

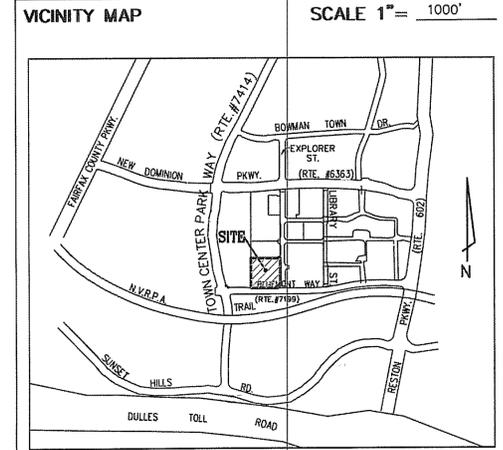
PRC 85-C-088-02  
 (PRC PLAN REVISION TO 7067-PRC-015)  
**RESTON TOWN CENTER**  
**SECTION 91A BLOCK 16**  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

Application No. PRC 85-C-088-02 Staff EG  
 APPROVED SET PLAN  
 SEE DEV CONDS DATED 7/26/11  
 Date of (603) (BZA) approval 7/26/11  
 Sheet 1 of 20

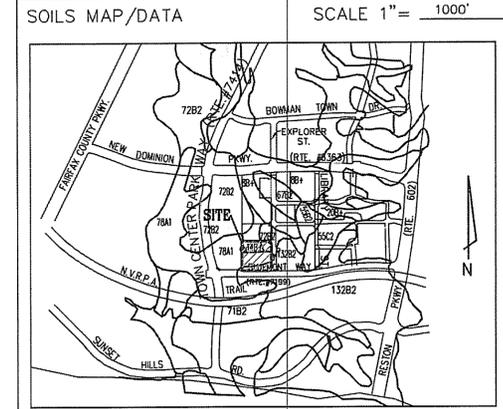
**GENERAL NOTES**

- THE PROPERTY IS IDENTIFIED AS FAIRFAX COUNTY TAX ASSESSMENT MAP: 17-3-((10))-0016.
- THIS PRC PLAN IS PREPARED IN ACCORDANCE WITH DPA 85-C-088-03 "RESTON TOWN CENTER URBAN CORE", APPROVED ON MAY 20, 2002. REFER TO SHEETS 12 - 18 OF THE PRC PLAN FOR A COPY OF THE APPROVED DPA PROVIDED FOR REFERENCE.
- BOUNDARY AND TOPOGRAPHIC SURVEY DATA HAS BEEN PROVIDED BY WESTERRA RESTON, LLC. HORIZONTAL GRID: VIRGINIA STATE GRID NORTH; VERTICAL DATUM: U.S.G.S. DATUM -2 FEET CONTOUR INTERVAL
- THE SITE WAS PREVIOUSLY DISTURBED AND GRADED WITH THE CONSTRUCTION OF THE ADJACENT ROADS. IT CURRENTLY CONSISTS OF A SMALL PAVED PARKING LOT, FORMER CONSTRUCTION STAYING AREA AND GRASSED AREAS. EXISTING VEGETATIVE COVER CONSISTS GENERALLY OF GRASSED AREAS.
- THIS SITE IS SERVED BY PUBLIC SEWER AND WATER.
- THE EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE.
- THE ARCHITECTURAL CONCEPTS AND TYPICAL BULK OF THE PROPOSED STRUCTURES SHALL GENERALLY BE CONSISTENT WITH SIMILAR DEVELOPMENTS IN THE AREA.
- THE LANDSCAPE CONCEPTS, SCREENING MEASURES, AND PROPOSED TREE COVER WILL BE PROVIDED WITH THE FINAL SITE PLAN AND SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 12 OF THE FAIRFAX COUNTY PFM. THE LANDSCAPE SHEETS INCLUDED IN THE PRC APPLICATION ARE FOR SCHEMATIC PURPOSES ONLY AND ARE SUBJECT TO CHANGE WITH FINAL ENGINEERING, SO LONG AS THE REQUIREMENTS OF CHAPTER 12 OF THE PFM ARE MET.
- THE DEVELOPMENT SEQUENCE FOR THIS PROJECT IS SUBJECT TO MARKET DEMAND.
- THERE IS NO EXISTING MAPPED FLOODPLAIN ON THE SUBJECT SITE. NO FLOODPLAIN STUDY IS REQUIRED. NO DRAINAGE STUDY IS REQUIRED.
- THERE IS CLASS A PROBLEM SOIL ON THIS SITE, THEREFORE A SOILS REPORT WILL BE REQUIRED FOR SITE PLAN APPROVAL.
- EASEMENTS AND/OR LETTERS OF PERMISSION FOR ANY OFFSITE CONSTRUCTION WILL BE PROVIDED WITH FINAL SITE PLAN AS REQUIRED.
- NECESSARY ON-SITE EASEMENTS WILL BE PROVIDED WITH THE FINAL SITE PLAN, SUBJECT TO FINAL DESIGN.
- ACCESS TO THE SITE IS PROVIDED OFF OF SAINT FRANCIS STREET (PRIVATE) AND EXPLORER STREET (PRIVATE), WHICH ARE BOTH OFF OF BLUEMONT WAY (ROUTE #7199) AT THIS TIME, WE ARE NOT AWARE OF FURTHER PUBLIC ROAD IMPROVEMENTS THAT ARE REQUIRED.
- THE RECREATIONAL FACILITIES PROVIDED WITH THIS PLAN WILL INCLUDE HIKING AND FITNESS WALKING SIDEWALKS. THERE IS ALSO A POOL PLANNED FOR THE INTERIOR COURTYARD.
- PROPOSED UTILITY LAYOUTS ARE SCHEMATIC AND SUBJECT TO CHANGE WITH FINAL SITE DESIGN. INDIVIDUAL UTILITY PLANS AND PROFILES WILL BE SUBMITTED WITH THE SITE PLAN(S) FOR CONSTRUCTION PURPOSES.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO KNOWN BURIAL SITES ON THE SUBJECT SITE.
- THERE ARE NO REQUIRED TRAILS ALONG THE FRONTAGE OF THESE PROPERTIES PER THE COUNTYWIDE TRAILWAYS PLAN.
- IT IS REASONABLE TO CONCLUDE AT THIS TIME THAT NO HAZARDOUS OR TOXIC SUBSTANCES, HAZARDOUS WASTES OR PETROLEUM PRODUCTS ARE TO BE GENERATED, UTILIZED, STORED, TREATED AND/OR DISPOSED OF ON THIS SITE. THERE ARE NO EXISTING STORAGE FACILITIES FOR SUCH PRODUCTS ON THIS SITE. IF ANY SUBSTANCES ARE FOUND, THE METHODS FOR DISPOSAL SHALL ADHERE TO COUNTY, STATE, OR FEDERAL LAW.
- EXCEPT AS SHOWN HEREON, THERE ARE NO KNOWN SCENIC ASSETS OR NATURAL FEATURES ON THE SUBJECT SITE WHICH WOULD DESERVE PROTECTION OR PRESERVATION.
- STORM WATER MANAGEMENT AND BEST MANAGEMENT PRACTICES FOR THIS PARCEL IS PROVIDED OFF-SITE IN THE "RESTON TOWN CENTER WESTERN" STORM WATER MANAGEMENT FACILITIES, WHICH IS CONSISTENT WITH THE APPROVED DEVELOPMENT OF THE RESTON TOWN CENTER WAIVER TO USE OFF-SITE SWM AND BMP FOR THIS SITE. SEE LETTER SHEET 3.
- THE DISTURBANCE ASSOCIATED WITH THE PROPOSED IMPROVEMENTS DOES NOT ENCROACH ON ANY FAIRFAX COUNTY MAPPED RESOURCE PROTECTION AREA. THERE IS NO RPA ON THE SUBJECT SITE, PER THE FAIRFAX COUNTY MAPS.
- THE EXTERNAL AND INTERNAL PEDESTRIAN CIRCULATION SYSTEM (INCLUDING TRAILS AND SIDEWALKS) SHALL BE PROVIDED AS GENERALLY SHOWN ON THIS PRC PLAN, SUBJECT TO FINAL DESIGN.
- ALL ARCHITECTURAL FEATURES (I.E. THE BUILDING SECTIONS AND FLOOR PLANS) PROVIDED IN THIS PRC PLAN ARE SUBJECT TO MODIFICATION OR REVISION AS PART OF FINAL ENGINEERING AND SITE PLAN APPROVAL.
- IN ACCORDANCE WITH PARAGRAPH 2 OF SECTION 16-204 OF THE ZONING ORDINANCE, MINOR MODIFICATIONS TO THE SIZE, DIMENSIONS, FOOTPRINTS, AND LOCATION OF BUILDINGS, PARKING SPACES, GARAGES, RETAINING WALLS AND SIDEWALKS MAY OCCUR WITH FINAL ENGINEERING AND DESIGN.
- SILTATION CONTROL DEVICES AND PRACTICES, AS WELL AS CLEARING AND GRADING LIMITS WILL BE CLEARLY DEPICTED ON THE SITE PLAN(S) TO BE SUBMITTED FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION. THE LIMITS OF CLEARING AND GRADING DEPICTED ON THIS PRC PLAN ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING.
- ALL PUBLIC STREETS SHALL CONFORM TO FAIRFAX COUNTY AND/OR VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) STANDARDS AND SPECIFICATIONS UNLESS MODIFIED. PRIVATE STREETS SHALL CONFORM TO STANDARDS SET BY THE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL SECTION 7 UNLESS MODIFIED.
- SIGNAGE WILL BE PROVIDED IN ACCORDANCE WITH ARTICLE 12 OF THE ZONING ORDINANCE AND IN COMPLIANCE WITH THE RESTON ASSOCIATION DESIGN GUIDELINES. FINAL LOCATIONS OF SIGNAGE WILL BE DEVELOPED AT A LATER DATE.
- LOCATIONS OF MECHANICAL EQUIPMENT (INCLUDING TRANSFORMERS AND GENERATORS) ON SITE TO BE PROVIDED WITH THE FINAL SITE PLAN.
- AVAILABLE FIRE FLOW WILL BE DETERMINED BY FAIRFAX WATER PRIOR TO FINAL SITE PLAN.
- IT IS ANTICIPATED THAT SOLID WASTE WILL BE COLLECTED ONSITE BY A PRIVATE CONTRACTOR TWICE A WEEK. THE TYPE AND SIZE OF CONTAINERS WILL BE PROVIDED WITH FINAL SITE PLAN.
- ALL EASEMENTS SHOWN ON THIS PRC PLAN ARE APPROXIMATE.
- BUILDING ENTRANCE LOCATIONS ARE SUBJECT TO CHANGE WITH FINAL ENGINEERING.
- Transportation Demand Management.** The Applicant shall coordinate with the existing LINK program and the Fairfax County Department of Transportation (FCDOT) to develop and implement mutually agreed upon Transportation Demand Management (TDM) strategies to encourage the use of transit (Metrorail and bus), other high-occupancy vehicle commuting modes, walking, and biking in order to reduce automobile trips generated by the residential units developed on the Property. The TDM strategies shall include, but not be limited to, the following:
  - Information Dissemination.** The Applicant shall provide, or shall coordinate with LINK to provide, transportation information, including transit maps, schedules and forms, ride-sharing, and other relevant transit option information in residential sales/rental kits and in a centralized area of the residential building, such as the lobby or a community room;
  - Ride Matching.** The Applicant shall coordinate with LINK to assist residents with vanpool and carpool formation programs, ride matching services, and established guaranteed ride home programs;
  - Car Sharing Information.** The Applicant shall provide, or shall coordinate with LINK to provide, information regarding the availability of car sharing programs (such as ZipCar/FlexCar) to all new residents;
  - Preferential Parking.** The Applicant shall provide dedicated preferential parking spaces for residential carpools/vanpools if any such carpools/vanpools are formed by residents;
  - Fare Cards.** The Applicant shall distribute SmartTrip cards (or similar transit fare cards), at least one time and in the amount of at least \$25.00 per unit, upon the execution of the initial lease or at the initial closing for each unit, as applicable; and
  - Bicycle Parking.** The Applicant shall provide bicycle racks as generally shown on this PRC Plan.

**GENERAL NOTES (CONT.)**



SIDEWALK MAINTENANCE: XXXX-VDOT, 0000-FFX CO  
 TRAIL MAINTENANCE: 0000-FFX CO  
 ALL OTHER WALKS/TRAILS TO BE OWNER MAINTAINED\*



SOIL ID NUMBERS	SERIES NAME	FOUNDATION SUPPORT	SUBSURFACE DRAINAGE	SLOPE STABILITY	ERODIBILITY	PROBLEM CLASS
14B+	MANASSAS	FAIR	MARGINAL	GOOD	MODERATE	B
72B2	BUCKS (L)	GOOD	GOOD	GOOD	MODERATE	C
78A1	CALVERTON	POOR	MARGINAL	GOOD	SLIGHT	A
132B2	MAYODAN	GOOD	FAIR	GOOD	MODERATE	C

**DEVELOPER/APPLICANT**

**SOUTH OF MARKET LOT 16 LLC**  
 505 9TH STREET N.W.,  
 SUITE 800  
 WASHINGTON DC 20004

**OWNER PARCEL ID**

T.M. 17-3-((10))-0016  
**SOUTH OF MARKET LOT 16 LLC,**  
 505 9TH STREET N.W.,  
 SUITE 800  
 WASHINGTON DC 20004

35. The applicant shall include, as part of the final site plan submission and building plan submission, a list of specific credits within U.S. Green Building Council's Leadership in Energy and Environmental Design-New Construction 2009 (LEED-NC 2009) rating system. A LEED-accredited professional (LEED-AP) who is also a professional engineer or licensed architect shall provide certification statements of both the time of final site plan review and the time of building plan review confirming that the items on the list will meet at least the minimum number of credits necessary to attain LEED certification of the project.

In addition, prior to final site plan approval, the applicant shall designate the Chief of the Environment and Development Review Branch of the Department of Planning and Zoning as a team member in the USGBC's LEED Online system. This team member shall have privileges to review the project status and monitor the progress of all documents submitted by the project team, but will not be assigned responsibility for any LEED credits and will not be provided with the authority to modify any documentation or paperwork.

Prior to the building plan approval, the applicant shall submit documentation, to the Environment and Development Review Branch of DPZ, regarding the U.S. Green Building Council's preliminary review of design-oriented credits in the LEED program. This documentation shall demonstrate that the building is anticipated to attain a sufficient number of design-related credits that, along with the anticipated construction-related credits, will be sufficient to attain LEED certification. Prior to release of the bond for the project, the applicant shall provide documentation to the Environment and Development Review Branch of DPZ demonstrating the status of attainment of LEED certification or a higher level of certification from the U.S. Green Building Council for the building. If the applicant is unable to provide the preliminary review of the design-related credit documentation prior to the building permit approval but does anticipate receiving the documentation prior to the attainment of the certification, the applicant may prior to the issuance of the building permit, post an escrow identical to the one described in the following paragraph. This escrow shall be released upon submission of the documentation to the Environment and Development Review Branch of DPZ from the U.S. Green Building Council demonstrating that the building is anticipated to attain a sufficient number of design-related credits that, along with the anticipated construction-related credits, shall be sufficient to attain LEED certification.

As an alternative to the actions outlined in the above paragraphs, or if the U.S. Green Building Council review of design-oriented credits indicates that the project is not anticipated to attain a sufficient number of design-related credits to support attainment of LEED certification, the applicant shall execute a separate agreement and post, a "green building escrow," in the form of cash or a letter of credit from a financial institute acceptable to DPZ as defined in the Public Facilities Manual, in the amount of (\$2/square foot). This escrow shall be in addition to and separate from other bond requirements and shall be released upon demonstration of attainment of LEED certification or higher level of certification, by the U.S. Green Building Council, under the most current version of the LEED-NC rating system or other LEED rating system determined by the U.S. Green Building Council. The provision to the Environment and Development Review Branch of DPZ of documentation from the U.S. Green Building Council that the building has attained LEED certification or a higher level of certification shall be sufficient to satisfy this commitment.

If the applicant provides to the Environment and Development Review Branch of DPZ, within one year of issuance of the final RUP/non-RUP for the building, documentation demonstrating that LEED certification for the building has not been obtained but that the building has been determined by the U.S. Green Building Council to fall within three points of attainment of LEED certification, 50% of the escrow shall be released to the applicant; the other 50% will be released to Fairfax County and shall be posted to a fund within the county budget supporting implementation of county environmental initiatives.

If the applicant fails to provide, within one year of issuance of the final RUP/non-RUP for the building, documentation to the Environment and Development Review Branch of DPZ demonstrating attainment of LEED certification or demonstrating that the building has fallen short of LEED certification by three points or less, the entirety of the escrow for that building shall be released to Fairfax County and will be posted to a fund within the county budget supporting implementation of county environmental initiatives.

If the Applicant provides documentation from the USGBC demonstrating, to the satisfaction of the Environment and Development Review Branch of DPZ, that USGBC completion of the review of the LEED certification application has been delayed through no fault of the Applicant, the Applicant's contractors or subcontractors, the time frame may be extended as determined appropriate by the Zoning Administrator, and no release of escrowed funds shall be made to the Applicant or to the County during the extension.

36. **Workforce Housing.** Twelve percent (12%) of the total number of dwelling units to be constructed on the Property shall be sold/rented as Workforce Dwelling Units ("WDUs") to future residents who have a household income of up to one hundred twenty percent (120%) of the Washington, DC Metropolitan Statistical Area median household income ("AMI"), as determined by the Department of Housing and Urban Development.

- Administration of Workforce Dwelling Units.** The provision of WDUs shall be generally administered pursuant to the "Board of Supervisors' Workforce Dwelling Unit Administrative Policy Guidelines" adopted October 15, 2007, except that both for-sale and rental WDUs (as determined by the Applicant) shall be made available in three tiers as follows: (a) three percent (3%) of the total number of dwelling units constructed on the Property shall be affordable for purchase or rental by households earning up to and including eighty percent (80%) of AMI, (b) three percent (3%) of the total number of dwelling units constructed on the Property shall be affordable for purchase or rental by households earning up to and including one hundred percent (100%) of AMI, and (c) six percent (6%) of the total number of dwelling units constructed on the Property shall be affordable for purchase or rental by households earning up to and including one hundred twenty percent (120%) of AMI. Where this Note conflicts with the Policy Guidelines, this Note shall control.
- Mix of Workforce Dwelling Units.** The WDUs may be provided as efficiency/studio, one-bedroom, and/or two-bedroom units, as determined by the Applicant, provided that at least one-third of the required WDUs shall be constructed as at least one-bedroom units.
- Designation of Workforce Dwelling Units on Plans.** All approved site plans for the Property shall identify the total number of WDUs to be constructed on the Property and shall provide a tabulation of the square footage and bedroom count of such units. Such site plans also shall include a tabulation of any associated bonus market-rate units and/or bonus non-residential square footage achieved on the Property.
- Market-Rate Rental of Workforce Dwelling Units.** Notwithstanding Sections 8 and 13 of the Policy Guidelines, the Applicant shall have the right to lease rental WDUs to tenants at market rates (as determined by the Applicant) in the event the Applicant, despite good faith marketing efforts in coordination with the Fairfax County Department of Housing and Community Development ("DHCD"), is unable to lease such WDUs at the workforce housing rates permitted under the Policy Guidelines within ninety (90) days of DHCD's execution of the Notice of Availability and Rental Offering Agreement due to the lack of prospective tenants who meet the income eligibility criteria established by DHCD.
- Alternative Administration.** Notwithstanding the foregoing paragraphs of this Note, the Applicant reserves the right to enter into a separate, binding written agreement with the appropriate Fairfax County agency as to the terms and conditions of the administration of the WDUs. Such an agreement shall be on terms mutually acceptable to both the Applicant and Fairfax County. Neither the Board of Supervisors nor Fairfax County shall be obligated to execute such an agreement. If such an agreement is executed by all applicable parties, then the WDUs shall be administered solely in accordance with such an agreement, and the provisions of this Note shall become null and void. Such an agreement and any modifications thereto shall be recorded in the land records of Fairfax County.

**SHEET INDEX**

1.	COVER SHEET	
2.	SITE TABULATIONS	
3.	CORRESPONDENCE	RECEIVED Department of Planning & Zoning
4.	EXISTING CONDITIONS PLAN	
5.	PRC PLAN	JUL 05 2011
5A.	PEDESTRIAN CIRCULATION EXHIBIT	
6.	OUTFALL / SWM / BMP PLAN	Zoning Evaluation Division
7.	OPEN SPACE EXHIBIT	
8.	PRELIMINARY LANDSCAPE PLAN	
9.	PRELIMINARY LANDSCAPE SCHEDULE AND DETAILS	
10-11.	PRELIMINARY GARAGE LAYOUT PLAN	
11A.	BUILDING ELEVATIONS	
12-18.	APPROVED DEVELOPMENT PLAN	

No.	DATE	DESCRIPTION	REV. BY	APPROVED	DATE

PLAN DATE	NO.
11-26-10	
03-10-11	
04-14-11	
05-06-11	
05-27-11	
06-07-11	
06-27-11	

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COVER SHEET  
**RESTON TOWN CENTER**  
**SECTION 91A- BLOCK 16**  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

DATE: NOV., 2010  
 SCALE: AS NOTED  
 C.I. = N/A

SHEET  
 1  
 OF  
 18  
 FILE No.  
 PREL-2004

**SITE CALCULATIONS**

- 1. PARCEL AREA: 2.51 AC. (109,372 S.F.)
- 2. ZONE: PRC (TOWNCENTER)
- 3. PROPOSED USE: MULTIFAMILY RESIDENTIAL / RETAIL / RESTAURANT
- 4. PROPOSED UNITS: 359 MULTIFAMILY UNITS

5. CORRESPONDING POPULATION: 359 MULTIFAMILY RESIDENTIAL UNITS \*2.1 PERSONS/UNIT = 332 MULTIFAMILY RESIDENTIAL UNITS REMOVED \*2.1 PERSONS/UNIT = 57 PERSONS NET INCREASE  
 NOTE: 332 UNITS INCLUDED IN EXISTING POPULATION PER FFX COUNTY PLAN #7067-SP-019-2

6. DENSITY: OVERALL PRC DISTRICT MAX = 13 PERSONS / ACRE OF GROSS RESIDENTIAL & ASSOC. COMMERCIAL AREAS  
 PROPOSED: SEE OVERALL COMPUTATION THIS SHEET  
 PRC HIGH DENSITY DISTRICT OVERALL MAX = 60 PERSONS PER ACRE GROSS RESIDENTIAL AREA  
 PROPOSED: SEE COMPUTATION THIS SHEET  
 PRC HIGH DENSITY SINGLE AREA MAX: 50 DU / ACRE  
 PROPOSED: 2971 DU / 84.25 AC = 35.26 DU / AC (SEE COMPUTATION THIS SHEET)

SECTION 91A BLOCK 16 MAX: 359 UNITS (SEE COMPUTATION THIS SHEET)  
 PROPOSED: 359 UNITS

7. APPROXIMATE GROSS FLOOR AREA FOR USES OTHER THAN DWELLINGS = 29,145 SF  
 APPROXIMATE FAR FOR USES OTHER THAN DWELLINGS: 29,145 GSF/109,372 SF = 0.27  
 SEE ALSO, OVERALL RESTON TOWN CENTER CORE: FAR TRACKING CHART ON THIS SHEET

8. PROPOSED HEIGHT: SEE BUILDING DATA CHART ON THIS SHEET

9. OPEN SPACE: REQUIRED OPEN SPACE: NO REQUIREMENT  
 APPROXIMATE PROPOSED OPEN SPACE: ±0.37 AC (±15%)

10. TREE COVER CALCULATION: SEE COMPUTATIONS ON SHEET 9.  
 NOTE: THE REQUIRED TREE CANOPY WILL BE PROVIDED AT TIME OF FINAL SITE PLAN. PRELIMINARY LANDSCAPE PLAN IS PROVIDED ON SHEET B.

