELS) ALONGSIDE THE EASTERN SIDE OF LOISDALE ROAD THAT CUTS ACROSS ON TO THE SOUTHERN PORTION OF THIS PROPERTY AND HEADS WESTWARD.
21. THE PUBLIC IMPROVEMENTS ANTICIPATED WITH THIS PROJECT INCLUDE A LEFT-TURN LANE ON WESTWARD LOISDALE ROAD AT THE MAIN PLANNED SITE ENTRANCE, A RIGHT-TURN DECELERATION LANE ON SOUTHWEST LOISDALE ROAD AT THE MAIN PLANNED SITE ENTRANCE, A TRAIL/BIKEWAY IMPROVEMENT ALONG A PORTION OF THE FRONTAGE OF THE PROPERTY ALONG LOISDALE ROAD, THE PEDESTRIAN CROSSWALK BRIDGING (AS SHOWN ON THE PLAN ON SHEET 5) AT THE PROPOSED MAIN ENTRANCE AND INTERSECTION WITH NEWINGTON ROAD, AND THE PROPOSED BUS STOPPING AREA ALONG LOISDALE ROAD.
22. NOTWITHSTANDING THE IMPROVEMENTS AND REGULATIONS SHOWN ON THIS PLAN, THE APPLICANT RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THE FINAL DESIGN TO CONPLY WITH FINAL ENGINEERING AND NON-COVERED REGULATIONS WHICH MAY BE ADOPTED BY FAIRFAX COUNTY SUBSEQUENT TO THE SUBMISSION OF THIS APPLICATION, PROVIDED THAT SUCH MODIFICATIONS ARE CONSISTENT WITH THE APPROVED CONCEPTUAL DEVELOPMENT PLAN/FINAL DEVELOPMENT PLAN.
23. THE BUILDING FOOTPRINT AND SITE IMPROVEMENTS SHOWN HEREIN ARE PRELIMINARY. FINAL BUILDING FOOTPRINT AND SITE IMPROVEMENTS WILL BE CONFIGURED AT THE TIME OF SITE PLAN APPROVAL, SUBJECT TO MARKET CONDITIONS, BUT SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED CONCEPTUAL DEVELOPMENT PLAN/FINAL DEVELOPMENT PLAN.
24. THE LIMITS OF CLEARING AND GRADING EXTEND TO AND GENERALLY COINCIDE WITH THE PROPOSED PROPERTY LINES. THE FINAL BUILDING LOCATION AND FOOTPRINT WILL ADHERE TO THESE LIMITS OF CLEARING AND GRADING.
25. ARCHITECTURAL ELEVATIONS AND RENDERINGS INCLUDED WITH THIS APPLICATION ARE CONCEPTUAL ILLUSTRATIONS ONLY, INTENDED TO SHOW THE GENERAL INTENT AND CHARACTER OF THE PROPOSED DEVELOPMENT. THE DEVELOPMENT INCLUDES AN OUTDOOR PLAY AREA AND A PROPOSED TRAIL AS ADJUTED AREAS. THESE PROPOSED ADJUTED AREAS SHOWN MAY VARY WITH FINAL BUILDING DESIGN AND SITE PLAN ENGINEERING.
26. CONSTRUCTION OF THE PROPOSED DEVELOPMENT WILL COMMENCE AS SOON AS NECESSARY APPROVALS ARE OBTAINED, SUBJECT TO MARKET CONDITIONS AND DISCRETION OF THE OWNER.
27. PROPOSED SIGNAGE SHALL CONFORM TO ARTICLE 22 OF THE ZONING ORDINANCE. REFER TO SHEET 5 FOR SIGNAGE INFORMATION.

**WAIVERS AND MODIFICATIONS**

1. A MODIFICATION IS BEING REQUESTED FOR THE TRAIL REQUIREMENTS PER THE FAIRFAX COUNTY CONCEPTUAL PLAN (LEADING ORDINANCE IT-2012). IN LIEU OF THIS REQUIREMENT, THE APPLICANT PROPOSES A 40 FOOT WIDE SIDEWALK/BIKEWAY ALONG THE FRONTAGE OF THE PROPERTY FROM THE NORTHWEST CORNER PROPERTY CORNER TO THE PROPOSED TRAIL ENTRANCE OF THE PROPERTY (NEWINGTON ROAD INTERSECTION) WITH PEDESTRIAN CROSSWALK STRIPING ACROSS THE PROPOSED INTERSECTION TO CONNECT WITH THE EASTING TRAIL ON THE OPPOSITE SIDE OF LOISDALE ROAD.
2. A MODIFICATION IS BEING REQUESTED FOR TRAIL REGULATIONS FOR LOTS ADJUTED CERTAIN PRINCIPAL METERS. HOWEVER, THE ZONING ORDINANCE 2-2012, THE REGULATION IS FOR THE RESIDUAL REQUIREMENT FROM THE RIGHTS-OF-WAY OF INTERSTATE 76 TO THE PRINCIPAL BUILDING ON SITE (HOTEL SUPPORTIVE RETAIL).
3. A MODIFICATION IS BEING REQUESTED FOR THE PERIPHERAL PARKING LOT LANDSCAPING REQUIREMENT WHERE THE PROPERTY LINE ADJUTS THE RIGHT-OF-WAY OF A STREET (ZONING ORDINANCE 3-2011). ALONG THE REAR AND SIDES OF THE PROPERTY, THE LANDSCAPE STRIP WILL VARY IN WIDTH WITH ONE ROW TREES PLANTED IN THE LANDSCAPE STRIP AS SHOWN ON SHEET 5 OF THIS PLAN SET. THE TRAIL OR FOOT LANDSCAPE STRIP ALONG WITH THE REQUIRED TREES (1 TREE PER 40 FEET) WILL BE PROVIDED IN THE LANDSCAPE STRIP ALONG THE FRONT OF THE PROPERTY ADJUTED TO LOISDALE ROAD.
4. A MODIFICATION IS BEING REQUESTED FOR THE PERIPHERAL PARKING LOT LANDSCAPING SPACES FOR HOTEL-SUPPORTIVE RETAIL USE (ZONING ORDINANCE 3-2011). TWO LOADING SPACES WILL BE PROVIDED AS THIS IS OUTRIGHT FOR THESE USES.
5. A WAIVER IS BEING REQUESTED FOR THE TRANSITIONAL SCREENING AND BARRIER REQUIREMENTS BETWEEN THIS PROPOSED USE AND THE PROPERTY TO THE EAST WHICH IS ZONED R-1 (ZONING ORDINANCE 3-2011). SINCE THE PROPERTY TO THE EAST IS CURRENTLY UNDER CONTRACT TO BE DEVELOPED FOR PLANNED OFFICE USE, WHICH IS CONSISTENT WITH THE CONCEPTUAL PLAN, TRANSITIONAL SCREENING AND A BARRIER REQUIREMENT WOULD NOT BE NECESSARY.

ZONING TABULATION REQUIREMENTS PDC (PLANNED DEVELOPMENT COMMERCIAL)		
SUBJECT PROPERTY IDENTIFIED AS:		
PARCEL NUMBER	EXISTING ZONING	ACREAGE
94-1 (11) 0006	C-3	13.01 AC
94-1 (11) 0005A	C-1	21.23 AC
ZONING REGULATIONS REQUIREMENTS:		
LOT SIZE REQUIREMENTS:		
MINIMUM DISTRICT SIZE:	DEVELOPMENT YIELD A MAXIMUM OF 100,000 SF OF GFA	
MINIMUM LOT AREA:	NO REQUIREMENT FOR EACH USE OR BUILDING	
MINIMUM LOT WIDTH:	NO REQUIREMENT FOR EACH USE OR BUILDING	
BULK REGULATION REQUIREMENTS:		
MAXIMUM BUILDING HEIGHT:	SHALL GENERALLY CONFORM TO THE PROVISIONS OF THE CONVENTIONAL ZONING DISTRICT WHICH MOST CLOSELY CHARACTERIZES THE PARTICULAR TYPE OF DEVELOPMENT PROPOSED	
MINIMUM YARD REQUIREMENTS:	SHALL GENERALLY CONFORM TO THE PROVISIONS OF THE CONVENTIONAL ZONING DISTRICT WHICH MOST CLOSELY CHARACTERIZES THE PARTICULAR TYPE OF DEVELOPMENT PROPOSED	
MAXIMUM FLOOR AREA RATIO (FAR):	1.5, BUT MAY BE INCREASED TO 2.5 WITH BOARD APPROVAL DEPENDING ON THE PROPOSED PDC PLAN	
OPEN SPACE:	8% OF THE GROSS SITE AREA	
TREE COVER:	10% OF THE GROSS SITE AREA	
INTERIOR PARKING LOT LANDSCAPING:	8% OF THE PARKING LOT AREA	

PROPOSED DEVELOPMENT TABULATIONS	
DEVELOPMENT STANDARDS	DEVELOPMENT TABULATIONS
MAXIMUM BUILDING HEIGHT	43 FEET (HOTEL) 25 FEET (SUPPORTIVE RETAIL)
MINIMUM YARD SETBACKS	AS SHOWN ON PLAN ON SHEET 5
TOTAL GROSS FLOOR AREA (GFA)	BUILDING GFA: 44,302 SF (INCLUDES 1,475 SF SUPPORTIVE RETAIL) LESS 44,302 SF FOR A AREA DEFINED AS CELLAR SPACE (REFER TO NOTE BELOW) TOTAL BUILDING GFA: 44,302 SF - 44,302 SF = 0 SF
FLOOR AREA RATIO (FAR)	104,964 SF / 16,438 SF = 6.39 FAR
OPEN SPACE	47, 49,291 SF 47, 25.2
TREE COVER	47, 20,190 SF 47, 8.2
INTERIOR PARKING LOT LANDSCAPING	47, 9,075 SF 47, 9.8

**NOTE: CELLAR SPACE TABULATION**

CEILING ROOFS	4,302 SF
LOBBY	3,703 SF
STAIRWELL	1,000 SF
RESTROOMS	1,000 SF
TRASH/REUSE	1,000 SF
HOTEL SUPPORT	24,297 SF
TOTAL CELLAR SPACE:	44,302 SF

DATE	REVISION

**christopher consultants**  
 engineering - surveying - land planning  
 10000 main street (north side) Fairfax Va. 22031-3007  
 phone: 703-650-1000 fax: 703-650-1008



