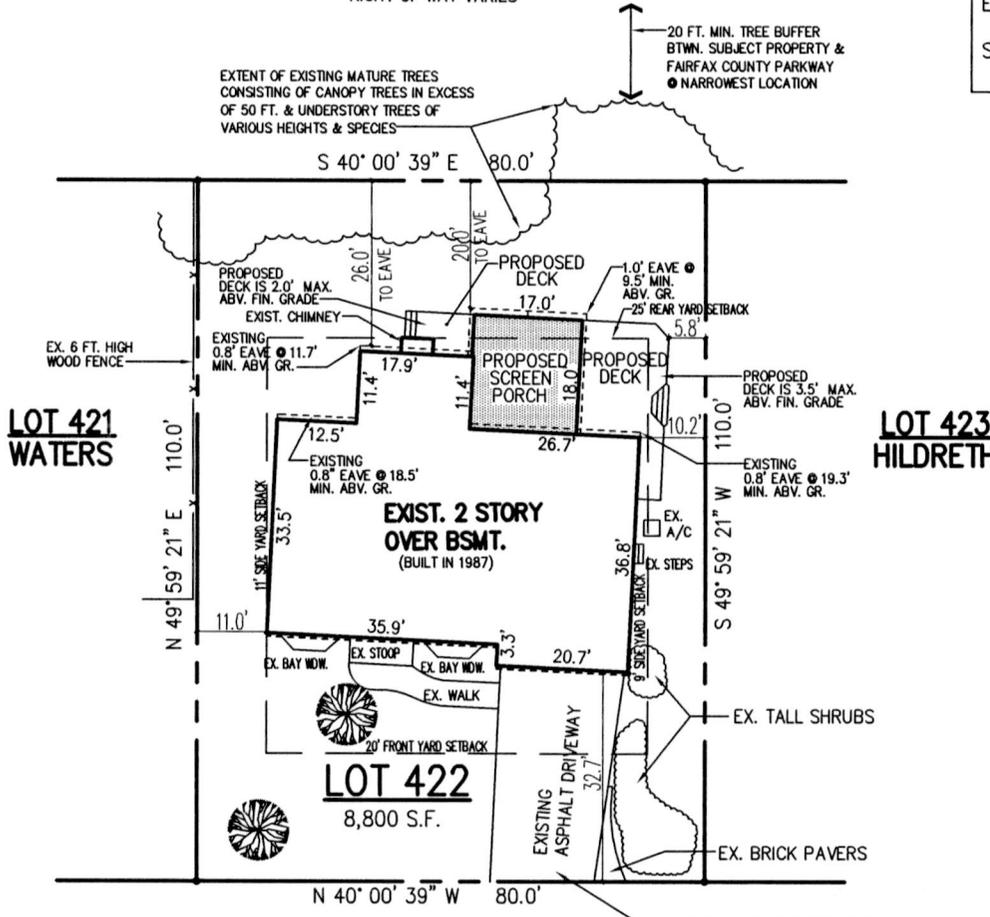


PROPERTY SETBACKS (R-3C)
 FRONT YARD = 20 FT.
 REAR YARD = 25 FT.
 SIDE YARD = 8 FT. MIN. W/ TOTAL OF 20 FT.

FAIRFAX COUNTY PARKWAY – RTE. 7100
 RIGHT OF WAY VARIES

MAXIMUM ROOF HEIGHTS ABV. GRADE	
EXIST. MAIN HOUSE	= 29.5' ±
EXIST. ROOF OVER GARAGE	= 31.2' ±
SCREEN PORCH	= 13.0' ±

RECEIVED
 Department of Planning & Zoning
 MAR 11 2011
 Zoning Evaluation Division



GROSS FLOOR AREAS	
EX. BASEMENT	= 1726 S.F.
EX. FIRST FLOOR	= 1787 S.F.
EX. SECOND FLOOR	= 1723 S.F.
EX. GARAGE	= 424 S.F.
TOTAL EXISTING AREA	= 5660 S.F.
EXISTING "FAR"	= 5660/8800 = .643
PROPOSED SCREEN PORCH	= 303 S.F.
TOTAL PROPOSED AREA	= 5963 S.F.
PROPOSED "FAR"	= 5963 / 8800 = .677
RESULTING GROSS FLOOR AREA (5963/5660)	IS 105% OF EXISTING PRINCIPAL STRUCTURE

SUGARLAND VALLEY DRIVE
 50' R/W
SITE DIAGRAM Application No. **SP 2011-DR-042** TRUE NORTH

KINGSTREAM
LOT 422 SECTION 7
 ZONED – R3C (R-3 W/ CLUSTER DEV.)
 DRANESVILLE DISTRICT, FAIRFAX COUNTY

Approved
John Little III

COMMONWEALTH OF VIRGINIA
Dwight R. Stonerook
 DWIGHT R. STONEROOK
 Lic. No. 008826
 9/13/10
 ARCHITECT

NOTES:

- EXISTING SITE INFORMATION SHOWN IS BASED ON PLAT PREPARED BY PACIULLI, SIMMONS & ASSOCIATES, LTD. DATED 11/10/87 (COMPLETE)
- THE PROPERTY IS SERVED BY PUBLIC WATER & SEWER
- THE PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA, RMA OR RPA, NOR IS IT IN AN EQC.
- THERE IS NO OBSERVABLE EVIDENCE OF ANY GRAVE, OBJECT OR STRUCTURE MARKING A BURIAL PLACE
- THERE ARE NO UTILITY EASEMENTS ON THE PROPERTY

PAGE: 1 OF 1	PROJECT: ROBINSON RESIDENCE	REVISIONS			DRS Architecture Professional Limited Company 704 CLAIRMONT COURT N.E. LEESBURG, VIRGINIA 20176 (703)737-3863 FAX (703)777-8879
		ADDRESS: 12034 SUGARLAND VALLEY DRIVE HERNDON, VIRGINIA 20170	REV No.	DATE	
DATE: 09/13/10					