11. PARKING: PARKING REQUIRED:  
 MULTIFAMILY: 1.6 SPACES/UNIT \* 359 UNITS = 575 SPACES  
 RETAIL: 4.3 SPACES/1000 GSF \* 18,145 GSF = 79 SPACES  
 RESTAURANT: 1 SPACE/4 SEATS \* 236 SEATS + 1 SPACE/2 COUNTER SEATS \* 164 SEATS + 1 SPACE/2 EMPLOYEES \* 40 EMPLOYEES = 161 SPACES  
 TOTAL REQUIRED: 815 SPACES

PARKING PROVIDED: 815 STRUCTURED SPACES  
 HANDICAPPED PARKING REQUIRED (2% \* PARKING PROVIDED): = 17 SPACES (INCLUDING 3 VAN ACCESSIBLE)  
 HANDICAPPED PARKING PROVIDED: = 17 STRUCTURED SPACES (INCLUDING 3 VAN ACCESSIBLE)

LOADING SPACES REQ'D:  
 MULTIFAMILY: (1 SPACE/1ST 25,000 GSF + 1 SPACE/EACH ADDITIONAL 100,000 GSF) \* 425,950 GSF = 5 SPACES  
 RETAIL: (1 SPACE/1ST 10,000 GSF + 1 SPACE/EACH ADDITIONAL 15,000 GSF) \* 18,145 GSF = 2 SPACES  
 RESTAURANT: (1 SPACE/1ST 10,000 GSF + 1 SPACE/EACH ADDITIONAL 25,000 GSF) \* 11,000 GSF = 2 SPACES  
 TOTAL: 5 SPACES (MAX REQUIRED PER Z.O. SECTION 11-202.15)

LOADING SPACES PROVIDED: 5 SPACES  
 NOTE: PARKING SPACES WILL BE PROVIDED GENERALLY AS SHOWN HEREON. APPLICANT RESERVES THE RIGHT TO ADJUST THE QUANTITY AND/OR LOCATION OF THE PARKING SPACES AT TIME OF FINAL SITE PLAN, AS LONG AS THE MINIMUM NUMBER OF SPACES IS PROVIDED IN ACCORDANCE WITH ARTICLE 11 OF THE FAIRFAX COUNTY ZONING ORDINANCE OR ANY SUBSEQUENT PARKING REDUCTION THE APPLICANT MAY SEEK. APPLICANT ALSO RESERVES THE RIGHT TO ADJUST THE SQUARE FOOTAGE OF EACH USE, NUMBER OF TABLES, BAR SEATS AND EMPLOYEES AT TIME OF FINAL SITE PLAN.

**BUILDING DATA**

USE GROUP CLASSIFICATION	TYPE OF CONSTRUCTION	GROSS FLOOR AREA (ft.²)	NET FLOOR AREA (ft.²)	FOOT PRINT AREA (ft.²)	BUILDING HEIGHT (# OF STORIES)(ft.)	MAX. BLDG HEIGHT PER DPA	SPRINKLER DESCRIPTION	UNITS
R-2 MULTIFAMILY/ S-2 GARAGE	II-A	RES: 425,950 SF RET: 29,145 SF	RES: 356,450 SF RET: 29,145 SF	87,359	BLDG: 15 STORIES (200') GAR: 4/5 STORIES (60')	275'	NFPA 13-R (R-2)/ NFPA 13 (S-2)	359
TOTAL		455,095	385,595					

BUILDING DATA CHART NOTE: BUILDING DATA SHOWN IS FOR PRELIMINARY PLANNING PURPOSES ONLY. APPLICANT RESERVES THE RIGHT TO ADJUST THE DATA PROVIDED HEREON AT THE TIME OF FINAL SITE PLAN, AS LONG AS THE TOTAL NUMBER OF RESIDENTIAL UNITS IS NOT INCREASED.

**MAXIMUM OVERALL PRC DISTRICT DENSITY COMPUTATION**  
 INCLUDING APPROVED SITE PLAN APPLICATIONS

Reston Planned Residential Community (PRC) District  
 Residential Development Potential  
 May 2008

Existing Density Calculation			
Unit Type	Unit Count	Population Factor (as amended 3/26/2007)	Number of Persons
Single family detached	4,247	3.0 persons	12,741
Single family attached	8,205	2.7 persons	22,154
Multiple family	14,323*	2.1 persons	30,079
			Current Population = 64,974
			Current persons per acre = 10.44

\* Includes 332 units approved per Site Plan #7067-SP-019-2, Metropolitan at Reston Town Center Phase II

Remaining Available Development Potential	
Based on maximum population calculation of 80,912 persons	
Based on inclusion of approved PRC Applications	
6,224 acres @ 13 persons/acre = 80,912 persons	
80,912 maximum population - 64,974 current population = 15,938 persons of available density	
15,938 persons of available density translates to a development potential of:	
5,312 single family detached units or 5,903 single family attached units or 7,590 multiple family units	

Sources: Dwelling unit count from Department of Tax Administration data and Plan and Document Control, LDS, DPWES with addition of units receiving site plan approval \*since adoption of the PRC Amendment March 26, 2007.

PROPOSED POPULATION BASED ON CURRENT APPLICANT

EXISTING POPULATION:	64,974 PERSONS
+ 57 PERSONS (NET INCREASE W/ CURRENT APPLICATION)	
65,031 PERSONS	
65,031 PERSONS / 6224 ACRES =	10.45 PERSONS/ACRE
10.45 PERSONS PER ACRE < 13 PERSONS PER ACRES.	REQUIREMENT MET

**Pending Applications\***

Project	#Units	Type	#Persons	Status
JBG/Reston Heights	498	MF	1046	PRC Plan Approved (PRC-B-846)
Oracle Site/Excelsior	457	MF	960	PRC Approved (PRC 86-C-121-03)
Colts Neck Road LLC	210	MF	441	PCA/DPA/PRC Approved (PRC-A-936)
Spectrum/Lerner	1426	MF	2995	Pending PRC Approval (PRC 86-C-121-04)
Athena Renaissance/ ParcReston**	110	MF	231	PRC Plan Approved (PRC 82-C-060)
Four Seasons	11	MF	24	PRC Plan Approved (PRC 87-C-088)
Fairway Apartments***	456	MF/SFA	828	Pending PRC Plan Approval (PRC-A-502-02)
Reston TC Block 16****	27	MF	57	Pending PRC Plan Approval
<b>Total Number of Units</b>	<b>3,195</b>		<b>6,582</b>	

\* "Pending" pertains to the fact that these units will not count against the density cap until site plan approval.  
 \*\* Original PCA approved for 696 units, of which 586 are in staff unit count. 418 of the 586 are existing.  
 \*\*\* 804 units proposed, 348 existing units to be removed.  
 \*\*\*\* 359 units proposed, 332 units included in staff unit count

**MAXIMUM OVERALL PRC DISTRICT DENSITY COMPUTATION**  
 INCLUDING APPROVED SITE PLAN & PRC APPLICATIONS

Reston Planned Residential Community (PRC) District  
 Residential Development Potential  
 Including approved PRC Applications  
 April 25, 2011

Density Calculation including Approved PRC Applications			
Unit Type	Unit Count	Population Factor (as amended 3/26/2007)	Number of Persons
Single Family Detached	4,247	3.0 persons	12,741
Single Family Attached	8,205	2.7 persons	22,154
Multiple Family	15,609	2.1 persons	32,779
			Population 67,674
			Persons per acre 10.87

Remaining Available Development Potential  
 Based on Maximum Population Calculation of 80,912 persons  
 Based on inclusion of approved PRC Applications

6,224 acres @ 13 persons / acre = 80,912 persons

80,912 maximum population - 67,674 people = 13,238 persons of available density based on inclusion of approved PRC Applications

13,238 persons of available density translates to a development potential of:

4,412 single family detached units	Or	4,902 single family attached units	Or	6,303 multiple family units
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PROPOSED POPULATION BASED ON CURRENT APPLICANT

EXISTING POPULATION INCLUDING APPROVED PRC APPLICATIONS: 67,674 PERSONS  
 + 57 PERSONS (NET INCREASE W/ CURRENT APPLICATION)  
 67,731 PERSONS

67,731 PERSONS / 6224 ACRES = 10.88 PERSONS/ACRE  
 10.88 PERSONS PER ACRE < 13 PERSONS PER ACRES.  
 REQUIREMENT MET

**RESTON TOWN CENTER CORE: FLOOR AREA TRACKING**  
 November 12, 2010

The proffers permit a maximum of 3,465,000 square feet of commercial development within the Town Center Core Area. This floor area is to be distributed among office, hotel and retail uses as follows:

	Office	Hotel	Retail	Total
	2,150,000	1,000,000	315,000	3,465,000

The proffers permit the retail floor area to be increased provided either the office or hotel or both floor areas are reduced so as not to exceed the 3,465,000 total square feet.

The Phase I existing and proposed floor area is as follows:

Phase I	OFFICE	HOTEL	RETAIL	TOTAL
Existing	531,653	420,076	312,243	1,263,972
Equity Tower (Plan #7067-SP-14)	250,000			250,000
<b>Total Phase I</b>	<b>781,653</b>	<b>420,076</b>	<b>312,243</b>	<b>1,513,972</b>

The Phases II and III existing and proposed floor area is as follows:

	OFFICE	HOTEL	RETAIL	TOTAL
<b>Phases II and III</b>				
(One Freedom Square) Block 13 Existing (Plan #7067-SP-08)	580,257		15,058	395,315
(Two Freedom Square) Block 13A (Plan #7067-SP-12-1)	378,547		17,637	396,184
Block 14 (Plan #7067-SP-12-1)	553,095		57,957	611,052
Block 15 (Plan #7067-SP-12-1)	231,306		29,783	261,089
Block 16 (Plan #7067-SP-12-1)			29,145	29,145
Block 18 (Plan #7067-SP-12-1)			15,943	15,943
Block 19 (Plan #7067-SP-13)			2,300	2,300
Block 20 (Plan #7067-SP-13)				
Section 89A (Plan #7067-SP-15)	240,000			240,000
<b>Total Phases II and III</b>	<b>1,783,205</b>		<b>167,822</b>	<b>1,951,028</b>
<b>Total Phases I, II &amp; III</b>	<b>2,564,858</b>	<b>420,076</b>	<b>480,065</b>	<b>3,465,000</b>
<b>Total available FAR</b>				<b>0</b>

Reston PRC Density					
April 25, 2011					
RESTON HIGH DENSITY RESIDENTIAL CATEGORY DENSITY					
Includes Approved PRC Applications					
High density residential category density not to exceed 60 persons/acre					
SECTION	ACRES	UNITS	UNIT TYPE	PERSONS	PERSONS/ACRE
S. 1-B, 12A, 12B, 12C, 12D	17.4565	146	SFA	394	
S. 1-B, 13	5.9599	238	MFH	500	
S. 7A	12.3691	261	MFG	548	
S. 11	13.1123	133	MFG	279	
S. 15A-B, 2A	11.4107	216	MFH	454	
S. 15-B, 1	7.4106	132	MFH	277	
S. 15A-B, 3 & 4	3.8756	11	SFA	30	
S. 17-B, 2	7.6561	105	MFG	221	
S. 17, B, 3	2.28	18	SFA	49	
S. 17-B, 10, 7 & 13	25.2458	442	MFG	928	
S. 19-B, 5, 6 & 7	17.3139	240	MFG	504	
S. 24A-B, 2 & 3		50	SFA	150	
S. 28-B, 1	17.71	178	SFA	481	
S. 28-B, 2	12.4248	240	MFG	504	
S. 28-B, 3	11.0459	204	MFG	428	
S. 28-B, 4	2.4167	0	Open	0	
S. 30-B, 1	4.3277	210	MFH	441	
S. 30-B, 2A		60	SFA	182	
S. 30-B, 2B	11.1481	154	SFA	416	
S. 34-B, 1	19.455	360	MFG	756	
S. 34-B, 2, 4	17.8416	300	MFG/Open	630	
S. 34-B, 2A	8.6	60	SFA	182	
S. 34-B, 3	1.5639	0	Open	0	
S. 38B-B, 10	9.9146	200	MFG	420	
S. 39, B, 9	6.57	44	SFA	119	
S. 40, B, 1	15	193	MFH	405	
S. 40, B, 1C & 1D	9.9633	498	MFH	1046	
S. 41, B, 1	11.1271	145	SFA	392	
S. 41, B, 1A	5.8	73	SFA	197	
S. 43	31.91	400	MFG	840	
S. 46-B, 1 & 2A	23.7188	300	MFG	630	
S. 50-B, 7 & 8A-8A2	23.104	152	SFA	410	
S. 52-B, 1A & 1B	22.0424	140	SFA	378	
S. 52-B, 2 & 3	14.5075	156	MFG	329	
S. 54-B, 1A, 2A & 2B	23.7859	450	MFG	945	
S. 57, B, 2	8.07	168	MFG	353	
S. 63, B, 1	14.33	250	MFG	525	
S. 74-B, 3	6.37	46	SFA	124	
S. 76-B, 1, 4 & 5	5.4159	38	SFA	103	
S. 76, B, 2A, [2C]	6.28	78	SFA	234	
S. 76, B, 2B, [2E]	10.28	153	SFA	413	
S. 76, B, 3	3.37	20	SFA	54	
S. 76, B, 3	6.17	40	SFA	108	
S. 76-B, 4	2.44	0	Church	0	
S. 80, B, 1C	3.8037	38	SFA	103	
S. 80, B, 1D	3.08	27	SFA	73	
S. 80, B, 1E	2.37	17	SFA	46	
S. 81, B, 1	9.77	182	MFG	382	
S. 81, B, 2	13.22	514	MFH	1079	
S. 82-B, 1A, 4 & 5	17.6676	124	SFA	335	
S. 82, B, 2A	12.35	216	MFG	454	
S. 83-B, 3, 4 & 5	7.65	0	COMM	0	
S. 85	9.12	344	MFH	722	
S. 86, B, 1	6.92	35	SFA	95	
S. 86, B, 2	12.36	185	SFA	476	
S. 89, B, 2	6.98	185	MFG	389	
S. 89, B, 5	2.09	100	MFH	210	
S. 91A	75.13	2600	MFH	5460	
S. 95 B1	5.93	296	MFH	622	
S. 95 B2	22.24	457	MFH	960	
S. 931, B, 4A	10.3	174	MFG	365	
S. 931, B, 4B	13.55	80	SFA	216	
S. 933	49	455	SFA	1229	
<b>TOTAL</b>	<b>774.9849</b>	<b>13497</b>		<b>29873</b>	<b>38.547</b> (less than 60 persons/acre)

**RESTON TOWN CENTER URBAN CORE RESIDENTIAL UNIT TRACKING**  
 November 26, 2010

Maximum of 1000 high-density residential dwelling units permitted within Section 89A and Section 91A Block 16 and 18 PER DPA 85-C-088-3

Section	Dwelling Units
Section 89 A	NA
Section 91A Block 16	359
Section 91A Block 18	641
<b>Total</b>	<b>1000</b>

**RESTON MAXIMUM HIGH-DENSITY SINGLE AREA PERMITTED WITHIN SECTION 85 AND 91A**  
 November 26, 2010

	Dwelling Units	Acres	DU/AC.
Section 85	344	9.12	
Section 91A	2627	75.13	
<b>Total</b>	<b>2971</b>	<b>84.25</b>	<b>35.26</b>

PLAN DATE	DATE	DESCRIPTION	REVIEWED	DATE
11-26-10				
03-10-11				
04-14-11				
05-26-11				
06-07-11				
06-27-11				

Urban, Ltd.  
 7112 Leesville Road, Suite 2005  
 Fairfax, VA 22031  
 Tel: 703.662.8800  
 Fax: 703.662.8251  
 www.urban-llc.com



**RESTON TOWN CENTER SECTION 91A - BLOCK 16 HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA**

SITE TABULATIONS  
 RESTON TOWN CENTER SECTION 91A - BLOCK 16 HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA  
 SHEET 2 OF 18  
 FILE No. PREL-2004  
 SCALE: AS NOTED  
 DATE: NOV., 2010  
 C.I. = N/A  
 REVISION APPROVED BY DIVISION OF DESIGN REVIEW

ON-SITE SWM WAIVER



**FAIRFAX COUNTY**

Department of Public Works and Environmental Services  
Office of Site Development Services  
12055 Government Center Parkway  
Fairfax, Virginia 22035-5503

Telephone (703) 324-1700  
Waiver Request No: 021483  
File No: 04334/99

NOV 10 1999

Eric S. Siegel, P.E.  
Urban Engineering and Associates, Inc.  
7712 Little River Turnpike  
Annandale, Virginia 22003

Subject: Request for Waiver of On-site Stormwater Detention Requirements for Reston Town Center, Phases II and III; Tax Map: 17-1-001-Part of 12E; Hunter Mill District

Reference: Your Letter to Michelle Brickner Dated August 6, 1999

Dear Mr. Siegel:

In response to your request, a waiver of standard on-site County stormwater detention requirements for the subject project is hereby granted.

There is sufficient justification to grant this waiver because off-site detention has been provided for this site.

However, temporary detention for runoff and sediment control is required in order to comply with the County's two-phase construction permit program.

This waiver in no way relieves you of any other County drainage requirements, including adequacy of outfall and pro-rata share payments. Compliance with the Chesapeake Bay Preservation Ordinance is also required. This waiver shall expire 24 months from the date of approval unless the appropriate site plan has been approved.

Please ensure that a copy of this letter is made a part of the subject plan.

Eric S. Siegel, P.E.  
Page 2

If further assistance is desired, please contact Walter Hamilton, III, Special Projects Branch at 324-1700.

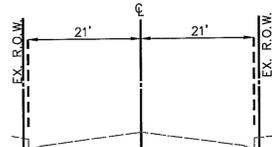
Sincerely,

*Ray Cited*  
Ray Cited, Chief  
Special Projects Branch

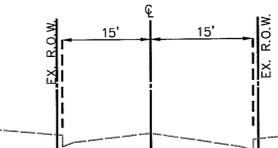
RC/tds  
4334

cc: Fred Rose, Chief, Stormwater Management Branch, DPWES  
John Crouch, Acting Chief, Bonds and Agreements Branch, DPWES  
Assad Ayoubi, Chief, Site Review Branch, DPWES  
Walter Hamilton, III, Special Projects Branch, DPWES  
Stormwater Detention File

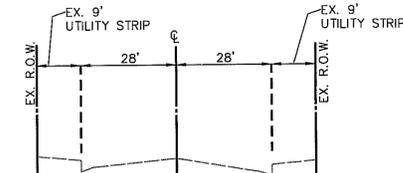
TYPICAL EXISTING CONDITIONS SECTION  
**SAINT FRANCIS STREET**  
NOT TO SCALE



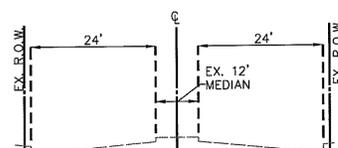
TYPICAL EXISTING CONDITIONS SECTION  
**TOWN SQUARE**  
NOT TO SCALE



TYPICAL EXISTING CONDITIONS SECTION  
**BLUEMONT WAY (RTE. #7199)**  
NOT TO SCALE



TYPICAL EXISTING CONDITIONS SECTION  
**EXPLORER STREET**  
NOT TO SCALE



**LEGEND**

--- SITE PROPERTY LINE	76.00+ PROP. SPOT ELEVATION	(L) LOADING SPACE DESIGNATOR	[E] EXISTING TRANSFORMER
--- PROPOSED STORM DRAIN	481.7 EXISTING SPOT ELEVATION	(4) PARKING SPACE COUNTER	[T] PROPOSED TRANSFORMER
(S) EXISTING STORM DRAIN	(PRC) (LOC) APPROX. LIMITS OF CLEARING AND GRADING & LIMIT OF PRC PLAN	(T) EXISTING TREE	--- EXISTING OVERHEAD WRES
--- PROPOSED SANITARY SEWER	--- PROPOSED CURB	PP O EX. POWER POLE	[A/C] EXISTING AIR CONDITIONING UNIT
--- EXISTING SANITARY SEWER	--- PROP. EDGE OF PAVEMENT	PP GUY EX. POWER POLE W/ GUY	(TP) EXISTING TRAFFIC SIGNAL POLE
WV EX. WATER VALVE	--- EXISTING EDGE OF PAVEMENT	A EX. SIGN	(GV) EXISTING GAS VALVE
FH EX. FIRE HYDRANT	--- EXISTING CURB	(X) EXISTING FENCE	
--- PROPOSED CONTOUR	EX. CC-6/EX. C&G EXISTING CURB	(- - -) EXISTING ELECTRIC LINE	
	(M) HC VAN SPACE		
	(d) HC SPACE		

ON-SITE SWM WAIVER



**FAIRFAX COUNTY**

OFFICE OF THE CLERK  
BOARD OF SUPERVISORS  
12000 Government Center Parkway, Suite 533  
Fairfax, Virginia 22035-0072

Telephone: 703-324-3151  
FAX: 703-324-3926  
TTY: 703-324-3903

VIRGINIA

August 9, 2002

Mark C. Looney, Esquire  
Cooley Godward LLP  
One Freedom Square / Reston Town Center  
11951 Freedom Drive Suite 1500  
Reston, Virginia 20190-5601

RE: Development Plan Amendment  
Number DPA 85-C-088-3

Dear Mr. Looney:

At a regular meeting of the Board of Supervisors held on May 20, 2002, the Board approved Development Plan Amendment DPA 85-C-088-3 to permit the 3<sup>rd</sup> amendment of the Development Plan for RZ 85-C-088 to permit mixed use development with an overall Floor Area Ratio (FAR) of 0.95, in the name of Westerra Reston, LLC, located west of Library Street, east of Town Center Parkway, south of New Dominion Parkway and north of the Washington and Old Dominion Trail, Tax Map 17-1 ((16)) 17, 18; 17-3 ((1) 3A; 17-3 ((10)) 16, consisting of 12.68 acres in Hunter Mill District, subject to the following development conditions.

1. Any plan submitted pursuant to this Development Plan Amendment shall be in conformance with the approved Development Plan Amendment entitled "Reston Town Center Urban Core" prepared by Urban Engineering & Assoc., Inc., which is dated January, 2002, as revised through May 17, 2002, and consists of seven sheets (the "Development Plan"), and the following conditions.

2. The maximum permitted building height on Section 91A, Block 18 shall be limited to 21 stories, except that the finished building height of any structure(s) constructed within 100 feet of the north frontage of Section 91A Block 18 on New Dominion Parkway shall not exceed the height above sea level of the finished building height of the existing parking structure constructed on Blocks 12 and 12A. This existing height of the parking structure on Blocks 12 and 12A shall be demonstrated to the Office of Building Code Services, Department of Public Works and Environmental Services (DPWES) at the time of submission of building plans.

DPA 85-C-088-3  
August 9, 2002

2

3. The maximum permitted building height on Section 89A Block 1 shall be limited to 15 stories, including any above-ground parking levels.