**NOTES & TABULATIONS**

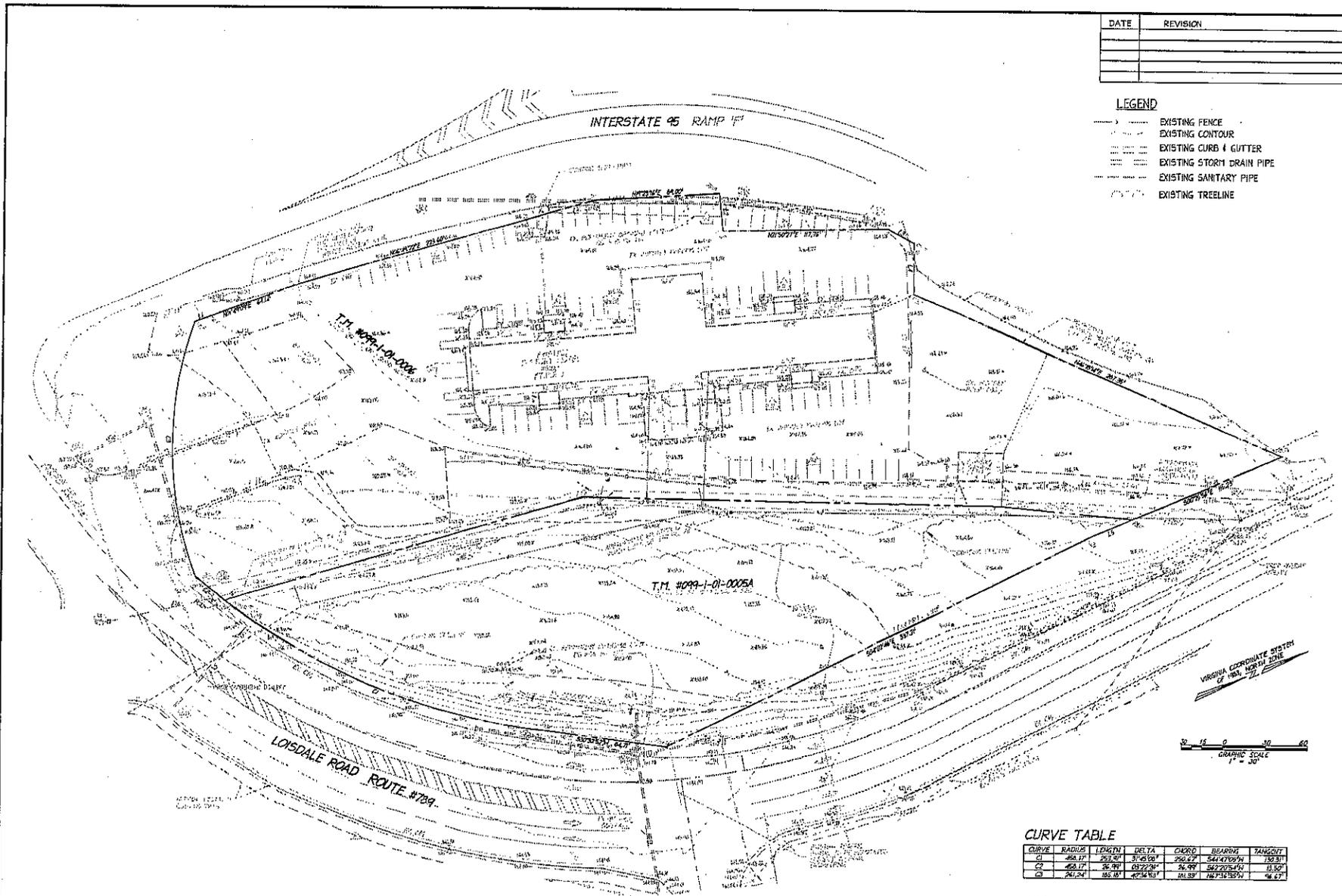
PARKING AND LOADING TABULATION	
PARKING SPACES REQUIRED:	
NOTE: 1 SPACE PER RENTAL UNIT, PLUS 4 SPACES PER 60 RENTAL UNITS, PLUS SUCH SPACES AS REQUIRED FOR EATING ESTABLISHMENTS, ASSEMBLY ROOMS AND RELATED FACILITIES AS DETERMINED BY THE DIRECTOR.	
214 ROOMS = 217 SPACES REQUIRED	
SUPPORTIVE RETAIL: 1 SPACE PER 100 SQUARE FEET OF NET FLOOR AREA FOR THE FIRST 1,000 SQUARE FEET AND PLUS 4 SPACES PER EACH ADDITIONAL 1,000 SQUARE FEET	
1,475 SF OF SUPPORTIVE RETAIL = 7 SPACES REQUIRED (BASED ON NET SF, NOT GFA)	
TOTAL SPACES REQUIRED: 224 SPACES REQUIRED	
LOADING SPACES REQUIRED:	
NOTE: 1 SPACE FOR THE FIRST 10,000 SF OF GROSS FLOOR AREA PLUS 1 SPACE FOR EACH ADDITIONAL 10,000 SF OR FRACTION THERE OF.	
10,743 SF HOTEL = 3 LOADING SPACES REQUIRED	
SUPPORTIVE RETAIL: 1 SPACE FOR THE FIRST 10,000 SF OF GROSS FLOOR AREA PLUS 1 SPACE FOR EACH ADDITIONAL 10,000 SF OR FRACTION THERE OF.	
1,475 SF SUPPORTIVE RETAIL = 1 LOADING SPACE REQUIRED	
TOTAL SPACES REQUIRED: 4 LOADING SPACES REQUIRED (111 REFER TO HALLWAYS AND RECEPTIONIST SECTION ON THIS PAGE, NOTE #4)	
PARKING SPACES PROVIDED:	
TOTAL SPACES: 245 (INCLUDES 6 ACCESSIBLE SPACES AND 3 SHORT-TERM PARKING SPACES)	
LOADING SPACES PROVIDED:	
TOTAL SPACES: 7	

CONCEPTUAL DEVELOPMENT PLAN  
 FINAL DEVELOPMENT PLAN  
**EMBASSY SUITES - SPRINGFIELD**  
 FAIRFAX COUNTY, VIRGINIA

PROJECT NO. 10-16-03  
 SCALE: AS SHOWN  
 DATE: 05-23-2011  
 DESIGN: JLR/JR  
 DRAWN: JR  
 CHECKED:  
 SHEET NO.

DATE	REVISION

- LEGEND**
- EXISTING FENCE
  - EXISTING CONTOUR
  - EXISTING CURB & GUTTER
  - EXISTING STORM DRAIN PIPE
  - EXISTING SANITARY PIPE
  - EXISTING TREELINE



**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING	TANGENT
C1	483.171	257.071	31.4358°	260.647	S44.4759°N	170.311
C2	458.171	26.981	03.2234°	26.971	S87.2234°W	11.501
C3	241.241	166.161	47.5616°	161.891	N47.5616°W	96.471

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N02°10'10"E	15.91'
L2	S77°28'10"E	27.97'
L3	N82°28'10"E	27.97'
L4	S07°28'10"W	52.03'
L5	S07°28'10"W	34.13'

**christopher consultants**  
 engineering - surveying - land planning  
 1600 Lakeshore Drive, Suite 1000, Fairfax, VA 22031-3607  
 (703) 261-1000

**EXISTING CONDITIONS**

**CONCEPTUAL DEVELOPMENT PLAN  
 FINAL DEVELOPMENT PLAN  
 EMBASSY SUITES - SPRINGFIELD  
 FAIRFAX COUNTY, VIRGINIA**

PROJECT No. C-24-01  
 SCALE: 1" = 30'  
 DATE: 05-23-2011  
 DESIGN: L.B.  
 DRAWN: R.L.H.  
 CHECKED:  
 SHEET No. **3** of 15  
 C-5942



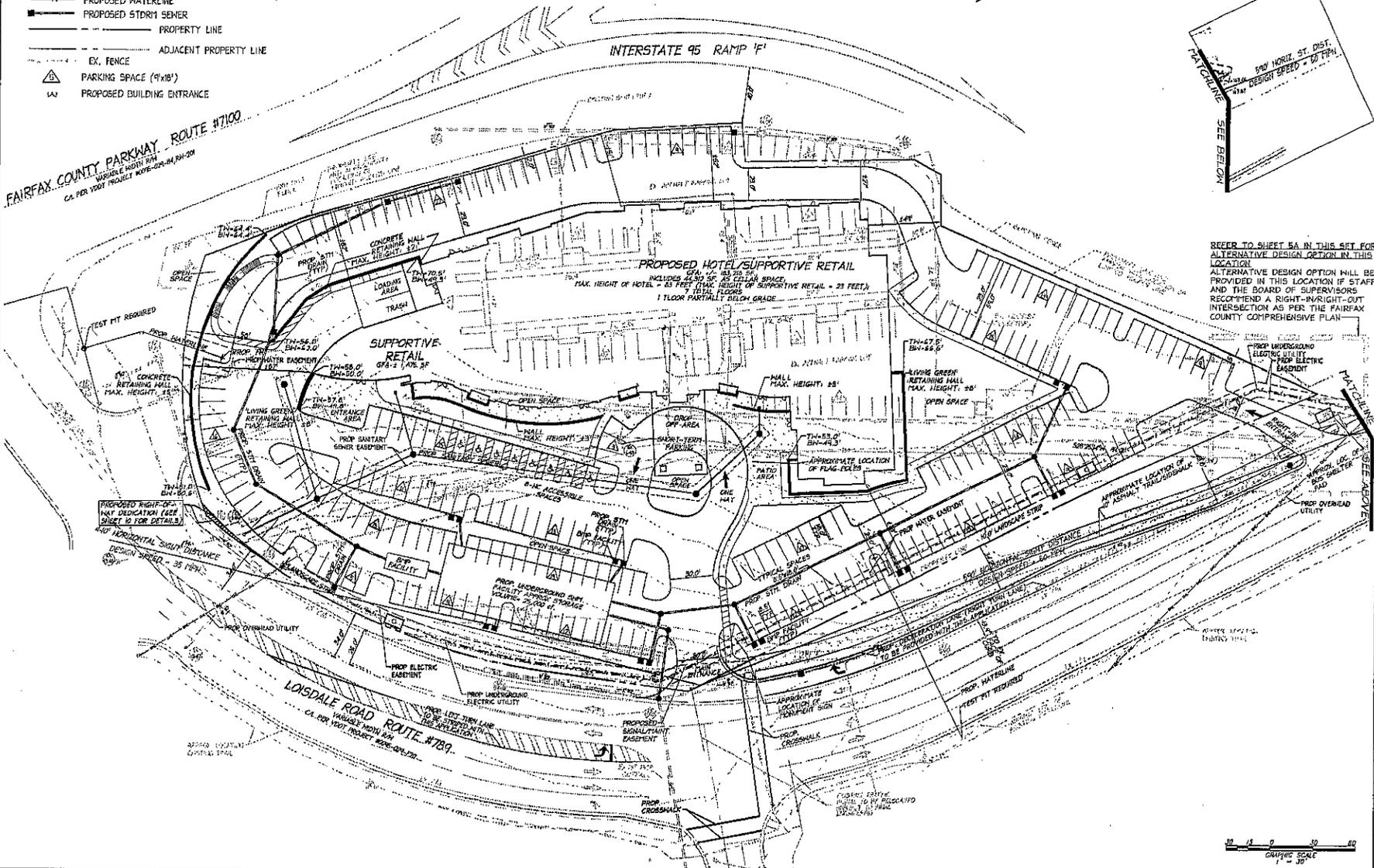
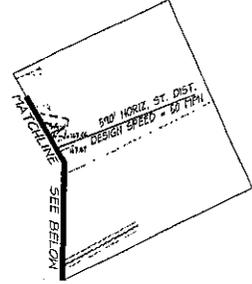
**LEGEND**

- EXISTING CONTOUR
- EXISTING CURB & GUTTER
- EXISTING STORM DRAIN PIPE
- EXISTING SANITARY PIPE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED SANITARY SEWER
- PROPOSED WATERLINE
- PROPOSED STORM SEWER
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EX. FENCE
- △ PARKING SPACE (9'x18')
- W PROPOSED BUILDING ENTRANCE

- NOTES:**
1. REFER TO SHEET 6 FOR LANDSCAPE PLAN, SHEET 8 & 9 FOR STORMWATER MANAGEMENT AND ADEQUATE OUTFALL INFORMATION AND DETAILS
  2. REFER TO SHEETS 13-16 FOR SIGNAGE LOCATION/DETAILS.
  3. BUILDING TIES ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING.
  4. PROPOSED EASEMENTS SHOWN ARE SUBJECT TO CHANGE BASED ON FINAL ENGINEERING.

DATE	REVISION

VIRGINIA COORDINATE SYSTEM  
OF 1983, NORTH ZONE



REFER TO SHEET 5A IN THIS SET FOR ALTERNATIVE DESIGN OPTION IN THIS LOCATION. ALTERNATIVE DESIGN OPTION WILL BE PROVIDED IN THIS LOCATION IF STAFF AND THE BOARD OF SUPERVISORS RECOMMEND A RIGHT-IN/RIGHT-OUT INTERSECTION AS PER THE FAIRFAX COUNTY COMPREHENSIVE PLAN.

**christopher consultants**  
engineering - surveying - land planning  
1800 North Pointe Court, Suite 200, Fairfax, VA 22031-1007  
703.271.8820 Fax 703.271.8250



CDP / FDP

CONCEPTUAL DEVELOPMENT PLAN  
FINAL DEVELOPMENT PLAN  
**EMBASSY SUITES - SPRINGFIELD**  
FAIRFAX COUNTY, VIRGINIA

PROJECT NO.	0-26-05
SCALE	1"=30'
DATE	05-23-2011
DESIGN BY	LB
DRAWN BY	RLH
CHECKED	
SHEET NO.	

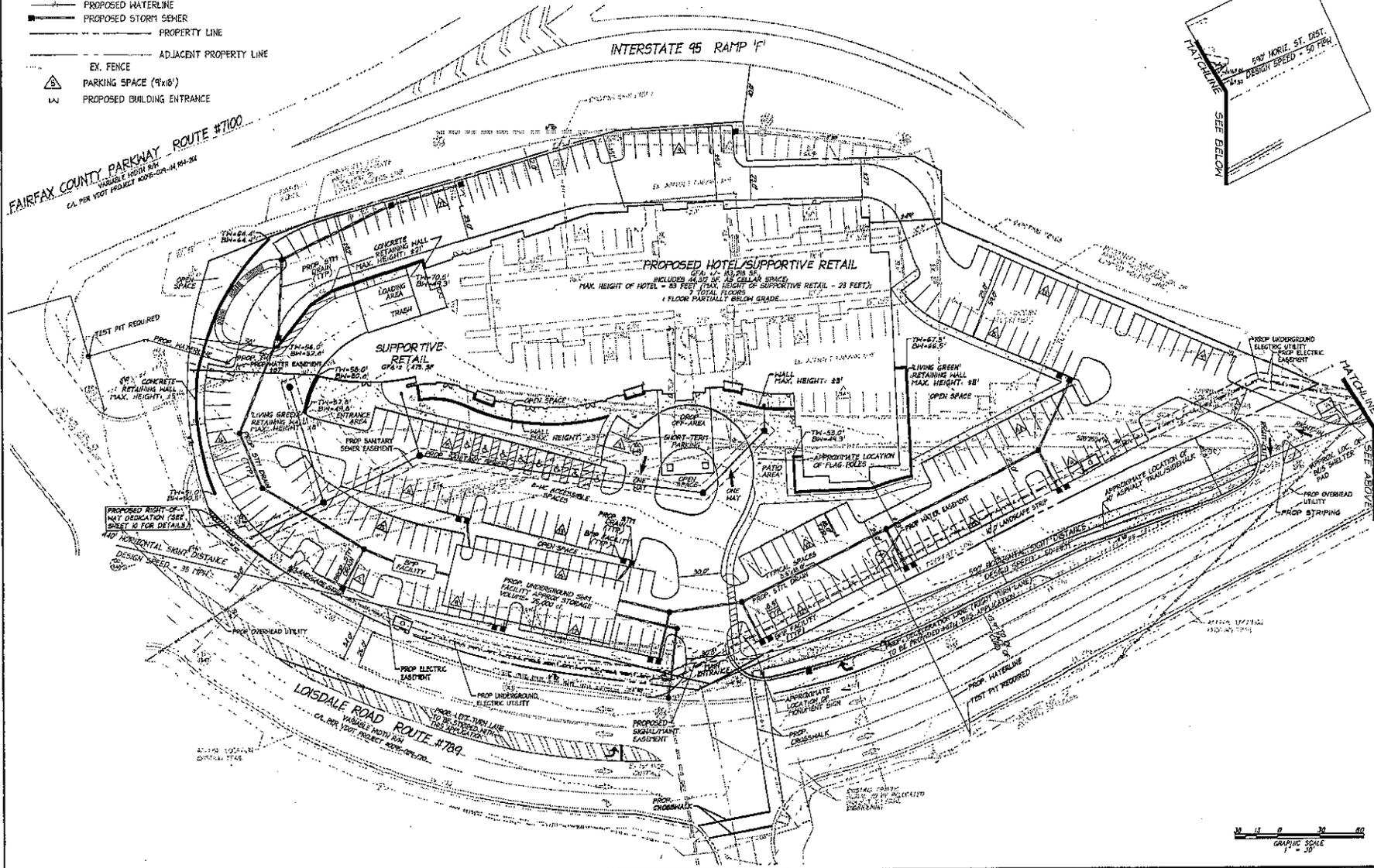
DATE	REVISION

**LEGEND**

- EXISTING CONTOUR
- EXISTING CURB & GUTTER
- EXISTING STORM DRAIN PIPE
- EXISTING SANITARY PIPE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED SANITARY GENER
- PROPOSED WATERLINE
- PROPOSED STORM GENER
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EX. FENCE
- PARKING SPACE (9'x18')
- PROPOSED BUILDING ENTRANCE

- NOTES:**
- REFER TO SHEET 6 FOR LANDSCAPE PLAN, SHEET 8 & 9 FOR STORMWATER MANAGEMENT AND ADEQUATE OUTFALL INFORMATION AND DETAILS
  - REFER TO SHEETS 13-15 FOR SIGNAGE LOCATION/DETAILS.
  - BUILDING TIES ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING.
  - PROPOSED EASEMENTS SHOWN ARE SUBJECT TO CHANGE BASED ON FINAL ENGINEERING.

VIRGINIA CORPORATE SYSTEM  
OF 1952, UNIFORM EASE



**christopher consultants**  
 engineering - surveying - land planning  
 9000 Wake Avenue (Fourth Floor) Fairfax, VA 22031-3907  
 703.578.8800 Fax: 703.577.7198

**CONCEPTUAL DEVELOPMENT PLAN**  
**FINAL DEVELOPMENT PLAN**  
**EMBASSY SUITES - SPRINGFIELD**  
 FAIRFAX COUNTY, VIRGINIA

**CDP/PPP**  
**ALTERNATIVE**  
**DESIGN OPTION**

PROJECT NO. 10-26-03  
 SCALE: 1"=30'  
 DATE: 05-23-2011  
 DESIGNER: LB  
 DRAWN: RLH  
 CHECKED:  
 SHEET No.

**5A of 15**  
 C-5442

**10-YEAR TREE COVER TABULATIONS**

GROSS SITE AREA (GSA) : 197,603 SF  
 TREE COVER REQUIRED (10%): 19,760 SF

TREE PRESERVATION (0%): 0 SF

**PROPOSED TREE PLANTING:**

57 - 3" CALIPER DECIDUOUS CATEGORY IV (250 SF): 14,250 SF  
 19 - 3" CALIPER DECIDUOUS CATEGORY III (175 SF): 3,325 SF  
 17 - 3" CALIPER DECIDUOUS CATEGORY II (125 SF): 2,125 SF  
 3 - 3" CALIPER EVERGREEN CATEGORY IV (250 SF): 750 SF  
 4 - 3" CALIPER EVERGREEN CATEGORY II (125 SF): 500 SF  
 TOTAL PROPOSED TREE PLANTING: 20,950 SF

TOTAL TREE COVERAGE PROVIDED (±11%): 20,950 SF

\* TREE, SHRUB & GROUND COVER PLANTING OFF-SITE & ON-SITE WITHIN SIGHT DISTANCE (NOT INCLUDED IN ABOVE TREE TABULATIONS) IS SHOWN ON THIS PLAN IN DESIGNATED AREAS. THIS IS SUBJECT TO VDOT APPROVAL DURING THE SITE PLAN PROCESS.

**OPEN SPACE TABULATION**

GROSS SITE AREA (GSA) : 197,603 SF  
 OPEN SPACE REQUIREMENT (15%): 29,640 SF  
 OPEN SPACE PROVIDED (±25%): 49,725 SF  
 \*REFER TO SHEET 7 FOR OPEN SPACE CALCULATIONS

**NOTES:**

- REFER TO SHEETS 13-15 FOR SIGNAGE LOCATION/DETAILS.
- PROPOSED EASEMENTS SHOWN ARE SUBJECT TO CHANGE BASED ON FINAL ENGINEERING.