4. Irrespective of the notes listed in the Development Plan, a Landscape Plan consistent with the quantity and quality of plantings shown on Sheet 4 of the Development Plan shall be submitted for review and approval by the Urban Forestry Division of DPWES at the time of site plan approval.

5. a. Pursuant to Proffer B1 of the Reston Town Center Proffers: prior to site plan approval for the development of Section 89A Block 1 or upon demand by the Director of the Fairfax County Department of Transportation, whichever occurs first, a minimum of 1.07 acres of land area in the eastern portion of Section 89A Block 1, as shown on Sheet 7 of the Development Plan (the "Dedication Area"), shall be dedicated and conveyed at no cost to the Board of Supervisors, in fee simple, for the construction of a bus transit station. Density credit shall be retained by the applicant for the area dedicated consistent with the provisions of the Fairfax County Zoning Ordinance. All necessary easements, as determined by the Fairfax County Department of Transportation (DOT) in consultation with "LNK", for transit vehicle access within the private street network of the Town Center Urban Core, shall also be granted to the County at no cost, prior to the commencement of operations of the bus transit facility.

b. The applicant at its sole expense shall provide to the County the complete design and construction plans for the County bus transit station facility including the kiosk structure in Section 89A Block 1, subject to review and approval by DOT and the Office of Capital Facilities and Office of Site Development Services (OSDS), DPWES. The applicant shall be responsible for submitting the required plans to OSDS and obtaining all required OSDS permits for construction. The OSDS submissions shall be made using a Designated Plans Examiner (DPE) selected by the applicant. The applicant shall pay all required review and waiver fees. These services shall include preliminary design through full construction drawings, as well as the services of the applicant's engineer to address revisions during construction and for up to one year following the completion of construction of the site. As-built drawings shall also be provided within thirty (30) days of final bond release. The preliminary (35% complete), intermediate (75% complete), pre-final (95% complete), and final designs (100% complete) shall be completed and submitted to the Office of Capital Facilities, DPWES, to include 25 copies of plans at each submission for its review and approval. The preliminary design (35% complete) shall be completed

DPA 85-C-088-3  
August 9, 2002

3

within three (3) months of the date that the County provides written notification to the applicant that the Dedication Area is acceptable as a transit station facility pursuant to condition 5d. Preliminary, intermediate, pre-final, and final design plans shall be prepared in the format and on a schedule mutually agreed upon between the applicant and the Office of Capital Facilities, DPWES, for bid advertisement as a Fairfax County funded construction project. All DPWES comments at each review phase shall be addressed at no cost to the County and the disposition of all comments shall be documented to the County.

c. PRC plan approval, Town Center Design Review Board approval, and site plan approval for the proposed County bus transit facility, shall be diligently pursued to completion by the applicant, either prior to or concurrently with securing these approvals for the applicant's proposed development on the remainder of Section 89A Block 1, with an approval date of six (6) months from the date of approval by the Office of Capital Facilities, DPWES of the final designs (100% complete) construction drawings as referenced in condition 5b above, unless delays are mutually agreed upon by the applicant and the County. Site plan approval shall not be deemed to include bonding for the proposed transit station construction.

d. Upon the approval of this DPA and the expiration of any applicable appeal periods, permission shall be granted in writing by the applicant for the County to enter the Dedication Area to conduct physical inspection and any testing deemed necessary to determine the property's suitability for the County's intended use. Such testing shall not be funded by the applicant; mitigation of the property, if necessary, shall not be funded by the applicant. If the County determines in its sole discretion that the Dedication Area is not suitable for its use, the County may refuse to accept the dedication, and conditions 5a through 5g shall be nullified, except that all necessary easements, as determined by the Fairfax County Department of Transportation (DOT) in consultation with "LNK", for transit vehicle access within the private street network of the Town Center Urban Core, shall be granted to the County at no cost.

e. Assessments levied by the Urban Core Association on the 1.07 acre property to be dedicated to the County pursuant to condition 5a above shall be paid fully by the applicant, unless waived by the Reston Town Center Urban Core Association.

DPA 85-C-088-3  
August 9, 2002

4

f. Provision of stormwater management and BMP facilities, if deemed necessary by DPWES, shall be provided off-site from the property to be dedicated to the County for a bus transit facility pursuant to condition 5a above by the applicant at no cost to the County. Any necessary public utility or other easements to serve the bus transit station shall also be provided at no cost to the County. BMP and stormwater management facilities shall be maintained by the applicant at no cost to the County.

g. If not provided by others, a bus layover parking area shall be provided to the County by the applicant on the north side of Bluemont Way, between Library Street and Discovery Street opposite the County bus transit facility at no cost to the County, if required by the County. If the layover parking area has not been provided by others, the designs provided in condition 5b shall be modified by the applicant at no cost to the County to accommodate a bus layover on the north side of Bluemont Way between Library Street and Explorer Street, consistent and compatible with the applicant's proposed development of Section 91A Block 15, or in a mutually agreeable location. All necessary dedications and/or easements for this bus layover shall be provided to the Fairfax County Board of Supervisors by the applicant at no cost to the County.

h. If the County refuses to accept the Dedication Area pursuant to condition 5d, the 1.07 acre parcel shall be maintained as open space.

6. Parking for all uses shall be provided in accordance with Article 11 of the Zoning Ordinance.

7. Prior to site plan approval for development of residential building(s) or commercial building(s) greater than ten (10) stories in height on the western portion of Section 89A Block 1, the applicant shall submit architectural renderings for the proposed building(s), which shall be compatible in style, color and construction materials with the existing development in the Town Center Urban Core, to the Planning Commission for review and approval.

8. A maximum of 1,000 high-density residential dwelling units shall be permitted on the property subject to this DPA application within Section 89A Block 1 and Section 91A Blocks 16, 17, and 18.

DPA 85-C-088-3  
August 9, 2002

5

9. If a waiver of on-site BMP and stormwater management is not granted by DPWES for the property subject to this DPA application, the required on-site facilities shall be provided by the applicant, as determined by DPWES, at no cost to the County.

10. Prior to submission of site plans to DPWES for development on Section 89A Block 1 and/or Section 91A Blocks 16, 17, or 18, proposed site plans, landscape plans, and architectural elevations shall be presented to the Board of Directors of the West Market Property Owners Association and other immediately adjacent residential property owners associations for their review and comment.

Sincerely,

*Nancy Vehrs*

Nancy Vehrs  
Clerk to the Board of Supervisors

Application No. 82L 85-C-088-02 Staff EG

APPROVED SET PLAN

SEE DEV CONDS DATED 7/26/11

Date of (RCS) (BZA) approval 7/26/11

Sheet 3 of 20

PLAN DATE	NO.	DATE	DESCRIPTION	REVIEW BY	APPROVED	DATE
11-26-10						
03-14-11						
05-02-11						
05-26-11						
06-07-11						
06-27-11						

Urban, Ltd.  
712 Little River Turnpike  
Annandale, Virginia 22003  
Tel: 703.642.8800  
Fax: 703.642.8231  
www.urban-llc.com



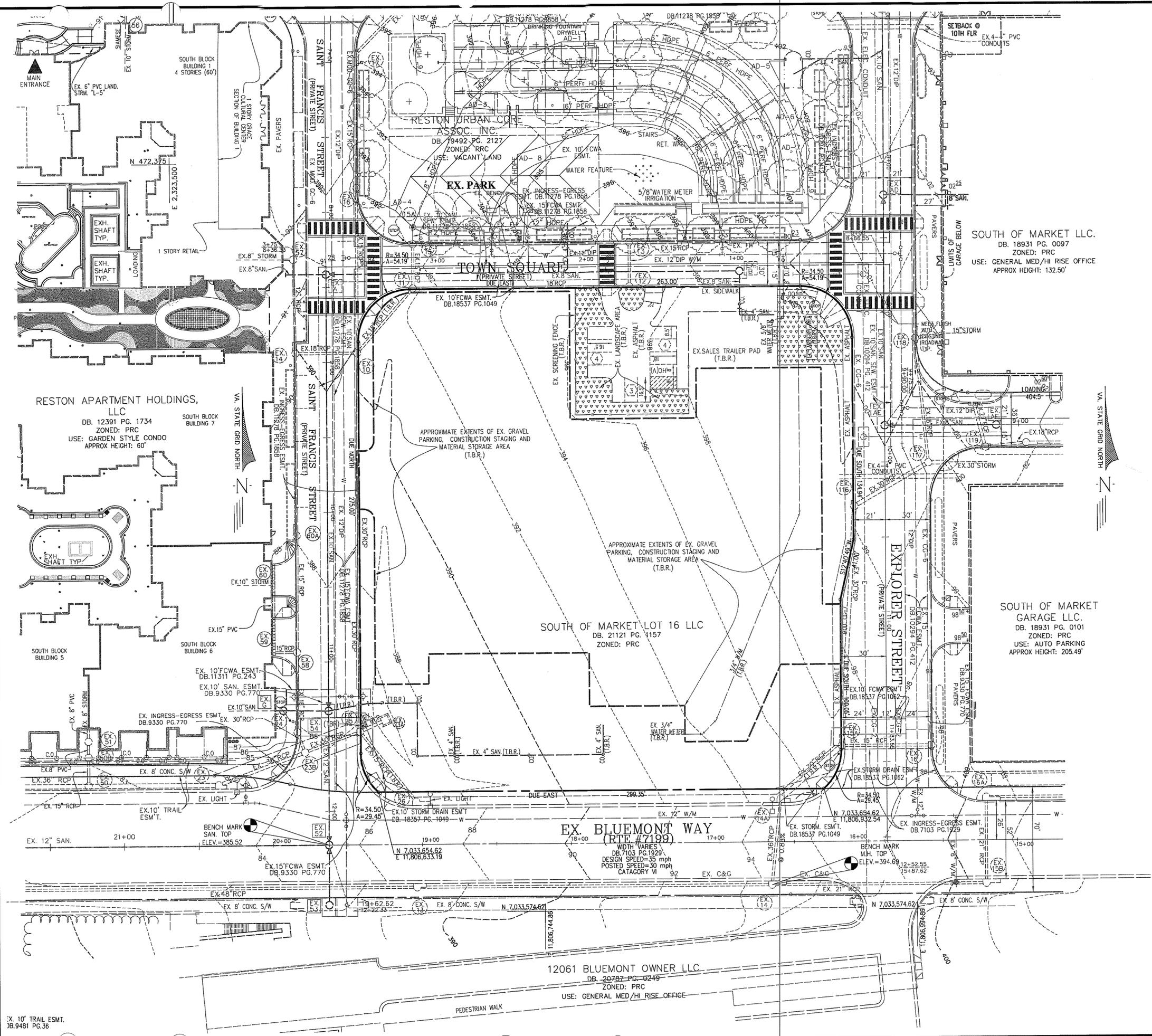
CORRESPONDENCE AND MISC. DETAILS  
**RESTON TOWN CENTER**  
SECTION 91A - BLOCK 16  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

DATE: NOV., 2010  
SCALE: AS NOTED  
C.I. = N/A

SHEET 3 OF 18  
FILE No. PREL-2004

M:\Jobs\Reston\17p2-b2-2B\lock-16 Residential - B\PRC\0004-PRC-02-05-GNOTES.dwg, 6/28/2011 8:24:11 AM, jslamons

M:\loba\Reston\reston2\2\_bldg\_3\lock\_16\_Residential - B1\PRC\2004-PRC-04-EXCOND.dwg, 6/28/2011 8:25:46 AM, jlemons



EX. 10" TRAIL ESM.T.  
DB.9481 PG.36

12061 BLUEMONT OWNER LLC  
DB. 20787 PG. 0249  
ZONED: PRC  
USE: GENERAL MED/HI RISE OFFICE

SOUTH OF MARKET LLC.  
DB. 18931 PG. 0097  
ZONED: PRC  
USE: GENERAL MED/HI RISE OFFICE  
APPROX HEIGHT: 132.50'

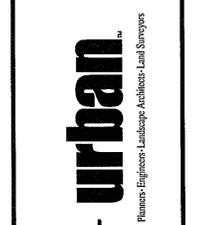
SOUTH OF MARKET GARAGE LLC.  
DB. 18931 PG. 0101  
ZONED: PRC  
USE: AUTO PARKING  
APPROX HEIGHT: 205.49'

Application No. PRC 85-L-088-02 Staff EG  
APPROVED SET PLAN  
SEE DEV CONDS DATED 7/26/11  
Date of (BZA) approval 7/26/11  
Sheet 4 of 20

No.	DATE	DESCRIPTION	REVIEW APPROVED	DATE
11-26-10				
04-19-11				
05-02-11				
05-26-11				
06-07-11				
06-06-11				

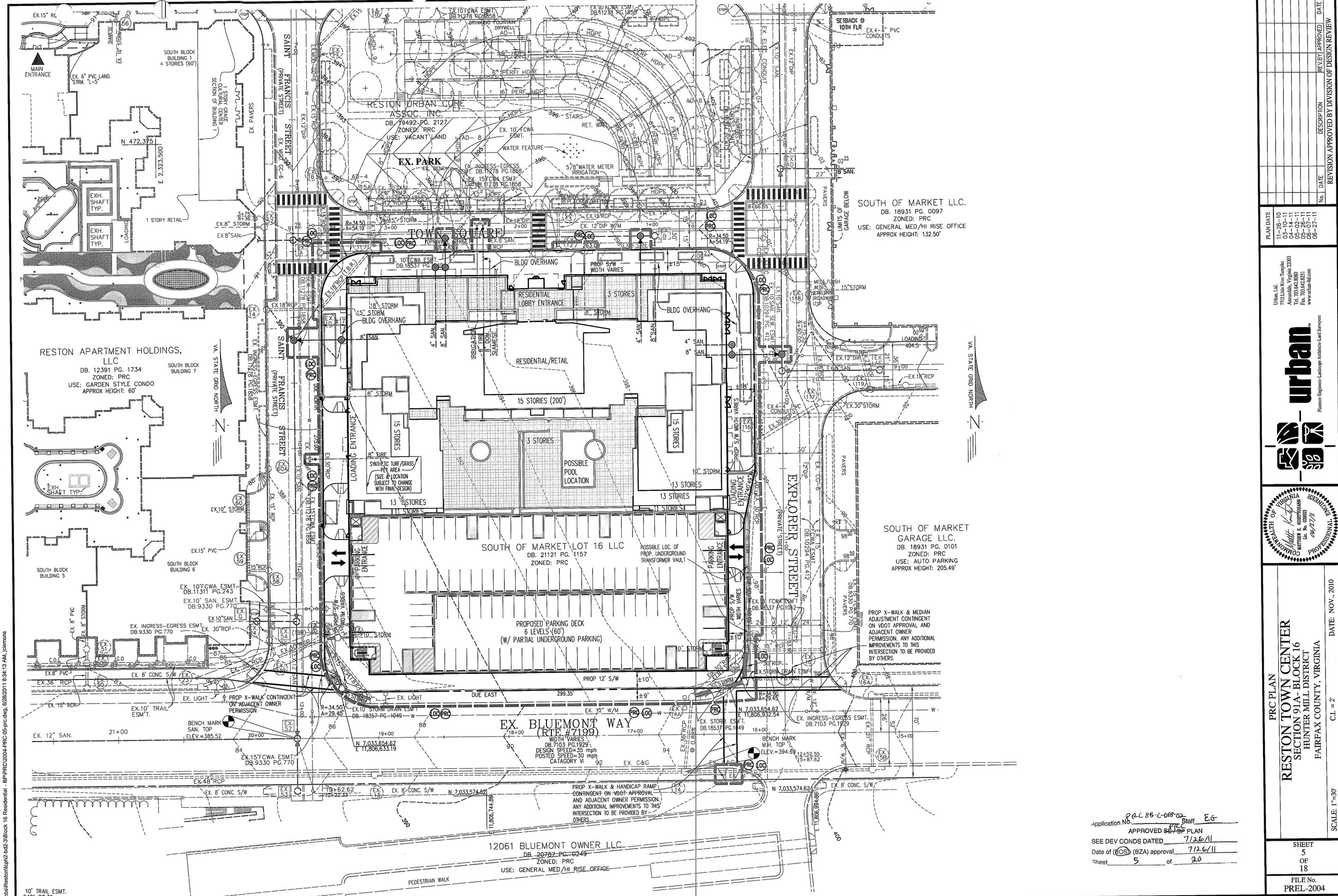
PLAN DATE
11-26-10
04-19-11
05-02-11
05-26-11
06-07-11
06-06-11

Urban, Ltd.  
7712 Little River Turnpike  
Aurandale, Virginia, 22003  
Tel: 703.642.8800  
Fax: 703.642.8251  
www.urban-llc.com



EXISTING CONDITIONS PLAN  
RESTON TOWN CENTER  
SECTION 91A-BLOCK 16  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

DATE: NOV., 2010  
SCALE: 1" = 30'  
SHEET 4 OF 18  
FILE No. PREL-2004



M:\loba\Reston\plan2-bd2-3\block 16 Residential - B1\PRC\2004-PRC-05-prc.dwg, 6/28/2011 8:34:13 AM, plemmons

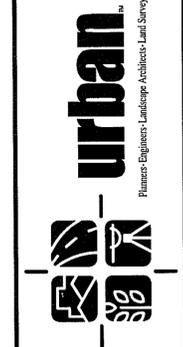
10' TRAIL ESM.T.  
9461 PG.36

Application No. PRC 85-C-088-02 Staff EG  
 APPROVED PRC PLAN  
 SEE DEV CONDS DATED 7/26/11  
 Date of (BOS) (BZA) approval 7/26/11  
 Sheet 5 of 20

No.	DATE	DESCRIPTION	REV BY	APPROVED	DATE
11-26-10					
03-14-11					
05-02-11					
08-26-11					
08-27-11					

PLANDATE	REVISION APPROVED BY	DIVISION	REVIEW	DATE
11-26-10				
03-14-11				
05-02-11				
08-26-11				
08-27-11				

Urban, Ltd.  
 7712 Little River Turnpike  
 Annandale, Virginia 22003  
 Tel. 703.642.8800  
 Fax. 703.642.8251  
 www.urban-llc.com



COMMONWEALTH OF VIRGINIA  
 PROFESSIONAL ENGINEER  
 License No. 009821  
 04/27/11

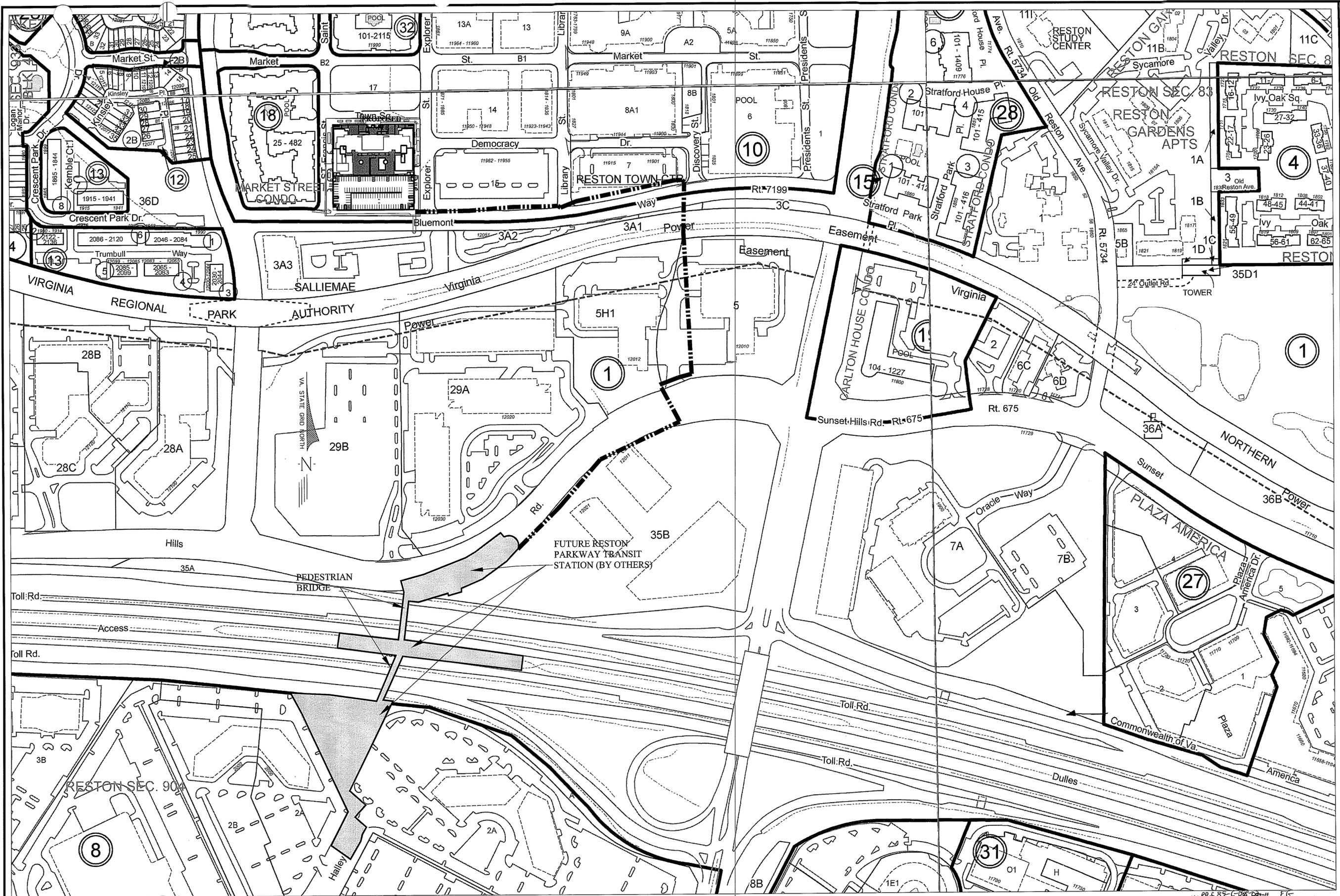
PRC PLAN  
**RESTON TOWN CENTER**  
 SECTION 91A-BLOCK 16  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

DATE: NOV., 2010  
 C.I. = 2'  
 SCALE: 1"=30'

SHEET  
 5  
 OF  
 18

FILE No.  
 PREL-2004

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**LEGEND**

- EXISTING PEDESTRIAN PATHWAY
- FUTURE RESTON PARKWAY TRANSIT STATION

Application No. PRC 85-C-08-28 Staff E.C.  
 APPROVED SE/SP PLAN  
 SEE DEV CONDS DATED 7/26/11  
 Date of (BOS) (BZA) approval 7/26/11  
 Sheet 6 of 20

**FOR REFERENCE PURPOSES ONLY.**

PEDESTRIAN CIRCULATION EXHIBIT  
**RESTON TOWN CENTER**  
 SECTION 91A- BLOCK 16  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

DATE: NOV., 2010  
 SCALE: 1"=150'