**PERIPHERAL PARKING LOT TABULATIONS**

PERIPHERAL PARKING LOT AREA FROM POINT (A) TO POINT (B) ±850 LF (MODIFICATION REQUESTED FOR REMAINDER OF PERIPHERAL PARKING LOT OF PROPERTY - REFER TO SHEET 2, 'WAIVERS AND MODIFICATIONS')  
 PERIPHERAL PARKING LOT TREE COVER REQUIREMENTS FOR ±850 LF: 21 TREES  
 - TEN FOOT WIDE LANDSCAPE STRIP (PROP. LINE ABUTS ST. ROW)  
 - ONE TREE PER 40 FEET  
 PERIPHERAL PARKING LOT TREE COVER PROVIDED: 22 TREES

**INTERIOR PARKING LOT TABULATIONS**

PARKING LOT AREA: ±98,200 SF  
 INTERIOR PARKING LOT TREE COVER REQUIRED (5%): 4,910 SF  
 INTERIOR PARKING LOT TREE COVER PROVIDED (±9%): 9,075 SF

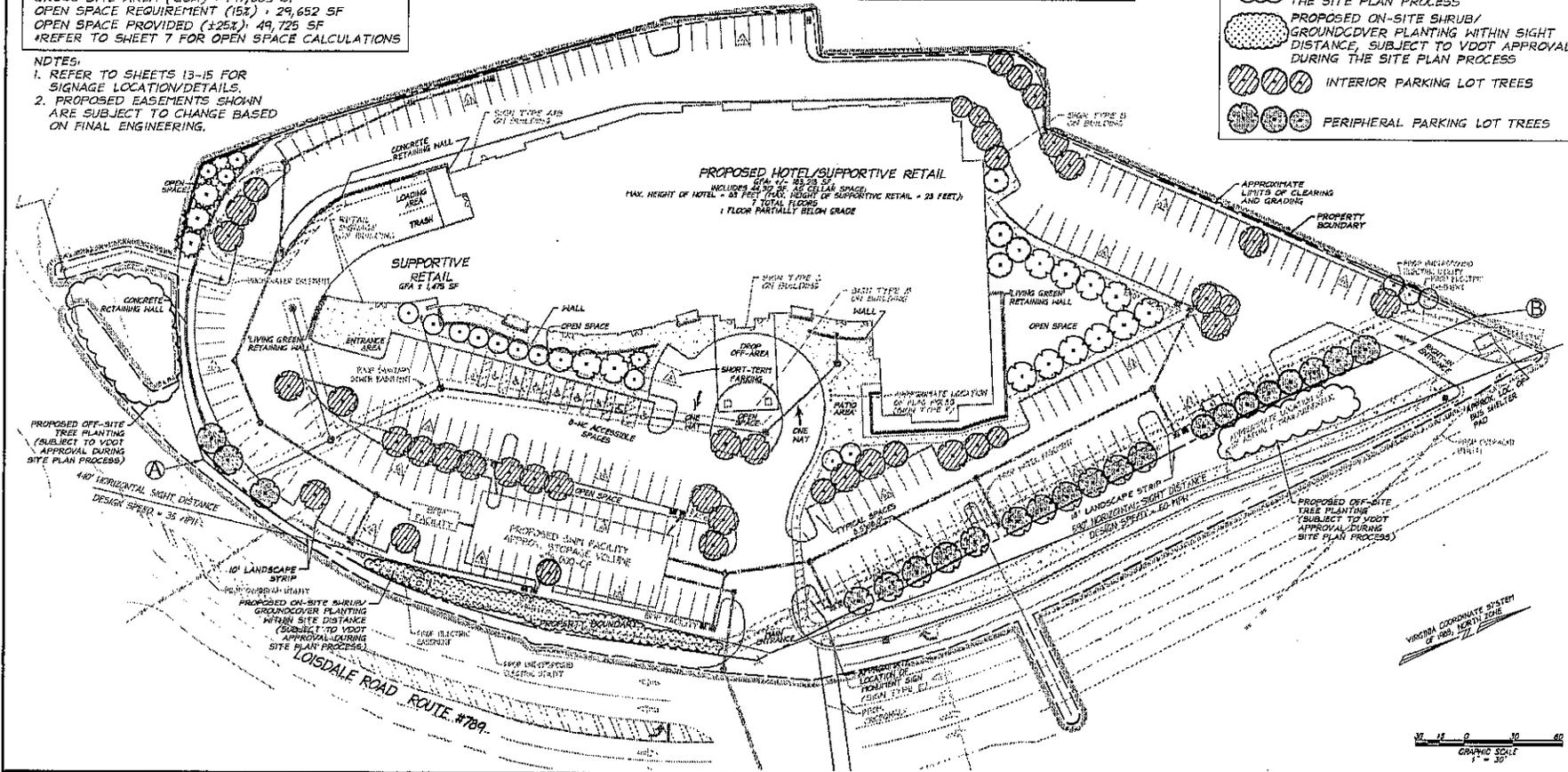
**PROPOSED TREE SPECIES**

PROPOSED TREE SPECIES SHALL INCLUDE BUT NOT BE LIMITED TO: RED MAPLE, RED OAK, AMERICAN HOLLY, AMERICAN BEECH, WILLOW OAK AND EASTERN RED CEDAR. THESE NATIVE SPECIES ARE SUBJECT TO CHANGE BASED ON AVAILABILITY AT THE TIME OF THE SITE PLAN PROCESS AND FINAL ENGINEERING.

DATE	REVISION

**LEGEND**

- CATEGORY IV DECIDUOUS TREE (250 SF)
- CATEGORY III DECIDUOUS TREE (175 SF)
- CATEGORY II DECIDUOUS TREE (125 SF)
- CATEGORY IV EVERGREEN TREE (250 SF)
- CATEGORY II EVERGREEN TREE (125 SF)
- PROPOSED OFF-SITE TREE PLANTING SUBJECT TO VDOT APPROVAL DURING THE SITE PLAN PROCESS
- PROPOSED ON-SITE SHRUB/GROUND COVER PLANTING WITHIN SIGHT DISTANCE, SUBJECT TO VDOT APPROVAL DURING THE SITE PLAN PROCESS
- INTERIOR PARKING LOT TREES
- PERIPHERAL PARKING LOT TREES



**christopher consultants**  
 engineering - surveying - land planning  
 10000 Westhampton Blvd, Suite 200, Fairfax, VA 22031-1807  
 703.273.6200 | fax 703.273.6205

LANDSCAPE PLAN

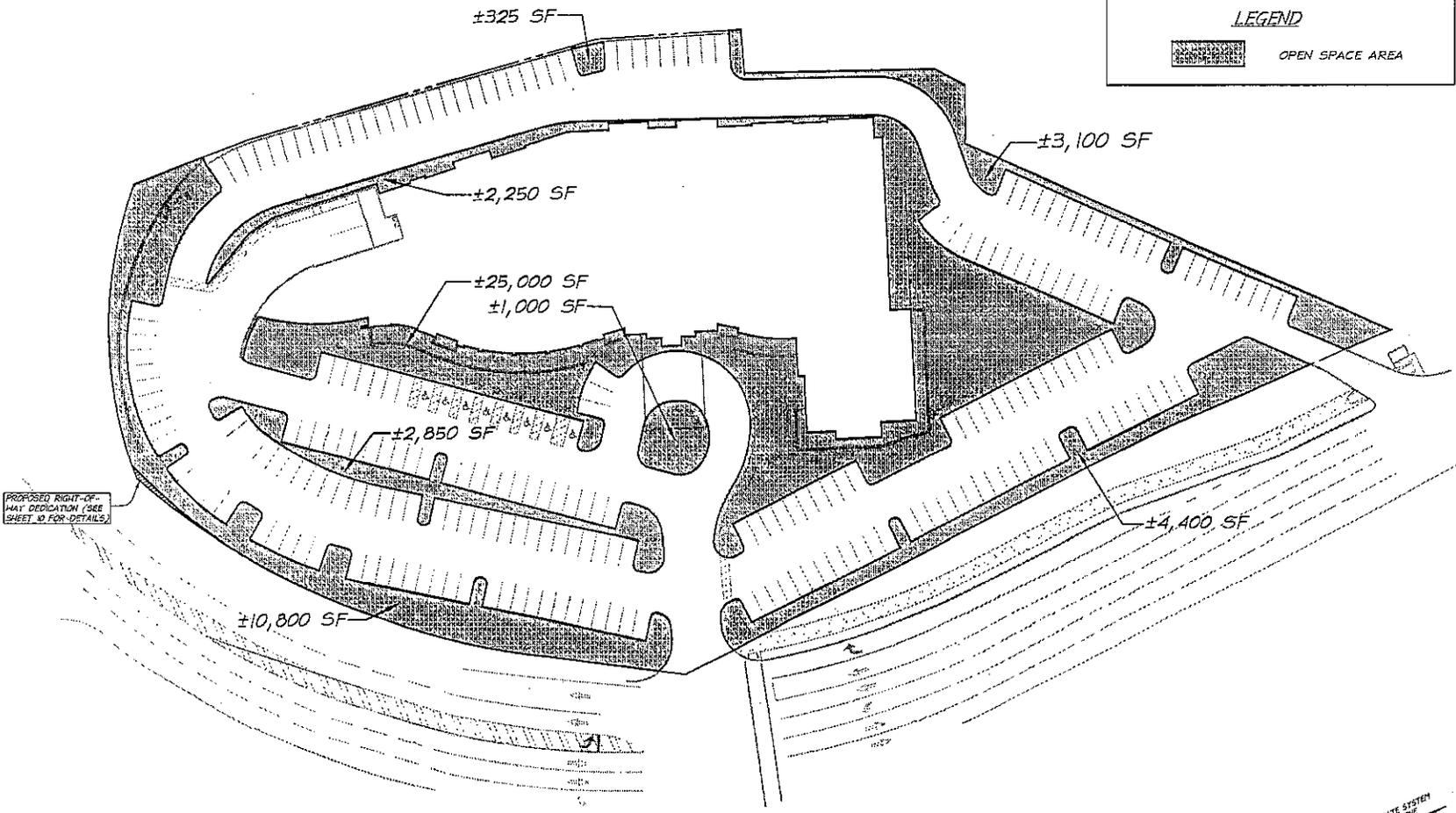
CONCEPTUAL DEVELOPMENT PLAN  
 FINAL DEVELOPMENT PLAN  
**EMBASSY SUITES - SPRINGFIELD**  
 FAIRFAX COUNTY, VIRGINIA

PROJECT NO: 18-24-03  
 SCALE: 1"=30'  
 DATE: 05-23-2011  
 DESIGN: LJD  
 DRAWN: RLH  
 CHECKED:  
 SHEET NO:

DATE	REVISION

**LEGEND**

 OPEN SPACE AREA



**OPEN SPACE TABULATION**

GROSS SITE AREA (GSA) :	197,683 SF
OPEN SPACE REQUIREMENT (15%) :	29,652 SF
OPEN SPACE PROVIDED (±25%) :	49,725 SF

VIRGINIA COORDINATE SYSTEM  
OF 1983, NORTH ZONE



**christopher consultants**  
engineering · surveying · land planning  
8000 Lake Street, Suite 1001, Lakeside, VA 22081-2907  
703.233.8400 Fax: 703.233.1405




OPEN SPACE PLAN

CONCEPTUAL DEVELOPMENT PLAN  
FINAL DEVELOPMENT PLAN  
**EMBASSY SUITES - SPRINGFIELD**  
FAIRFAX COUNTY, VIRGINIA

PROJECT NO.	10-24-08
SCALE	1"=30'
DATE	05-23-2008
DRAWN BY	LEB
CHECKED BY	LEB
SHEET No.	7 of 15

C-5942

EMBASSY SUITES HOTEL  
STORMWATER MANAGEMENT SUMMARY

Site Area = 4.81 AC  
C<sub>1</sub> = 0.70  
C<sub>2</sub> = 0.38  
C<sub>3</sub> = 0.82  
T<sub>c</sub> = 5 Minutes  
I = 5.45 IN/HR  
I<sub>10</sub> = 7.27 IN/HR

Pre-Development Flow Rates  
2-Year = 0.28 (5.95) x 54 = 6.85 CFS  
10-Year = 8.30 (1.77) x 54 = 5.08 CFS

Post-Development Flow Rates  
2-Year = 0.82 (5.45) x 54 = 28.10 CFS  
10-Year = 0.92 (7.27) x 54 = 27.80 CFS

On-Site Controlled  
2-Year = 0.82 (5.45) x 12 = 18.86 CFS  
10-Year = 0.12 (7.27) x 23 = 25.16 CFS

On-Site Uncontrolled  
2-Year = 0.6 (5.45) x 32 = 1.85 CFS  
10-Year = 0.6 (7.27) x 31 = 1.39 CFS

Allowable Offsite Flow Rates  
Pre-Development + On-Site = Uncontrolled  
2-Year = 1.85 CFS = 1.05 CFS = 3.88 CFS  
10-Year = 1.39 CFS = 1.39 CFS = 8.58 CFS

STORM WATER MANAGEMENT NARRATIVE

THE SUBJECT PROPERTY IS SITUATED IN THE LEE DISTRICT OF FAIRFAX COUNTY ON THE WESTERN SIDE OF LOISDALE ROAD (ROUTE 704) AT THE INTERSECTION WITH NENNINGTON ROAD (ROUTE 677). THE SITE CONSIST OF 4.81-ACRES AND IS CURRENTLY COMPRISED OF TWO SEPARATE PARCELS. THE TWO PARCELS ARE IDENTIFIED ON FAIRFAX COUNTY TAX MAP AS 99-1 (C1) PARCELS 5A AND A. PARCEL 5A IS COMPRISED OF 1.83-ACRES AND ZONED R-1. PARCEL A IS COMPRISED OF 3.02-ACRES AND ZONED C-0. THE DEVELOPER IS PROPOSING TO CONSOLIDATE THE TWO PARCELS AND FILE A REZONING APPLICATION THAT WILL CHANGE THE PROPERTY'S ZONING TO PDC.

THE EXISTING SITE CONDITIONS CONSIST OF AN 11,460-SF HOTEL, 686-SF GARAGE, PARKING AND ASSOCIATED INFRASTRUCTURE. THE SITE DRAINS TO THE EAST INTO AN EXISTING STORM DRAIN SYSTEM LOCATED WITHIN THE LOISDALE ROAD RIGHT-OF-WAY. THE STORM WATER IS THEN CONVEYED APPROXIMATELY 1,000-LF AND DISCHARGED INTO LONG BRANCH FLOODPLAIN.

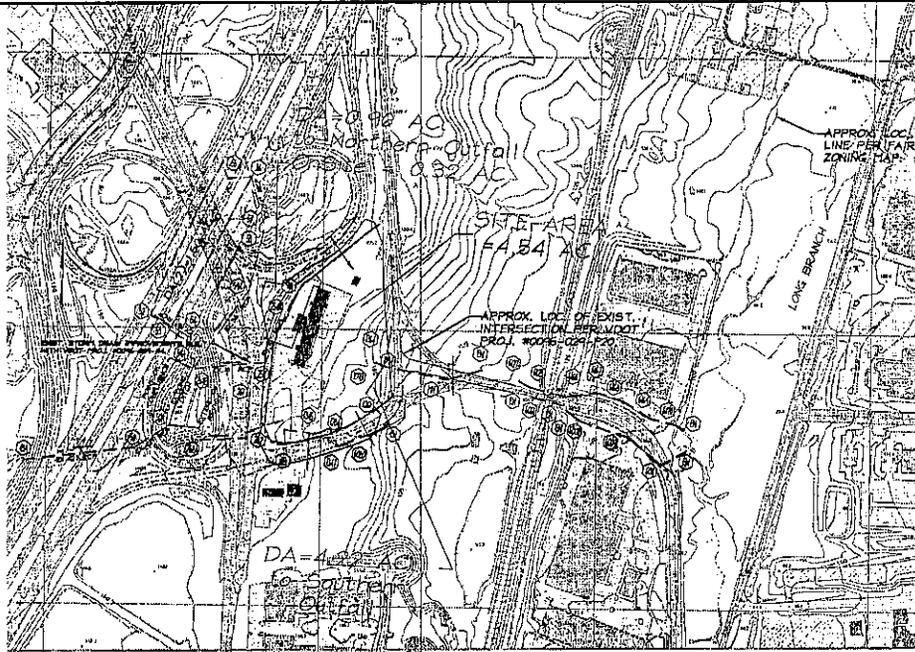
THIS DEVELOPMENT PROPOSES TO DEMOLISH THE EXISTING HOTEL AND CONSTRUCT A NEW HOTEL FACILITY. THE STORM-WATER MANAGEMENT REQUIREMENTS FOR THIS DEVELOPMENT WILL BE SATISFIED BY UTILIZING AN UNDERGROUND STORM-WATER DETENTION FACILITY. THE FACILITY WILL BE SIZED TO PROVIDE DETENTION FOR THE 2-YEAR AND 10-YEAR STORM EVENTS (SEE STORM WATER MANAGEMENT SUMMARY SHEET). A CONSERVATIVE APPROACH HAS BEEN ADOPTED TO ENSURE THERE WILL BE NO INCREASE IN POST DEVELOPMENT FLOW RATES AND CAUSE NO ADVERSE IMPACT ON THE DOWNSTREAM PROPERTIES. SINCE THE SITE IS ALREADY DEVELOPED IT WAS DETERMINED THAT THE EXISTING CONDITIONS PRODUCED A WEIGHTED C<sub>v</sub> VALUE OF 0.67 FOR COEFFICIENT OF RUNOFF. HOWEVER, THE SITE DESIGN'S CONSERVATIVE APPROACH WILL USE A 2-YEAR VALUE OF 0.30 AND A 10-YEAR VALUE OF 0.30. THE NET RESULTS WILL BE THE POST-DEVELOPMENT FLOW RATES FOR THE DESIGN STORM EVENTS WILL BE LESS THAN THE CURRENT CONDITIONS (BECAUSE THE SITE DESIGN ASSUMES THE EXISTING CONDITIONS TO BE IN A VEGETATED STATE).

THE BMP FACILITY WILL BE PRIVATELY MAINTAINED.

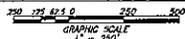
MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown as part of all zoning applications, or a waiver request. If the applicant requires more information, please contact the Planning Department. Please note that the information provided here is for informational purposes only and does not constitute a final decision.

Site Information is as per the following zoning Ordinance paragraphs:  
Special Exception (S-1) (S-2) Special Occupancy (S-1) (S-2) (S-3) (S-4) (S-5) (S-6) (S-7) (S-8) (S-9) (S-10) (S-11) (S-12) (S-13) (S-14) (S-15) (S-16) (S-17) (S-18) (S-19) (S-20) (S-21) (S-22) (S-23) (S-24) (S-25) (S-26) (S-27) (S-28) (S-29) (S-30) (S-31) (S-32) (S-33) (S-34) (S-35) (S-36) (S-37) (S-38) (S-39) (S-40) (S-41) (S-42) (S-43) (S-44) (S-45) (S-46) (S-47) (S-48) (S-49) (S-50) (S-51) (S-52) (S-53) (S-54) (S-55) (S-56) (S-57) (S-58) (S-59) (S-60) (S-61) (S-62) (S-63) (S-64) (S-65) (S-66) (S-67) (S-68) (S-69) (S-70) (S-71) (S-72) (S-73) (S-74) (S-75) (S-76) (S-77) (S-78) (S-79) (S-80) (S-81) (S-82) (S-83) (S-84) (S-85) (S-86) (S-87) (S-88) (S-89) (S-90) (S-91) (S-92) (S-93) (S-94) (S-95) (S-96) (S-97) (S-98) (S-99) (S-100) (S-101) (S-102) (S-103) (S-104) (S-105) (S-106) (S-107) (S-108) (S-109) (S-110) (S-111) (S-112) (S-113) (S-114) (S-115) (S-116) (S-117) (S-118) (S-119) (S-120) (S-121) (S-122) (S-123) (S-124) (S-125) (S-126) (S-127) (S-128) (S-129) (S-130) (S-131) (S-132) 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OVERALL DRAINAGE DIVIDES MAP



DATE	REVISION

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT FAIRFAX COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

**ADEQUATE OUTFALL ANALYSIS**

THE PURPOSE OF THIS PROJECT IS TO REDEVELOP THIS EXISTING HOTEL SITE. THE PROPERTY ASSOCIATED WITH THIS PROJECT IS IDENTIFIED AS PARCELS 5A AND 6 ON FAIRFAX COUNTY TAX MAP 0001-10-1. THE SITE CONTAINS APPROXIMATELY 4.84 ACRES (PARCEL 5A CONTAINS 1.54 ACRES AND PARCEL 6 CONTAINS 3.30 ACRES) AND IS ZONED R-4 AND C-48, RESPECTIVELY. CURRENTLY THERE EXIST TWO STRUCTURES (AN APPROXIMATE 10,400-SQ-FT HOTEL AND A 650-SQ-FT GARAGE), A PARKING LOT AND ASSOCIATED INFRASTRUCTURE.

**PRESENT CONDITIONS:**  
CURRENTLY THREE SEPARATE STORM DRAIN OUTFALL SYSTEMS EXIST. THE FIRST SYSTEM IS LOCATED IN THE NORTHERN PORTION OF THE SITE. APPROXIMATELY 0.45 ACRES OF ONSITE AREA (ON - 4.19 ACRES) DRAIN TO THE NORTH (N) INTO THE INTERSTATE-48 RIGHT-OF-WAY WHERE ITS DETAINED IN A 10-FOOT WATER MANAGEMENT POND AND THEN RELEASED INTO AN ADEQUATE EXISTING STORM DRAIN SYSTEM BUILT WITH 1000' PROJECT NUMBER 020-10-1. THE SECOND SYSTEM, LOCATED IN THE SOUTHWESTERN (SW) PORTION OF THE SITE, COLLECTS APPROXIMATELY 1.8 ACRES OF ONSITE AREA (ON - 4.19 ACRES) AND DISCHARGES THE STORM WATER INTO A SYSTEM LOCATED IN THE LOUISIANA ROAD RIGHT-OF-WAY AND THE THIRD SYSTEM, LOCATED IN THE SOUTHWESTERN (SE) PORTION OF THE SITE, COLLECTS APPROXIMATELY 2.44 ACRES OF ONSITE AREA (ON - 4.0 ACRES) AND ALSO DISCHARGES THE STORM WATER INTO A SYSTEM LOCATED IN THE LOUISIANA ROAD RIGHT-OF-WAY. BOTH THE SW AND SE OUTFALLS ARE CONVEYED EAST INTO THE NEWINGTON ROAD RIGHT-OF-WAY. ONE SYSTEM (NE) IS LOCATED ALONG THE NORTHERN SIDE OF NEWINGTON ROAD AND THE OTHER (SW) IS LOCATED ALONG THE SOUTHERN SIDE. THE FLOOD CONTROLS (DRAINAGE POND) ARE LOCATED ALONG THE NEWINGTON ROAD AND POTENTIAL RAILROAD AND THEN THROUGH THE STORM SYSTEMS BUILT WITH THE GUNSTON INDUSTRIAL PARK SITE PLAN. BOTH SYSTEMS THEN ARE DISCHARGED INTO A MAJOR FLOOD PLAIN NAMED LONG BRANCH AT APPROXIMATELY THE SAME LOCATION.