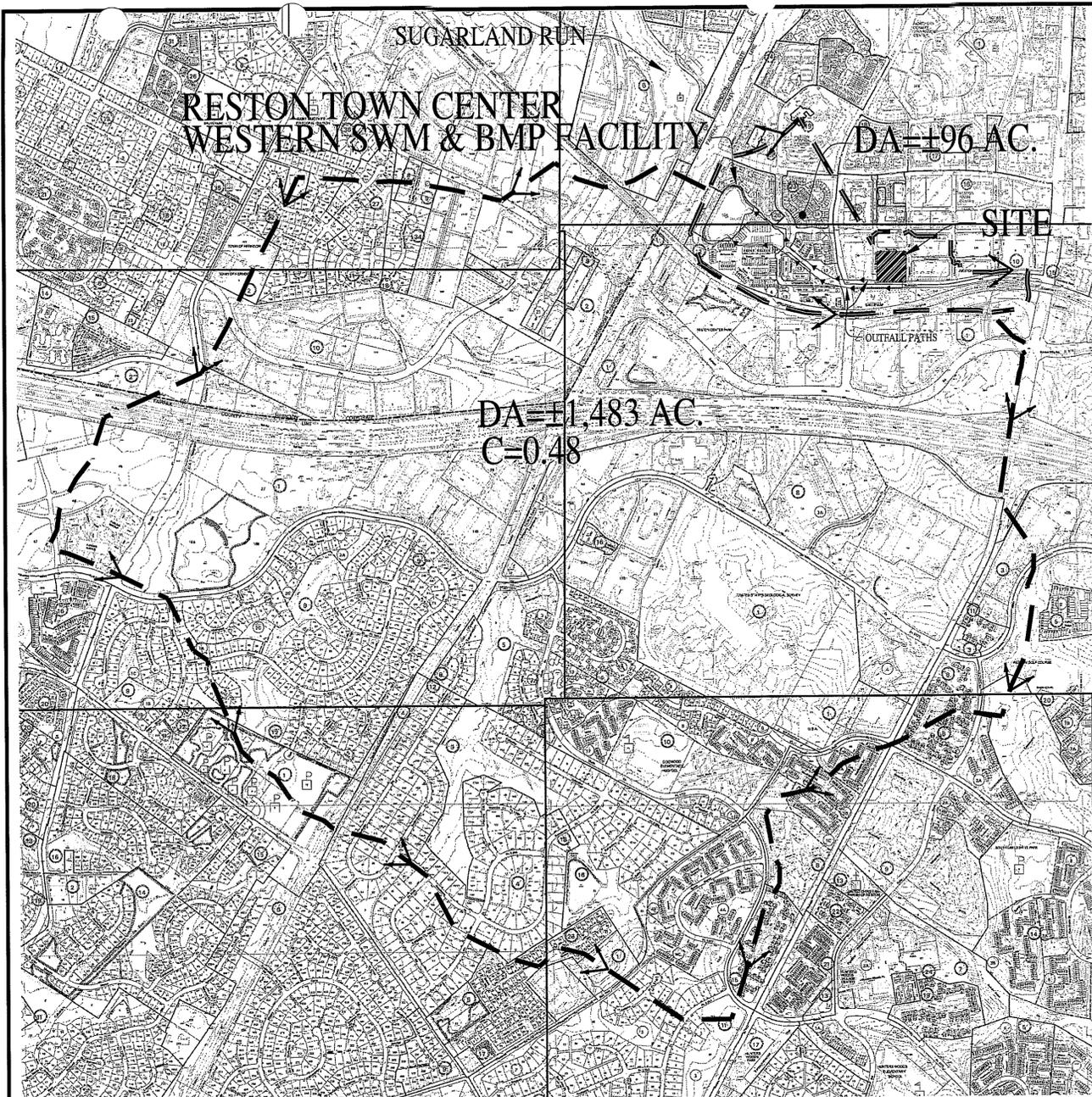
Application No. PRC 85-C-08-28 Staff E.C.  
 APPROVED SE/SP PLAN  
 SEE DEV CONDS DATED 7/26/11  
 Date of (BOS) (BZA) approval 7/26/11  
 Sheet 6 of 20

FILE No. PREL-2004

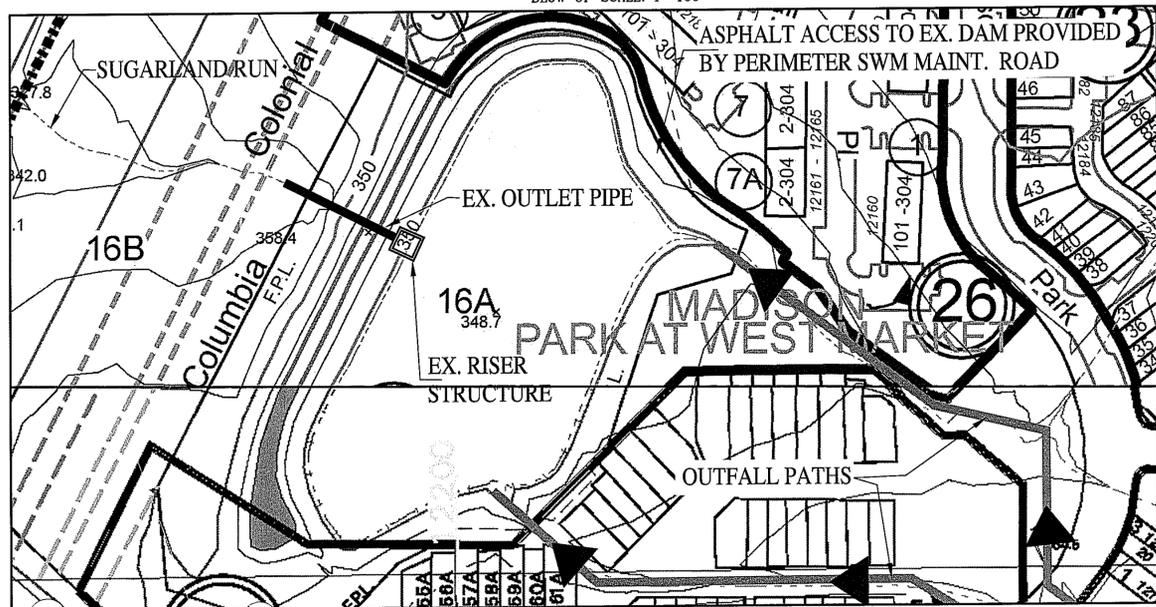
NO.	DATE	DESCRIPTION	REV BY	APPROVED	DATE
11-26-10					
03-10-11					
04-05-11					
05-26-11					
06-07-11					

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Professional Engineer License No. 64771



RESTON TOWN CENTER WESTERN SWM & BMP FACILITY  
BLOW UP SCALE: 1"=100'



**OUTFALL NARRATIVE**

This PRC application proposes a mixed use residential and retail building within Reston Towncenter.

The proposed building takes up the majority of the footprint of the site. The runoff from the building and the site is drained adequately to an existing closed conduit system that was designed for the ultimate development of this site that conveys the runoff from the site to the existing offsite Reston Towncenter Western SWM and BMP wet pond.

The runoff from the site takes two different paths to the existing Reston Towncenter Western SWM and BMP wet pond. The first is through an existing 36" storm pipe running west along the north side of Bluemont Way (storm structure Ex. #23 on Sheet 5). At the north west corner of the intersection of Bluemont and Town Center Parkway, this existing pipe discharges into an open channel that flows north west. The open channel crosses under Crescent Park Drive via a culvert and then continues to the existing Towncenter Western SWM and BMP Pond.

The second path is through an existing 48" storm pipe running west along the south side of Bluemont Way (storm structure Ex. #13 on Sheet 5). The runoff remains within the closed conduit system, across Town Center Parkway, north west (parallel to the open channel mentioned above) to Crescent Park Drive and then through the existing townhouses to the existing Towncenter Western SWM and BMP Pond.

The Reston Town Center Western SWM and BMP wet pond outfalls into Sugarland Run within the Fairfax County mapped Floodplain. The total drainage area to this point is approximately 1,576 acres (1,483 acres + 93 acres), which is greater than one mile and is therefore the extent of the review.

It is the opinion of Urban Engineering that upon preliminary evaluation, there is an adequate outfall provided. The existing closed conduit system was designed in anticipation of this development. A complete outfall analysis will be completed when the site plan is prepared in accordance with the requirements of the FFM. The closed conduit systems will be analyzed for adequate capacity and the channels will be analyzed for over topping and erosive velocities. If the existing downstream conveyance structures are not adequate, proportional improvements will be provided in accordance with the Fairfax County Public Facilities Manual.

**SWM/BMP NARRATIVE**

Stormwater Management and Best Management Practices are provided for this development by the existing off-site Reston Towncenter Western SWM and BMP wet pond, which is shown in plan view on this sheet along with the drainage divides to it. A waiver for the use of this off-site facility was approved with a previous site plan for this property (FFX County Plan #7067-SP-019). This waiver letter has been provided for reference on Sheet 3.

This existing SWM and BMP wet pond was designed and constructed under Fairfax County Plan #7067-SP-06. It was designed for the ultimate build out of the drainage area to it. The proposed development is within the design parameters, therefore this proposed development will not increase the design flows to the existing facility. Calculations verifying its function as a BMP facility are provided on this sheet. The characteristics of each lake (storage volume, dam height, footprint area, and drainage areas) are provided on the SWM checklist on this sheet. The maintenance access road is labeled on the drainage map. There is no proposed land disturbance with in the vicinity of this facility, therefore the proposed landscaping, tree preservation area and associated limits of clearing criteria for the SWM facility do not apply.

**BMP ANALYSIS FOR RESTON TOWN CENTER WESTERN STORMWATER MANAGEMENT FACILITY**

- If  $V_B/V_R$  is greater than or equal to 4.0, the facility serves as a BMP pond (per "Northern Virginia BMP Handbook").  
 $V_B$  = Volume of storage at permanent water surface elevation  
 $V_R$  = Mean rainfall exit runoff volume = D.A. x C x .4/12(ac.ft.)  
 D.A. = Drainage area  
 C = Runoff Coefficient
- $V_B = 18.3$  ac-ft.  
 (Source: Plans for "Reston Town Center Western SWM Facility" Fairfax County Plan #7067-SP-06 prepared by Urban LTD.)
- $V_R = 2.56$  ac-ft  
 D.A. = 96.08 ac  
 C = .80
- $V/V_B = 7.14 > 4.0$ . Therefore, this facility serves as a BMP pond because it provides 50% removal.

Application No. PRC 85-1-088-02 Staff EG  
 APPROVED-SE/SP-PLAN  
 SEE DEV CONDS DATED 7/26/11  
 Date of (BOS) (BZA) approval 7/26/11  
 Sheet 7 of 28

**MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS**

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Zoning Ordinance paragraphs:  
 Special Permits (8-011 2J & 2L) Special Exceptions (9-011 2J & 2L)  
 Cluster Subdivision (9-615 1G & 1N) Commercial Revitalization Districts (9-622 2A) (12) & (14)  
 Development Plans PRC District (16-302 3 & 4L) PRC Plan (16-303 1E & 1O)  
 FDP P Districts (except PRC) (16-502 1F & 1Q) Amendments (18-202 10F & 10I)

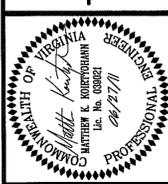
- 1. Plat is at a minimum scale of 1"=50' (unless it is depicted on one sheet with a minimum scale of 1"=100').
- 2. A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet 6.
- 3. Provide:
 

Facility Name/ Type & No.	On-site area served (acres)	Off-site area served (acres)	Drainage area (acres)	Footprint area (sf)	Storage Volume (cf)	If pond, dam height (ft)
RTC WESTERN	2.51	±93.49	±96	±207,019	±797,148	±10'
Totals						
- 4. Onsite drainage channels, outfalls and pipe systems are shown on Sheet 5.  
 Pond inlet and outlet pipe systems are shown on Sheet 6.
- 5. Maintenance access (road) to stormwater management facility(ies) are shown on Sheet 6.  
 Type of maintenance access road surface noted on the plat is 6 (asphalt, geoblock, gravel, etc.).
- 6. Landscaping and tree preservation shown in and near the stormwater management facility is shown on Sheet N/A.
- 7. A 'stormwater management narrative' which contains a description of how detention and best management practices requirements will be met is provided on Sheet 6.
- 8. A description of the existing conditions of each numbered site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet 6.
- 9. A description of how the outfall requirements, including contributing drainage areas of the Public Facilities Manual will be satisfied is provided on Sheet 6.
- 10. Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheets 1.
- 11. A submission waiver is requested for USE OF OFFSITE SWM/BMP FACILITIES.
- 12. Stormwater management is not required because \_\_\_\_\_.

NOTE: ALL FIGURES LISTED ARE APPROXIMATE

PLAN DATE	DESCRIPTION	REVISION	APPROVED	DATE
11-26-10				
03-10-11				
05-02-11				
05-26-11				
06-07-11				
06-27-11				

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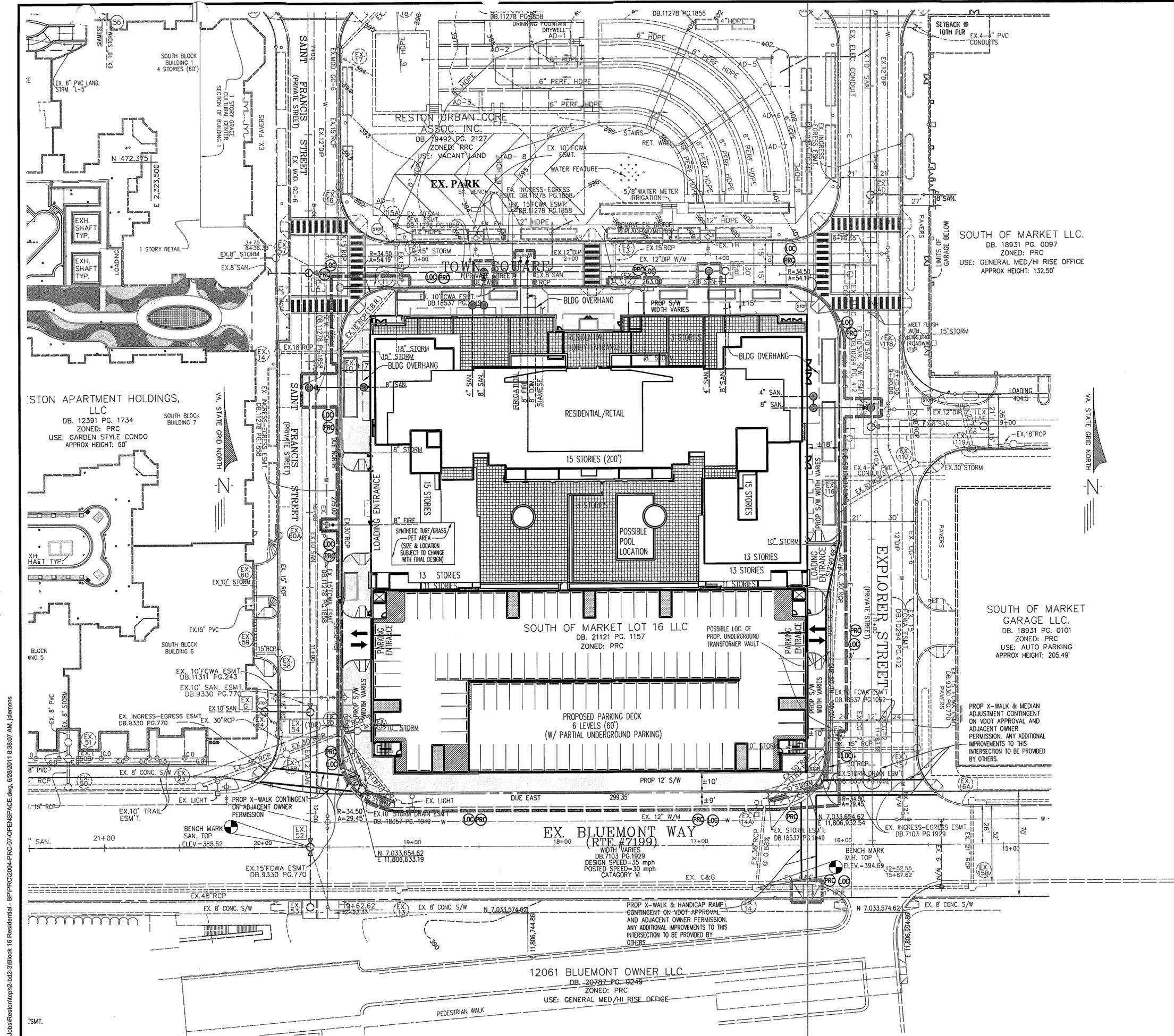


OUTFALL / SWM / BMP PLAN  
 RESTON TOWN CENTER  
 SECTION 91A- BLOCK 16  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SHEET  
 6  
 OF  
 18

FILE No.  
 PREL-2004

DATE: NOV., 2010  
 SCALE: 1"=800'



No.	DATE	DESCRIPTION	REVIEW APPROVED	DATE
11-26-10				
03-10-11				
05-02-11				
05-26-11				
06-07-11				

PLAN DATE: 11-26-10  
 03-10-11  
 05-02-11  
 05-26-11  
 06-07-11

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OPEN SPACE EXHIBIT  
 RESTON TOWN CENTER  
 SECTION 91A- BLOCK 16  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

Application No. PRC 85-L-088-09 Staff EG  
 APPROVED PRC PLAN  
 SEE DEV CONDS DATED 7/26/11  
 Date of PRC (BZA) approval 7/26/11  
 Sheet 8 of 20

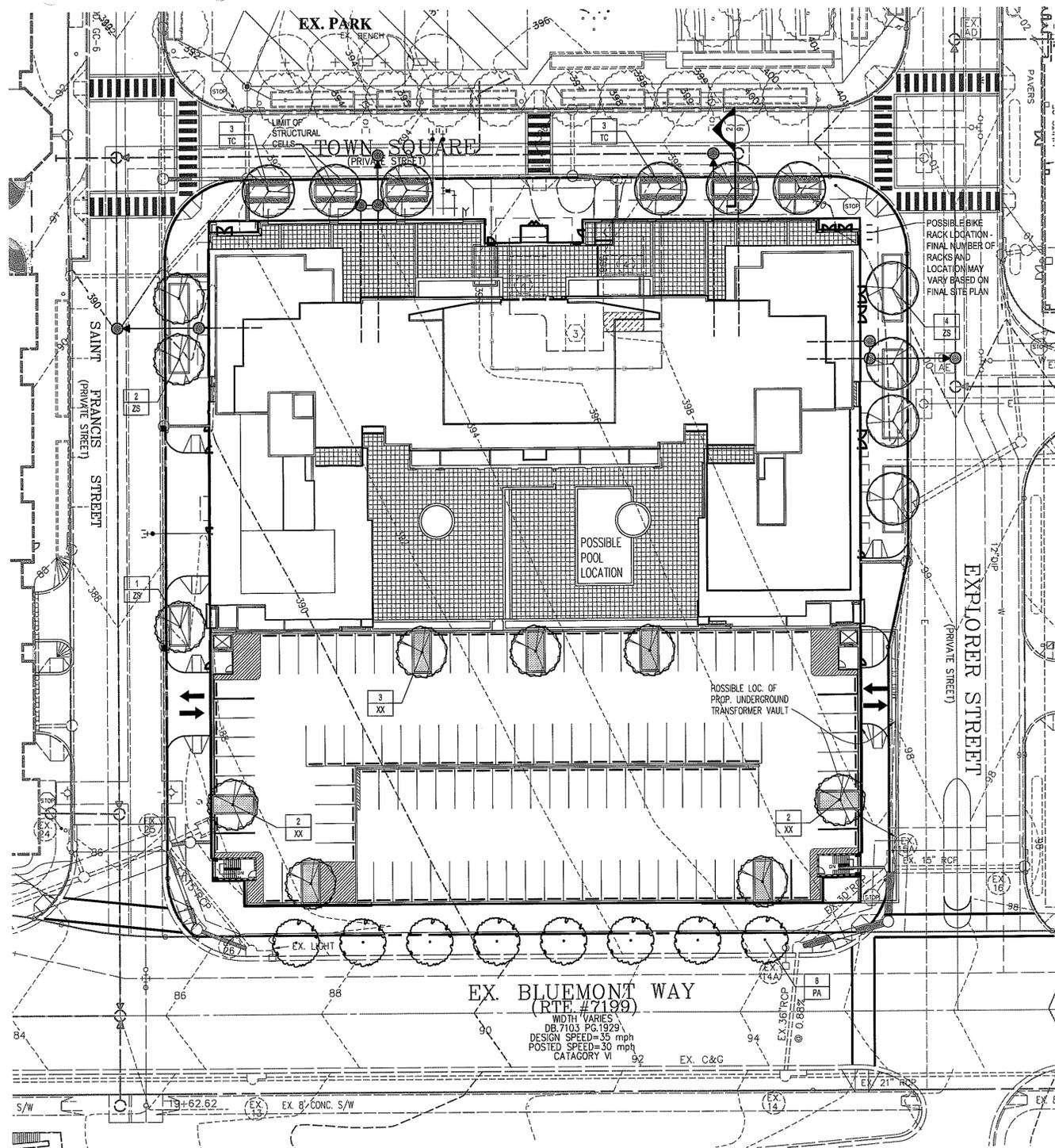
DATE: NOV., 2010  
 C.I. = N/A  
 SCALE: 1"=50'

LEGEND  
 OPEN SPACE (SEE COMPUTATION ON SHEET 2)

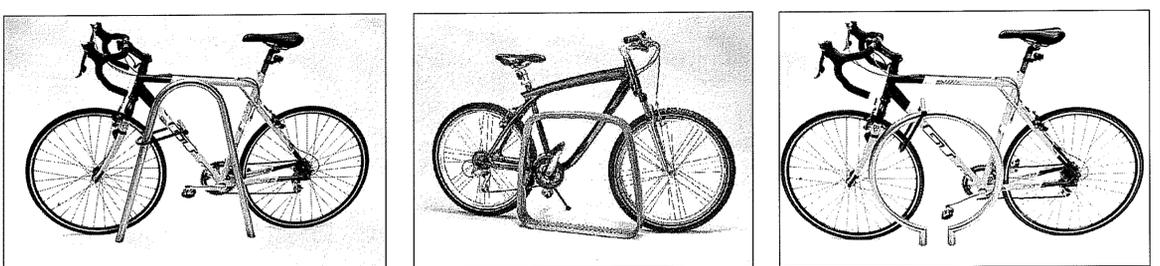
FOR OPEN SPACE PURPOSES ONLY.

SHEET 7 OF 18  
 FILE No. PREL-2004

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**1 LANDSCAPE PLAN**  
Scale: 1"=30'



**3 BIKE RACK EXAMPLES**  
N.T.S.

BIKE RACK IMAGES ARE PROVIDED TO ILLUSTRATE TYPE OF RACK TO BE USED. FINAL RACK SELECTION MAY DIFFER FROM THOSE SHOWN.

Key	Qty	Botanical Name	Common Name	Size	Type	Remarks	10-Year Canopy Cover Credit	Subtotal (S.F.)
<b>TREE TREES</b>								
GB**	7	Ginkgo biloba	Ginkgo	3" cal.	B & B	Full, strong central leader	250	1,750
PA	8	Platanus acerifolia	London Planetree	3" cal.	B & B	Full, strong central leader	250	2,000
TC	6	Tilia cordata 'Greenspire'	Greenspire Linden	3" cal.	B & B	Full, strong central leader	175	1,050
ZS	7	Zelkova serrata 'Village Green'	Village Green Zelkova	3" cal.	B & B	Full, strong central leader	250	1,750
<b>INTERIOR PARKING LOT LANDSCAPING - to be chosen from the following:</b>								
XX	7	Ginkgo biloba	Ginkgo	3" cal.	B & B	Full, strong central leader	250	1,750
		Platanus acerifolia	London Planetree	3" cal.	B & B	Full, strong central leader		TOTAL 6,550 S.F.
		Quercus rubra	Red Oak	3" cal.	B & B	Full, strong central leader		
		Zelkova serrata 'Village Green'	Village Green Zelkova	3" cal.	B & B	Full, strong central leader		

**TREE COVER CALCULATIONS**

GROSS SITE AREA	(2.51 AC.)	(=)	109,372 S.F.
WAIVER		(-)	0 S.F.
ROADWAY DEDICATION		(-)	0 S.F.
BUILDING FOOTPRINT		(-)	62,966 S.F.
ADJUSTED GROSS SITE AREA		(=)	46,406 S.F.
REQUIRED COVERAGE PER ZONING DISTRICT		(X)	10%
REQUIRED COVERAGE FOR SITE		(=)	4,641 S.F.

**TREE COVER PROVIDED**

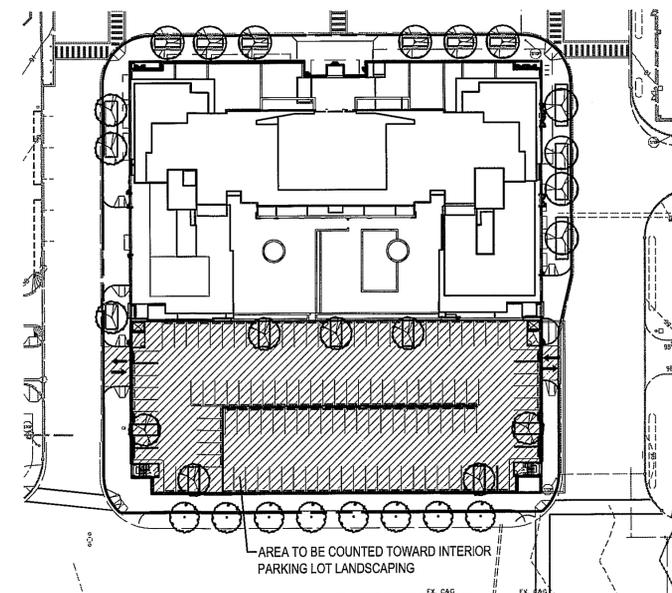
EXISTING VEGETATION PRESERVED	(=)	0 S.F.
PLANTED TREES	(=)	6,550 S.F.
TOTAL COVERAGE PROVIDED	(=)	6,550 S.F.

**PLANTING NOTES:**

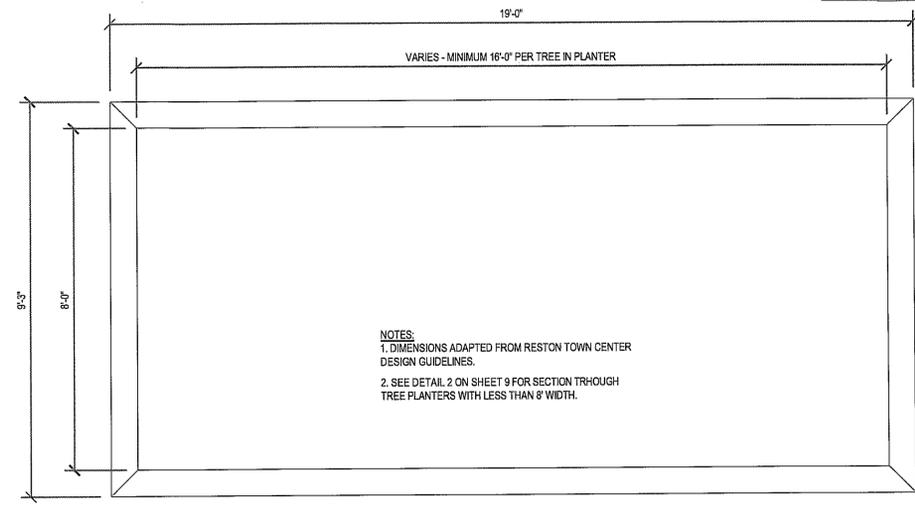
- THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.
- NO TREE SHALL BE PLANTED CLOSER THAN 4' FROM THE BACK OF CURB ALONG STREETS OR FROM ANY FIRE HYDRANT.
- PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE FAIRFAX COUNTY, STATE AND LOCAL REQUIREMENTS.
- THE LOWEST BRANCHES ON ALL STREET TREES SHALL BE NO LOWER THAN 6' ABOVE FINISH GRADE.

**INTERIOR PARKING LOT LANDSCAPING CALCULATIONS**

AREA TO BE COUNTED =	34,803
INT. LANDSCAPING REQUIRED (5%) =	1,740
TOTAL SHADE TREE CANOPY PROVIDED:	
(7 TREES @ 250 FT2 EA.) =	1,750
TOTAL AREA REQUIRED =	1,740
TOTAL AREA PROVIDED =	1,750



**2 INTERIOR PARKING SCHEMATIC**  
N.T.S.



**4 RECTANGULAR PLANTER**  
1/2"=1'-0"

Application No. 92C 85-L-092-02 Staff EG  
APPROVED SET PLAN  
SEE DEV CONDS DATED 7/26/11  
Date of (BOS) (BZA) approval 7/26/11  
Sheet 9 of 28

NOTE: THIS LANDSCAPE PLAN IS FOR SCHEMATIC PURPOSES ONLY. FINAL TREE LOCATIONS, SIZES, AND SPECIES TO BE DETERMINED AT SITE PLAN.

No.	DATE	DESCRIPTION	REVIEW	APPROVED	DATE

PLAN DATE
11-26-10
03-10-11
05-02-11
05-26-11
06-07-11
06-27-11

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Application No. 92C 85-L-092-02 Staff EG  
APPROVED SET PLAN  
SEE DEV CONDS DATED 7/26/11  
Date of (BOS) (BZA) approval 7/26/11  
Sheet 9 of 28

PRELIMINARY LANDSCAPE PLAN  
**RESTON TOWN CENTER**  
SECTION 91A- BLOCK 16  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SHEET 8 OF 18  
FILE No. PREL-2004  
DATE: NOV., 2010  
SCALE: 1" = 30'  
C.I. = 2'

**PLANTING SPECIFICATIONS**

**1. QUALITY ASSURANCE:**

- A. Landscape planting and related work shall be performed by a firm with a minimum of five years experience specializing in this type and scale of work.
- B. Applicable Specifications and Standards:  
Fairfax County Zoning Ordinance  
American Joint Committee on Horticultural Nomenclature  
American Standard for Nursery Stock, latest edition  
American Association of Nurserymen Landscape Specification Guidelines for Baltimore Washington Metropolitan Areas, latest edition, Landscape Contractors Association.

**2. SUBMITTALS:** Submit the following to the Owner's Representative prior to beginning work:

- A. Copies of manufacturer's data for all materials required.
- B. Samples of required mulch material.
- C. Chemical and mechanical analysis and samples of all existing soil, topsoil, organic matter and soil mix to be used.
- D. Planting schedule showing the dates (earliest and latest) proposed for each type of plant specified, schedule each type of planting within the normal planting seasons for such work. Include requests for any proposed changes in the approved planting season and a list of proposed sources for all plant materials.
- E. List of proposed sources for all plant material.

**3. DELIVERY, HANDLING AND STORAGE:**

- A. Deliver packaged materials in manufacturer's unopened containers or bundles, fully identified with name, brand, type, weight, and analysis. Store packaged materials in such a manner as to prevent damage or intrusion of foreign matter.
- B. Dig balled and burlapped (B&B) plants with firm, natural balls of earth, of a diameter not less than that shown on the plant list nor less than recommended by the American Standard for Nursery Stock, and of sufficient depth to include the fibrous and feeding roots. B&B plants will not be accepted if the ball is cracked or broken before or during planting operation.
- C. Deliver trees and shrubs after preparations for planting have been completed. Do not bend, bind, or tie trees or shrubs in such a manner as to damage bark, break branches or destroy natural shape. If planting is delayed more than 8 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist by heeling-in bare root stock and covering plant balls with soil, peat moss or other acceptable material for balled stock. Plants shall be kept well watered and shall not remain unplanted for longer than ten (10) days after delivery.
- D. Plants shall be lifted and handled from the bottom of the ball only.
- E. Do not remove container-grown stock from containers until planting time.

**4. DRAINAGE:** Before planting, determine that areas to receive plant material have adequate subdrainage.

- A. The landscape contractor is responsible for drainage tests as necessary to identify any problems prior to beginning planting operations. Upon commencement of planting operations the landscape contractor assumes responsibility for soil conditions.
- B. Dig planting pits to full depth and dimensions indicated on drawings.
- C. At bottom of planting pit, excavate rectangular pit 12 inches by 12 inches by 18 inches deep. Quickly pour water into pit to a depth of 8 inches (approximately 2-3/4 gallon). Note time required for water to be completely absorbed. Divide time noted by 6 to achieve average rate of absorption for 1 inch of water. Where rate of absorption exceeds 60 minutes per inch, notify owner immediately for directions on how to proceed.
- 5. **PLANTING DATES:** Planting shall be done only within the following dates except as approved by Owner.  
A. Deciduous Trees and Shrubs: March 1 to May 31 and October 15 to December 15.  
B. Evergreen Trees, Shrubs and Vines: March 1 to May 31 and September 1 to November 15.  
C. All plant material shall be guaranteed by the Contractor for a period of 1 year from the date final acceptance to be in good, healthy and flourishing condition.

**6. MATERIALS FOR PLANTING:**

- A. Topsoil: shall be a fertile, friable natural loam, uniform in composition, free of stones, lumps, plants and their roots, debris and other extraneous matter over 1 inch in diameter, capable of sustaining vigorous plant growth. Soil shall be harvested at a single source from the O and/or A horizons of the soil profile.
  - 1) Topsoil shall have a pH range of 6.5 to 7.5.
  - 2) Topsoil shall contain 1.5-5% organic matter by dry weight.
  - 3) Soil Texture: sandy loam, sandy clay loam with the following particle size distribution:
 

Gravel	Less than 10%
Silt	15-30%
Clay	20-35%
- B. Clay Loam to Sandy Clay Loam Soil: shall be a fertile, friable natural loam, uniform in composition, free of stones, lumps, plants and their roots, debris and other extraneous matter over 1 inch in diameter, capable of sustaining vigorous plant growth.
  - 1) Soil shall have a pH range of 6.5 to 7.5.
  - 2) Soil shall contain 2-5% organic content by volume.
  - 3) Soil Texture: Clay loam to sandy clay loam with the following particle size distribution:
 

Gravel	Less than 10%
Sand	20-50%
Silt	<35%
Clay	20-40%

- 4) Chemical Levels shall be:  
Magnesium Mg 100+ units  
Phosphorus P205 150+ units  
Potassium -K20 120+ units
- 5) Soluble Salts/ Conductivity - Not to exceed 900 ppm/0.9 mmhos/cm (in soil); not to exceed 3000 ppm/2.5 mmhos/cm (in high organic mix)
- 6) Cation exchange capacity shall be 20-35 meq/100g.

- C. Compost: Compost shall be mature, stable, weed free, and produced by aerobic decomposition of organic matter. Compost feedstock shall be plant matter, such as high lignin forestry products or yard waste (leaves, brush and yard trimmings).
  - 1) The product must not contain any visible refuse or other physical contaminants, substances toxic to plants, or over 5% sand, silt, clay or rock material by dry weight.
  - 2) Compost shall be sampled and tested as required by the Seal of Testing Assurance Program of the United States Composting Council (USCC) and shall meet the physical requirements for compost as determined by USCC.
  - 3) The product shall possess no objectionable odors. The product must meet all applicable USEPA CFR, Title 40, Part 503 Standards for Class A biosolids.
  - 4) The moisture level shall be such that no visible water or dust is produced when handling the material.

- D. Composted Pine Bark Fines: Shall be approved composted, ground pine bark having no particle with a dimension greater than 3/4 inch. No more than 10% shall be wood.
- E. Sand: Shall be quartz based sharp concrete sand, ASTM C-33 Fine Aggregate, with a Fines Modulus index between 2.8 and 3.2.

- F. Perlite: Coarse horticultural grade expanded, volcanic perlite. Maximum density shall be 8 lb./cu.ft.
  - 1) pH shall be 6.5 to 7.5.
  - 2) Perlite shall be meet the Perlite Institute's Standards for Gradation for Horticultural Perlite for Coarse Perlite with no more than 70% passing through a #16 Standard Sieve.

- G. Humus: Shall be mature, stable, weed free, and produced by aerobic decomposition of organic matter. Compost feedstock shall be plant matter, such as high lignin forestry products or yard waste (leaves, brush and yard trimmings).
  - 1) Humus shall have a pH between 6 and 7.5.
  - 2) Soluble Salt Concentration shall be less than 10dS/m.
  - 3) Cation exchange capacity rate shall be 100-250.
  - 4) The product must not contain any visible refuse or other physical contaminants, substances toxic to plants, or over 5% sand, silt, clay or rock material by dry weight.
  - 5) The product shall possess no objectionable odors. The product must meet all applicable USEPA CFR, Title 40, Part 503 Standards for Class A biosolids.
  - 6) The moisture level shall be such that no visible water or dust is produced when handling the material.

- H. Trace Elements: Shall be commercially available slow release materials containing zinc (Zn), Molybdenum (Mo), Copper (Cu), Boron (B), and Magnesium (Mn).
- I. Fertilizer: A commercial fertilizer for ornamental trees, shrubs and ground cover with an analysis of 10% Nitrogen, 6% Phosphorus and 4% Potassium shall be used. This fertilizer shall be granular with a minimum of 50% of the total Nitrogen in organic form. 14-14-14-Osmocote (or approved equal) shall be applied at a rate of 10 lbs. per square foot, tilled to a depth of 8 inch, shall be used for perennials.

- J. Soil Separator: Shall be rot resistant non-woven polypropylene filter fabric, water permeable, and unaffected by freezing and thawing. Acceptable products include: Mirafix 140N, Mirafix Civil Engineering Co., or Stablenka Type T-80, American Enka Co., Enka, N.C.
- K. Planter Drainage Fabric: Shall be prefabricated planter drainage fabric Miradrain 9000, a composite system consisting of a Mirafix drainage fabric bonded to a three-dimensional highly impact-resistant plastic core. The core shall have the following attributes:
  - 1) Compressive Strength: (ASTM D-1621), 15,000 + PSF.
  - 2) Overlaps: Shall be capable of mechanically interlocking so as to prevent separation of the overlaps during backfill.

- L. Plant Material: (Refer to the PLANT LIST on the drawings for specific types and quantities of plants)
  - A. Plants shall be nursery grown in accordance with good horticultural practices. Plants shall either be obtained from local nurseries and/or others, which have soil (heavy clay) and climatic conditions similar to those in the locality of the project.
  - B. Plant material grown in sandy, well-drained soil will not be approved for this project. Plants shall be true to species and variety and unless specifically noted otherwise, all plants shall be of specimen quality, exceptionally heavy, symmetrical, tightly-knit plants, so trained or favored in their development and appearance as to be superior in form, number of branches, compactness and symmetry.

- C. Plants shall be sound, healthy and vigorous, well branched and densely foliated when in leaf, free of disease, insect pests, eggs or larvae and shall have healthy, well-developed root systems. They shall be free from physical damage or any conditions that would prevent thriving health and the desired appearance.
- D. Trees, which have a damaged or crooked leader, or multiple leaders, unless specified in the plant list, will be rejected. Trees with abrasion of the bark, sun scald, disfiguring knots, or pruning cuts more than 1/4 inch diameter which have not completely callused, will be rejected.
- E. Plants shall conform to measurements specified in the plant schedules except that plants larger than specified may be used if acceptable to the Landscape Architect or owner. Use of such plants shall not increase the contract price. If larger plants are accepted, the root ball shall be sized for the larger plant.
- F. Caliper Measurement: Shall be taken at a point on the trunk 6 inches above natural ground line for trees up to 4 inches diameter, and at a point 12 inches above the natural ground line for trees over 4 inches diameter.
- G. Plants shall be measured when branches are in the normal position. Height and spread dimensions specified refer to the main body of the plant and not from branch tip to tip.

**8. SOIL MIXING PROCEDURES:**

- A. Topsoil used in sand/soil mixes shall be screened or shredded prior to mixing in sands. Maximum clod inclusion for soil mixes shall not exceed:
 

Clod size (largest dimension)	% of the soil mix volume
Less than 1"	Unlimited
1 to 3 inches	20%
3 to 6 inches	5%
>6 inches	Less than 2%
- B. Source material and soil mix stockpiles shall be protected from rain by covering with filter cloth.

**9. INSPECTION:**

- A. Examine the areas and conditions where soil mix is to be installed and notify the Architect of conditions detrimental to the proper and timely completion of the work. Do not proceed with the work until unsatisfactory conditions are corrected to permit proper installation of the work.
- B. Cooperate with other Contractors and trades working in and adjacent to other work areas. Examine drawings which show development of entire project and become familiar with scope of other work required.

**10. SOIL INSTALLATION - GENERAL PROCEDURES:**

- A. If subgrade soil compaction exceeds 80%, existing soil shall be ripped to a depth of 12 inch to alleviate compaction which has taken place during construction. Prior to loosening of soil, Contractor must locate existing utilities and coordinate with Owner any underground electric lines, drainage pipes, conduits, etc.
- B. Prepare the subgrade by roughening the top 3" of the subsoil by dragging the teeth of a backhoe bucket across the surface.
- C. Begin soil installation as soon as subsoil is prepared. Use low impact equipment with track bells, large tires, or low tire pressure to lower compaction and soil damage during installation.
- D. Monitor compaction during installation and loosen soils as needed if compaction exceeds 80%.
- E. Install specified soil in 12"-18" thick lifts. Compact each lift sufficiently to reduce settling but not enough to prevent the movement of water and feeder roots through the soil. The soils in each lift should feel firm to the foot in all areas and make only slight heel prints.

**11. INSTALLATION OF SOIL MIX FOR LAWN AREAS ON GRADE:**

- A. Soil Mix for Lawns on Grade: shall consist of 10% compost and 90% topsoil, by volume. These materials must meet specifications described in Section 2.00.
- B. Loosen subgrade lawn areas to a minimum of 3". Remove stones more than 1-1/2" in any dimension and sticks, roots, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
- C. Spread soil mix for lawn areas on grade to a minimum depth of 8" as required to meet grade and elevations shown on drawings, after lightly rolling and natural settlement. Allow for sod thickness in areas to be sodded.

**12. INSTALLATION OF SOIL MIX FOR TREE PITS ON GRADE:**

- A. Confirm that native subsoil drains at a rate of at least 1/2" per hour. If drainage is less than 1/2" per hour, provide subsurface drainage lines.
- B. Install 30-36" of Soil Mix for Tree Pit Backfill on Grade:
  - 1) Shall consist of clay loam to sandy clay loam soil, sand, and composted pine bark fines at a rate of 5:5:1 to 10:5:1 to achieve the following:
    - (a) Clay content of Soil Mix shall be 10-20% of the soil mix, by volume.
    - (b) Minimum amount of coarse to medium sand in the mix shall be 55%.
    - (c) Minimum infiltration rate at 80-85% compaction shall be 1-3 inches per hour.
  - 2) Composted pine bark fines shall not exceed 10% of the total soil mix by volume.
  - B. Till 4" of compost into the top 6" of the installed Soil Mix for Tree Pit Backfill on Grade.

**13. INSTALLATION OF SOIL MIX FOR MULCHED SHRUB AND PERENNIAL BEDS:**

- A. Confirm that native subsoil drains at a rate of at least 1/2" per hour. If drainage is less than 1/2" per hour, provide subsurface drainage lines.
- B. Install 14" of Soil Mix for Mulched Shrub and Perennial Beds on Grade:
  - 1) Shall consist of clay loam to sandy clay loam soil, sand, and composted pine bark fines at a rate of 5:5:1 to 10:5:1 to achieve the following:
    - (a) Clay content of Soil Mix shall be 10-20% of the soil mix, by volume.
    - (b) Minimum amount of coarse to medium sand in the mix shall be 55%.
    - (c) Minimum infiltration rate at 80-85% compaction shall be 1-3 inches per hour.
  - 2) Composted pine bark fines shall not exceed 10% of the total soil mix by volume.
  - C. Till 4" of compost into the top 6" of the installed Soil Mix for Tree Pit Backfill on Grade.

**14. INSTALLATION OF SILVA CELL PLANTING SOIL MIX:**

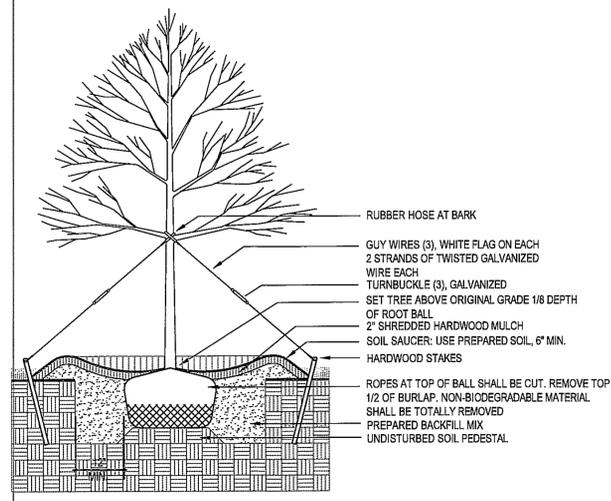
- A. Soil Mix shall be installed per Manufacturer's recommendations.
- B. Planting Soil Mix shall consist of Topsoil, Compost, and coarse sand mixed to the following proportion:
 

Material	% by volume
Compost	12-17%
Coarse Sand	35-50%
Topsoil	35-50%

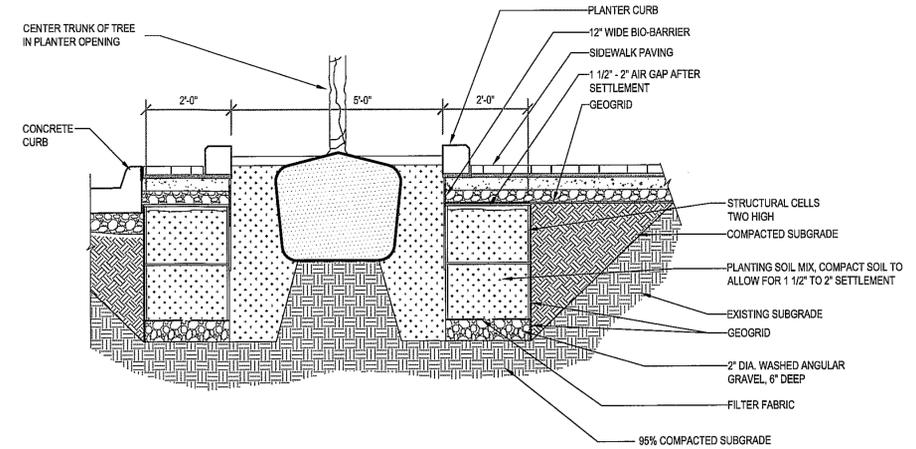
  - 1) Ratio shall be adjusted to achieve a water permeability between 0.75 and 1.75 inches per hour when compacted to 80-85% of maximum dry density. The permeability of the allowable topsoil materials will vary the overall permeability of the final mix. Submit multiple mix ratios for permeability to establish the correct mix ratio for the available topsoil.
  - 2) Final Mix shall have a pH between 6.5 and 6.8.
  - 3) Final mix shall have an organic matter content of between 3 and 5%.