**DEVELOPER'S CONDITIONS:**  
IN ORDER TO COMPENSATE FOR THE INCREASE IN RUNOFF GENERATED BY THIS PROPOSED DEVELOPMENT, IN THE SOUTHWESTERN PORTION OF THE SITE, AN UNDERGROUND SWAMP FACILITY IS PROPOSED TO COLLECT STORM WATER FROM APPROXIMATELY 4.03 ACRES OF THE SITE AREA. THE CONTRIBUTING AREAS WILL CONSIST OF 0.54 ACRES FROM THE SITE, 0.51 ACRES FROM THE SW AND 2.98 ACRES FROM THE SE, THEREBY REDUCING THE PEAK FLOW RATES TO THE N AND NE OUTFALLS AND ALTERNATIVELY, THIS CONSIDERED DRAINAGE SYSTEM WILL OUTFALL AT A SINGLE POINT INTO EXISTING STORM STRUCTURE ROAD. CURRENTLY THE OUTFALL POINT FOR THE SE PORTION OF THE SITE, PURSUANT TO 020 SECTION 1-0028.2, THE COMBINED 2-TEAR AND 10-TEAR POST DEVELOPMENT PEAK FLOW RATES FROM THE DEVELOPED SITE WILL BE LOWER THAN THE RESPECTIVE PEAK FLOW RATES FOR THE SUBJECT SITE IN GOOD FORESTED CONDITION. AS A RESULT OF THE SITE DESIGN, THE SINGLE SOUTHWEST OUTFALL, BY UNDERMINING THE UNDERGROUND STORM WATER MANAGEMENT FACILITY WILL RELEASE THE FLOWS AS CALCULATED BELOW. THE FLOW WILL BE RELEASED INTO AN ADEQUATE HALF-PIPE STORM DRAIN SYSTEM AND FOLLOW THE SAME DRAINAGE PATTERN AS OUTLINED ABOVE. STORM DRAIN CAPACITIES ARE PROVIDED (SEE THIS SHEET) TO DEMONSTRATE ADEQUACY OF THE RECEIVING DRAINAGE SYSTEM.

THE PEAK FLOW REDUCTION IS COMPUTED AS FOLLOWS:  
 $R_1 = (1 - 0.15) R_2 \times 100$   
 $R_2 = (1 - 0.45) R_3 \times 100 = 75\%$   
 THEREFORE THE ALLOWABLE RELEASE =  $4.8 - (4.8)(0.75) = 1.2$  CFS

10-YEAR:  
 $R_1 = (1 - 0.15) R_2 \times 100 = 62.46$   
 THEREFORE THE ALLOWABLE RELEASE =  $4.2 - (4.2)(0.374) = 2.43$  CFS  
 WHERE V<sub>1</sub> IS:  
 $Q_1 (CFS) = CIA = 0.38(4.8)(2.0) = 3.6$  CFS  
 $Q_2 (CFS) = CIA = 0.38(2.74)(2.0) = 2.07$  CFS  
 AND V<sub>2</sub> IS:  
 $Q_2 (CFS) = CIA = 0.60(2.74)(2.0) = 3.29$  CFS  
 $Q_3 (CFS) = CIA = 0.60(1.51)(2.0) = 1.81$  CFS

THE NORTHERN PORTION OF THE SITE WILL CONTINUE TO DRAIN APPROXIMATELY 0.33 ACRES INTO THE STORM WATER MANAGEMENT FACILITY LOCATED IN THE INTERSTATE-48 RIGHT-OF-WAY. THIS FACILITY, ASSIGNED AS A RESULT OF THE PROPOSED SWAMP FACILITY, WILL DISCHARGE AT THIS LOCATION. THE PEAK FLOW RATES OF 2.0 CFS DURING THE 10-YEAR STORM EVENT.

**EXTENT OF REMEDIATION:**  
**NORTHERN OUTFALL:**  
 ACCORDING TO 020-1-0028.2, THE EXTENT OF REMEDIATION OF THE DOWNSTREAM DRAINAGE SYSTEM SHALL BE TO A POINT THAT IS AT LEAST 50 FEET DOWNSTREAM OF A POINT ABOVE THE RECEIVING PIPE OR CHANNEL, IS LONGER THAN THAT HAS A DRAINAGE AREA THAT IS AT LEAST 10% OF THE SIZE OF THE FIRST DRAINAGE AREA AT THE POINT BEING REMEDIATED. THE NORTHERN DRAINAGE AREA OF 0.33 ACRES IS COVERED BY A SECOND DRAINAGE AREA OF 1.0 ACRES, AT STORM STRUCTURE 544 AND 210 WHERE BOTH OUTFALLS INTO THE SWAMP FACILITY (BUILT WITH 1000' PLAN APPROXIMATELY) AND A CONCRETE DITCH CONVEY THE FLOW DOWNSTREAM APPROXIMATELY 300 FEET. EXTENT OF REMEDIATION MEETS THE CRITERIA OF SECTION 1-0028 FOR AN ADEQUATE OUTFALL. NO STRUCTURES OR ROADS ARE ENCOMPASSED BY THE 10-YEAR FLOODS AT THIS OUTFALL.

**SOUTHWESTERN OUTFALL:**  
 THE SE OUTFALL WILL CONTINUE TO COLLECT STORM WATER RUNOFF FROM THE LOUISIANA ROAD RIGHT-OF-WAY AS IT EXISTS TODAY. AS A RESULT OF THE PROPOSED SWAMP FACILITY, RUNOFF FROM THE DEVELOPMENT SITE WILL BE REDUCED FROM 4.19 CFS DURING THE 10-YEAR STORM EVENT. STORM WATER DRAINAGE COMPUTATIONS ARE PROVIDED (SEE THIS SHEET) TO DEMONSTRATE ADEQUACY.

**SOUTHERN OUTFALL:**  
 ACCORDING TO 020-1-0028.2, THE DETENTION METHOD, IT SHALL BE PROVIDED THAT NO ADVERSE IMPACT AND A PROPORTIONAL IMPROVEMENT WILL OCCUR ON SITE. DETENTION IS PROVIDED BY REDUCING THE PEAK FLOW RATES BELOW THE RESPECTIVE PEAK RATES OF RUNOFF FOR THE SITE IN GOOD FORESTED CONDITION. THE DRAINAGE FACILITY, IF THIS METHOD IS USED, THE DOWNSTREAM REMEDIATION SHALL BE LIMITED TO PROVIDING A FINISH-TYPE DRAINAGE FACILITY. THIS SHEET FOR STORM SEWER DESIGN DEMONSTRATES AN ADEQUATE OUTFALL, WHICH OVERSTAYS AN ADEQUATE RECEIVING DRAINAGE SYSTEM.

**CONCLUSION:**  
 SINCE THERE WILL NOT BE ANY ADVERSE IMPACTS OR FLOODING ON ANY OF THE DOWNSTREAM PROPERTIES AND A PROPORTIONAL IMPROVEMENT WILL OCCUR BY PROVIDING SWAMP FACILITY, THIS DEVELOPMENT MEETS THE CRITERIA ESTABLISHED BY FAIRFAX COUNTY'S SUBDIVISION FOR AN ADEQUATE OUTFALL.

IT IS THE OPINION OF THE SUBMITTING ENGINEERING THAT AN ADEQUATE OUTFALL WILL EXIST FOR THIS DEVELOPMENT.

**STORM SEWER DESIGN COMPUTATIONS - Northern Outfall**

STRUCTURE	DRAINAGE AREA (ACRES)	RUNOFF COEF.	CA		INLET TIME	RAISE FALL	RUNOFF INCREM. "C"	RUNOFF ACCUM. "C"	INVERT ELEVATIONS		LENGTH	SLOPE	MANNING'S "N" VALUE	DIAMETER	CAPACITY	VELOCITY	FLOW TIME	REMARKS	
			Increment	Accumulated					Upper End	Lower End									
From 510	To 514	0.75	0.56	0.20	0.20	4	7.77	4.80	1.50	158.95	157.02	19.93	0.0096	0.210	19	7.37	3.47	28.30	
514	521	0.83	0.50	0.40	0.74	8	7.97	4.37	3.83	161.87	158.40	33.47	0.0091	0.210	19	8.54	3.79	43.40	
521	546	0.75	0.30	0.00	0.74	5	7.77	0.00	6.83	157.77	157.02	74.75	0.1200	0.310	21	16.34	35.50	15.00 TO SW	

**STORM SEWER DESIGN COMPUTATIONS - Southeastern Outfall**

STRUCTURE	DRAINAGE AREA (ACRES)	RUNOFF COEF.	CA		INLET TIME	RAISE FALL	RUNOFF INCREM. "C"	RUNOFF ACCUM. "C"	INVERT ELEVATIONS		LENGTH	SLOPE	MANNING'S "N" VALUE	DIAMETER	CAPACITY	VELOCITY	FLOW TIME	REMARKS	
			Increment	Accumulated					Upper End	Lower End									
415	420	0.35	0.50	0.00	0.00	2	7.77	0.00	0.85	158.43	158.85	54.21	0.0090	0.210	15	11.58	1.55	6.28	
420	424	0.10	0.24	0.00	0.00	2	7.77	1.09	3.09	159.75	158.62	117.62	0.0245	4.010	15	10.00	5.50	20.71	
424	1034	0.10	0.24	0.00	0.00	2	7.77	3.74	3.74	162.55	163.64	114.09	0.0096	0.210	15	11.52	7.50	6.91	
1223	1347	0.20	0.48	0.00	0.00	2	7.77	3.84	3.84	161.81	158.20	158.30	0.0090	0.210	15	11.52	4.43	12.15	
1347	856	0.20	0.24	0.00	0.00	3	7.77	3.84	3.84	160.35	158.60	187.25	0.0090	0.210	15	20.91	6.61	17.00	
EASTM SW	630	0.50	0.50	0.00	0.00	4	7.77	28.15	18.11	162.77	158.60	60.17	0.0200	0.310	15	21.00	13.28	7.42	
630	8476	0.20	0.50	0.00	0.00	4	7.77	31.84	21.81	162.85	158.40	87.37	0.0090	0.210	15	24.85	13.88	3.84	