**15. GENERAL PLANT INSTALLATION:**

- A. Excavation: Excavate all tree pits and planting areas to the width and depth shown in the planting details. Soil has been tamped firmly around root ball.
- B. Center plant in pit and orient for the best visual effect. Set plants plumb and hold rigidly in position until soil has been tamped firmly around root ball.
- C. Mulch within 48 hours after planting and after applying the pre-emergent herbicide, except ground cover areas (which shall have organic material placed before planting) with a 2" layer of mulch immediately after planting. All bed lines shall be cut with a smooth consistent edge to a minimum depth of 3 inches. Keep mulch out of the crowns of shrubs and off buildings, sidewalks, light standards, and other structures.
- D. All planting areas to conform to specified grades after full settlement has occurred and mulch has been applied. Provide saucers around tree pits as shown on planting details. Remove all tags, labels, strings, etc. from all plants.



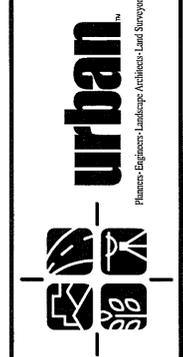
**1 DECIDUOUS TREE PLANTING**  
NTS



**2 PLANTER SECTION**  
1/2"=1'-0"

PLAN DATE	DESCRIPTION	REVIEWED	DATE
11-26-10			
03-10-11			
04-14-11			
05-02-11			
05-26-11			
06-27-11			

Urban, Ltd.  
7712 Lake River Turnpike  
Arlington, Virginia 22203  
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Fax. 703.642.9251  
www.urban-llc.com



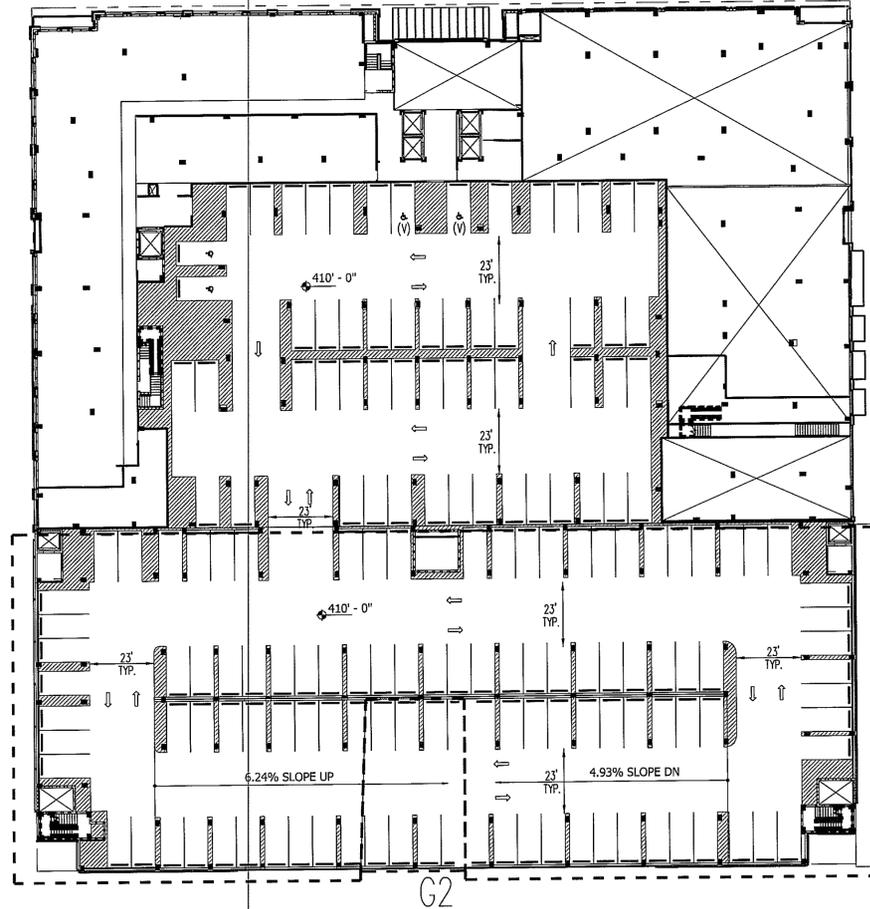
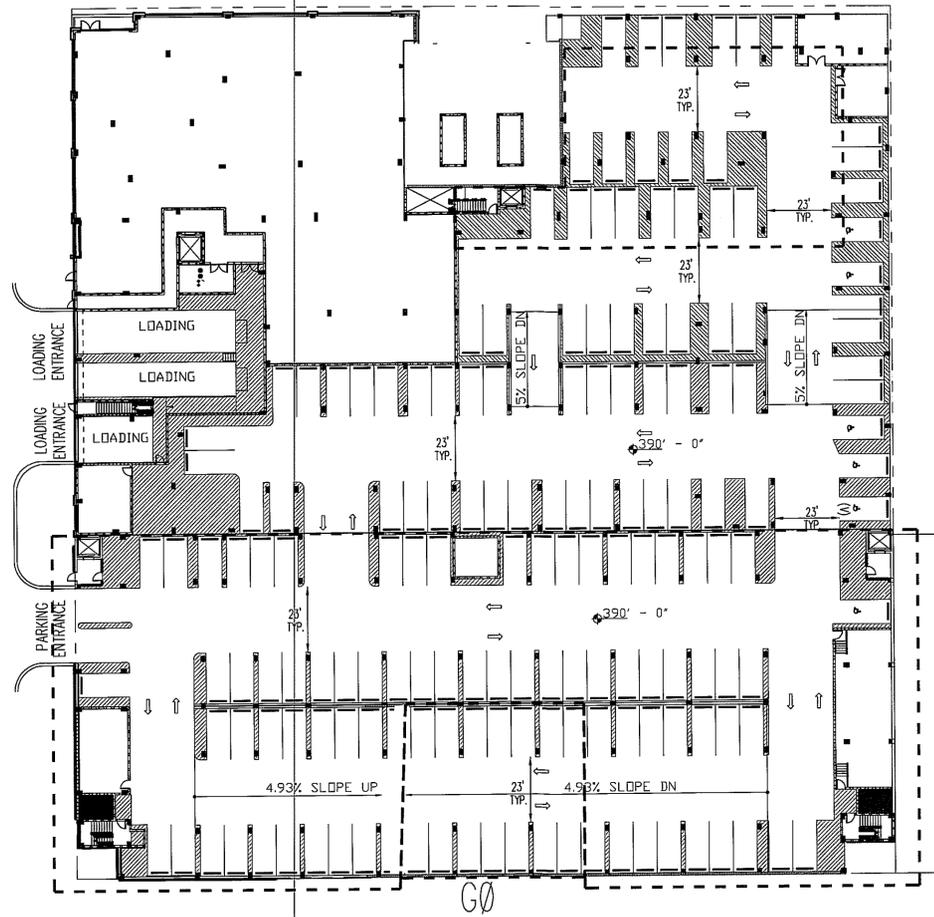
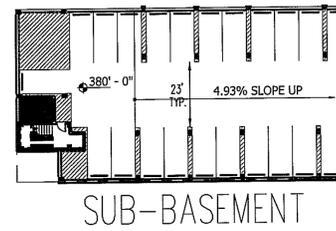
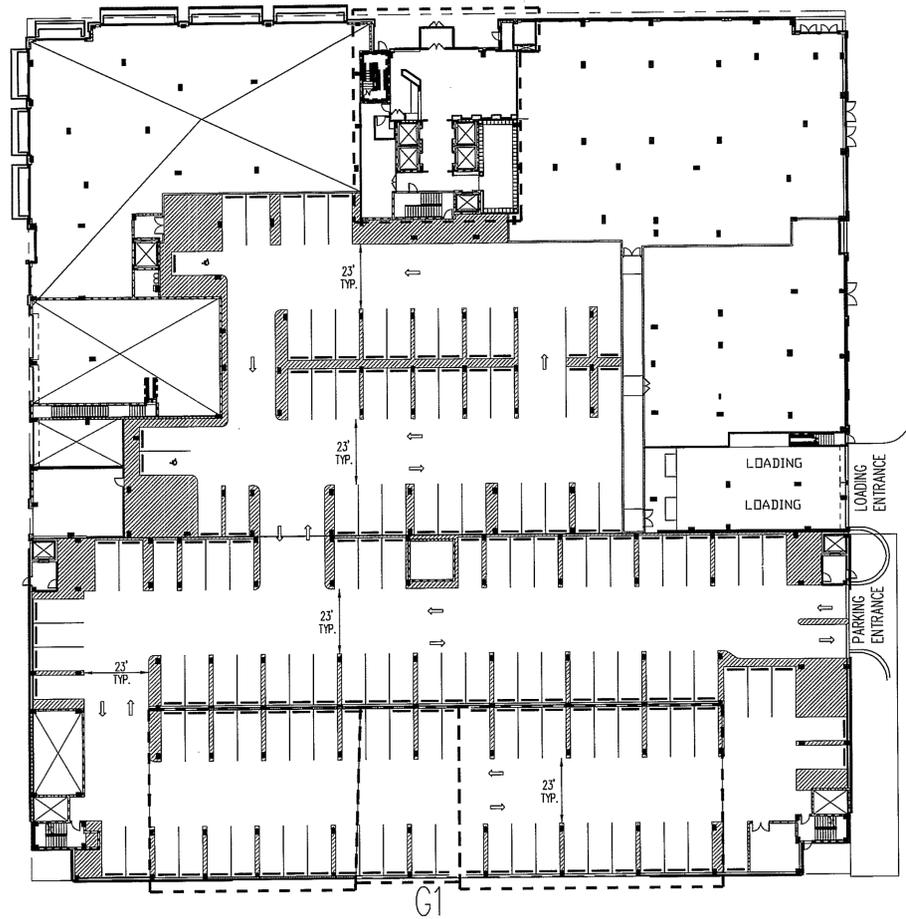
PRELIMINARY LANDSCAPE SCHEDULE AND DETAILS  
**RESTON TOWN CENTER**  
SECTION 91A - BLOCK 16  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

DATE: NOV., 2010  
SCALE: AS NOTED  
C.I. N/A

Application No. PRC 85-C-088-02 Staff EG  
APPROVED BY PRC STAFF PLAN  
SEE DEV CONDS DATED 7/26/11  
Date of (BZA) approval 7/26/11  
Sheet 10 of 20

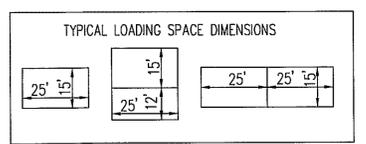
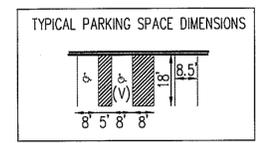
NOTE: THIS LANDSCAPE PLAN IS FOR SCHEMATIC PURPOSES ONLY. DETAILS SUBJECT TO CHANGE WITH FINAL DESIGN.

M:\Info\Reston\rcp2-bdr-3\block\_16\Residential - BP\PRC2004-PRC-10-11-Garage Layout.dwg, 6/28/2011 8:39:05 AM, jlemons



**GARAGE PARKING TABULATIONS:**

	STANDARD	HANDICAP	TOTAL	LOADING
SUB-BASEMENT	50	0	50	0
G0	158	6	164	3
G1	141	2	143	2
G2	159	4	163	0
G3	105	5	109	0
G4	115	0	115	0
G5	71	0	71	0
<b>TOTAL</b>	<b>798</b>	<b>17</b>	<b>815</b>	<b>5</b>



TYPICAL DRIVE AISLE DIMENSIONS SHOWN ON THIS SHEET.

Application No. PRC 85-L-088-02 Staff EG  
 APPROVED SE SUB-PLAN  
 SEE DEV CONDS DATED 7/26/11  
 Date of (60) (BZA) approval 7/26/11  
 Sheet 11 of 20

PLAN DATE	No.	DATE	DESCRIPTION	REVIEWER	APPROVED	DATE
11-26-10						
03-10-11						
04-14-11						
05-02-11						
05-26-11						
06-27-11						

Urban, Ltd.  
 7712 Little River Turnpike  
 Alexandria, Virginia 22303  
 Tel: 703.642.8080  
 Fax: 703.642.8251  
 www.urban-llc.com



**GARAGE LAYOUT PLAN**  
**RESTON TOWN CENTER**  
**SECTION 91A - BLOCK 16**  
**HUNTER MILL DISTRICT**  
**FAIRFAX COUNTY, VIRGINIA**

DATE: NOV., 2010  
 SCALE: 1" = 30'  
 C.I. = N/A

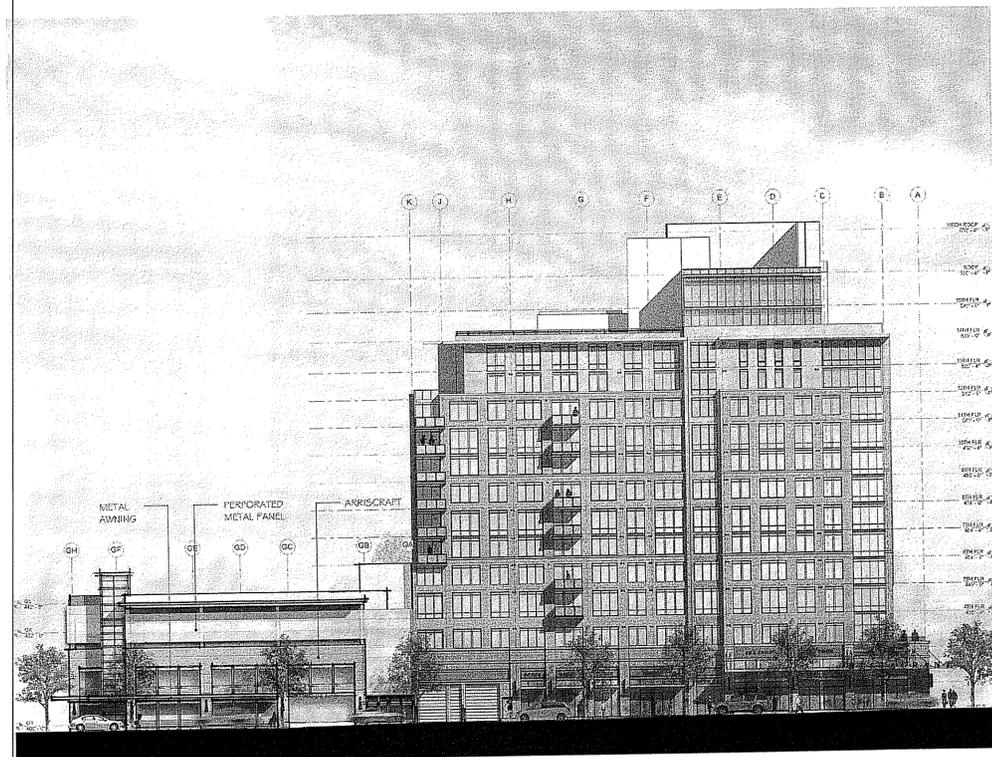
SHEET  
 10  
 OF  
 18  
 FILE No.  
 PREL-2004





NORTH ELEVATION

<b>LESSARD DESIGN INC.</b> 825 LEBANON PIKE, SUITE 710 RESTON, VA 20191 TEL: 703.642.8251 WWW.LESSARDDESIGN.COM	
<b>PROJECT:</b> RESTON TOWN CENTER SECTION 91A - BLOCK 16 HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA	
<b>DESIGN APPROVED:</b> DATE: 07/26/11 BY: [Signature]	
<b>REVISIONS:</b> NO. DESCRIPTION DATE 11-26-10 03-10-11 04-14-11 05-02-11 05-20-11 06-27-11	
<b>BLOCK 16</b> RESTON, VA <b>NORTH ELEVATION</b> P-1	



EAST ELEVATION

<b>LESSARD DESIGN INC.</b> 825 LEBANON PIKE, SUITE 710 RESTON, VA 20191 TEL: 703.642.8251 WWW.LESSARDDESIGN.COM	
<b>PROJECT:</b> RESTON TOWN CENTER SECTION 91A - BLOCK 16 HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA	
<b>DESIGN APPROVED:</b> DATE: 07/26/11 BY: [Signature]	
<b>REVISIONS:</b> NO. DESCRIPTION DATE 11-26-10 03-10-11 04-14-11 05-02-11 05-20-11 06-27-11	
<b>BLOCK 16</b> RESTON, VA <b>EAST ELEVATION</b> P-3	

PLANDATE	DATE	DESCRIPTION	REVIEWED	DATE
11-26-10	03-10-11	04-14-11	05-02-11	05-20-11
06-27-11				

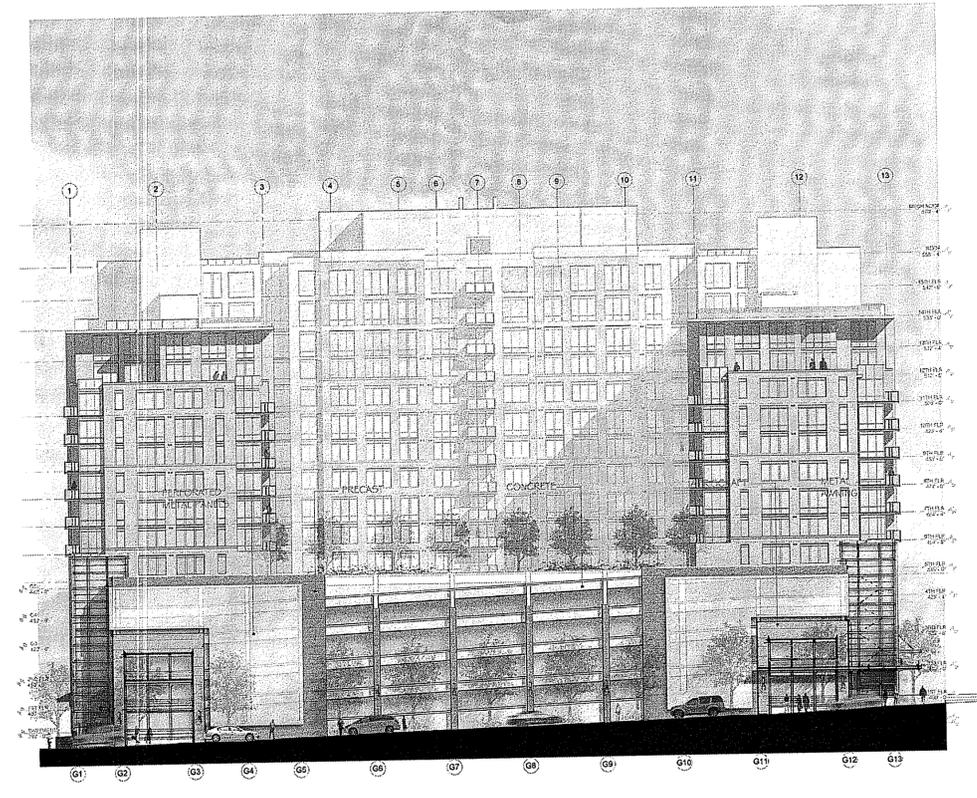
Urban, Ltd.  
 7112 Little River Turnpike  
 Annandale, Virginia 22003  
 Tel: 703.642.8080  
 Fax: 703.642.8251  
 www.urban-lltd.com



**COMMONWEALTH OF VIRGINIA**  
 Matthew K. Kornblum  
 License No. 093902  
 09/27/11  
**PROFESSIONAL ENGINEER**

**BUILDING ELEVATIONS**  
**RESTON TOWN CENTER**  
**SECTION 91A - BLOCK 16**  
**HUNTER MILL DISTRICT**  
**FAIRFAX COUNTY, VIRGINIA**  
 SCALE: AS NOTED  
 DATE: NOV., 2010  
 C.I. N/A

SHEET 11A OF 18  
 FILE No. PREL-2004



SOUTH ELEVATION

<b>LESSARD DESIGN INC.</b> 825 LEBANON PIKE, SUITE 710 RESTON, VA 20191 TEL: 703.642.8251 WWW.LESSARDDESIGN.COM	
<b>PROJECT:</b> RESTON TOWN CENTER SECTION 91A - BLOCK 16 HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA	
<b>DESIGN APPROVED:</b> DATE: 07/26/11 BY: [Signature]	
<b>REVISIONS:</b> NO. DESCRIPTION DATE 11-26-10 03-10-11 04-14-11 05-02-11 05-20-11 06-27-11	
<b>BLOCK 16</b> RESTON, VA <b>SOUTH ELEVATION</b> P-2	



WEST ELEVATION

<b>LESSARD DESIGN INC.</b> 825 LEBANON PIKE, SUITE 710 RESTON, VA 20191 TEL: 703.642.8251 WWW.LESSARDDESIGN.COM	
<b>PROJECT:</b> RESTON TOWN CENTER SECTION 91A - BLOCK 16 HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA	
<b>DESIGN APPROVED:</b> DATE: 07/26/11 BY: [Signature]	
<b>REVISIONS:</b> NO. DESCRIPTION DATE 11-26-10 03-10-11 04-14-11 05-02-11 05-20-11 06-27-11	
<b>BLOCK 16</b> RESTON, VA <b>WEST ELEVATION</b> P-4	

Application No. PRC 85-C-088-02 Staff EG  
 APPROVED SEAL PLAN  
 SEE DEV CONDS DATED 7/26/11  
 Date of (BOS) (BZA) approval 7/26/11  
 Sheet 13 of 20

THIS SHEET IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY.

M:\Jobs\Reston\lcp\2-bldg-3\Block\_16 Residential - BP\PRC\2004-PRC-11A-BLDG Elevations.dwg, 6/28/2011 8:42:16 AM, jlemons

# DEVELOPMENT PLAN AMENDMENT FOR RESTON TOWN CENTER URBAN CORE

## HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA

### Reston PRC Density

Overall density not to exceed 13 persons/acre

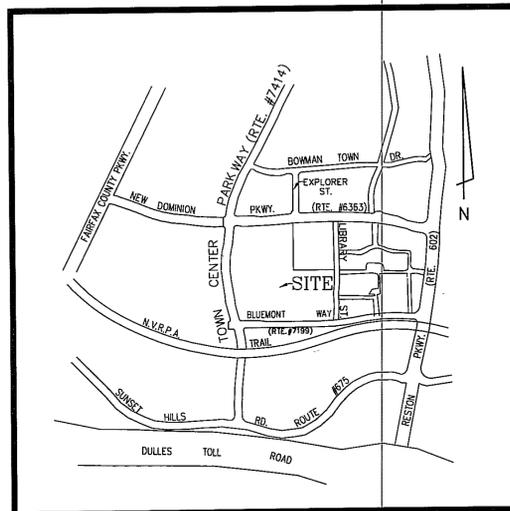
	Acres	Units	Persons	Persons/Acre
North Sector	2,870.59	12,168	34,300	
S. 933, 43, 85 and 57, B.4A & 4B	100.31	1,353	2,750	
Prop. S. 91A	75.13	1,898	3,395	
New S.81, B2		514	1,028	
New S.89 B.5	2.09	100	200	
Subtotal	3,048.12	15,833	41,674	
South Sector	3,305.95	10,636	32,318	
S. 40, B1	15.00	156	312	
New S.84, B1B	6.71	30	90	
Subtotal	3,327.66	10,822	32,720	
Grand Total	6,375.78	26,655	74,394	11.6682

### RESTON HIGH DENSITY RESIDENTIAL CATEGORY DENSITY

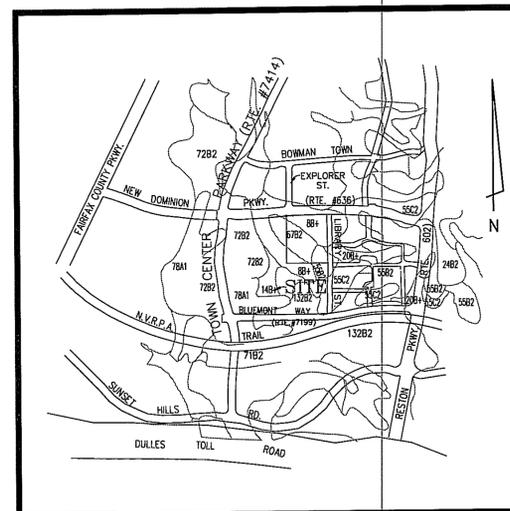
High density residential category density not to exceed 60 persons/acre

SECTION	ACRES	UNITS	UNIT TYPE	PERSONS	PERSONS/ACRE
S. 83, B.1	14.33	250	MF	625	
S. 80, B.1E	2.37	17	SFA	51	
S. 57, B.2	8.97	168	MF	420	
S. 80, B.1D	3.08	27	SFA	81	
S. 41, B.1	11.1271	145	SFA	435	
S. 41, B.1A	5.6	73	SFA	219	
S. 81, B.1	9.77	182	MF	455	
S. 81, B.2	13.22	514	MF	1028	
S. 82, B.2A	12.35	216	MF	540	
S. 85, B.1	6.92	35	SFA	105	
S. 86, B.2	12.36	65	SFA	195	
S. 76, B.2B	10.26	153	SFA	459	
S. 76, B.2A	6.28	78	SFA	234	
S. 76, B.3	3.37	20	SFA	60	
S. 80, B.1C	2.4	11	SFA	33	
S. 32, B.3A	15.28	48	SFA	144	
S. 931, B.4A	10.3	174	MF	435	
S. 931, B.4B	13.55	80	SFA	240	
S. 89, B.2	6.96	195	MF	370	
S. 89, B.5	2.09	100	MF	200	
S. 17, B.3	2.28	18	SFA	54	
S. 33, B.7 & 8	11.3	78	SFA	234	
S. 39, B.9	6.57	44	SFA	132	
S. 57, B.3	3.63	30	SFA	90	
S. 78, B.3	6.17	40	SFA	120	
S. 933	49	455	SFA	1365	
S. 43	31.91	400	MF	1000	
S. 85	9.12	344	MF	688	
S. 57, B.4A & 4B	10.28	154	MF	385	
S. 40, B.1	15	156	MF	312	
S. 91A	75.13	1698	MF	3396	
TOTAL	390.9771	5958		14100	36.063

VICINITY MAP  
SCALE: 1" = 2000'



SOILS MAP  
SCALE: 1" = 2000'



SOIL ID NUMBERS	SERIES NAME	FOUNDATION SUPPORT	SUBSURFACE DRAINAGE	SLOPE STABILITY	ERODIBILITY	GEOTECHNICAL REPORT RECD
8B+	WORSHAM	POOR-B,W,C	POOR-W,C,S	GOOD	LOW	A
14B+	MANASSAS	FAIR-B,W	MARG-W,R	GOOD	MOD	B
71B2	BUCKS	GOOD	FAIR-S	GOOD	MOD	C
72B2	BUCKS	GOOD	FAIR-S	GOOD	MOD	C
78A1	CALVERTON	POOR-B,W,C	MARG-W,C,R	GOOD	MOD	A
132B2	MAYODAN	GOOD	FAIR-S	GOOD	MOD	C

### OWNERS / APPLICANTS / DEVELOPERS

**WESTERRA RESTON L.L.C.**  
11450 BARON CAMERON AVENUE  
RESTON, VIRGINIA 20190  
(703) 787-7500

PLAN DATE	DESCRIPTION	REV. BY	APPROVED	DATE
01-25-02				
04-04-02				
05-17-02				

REVISION APPROVED BY DIVISION OF DESIGN REVIEW

**URBAN ENGINEERING & ASSOC., INC.**  
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • LAND SURVEYORS  
7712 LITTLE RIVER TURNPIKE  
ANNANDALE, VIRGINIA 22003 (703) 642-8080



COVER SHEET  
**RESTON TOWN CENTER URBAN CORE**  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA  
SCALE: AS NOTED  
DATE: JAN. 2002  
C.I. N/A

Application No. PRC 05-L-088-02 Staff EG  
APPROVED SE/SP PLAN  
SEE DEV CONDS DATED 7/26/11  
Date of (BZ) (BZA) approval 7/26/11  
Sheet 14 of 20

### SHEET INDEX

- COVER SHEET
- CONCEPT DEVELOPMENT PLAN
- MASTER PLAN
- PEDESTRIAN CIRCULATION & LANDSCAPE PLAN
- RIGHT-OF-WAY/TRAFFIC CIRCULATION PLAN
- EXISTING CONCEPTUAL DEVELOPMENT PLAN
- TRANSIT STATION RESERVATION EXHIBIT



SHEET 12 OF 18  
PREL-2004  
FOR INFORMATION PURPOSES ONLY.

SHEET 12 OF 18  
FILE No. DP-1279

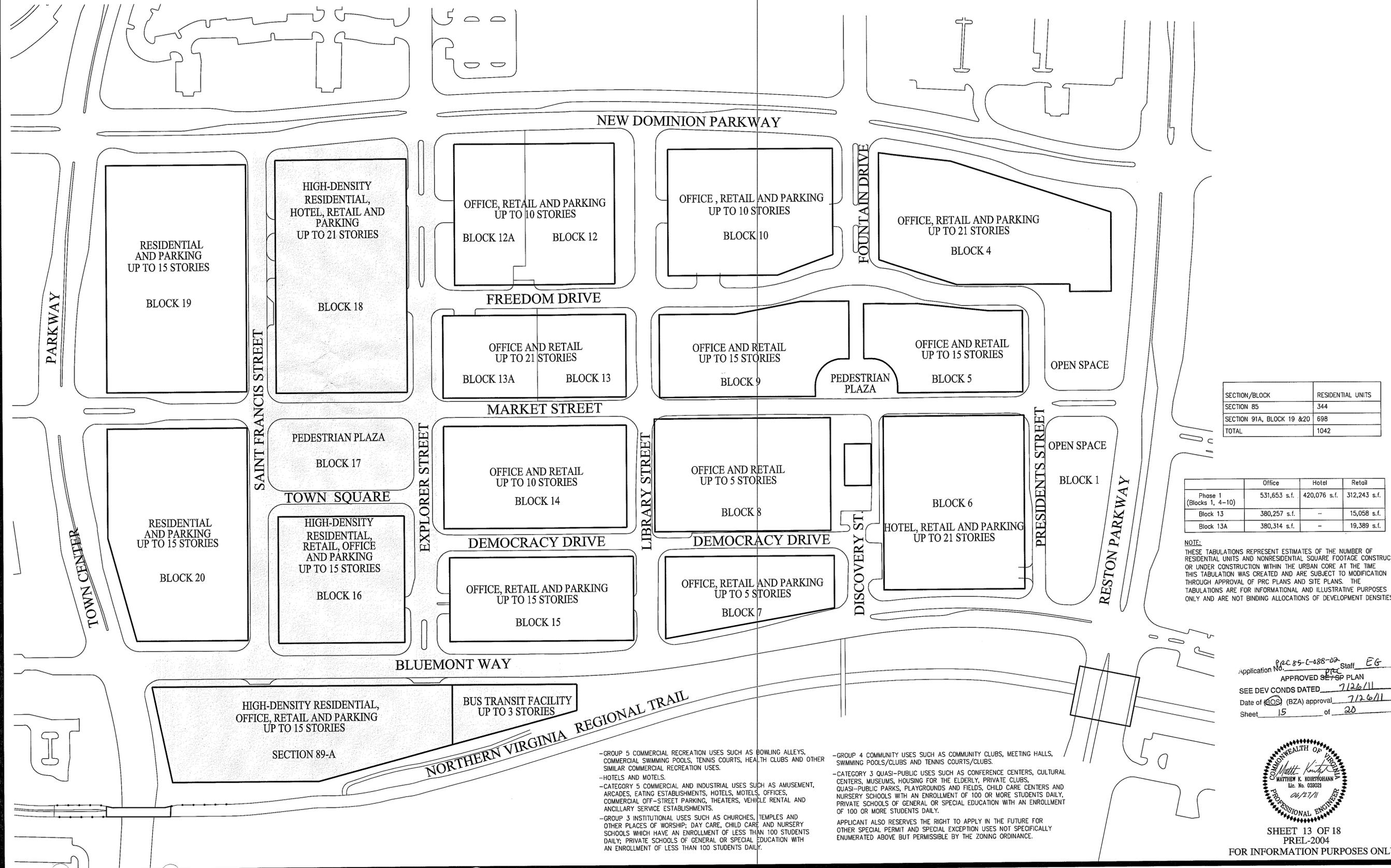
THE DEVELOPMENT PLAN AMENDMENT IS BINDING 12 ACRES OF THE TOWN CENTER URBAN CORE AREA, AS GENERALLY HIGHLIGHTED HEREON. THE 84 ACRE TOWN CENTER URBAN CORE AREA GENERALLY IS BOUNDED BY TOWN CENTER PARKWAY, THE WASHINGTON AND OLD DOMINION ("W&OD") TRAIL, NEW DOMINION PARKWAY AND INCLUDES SECTION 85 EAST OF RESTON PARKWAY, WHICH IS NOT SHOWN ON THIS PLAN. ALL OTHER PLANS ARE ILLUSTRATIVE IN NATURE AND ARE NOT PRC PLANS, PRELIMINARY SITE PLANS OR DEVELOPMENT PLANS. FURTHER, THESE PLANS ARE GENERAL IN CONCEPT AND ARE SUBJECT TO CHANGE BY THE APPLICANT AS DETAILED DESIGN AND FINAL ENGINEERING OCCURS. THE FOLLOWING NOTES SHALL BE BINDING ON THE 84 ACRE TOWN CENTER URBAN CORE AREA, INCLUDING THE 21 ACRES SUBJECT TO THIS DEVELOPMENT PLAN AMENDMENT:

1. THE MAXIMUM GROSS FLOOR AREA OF COMMERCIAL SPACE WITHIN THE ENTIRE 84 ACRE TOWN CENTER URBAN CORE AREA SHALL NOT EXCEED 3,465,000 SQUARE FEET, CONSISTING OF 2.65 MILLION SQUARE FEET OFFICE, 1.0 MILLION SQUARE FEET HOTEL, AND 315,000 SQUARE FEET RETAIL, INCLUDING EXHIBITION GALLERY SPACE.
2. MAXIMUM OVERALL FAR SHALL NOT EXCEED .95, EXCLUSIVE OF RESIDENTIAL USE.

3. MAXIMUM HEIGHT SHALL NOT EXCEED 21 STORIES OR 275 FEET. THE RANGE OF PROPOSED MAXIMUM BUILDING HEIGHTS IN STORIES IS SHOWN ON THE DEVELOPMENT PLAN: UP TO 5 STORIES, 10 STORIES, 15 STORIES AND 21 STORIES.
4. RESIDENTIAL DEVELOPMENT WITHIN THE TOWN CENTER URBAN CORE AREA IS DESIGNATED AS HIGH DENSITY RESIDENTIAL DEVELOPMENT. A MINIMUM OF 600 AND A MAXIMUM OF 4,212 SINGLE FAMILY ATTACHED AND/OR MULTIFAMILY RESIDENTIAL SHALL BE PROVIDED WITHIN THE ENTIRE 84.25 ACRE TOWN CENTER URBAN CORE AREA. THE MAXIMUM NUMBER OF RESIDENTIAL UNITS THAT MAY BE CONSTRUCTED ON BLOCK 16, BLOCK 18 AND SECTION 89A, COMBINED, SHALL NOT EXCEED 1,000 RESIDENTIAL DWELLING UNITS.
5. PARKING SHALL BE PROVIDED IN ACCORDANCE WITH FAIRFAX COUNTY ZONING ORDINANCE REQUIREMENTS. APPLICANT MAY SEEK REDUCTIONS IN PARKING CONSISTENT WITH THE ZONING ORDINANCE AND SUBJECT TO THE BOARD OF SUPERVISOR'S APPROVAL.
6. A COMPREHENSIVE PEDESTRIAN CIRCULATION SYSTEM SHALL BE PROVIDED WITHIN THE TOWN CENTER URBAN CORE. THIS SYSTEM SHALL CONSIST OF SIDEWALKS AND PATHWAYS AS APPROPRIATE AND SHALL BE FINALIZED AS TO LOCATION AND MATERIALS AT THE TIME OF SITE PLAN REVIEW.

7. COMMUNITY FACILITIES AND AMENITIES SHALL INCLUDE A CENTRAL PEDESTRIAN PLAZA, EXHIBITION GALLERY/CULTURAL CENTER, PEDESTRIAN WALKWAYS, URBAN LANDSCAPING, OPEN SPACE ALONG RESTON PARKWAY AND PEDESTRIAN LINKAGE TO THE W&OD LINEAR PARK.
8. CONSTRUCTION OF THE TOWN CENTER URBAN CORE STARTED IN 1988 AND IS EXPECTED TO BE COMPLETED WITHIN 12 TO 15 YEARS.
9. ALL SITE PLANS SHALL BE SUBMITTED TO THE RESTON COMMUNITY ASSOCIATION'S PLANNING AND ZONING COMMITTEE FOR REVIEW. THIS PROCESS CURRENTLY EXISTS AND SHALL BE CONTINUED FOR THE TOWN CENTER URBAN CORE AREA.
10. ALL SITE PLANS AS WELL AS ARCHITECTURAL DRAWINGS OF ALL BUILDINGS AND STRUCTURES (INCLUDING PARKING STRUCTURES), LANDSCAPING, LIGHTING, MATERIALS, COLORS AND SIGNAGE SHALL BE SUBMITTED TO THE TOWN CENTER ASSOCIATION DESIGN REVIEW BOARD FOR REVIEW AND APPROVAL.

11. THE PROPOSED RIGHT-OF-WAY WIDTH OF MAJOR PUBLIC STREETS SHALL BE AS FOLLOWS:  
NEW DOMINION PARKWAY - 90'  
TOWN CENTER PARKWAY - 90'  
BLUEMONT WAY - 60'
12. 1ST LEVEL RETAIL USE MAY BE INCLUDED IN THE GROUND FLOOR OF PARKING STRUCTURES WHERE FEASIBLE.
13. UNDERGROUND PARKING MAY BE PROVIDED BY RIGHT ON ANY BUILDING PAD AS NECESSARY.
14. THE AIR RIGHTS ABOVE PRIVATE STREETS MAY BE DEVELOPED AS NECESSARY.
15. TOWN CENTER USES WILL INCLUDE ALL OF THOSE PERMITTED BY RIGHT UNDER THE PRC TOWN CENTER ZONING CATEGORY, PLUS ALL OF THE SPECIAL PERMIT AND SPECIAL EXCEPTION USES SPECIFICALLY DESIGNATED ON THE CONCEPTUAL DEVELOPMENT PLAN AS TO GENERAL LOCATION AND THE FOLLOWING SPECIAL PERMIT AND SPECIAL EXCEPTION USES WHICH ARE NOT YET DEFINITE AS TO LOCATION:



SECTION/BLOCK	RESIDENTIAL UNITS
SECTION 85	344
SECTION 91A, BLOCK 19 & 20	698
TOTAL	1042

	Office	Hotel	Retail
Phase 1 (Blocks 1, 4-10)	531,653 s.f.	420,076 s.f.	312,243 s.f.
Block 13	380,257 s.f.	-	15,058 s.f.
Block 13A	380,314 s.f.	-	19,389 s.f.

NOTE: THESE TABULATIONS REPRESENT ESTIMATES OF THE NUMBER OF RESIDENTIAL UNITS AND NONRESIDENTIAL SQUARE FOOTAGE CONSTRUCTED OR UNDER CONSTRUCTION WITHIN THE URBAN CORE AT THE TIME THIS TABULATION WAS CREATED AND ARE SUBJECT TO MODIFICATION THROUGH APPROVAL OF PRC PLANS AND SITE PLANS. THE TABULATIONS ARE FOR INFORMATIONAL AND ILLUSTRATIVE PURPOSES ONLY AND ARE NOT BINDING ALLOCATIONS OF DEVELOPMENT DENSITIES.

Application No. 92C 85-C-488-02 Staff EG  
 APPROVED SE PRC PLAN  
 SEE DEV CONDS DATED 7/26/11  
 Date of (BZA) approval 7/26/11  
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SHEET 13 OF 18  
 PREL-2004  
 FOR INFORMATION PURPOSES ONLY.

- GROUP 5 COMMERCIAL RECREATION USES SUCH AS BOWLING ALLEYS, COMMERCIAL SWIMMING POOLS, TENNIS COURTS, HEALTH CLUBS AND OTHER SIMILAR COMMERCIAL RECREATION USES.
- HOTELS AND MOTELS.
- CATEGORY 5 COMMERCIAL AND INDUSTRIAL USES SUCH AS AMUSEMENT, ARCADES, EATING ESTABLISHMENTS, HOTELS, MOTELS, OFFICES, COMMERCIAL OFF-STREET PARKING, THEATERS, VEHICLE RENTAL AND ANCILLARY SERVICE ESTABLISHMENTS.
- GROUP 3 INSTITUTIONAL USES SUCH AS CHURCHES, TEMPLES AND OTHER PLACES OF WORSHIP; DAY CARE, CHILD CARE AND NURSERY SCHOOLS WHICH HAVE AN ENROLLMENT OF LESS THAN 100 STUDENTS DAILY; PRIVATE SCHOOLS OF GENERAL OR SPECIAL EDUCATION WITH AN ENROLLMENT OF LESS THAN 100 STUDENTS DAILY.

- GROUP 4 COMMUNITY USES SUCH AS COMMUNITY CLUBS, MEETING HALLS, SWIMMING POOLS/CLUBS AND TENNIS COURTS/CLUBS.
  - CATEGORY 3 QUASI-PUBLIC USES SUCH AS CONFERENCE CENTERS, CULTURAL CENTERS, MUSEUMS, HOUSING FOR THE ELDERLY, PRIVATE CLUBS, QUASI-PUBLIC PARKS, PLAYGROUNDS AND FIELDS, CHILD CARE CENTERS AND NURSERY SCHOOLS WITH AN ENROLLMENT OF 100 OR MORE STUDENTS DAILY, PRIVATE SCHOOLS OF GENERAL OR SPECIAL EDUCATION WITH AN ENROLLMENT OF 100 OR MORE STUDENTS DAILY.
- APPLICANT ALSO RESERVES THE RIGHT TO APPLY IN THE FUTURE FOR OTHER SPECIAL PERMIT AND SPECIAL EXCEPTION USES NOT SPECIFICALLY ENUMERATED ABOVE BUT PERMISSIBLE BY THE ZONING ORDINANCE.

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URBAN ENGINEERING & ASSOC., INC.  
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • LAND SURVEYORS  
 7712 LITTLE RIVER TURNPIKE  
 ANNANDALE, VIRGINIA 22008 (703) 642-8080

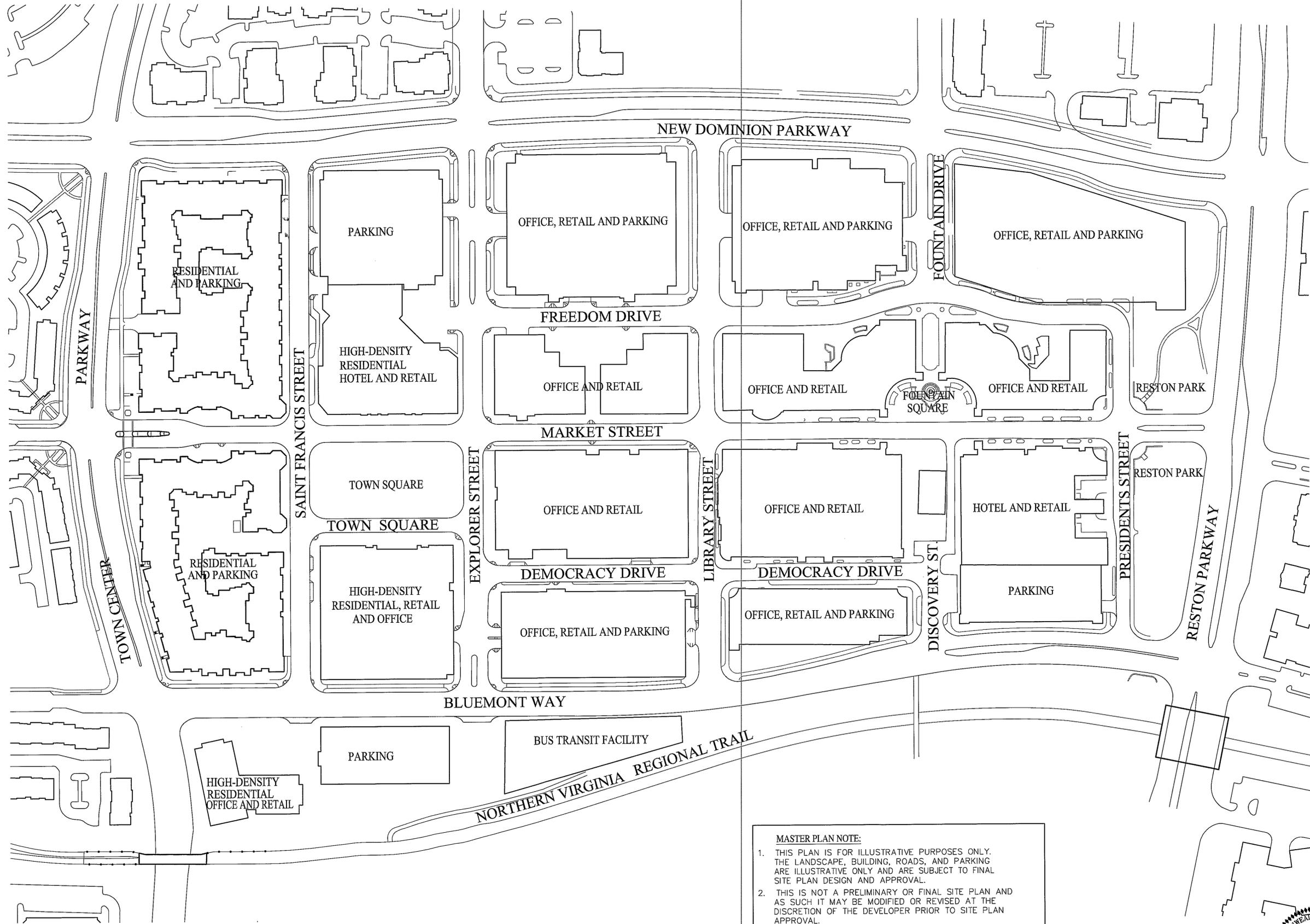
CONCEPTUAL DEVELOPMENT PLAN  
 RESTON TOWN CENTER URBAN CORE  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SCALE: 1"=100'  
 DATE: JAN., 2002  
 C.I. N/A

SHEET 13 OF 18  
 PREL-2004  
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FILE NO. DP-1279

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**MASTER PLAN NOTE:**

1. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. THE LANDSCAPE, BUILDING, ROADS, AND PARKING ARE ILLUSTRATIVE ONLY AND ARE SUBJECT TO FINAL SITE PLAN DESIGN AND APPROVAL.
2. THIS IS NOT A PRELIMINARY OR FINAL SITE PLAN AND AS SUCH IT MAY BE MODIFIED OR REVISED AT THE DISCRETION OF THE DEVELOPER PRIOR TO SITE PLAN APPROVAL.