EXTENT OF REVIEW

**STORM SEWER DESIGN COMPUTATIONS - Southeastern Outfall**

STRUCTURE	DRAINAGE AREA (ACRES)	RUNOFF COEF.	CA		INLET TIME	RAISE FALL	RUNOFF INCREM. "C"	RUNOFF ACCUM. "C"	INVERT ELEVATIONS		LENGTH	SLOPE	MANNING'S "N" VALUE	DIAMETER	CAPACITY	VELOCITY	FLOW TIME	REMARKS
			Increment	Accumulated					Upper End	Lower End								
516	501	0.50	0.00	0.00	0.00	5	7.77	1.35	1.35	157.93	157.50	42.50	0.0100	0.210	15	8.45	3.21	7.50 FROM SW
501	524	0.20	0.20	0.00	0.00	5	7.77	0.00	3.18	157.68	158.30	74.47	0.0117	0.210	15	8.37	5.58	11.30 FACILITY
524	530	0.20	0.00	0.00	0.00	5	7.77	1.51	4.48	158.07	158.00	62.90	0.0091	0.210	15	8.37	4.70	8.71
530	EC 5330 (S)	0.20	0.50	0.00	0.00	3	7.77	1.50	12.81	157.75	151.20	22.90	0.0090	0.210	15	11.55	15.21	22.80
EC 5330 (S)	8274 (S)	0.20	0.00	0.00	0.00	3	7.77	0.00	18.41	157.75	158.10	120.70	0.0460	0.310	24	48.84	13.24	9.30

EXTENT OF REVIEW

**christopher consultants**  
 engineering - surveying - land planning  
 10000 WOODHURST DRIVE, SUITE 100, FAIRFAX COUNTY, VIRGINIA 22030-2607  
 (703) 261-1000

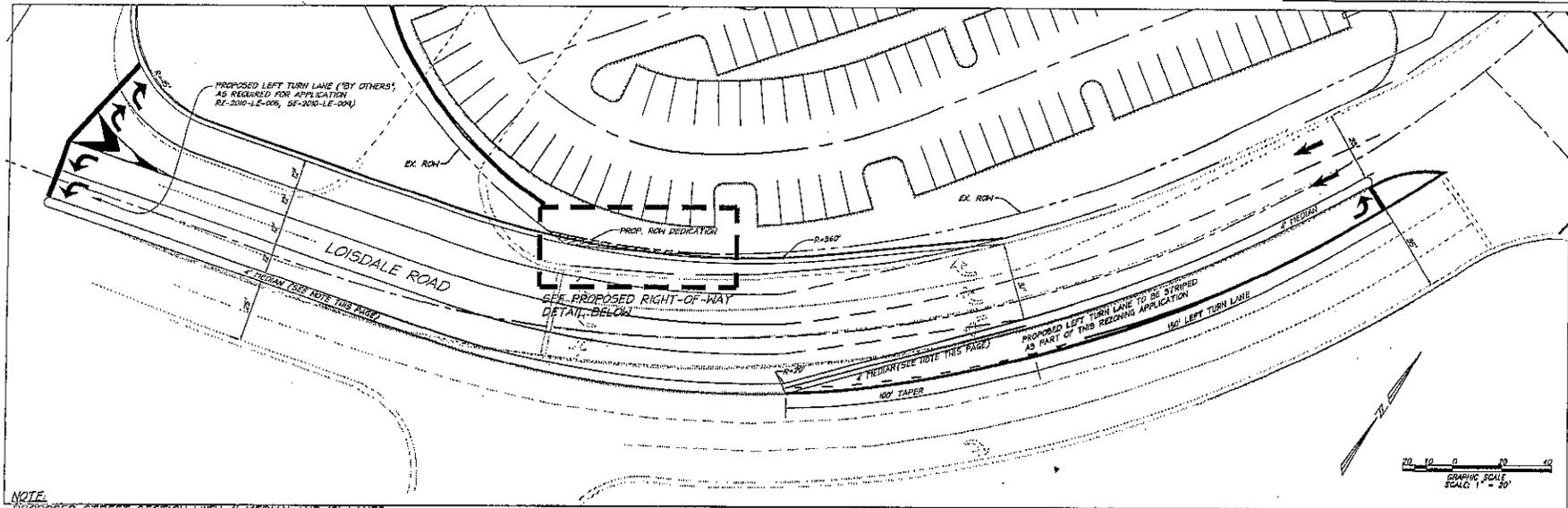


OVERALL DRAINAGE DIVIDES MAP AND ADEQUATE OUTFALL ANALYSIS

CONCEPTUAL DEVELOPMENT PLAN FINAL DEVELOPMENT PLAN  
**EMBASSY SUITES - SPRINGFIELD**  
 FAIRFAX COUNTY, VIRGINIA

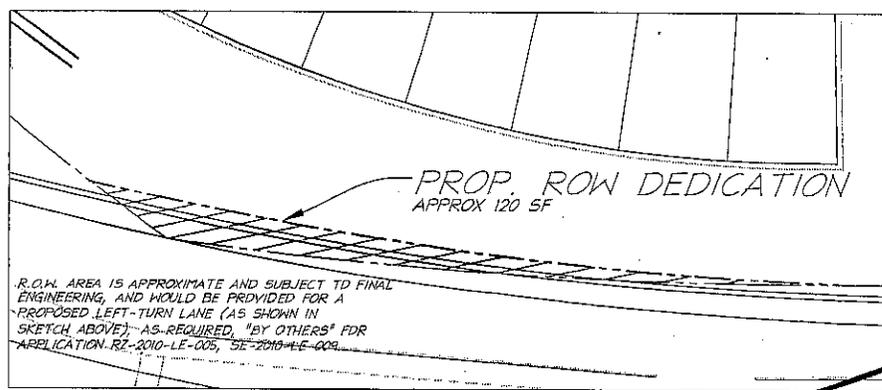
PROJECT NO. 10-10-09  
 SCALE: ASHIE  
 DATE: 05-23-2011  
 DESIGN: CL  
 DRAWN: RLH  
 CHECKED:  
 SHEET NO.

DATE	REVISION
06/23/2011	Revised Note regarding median on Proposed Right-of-way
	Sketch



**NOTE:**  
 PROPOSED STREET SECTION WITH 4' MEDIAN AND 12 LANES (INCLUDING A PROPOSED 12' LEFT-TURN LANE), AS REQUIRED "BY OTHERS" FOR APPLICATION R2-2010-LE-006 AND SE-2010-LE-004. THIS SKETCH IS TO DEMONSTRATE WHAT WOULD BE CONSTRUCTED "BY OTHERS" ALONG LOISDALE ROAD IN THIS AREA.  
 THE CONFIGURATION OF THE FOUR FOOT (4') MEDIAN DEPICTED, INCLUDING ANY OPENING TO ALLOW ACCESS TO THE BUSINESS ON THE EAST SIDE OF LOISDALE AS MAY BE APPROVED BY VDOT, MAY BE RAISED CONCRETE OR STRIPED ASPHALT. SUCH MEDIAN, ITS CONFIGURATION AND MATERIALS ARE SUBJECT TO APPROVAL OF VDOT.

PROPOSED RIGHT-OF-WAY SKETCH



PROPOSED RIGHT-OF-WAY DETAIL

NOTE: THE DRAWINGS ON THIS PAGE ARE CONCEPTUAL DESIGN ONLY AND ARE SUBJECT TO CHANGE BASED ON FINAL SURVEYING AND FINAL ENGINEERING

**christopher consultants**  
 engineering - surveying - land planning  
 10000 WOODBURN ROAD (Glen Road) LITTLE ROCK, AR 72201-2807  
 501.223.8776 FAX 501.223.8776

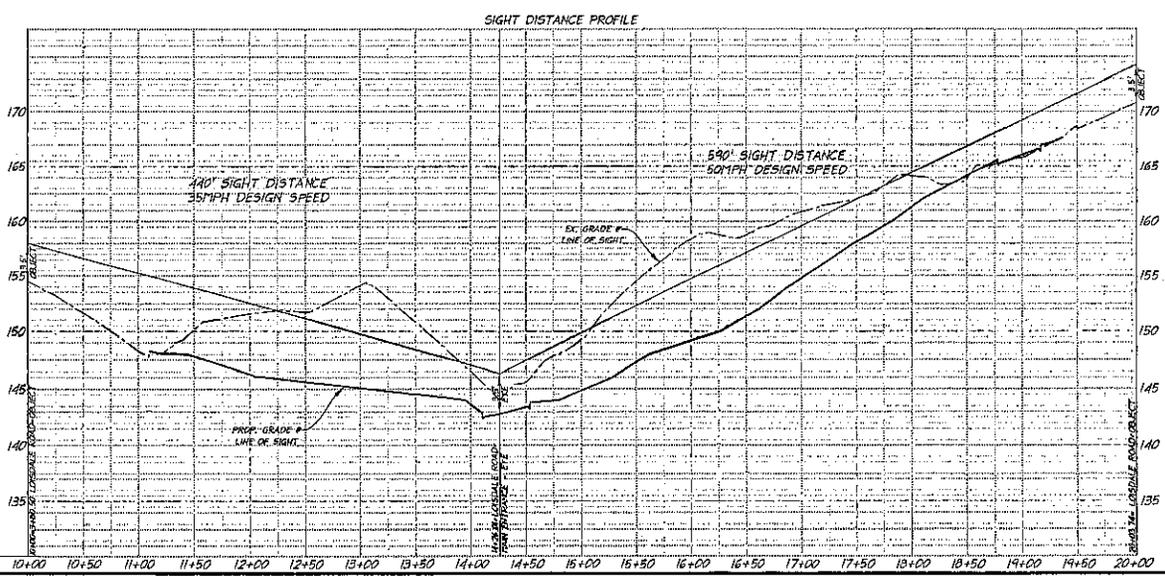
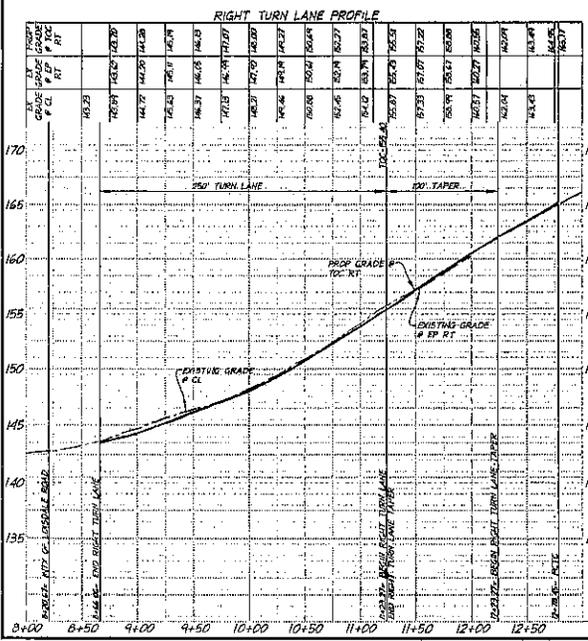
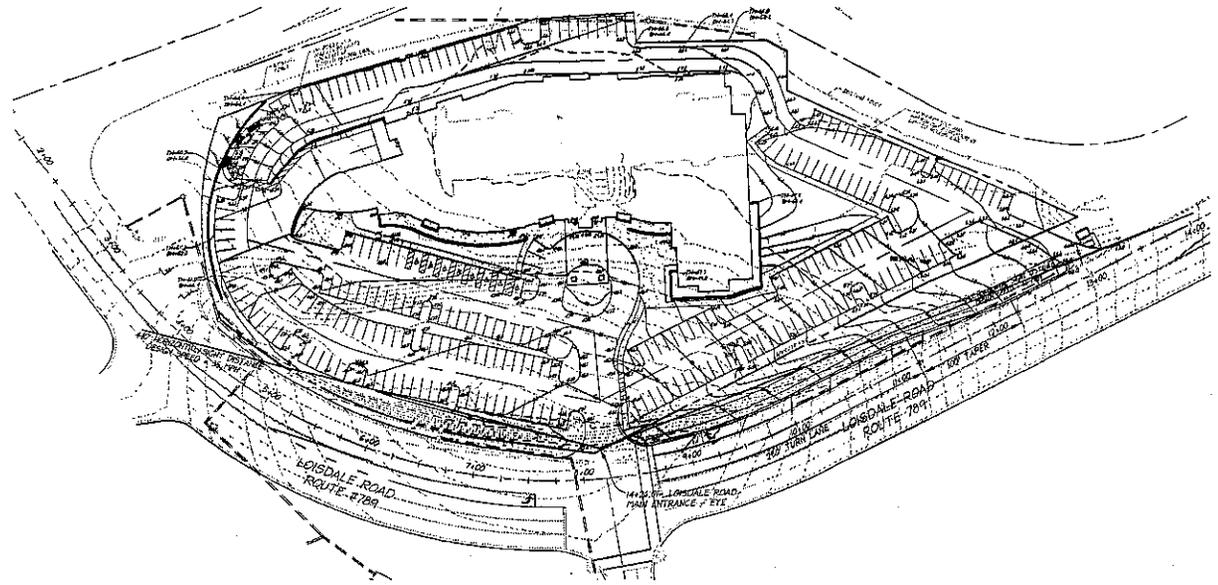