Application No. PRC 85-C-088-02 Staff EG  
 APPROVED SET PLAN  
 SEE DEV CONDS DATED 7/26/11  
 Date of (PC) (BZA) approval 7/26/11  
 Sheet 16 of 20 SHEET 14 OF 18  
 PREL-2004

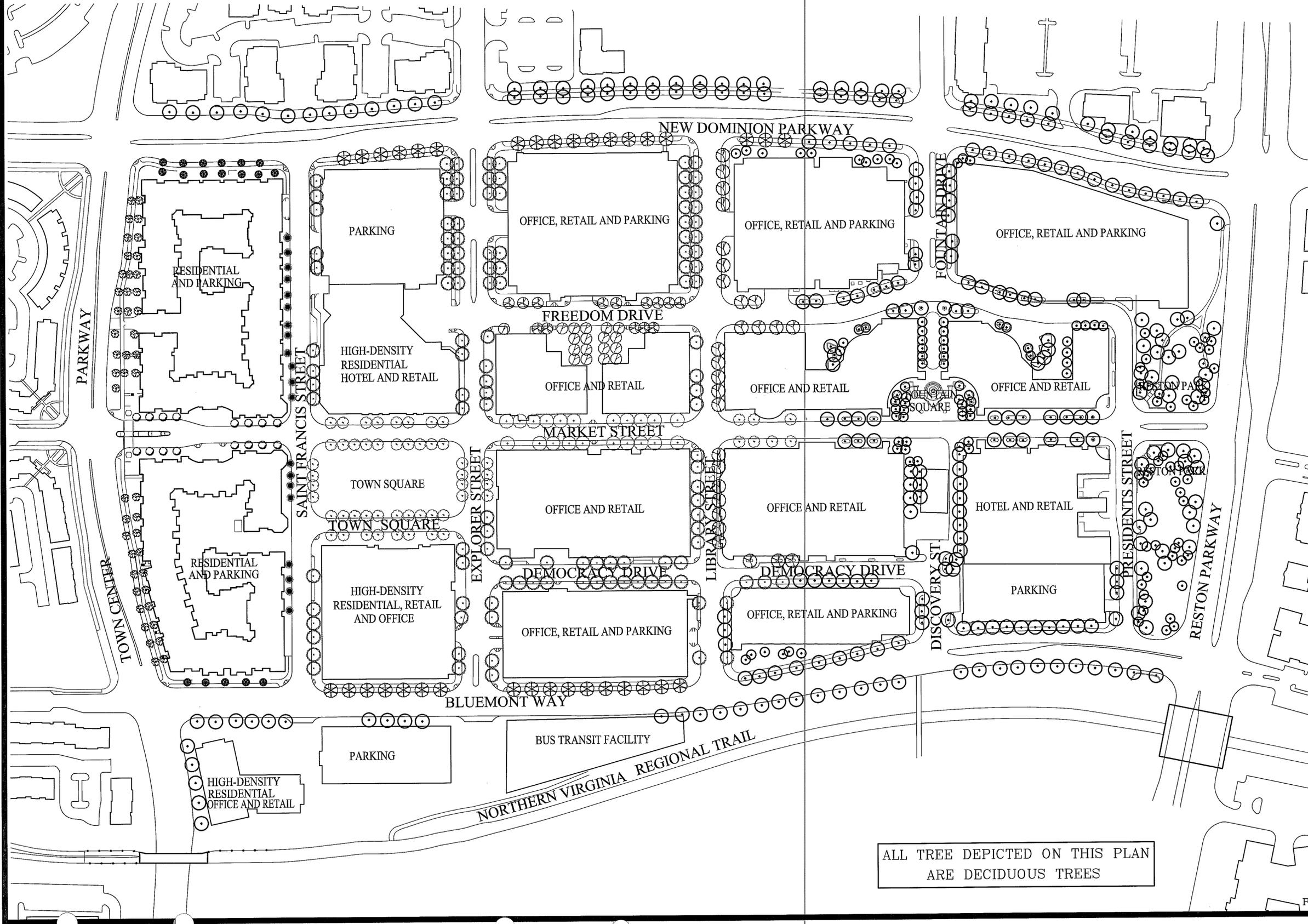
Professional Engineer Seal:  
 COMMONWEALTH OF VIRGINIA  
 Matthew K. Kolkopohann  
 Lic. No. 039021  
 06/27/11

PLANDATE 01-25-02 04-04-02	REVISION APPROVED BY DIVISION OF DESIGN REVIEW
<b>URBAN ENGINEERING &amp; ASSOC., INC.</b> CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • LAND SURVEYORS 7712 LITTLE RIVER TURNPIKE ANNANDALE, VIRGINIA 22003 (703) 642-8080	
<b>MASTER PLAN</b> <b>RESTON TOWN CENTER URBAN CORE</b> HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA	DATE: JAN. 2002 SCALE: 1"=100' C.I. N/A
SHEET 3 OF 7 FILE No. DP-1279	FOR INFORMATION PURPOSES ONLY.

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**LANDSCAPE PLAN NOTE:**

1. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. THE LANDSCAPE, BUILDING, ROADS, AND PARKING ARE ILLUSTRATIVE ONLY AND ARE SUBJECT TO FINAL SITE PLAN DESIGN AND APPROVAL.
2. THIS IS NOT A PRELIMINARY OR FINAL SITE PLAN AND AS SUCH IT MAY BE MODIFIED OR REVISED AT THE DISCRETION OF THE DEVELOPER PRIOR TO SITE PLAN APPROVAL.
3. THE TOWN CENTER URBAN CORE WILL HAVE A HIGHLY INTEGRATED PEDESTRIAN CIRCULATION PATTERN AND A SERIES OF URBAN PARKS WITH A HIERARCHY OF LANDSCAPING ALONG THE STREETS. THIS PLAN SHOWS THE LOCATION OF THE PARKS, THE CONTINUITY OF THE STREETSCAPES THROUGHOUT THE CORE AND THE INCREASED INTENSITY OF LANDSCAPING PROPOSED FOR THE HIGHLY PEDESTRIAN "MARKET STREET."



ALL TREE DEPICTED ON THIS PLAN ARE DECIDUOUS TREES

Application No. PPL 85-L-088-02 Staff EG  
 APPROVED SET PLAN  
 SEE DEV CONDS DATED 7/26/11  
 Date of (BZA) approval 7/26/11  
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 FOR INFORMATION PURPOSES ONLY.

PLAN DATE 01-25-02 04-04-02	REVISION APPROVED BY DIVISION OF DESIGN REVIEW
URBAN ENGINEERING & ASSOC., INC. CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • LAND SURVEYORS 7712 LITTLE RIVER TURNPIKE ANNANDALE, VIRGINIA 22003 (703) 642-8080	DATE: JAN. 2002
PEDESTRIAN CIRCULATION & LANDSCAPE PLAN RESTON TOWN CENTER URBAN CORE HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA	SCALE: 1"=100'
SHEET 4 OF 7	FILE No. DP-1279



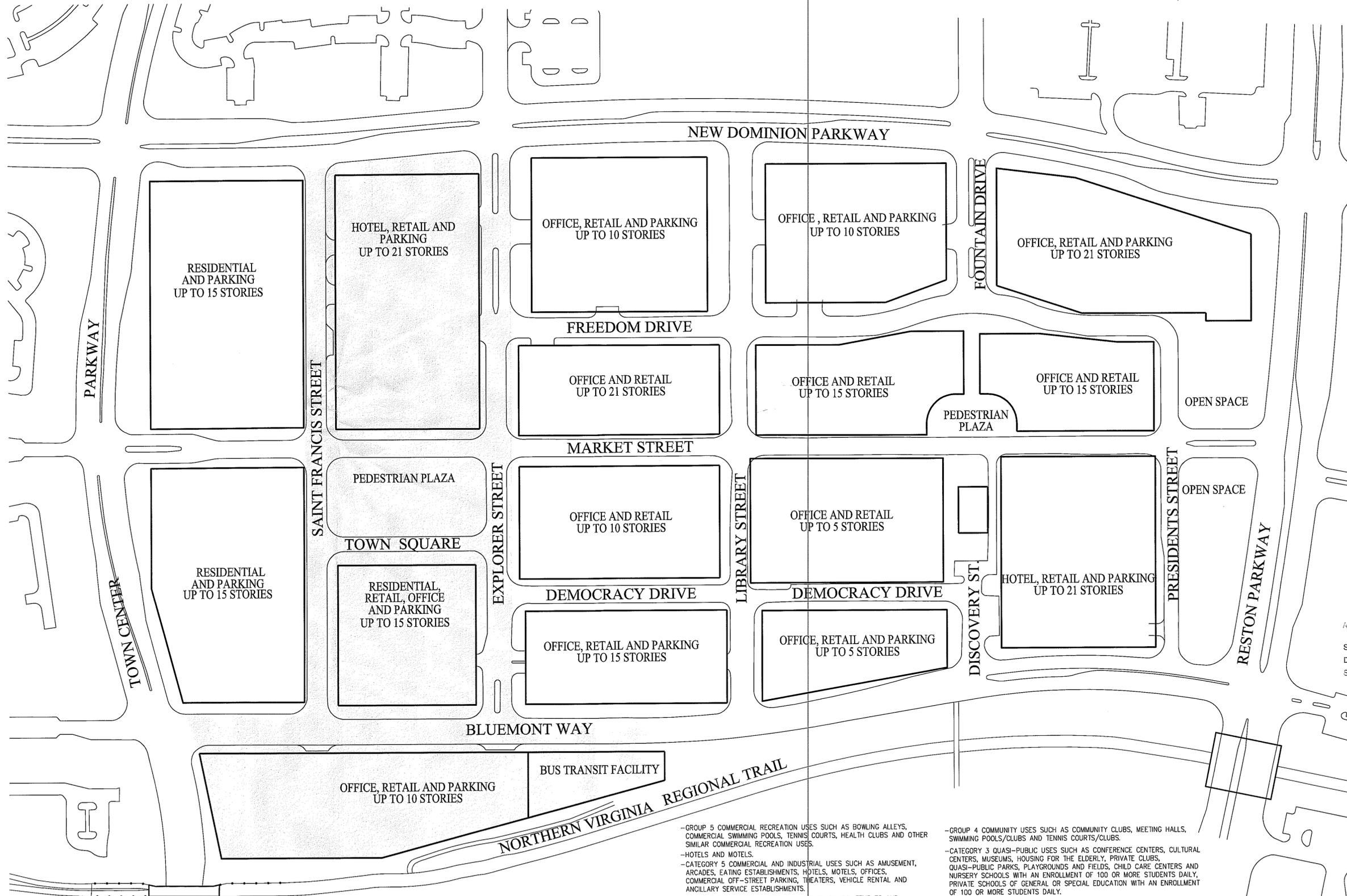
THIS DEVELOPMENT PLAN AMENDMENT IS SUBMITTED FOR THE 43.9559 ACRE WEST CORE AREA ONLY. ALL OTHER PLANS ARE ILLUSTRATIVE AND ARE NOT PRELIMINARY SITE PLANS OR DEVELOPMENT PLANS. THEY ARE GENERAL IN CONCEPT AND SUBJECT TO CHANGE AS DETAILED DESIGN PROGRESSES. THE FOLLOWING NOTES SHALL BE SPECIFIC AND BINDING TO THE ENTIRE 84 ACRE TOWN CENTER URBAN CORE AREA.

1. THE MAXIMUM GROSS FLOOR AREA OF COMMERCIAL SPACE WITHIN THE ENTIRE 84 ACRE TOWN CENTER URBAN CORE AREA SHALL NOT EXCEED 3,465,000 SQUARE FEET, CONSISTING OF 2.65 MILLION SQUARE FEET OFFICE, 1.0 MILLION SQUARE FEET HOTEL, AND 315,000 SQUARE FEET RETAIL INCLUDING EXHIBITION GALLERY SPACE.
2. MAXIMUM OVERALL FAR SHALL NOT EXCEED .95, EXCLUSIVE OF RESIDENTIAL USE.

3. MAXIMUM HEIGHT SHALL NOT EXCEED 21 STORIES OR 275 FEET. THE RANGE OF PROPOSED MAXIMUM BUILDING HEIGHTS IN STORIES IS SHOWN ON THE DEVELOPMENT PLAN: UP TO 5 STORIES, 10 STORIES, 15 STORIES AND 21 STORIES.
4. A MINIMUM OF 600 SINGLE FAMILY ATTACHED AND/OR MULTIPLE FAMILY RESIDENTIAL UNITS WILL BE PROVIDED WITHIN THE ENTIRE 84 ACRE TOWN CENTER URBAN CORE AREA.
5. PARKING SHALL BE PROVIDED IN ACCORDANCE WITH FAIRFAX COUNTY ZONING ORDINANCE REQUIREMENTS. APPLICANT MAY SEEK REDUCTIONS IN PARKING CONSISTENT WITH THE ZONING ORDINANCE AND SUBJECT TO THE BOARD OF SUPERVISOR'S APPROVAL.
6. A COMPREHENSIVE PEDESTRIAN CIRCULATION SYSTEM SHALL BE PROVIDED WITHIN THE TOWN CENTER URBAN CORE. THIS SYSTEM SHALL CONSIST OF SIDEWALKS AND PATHWAYS AS APPROPRIATE AND SHALL BE FINALIZED AS TO LOCATION AND MATERIALS AT THE TIME OF SITE PLAN REVIEW.

7. COMMUNITY FACILITIES AND AMENITIES SHALL INCLUDE A CENTRAL PEDESTRIAN PLAZA, EXHIBITION GALLERY/CULTURAL CENTER, PEDESTRIAN WALKWAYS, URBAN LANDSCAPING, OPEN SPACE ALONG RESTON PARKWAY AND PEDESTRIAN LINKAGE TO THE W&OD LINEAR PARK.
8. CONSTRUCTION OF THE TOWN CENTER URBAN CORE STARTED IN 1988 AND IS EXPECTED TO BE COMPLETED WITHIN 12 TO 15 YEARS.
9. ALL SITE PLANS SHALL BE SUBMITTED TO THE RESTON COMMUNITY ASSOCIATION'S PLANNING AND ZONING COMMITTEE FOR REVIEW. THIS PROCESS CURRENTLY EXISTS AND SHALL BE CONTINUED FOR THE TOWN CENTER URBAN CORE AREA.
10. ALL SITE PLANS AS WELL AS ARCHITECTURAL DRAWINGS OF ALL BUILDINGS AND STRUCTURES (INCLUDING PARKING STRUCTURES), LANDSCAPING, LIGHTING, MATERIALS, COLORS AND SIGNAGE SHALL BE SUBMITTED TO THE TOWN CENTER ASSOCIATION DESIGN REVIEW BOARD FOR REVIEW AND APPROVAL.

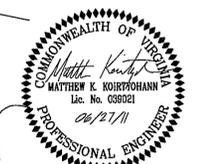
11. THE PROPOSED RIGHT-OF-WAY WIDTH OF MAJOR PUBLIC STREETS SHALL BE AS FOLLOWS:  
NEW DOMINION PARKWAY - 90'  
TOWN CENTER PARKWAY - 90'  
BLUEMONT WAY - 60'
12. 1ST LEVEL RETAIL USE MAY BE INCLUDED IN THE GROUND FLOOR OF PARKING STRUCTURES WHERE FEASIBLE.
13. UNDERGROUND PARKING MAY BE PROVIDED BY RIGHT ON ANY BUILDING PAD AS NECESSARY.
14. THE AIR RIGHTS ABOVE PRIVATE STREETS MAY BE DEVELOPED AS NECESSARY.
15. TOWN CENTER USES WILL INCLUDE ALL OF THOSE PERMITTED BY RIGHT UNDER THE PRC TOWN CENTER ZONING CATEGORY, PLUS ALL OF THE SPECIAL PERMIT AND SPECIAL EXCEPTION USES SPECIFICALLY DESIGNATED ON THE CONCEPTUAL DEVELOPMENT PLAN AS TO GENERAL LOCATION AND THE FOLLOWING SPECIAL PERMIT AND SPECIAL EXCEPTION USES WHICH ARE NOT YET DEFINITE AS TO LOCATION:



-GROUP 5 COMMERCIAL RECREATION USES SUCH AS BOWLING ALLEYS, COMMERCIAL SWIMMING POOLS, TENNIS COURTS, HEALTH CLUBS AND OTHER SIMILAR COMMERCIAL RECREATION USES.  
-HOTELS AND MOTELS.  
-CATEGORY 5 COMMERCIAL AND INDUSTRIAL USES SUCH AS AMUSEMENT, ARCADES, EATING ESTABLISHMENTS, HOTELS, MOTELS, OFFICES, COMMERCIAL OFF-STREET PARKING, THEATERS, VEHICLE RENTAL AND ANCILLARY SERVICE ESTABLISHMENTS.  
-GROUP 3 INSTITUTIONAL USES SUCH AS CHURCHES, TEMPLES AND OTHER PLACES OF WORSHIP; DAY CARE, CHILD CARE AND NURSERY SCHOOLS WHICH HAVE AN ENROLLMENT OF LESS THAN 100 STUDENTS DAILY; PRIVATE SCHOOLS OF GENERAL OR SPECIAL EDUCATION WITH AN ENROLLMENT OF LESS THAN 100 STUDENTS DAILY.

-GROUP 4 COMMUNITY USES SUCH AS COMMUNITY CLUBS, MEETING HALLS, SWIMMING POOLS/CLUBS AND TENNIS COURTS/CLUBS.  
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APPLICANT ALSO RESERVES THE RIGHT TO APPLY IN THE FUTURE FOR OTHER SPECIAL PERMIT AND SPECIAL EXCEPTION USES NOT SPECIFICALLY ENUMERATED ABOVE BUT PERMISSIBLE BY THE ZONING ORDINANCE.

Application No. 92C 85-C-288-02 Staff EG  
APPROVED BY PTZ PLAN  
SEE DEV CONDS DATED 7/26/11  
Date of (E)S (BZA) approval 7/26/11  
Sheet 19 of 20



SHEET 17 OF 18  
PREL-2004  
FOR INFORMATION PURPOSES ONLY.

PLANDATE	01-25-02
REVISION APPROVED BY	DESIGN REVIEW
DATE	
REVIEWED	
DESCRIPTION	
NO.	

URBAN ENGINEERING & ASSOC., INC.  
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS • LAND SURVEYORS  
7712 LITTLE RIVER TURNPIKE  
ANNANDALE, VIRGINIA 22003 (703) 642-8080

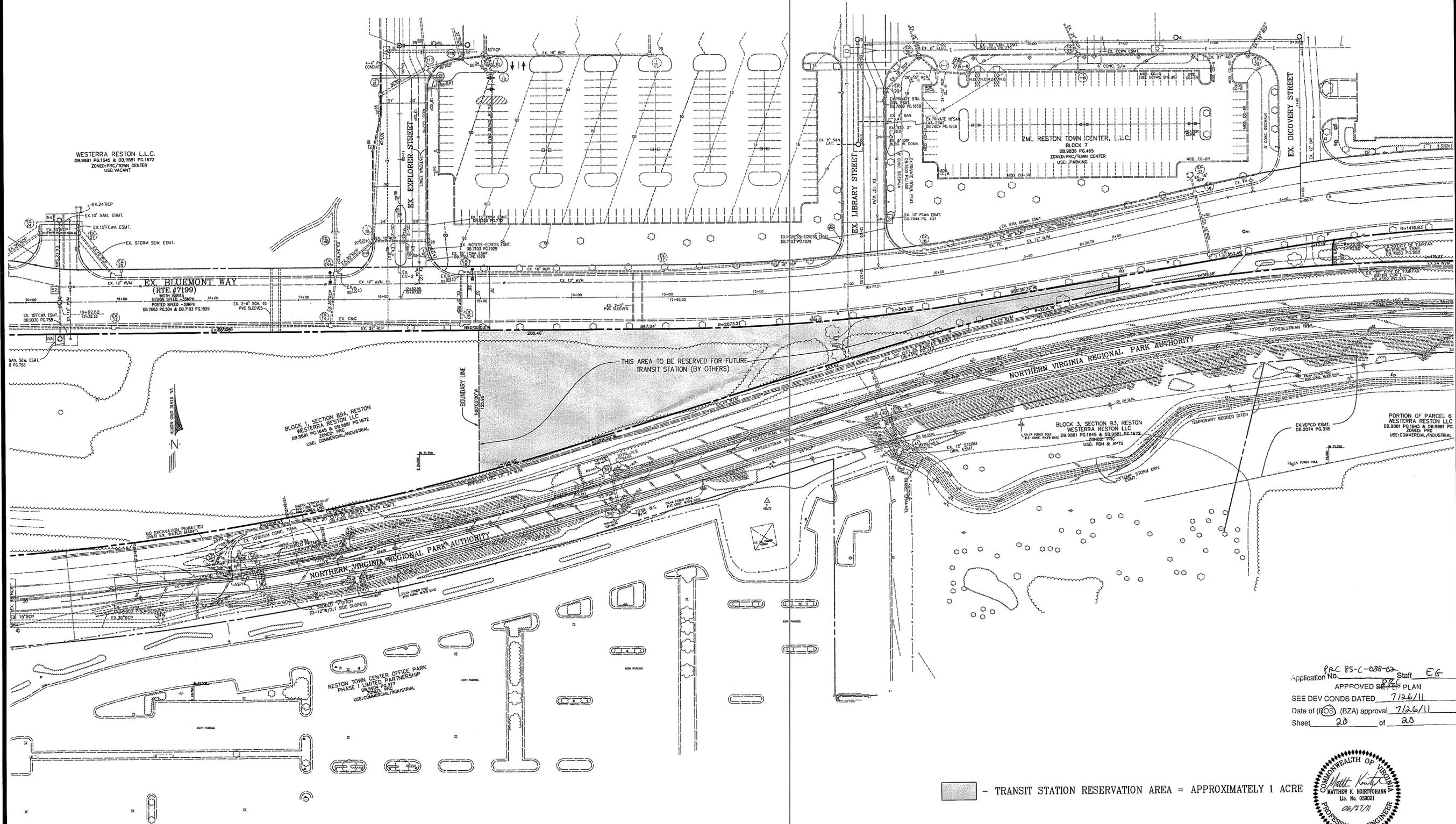
EXISTING CONCEPTUAL DEVELOPMENT PLAN  
RESTON TOWN CENTER URBAN CORE  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE: 1"=100'  
DATE: JAN. 2002  
C.I. N/A

SHEET 6 OF 7  
FILE No. DP-1279

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■ - TRANSIT STATION RESERVATION AREA = APPROXIMATELY 1 ACRE

Application No. PRC 85-C-028-03 Staff EG  
APPROVED SEALS PLAN  
SEE DEV CONDS DATED 7/26/11  
Date of (ROS) (BZA) approval 7/26/11  
Sheet 20 of 20



SHEET 18 OF 18  
PREL-2004  
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PLAN DATE	01-24-02 05-07-02 05-17-02
NO. DATE	
DESCRIPTION	
REV BY	APPROVED
DATE	
REVISION APPROVED BY DIVISION OF DESIGN REVIEW	

URBAN ENGINEERING & ASSOC., INC.  
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS - LAND SURVEYORS  
7712 LITTLE RIVER TURNPIKE  
ANNANDALE, VIRGINIA 22003 (703) 642-0000

STATE OF VIRGINIA  
COMMONWEALTH OF VIRGINIA  
BPPRC 85-C-028-03  
NO. 200416  
6/27/11  
PROFESSIONAL ENGINEER

TRANSIT STATION RESERVATION EXHIBIT  
RESTON TOWN CENTER  
SECTION 89-A  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA  
DATE: JAN., 2002  
SCALE: 1" = 50'  
C.I./N/A

SHEET 18 OF 18  
FILE No. DP-1279