RIGHT-OF-WAY  
 SKETCH AND DETAILS

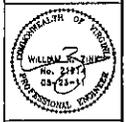
CONCEPTUAL DEVELOPMENT PLAN  
 FINAL DEVELOPMENT PLAN  
**EMBASSY SUITES - SPRINGFIELD**  
 FAIRFAX COUNTY, VIRGINIA

PROJECT NO.	10-26-03
SCALE:	NONE
DATE:	06-23-2011
DESIGN:	CL
DRAWN:	RLH
CHECKED:	
SHEET NO.	

DATE	REVISION



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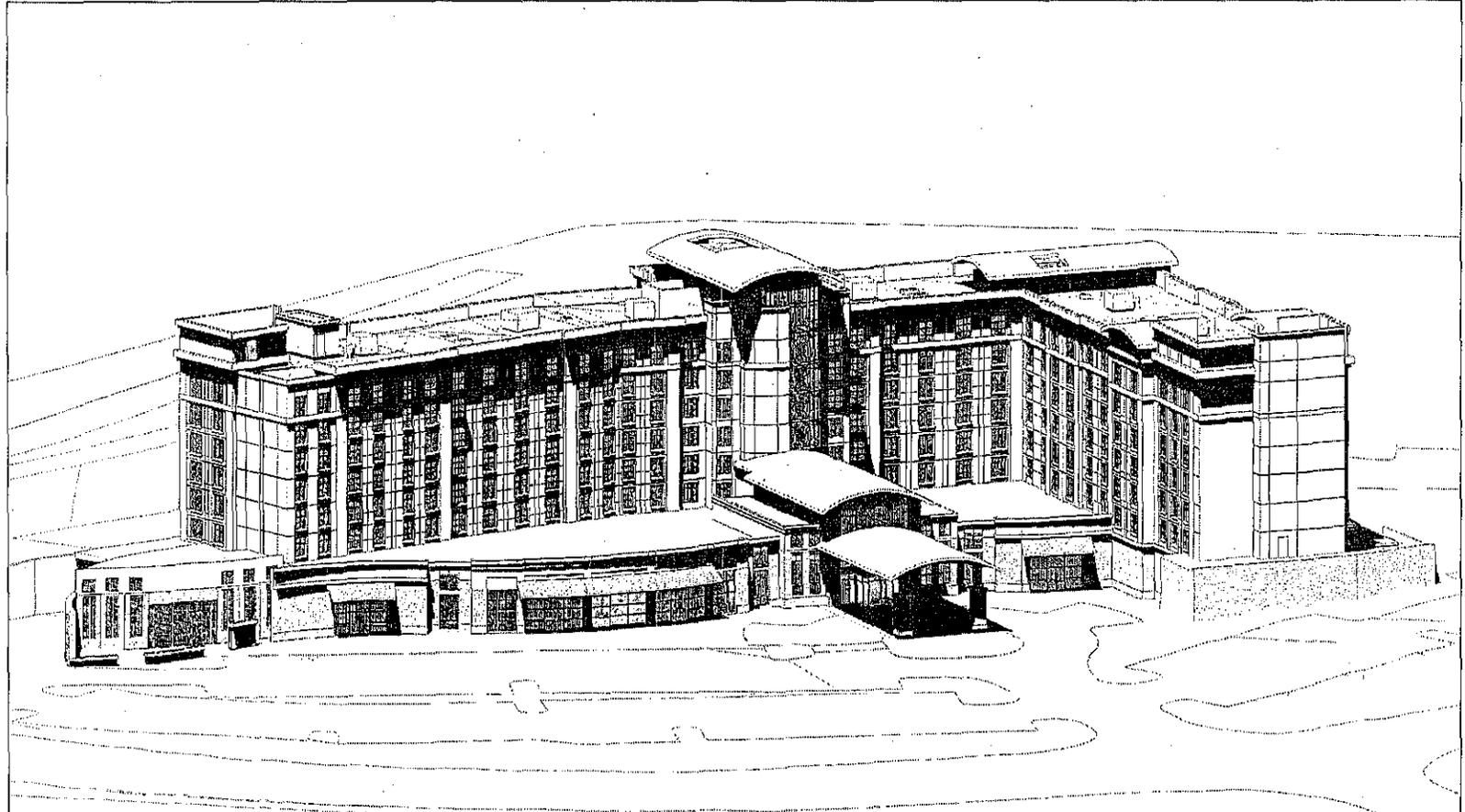


**SIGHT DISTANCE AND  
 RIGHT TURN LANE  
 PLAN AND PROFILE**

**CONCEPTUAL DEVELOPMENT PLAN  
 FINAL DEVELOPMENT PLAN**  
**EMBASSY SUITES - SPRINGFIELD**  
 FAIRFAX COUNTY, VIRGINIA

PROJECT NO. 10-24-03  
 SCALE: 1" = 40' VERT.  
 1" = 50' HORIZ.  
 DATE: 05-23-2011  
 DESIGNED: JAC  
 DRAWN: JAC  
 CHECKED:  
 SHEET NO.

DATE	REVISION

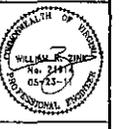


PROJECT# 20100111	DATE 03.17.2011	SCALE NTS	PERSPECTIVE VIEW FROM LOISDALE ROAD
<b>FB PROPERTY, LLC</b>		<b>EMBASSY SUITES - SPRINGFIELD</b> FAIRFAX COUNTY, VA	
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**christopher consultants**  
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 9000 main street, bloom field, newton, va. 22631-3987  
 703.279.8800 fax: 703.279.7158



SITE ILLUSTRATIVE

CONCEPTUAL DEVELOPMENT PLAN  
 FINAL DEVELOPMENT PLAN  
**EMBASSY SUITES - SPRINGFIELD**  
 FAIRFAX COUNTY, VIRGINIA

PROJECT# 10-21-09
SCALE
DATE 06-23-2011
DESIGNER
DRAWN: RLH
CHECKED
SHEET #:

12 of 15  
C-5942

DATE	REVISION

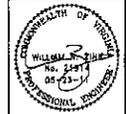


PROJECT# 20100111	DATE 03.17.2011	SCALE HTB	ELEVATIONS
<b>FB PROPERTY, LLC</b>		<b>EMBASSY SUITES - SPRINGFIELD</b> <b>FAIRFAX COUNTY, VA</b>	
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 919.778.8520 FAX 919.778.1206



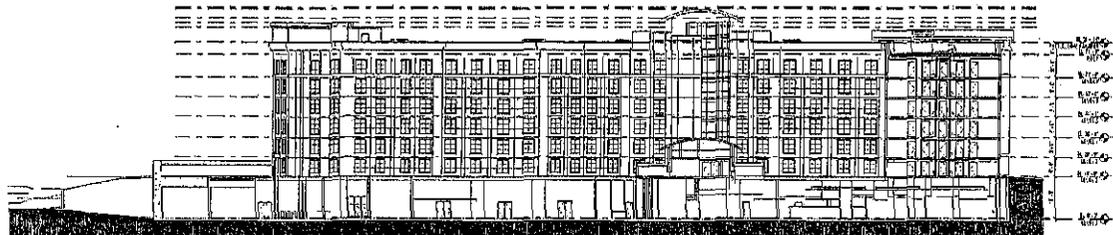
**BUILDING ELEVATIONS**

CONCEPTUAL DEVELOPMENT PLAN  
 FINAL DEVELOPMENT PLAN  
**EMBASSY SUITES - SPRINGFIELD**  
 FAIRFAX COUNTY, VIRGINIA

PROJECT NO 10-24-03
SCALE
DATE 05-29-2011
DESIGN DRAWN CHECKED
SHEET NO

13 of 15  
C-5942

DATE	REVISION



NORTH-SOUTH SECTION



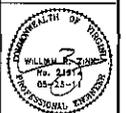
EAST-WEST SECTION

PROJECT# 20100111	DATE 03.17.2011	SCALE NTS	SECTIONS
FB PROPERTY, LLC		EMBASSY SUITES - SPRINGFIELD FAIRFAX COUNTY, VA	
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781.327.8520 fax 781.327.7238



BUILDING SECTIONS

CONCEPTUAL DEVELOPMENT PLAN  
FINAL DEVELOPMENT PLAN  
EMBASSY SUITES - SPRINGFIELD  
FAIRFAX COUNTY, VIRGINIA

PROJECT NO. 10-24-03
SCALE
DATE 06-23-2011

DESIGN	
DRAWN	RLH
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