

**PROJECT DESCRIPTION**

THIS PROPOSAL IS FOR AN UNMANNED WIRELESS COMMUNICATIONS FACILITY FOR NEW CINGULAR WIRELESS PCS, LLC. d.b.a. AT&T MOBILITY CONSISTING OF THE INSTALLATION OF NINE (9) PANEL ANTENNAS AT CENTERLINE HEIGHTS OF 85'-0", 75'-0", AND 65'-0" AGL ON A PROPOSED 90' FLAG POLE WITH 2 FUTURE CARRIERS CONSISTING OF 3 PANEL ANTENNAS EACH AT ELEVATIONS OF 55'-0" AND 45'-0" AGL AND THE PLACEMENT OF RADIO EQUIPMENT CABINETS ON AN 11'X11' CONCRETE SLAB-ON-GRADE AND ASSOCIATED APPURTENANCES WITHIN A NEW 506 SF. FENCED COMPOUND.

**PROJECT INFORMATION**

APPLICANT NAME & ADDRESS: NEW CINGULAR WIRELESS PCS, LLC.  
d.b.a. AT&T MOBILITY  
7150 STANDARD DRIVE  
HANOVER, MD 21706

APPLICANT NAME & ADDRESS: TRUSTEES OF THE ACCOTINK  
UNITARIAN UNIVERSALIST CHURCH  
10125 LAKEHAVEN COURT  
BURKE, VA 22015

JURISDICTION: FAIRFAX COUNTY

PROPERTY OWNER: ACCOTINK UNITARIAN UNIVERSALIST CHURCH  
10125 LAKEHAVEN COURT  
BURKE, VA 22015  
MAP# 0872 01 0026

LATITUDE: N 38° 46' 25.4229" (NAD 29)

LONGITUDE: W 77° 17' 49.2974" (NAD 29)

AMSL: 345.85' (NAVD 29)

**RF DATA SHEET**

DATE ISSUED: TBD VERSION: TBD

**CODE ANALYSIS**

APPLICABLE BUILDING CODE: INTERNATIONAL BUILDING CODE 2006 (W/ LOCAL AMENDMENTS)

APPLICABLE ELECTRICAL CODE: NEC 2006 (W/ LOCAL AMENDMENTS)

**PROJECT CONTACTS**

1. AT&T PROJECT MANAGER: CAROLYN MITCHELL  
PHONE: 410-712-7754

2. SITE OWNER: ACCOTINK UNITARIAN UNIVERSALIST CHURCH  
10125 LAKEHAVEN COURT  
BURKE, VA 22015

**DRAWING INDEX**

**REV**

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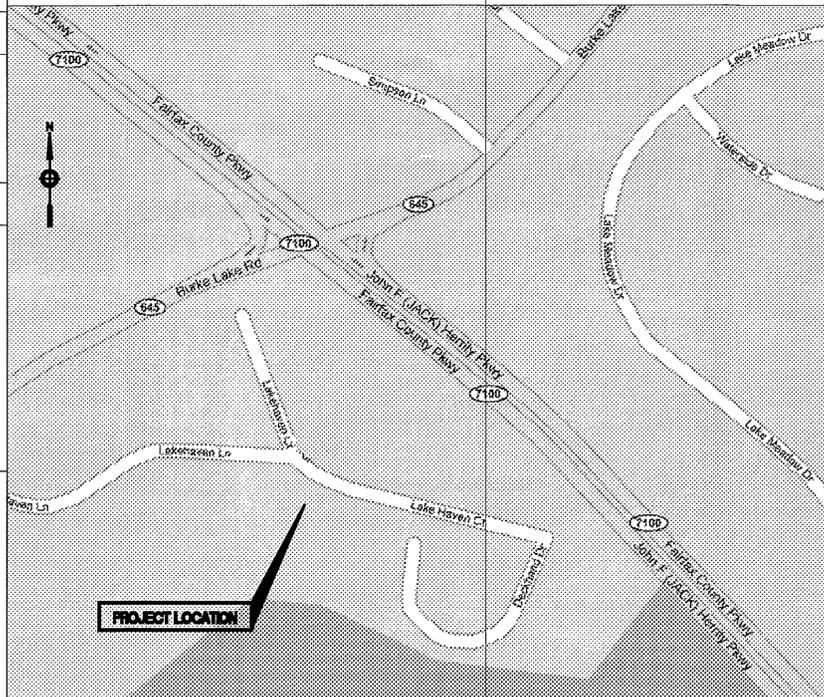
**at&t  
MOBILITY**

**SYDENSTRICKER\_AUUC  
10012632\_461G1212  
2232**

**SE 2010-SP-003 AND 2232-S08-20**

**VICINITY MAP**

**DIRECTION:** (FROM AT&T HANOVER OFFICE) HEAD SOUTHWEST ON STANDARD DRIVE TOWARD PARKWAY DRIVE TURN LEFT AT PARKWAY DRIVE. TURN RIGHT AT PARK CIRCLE DRIVE TURN LEFT AT COCA-COLA DRIVE. TAKE THE RAMP ONTO MD-100 WEST. TAKE EXIT 5A-B TO MERGE ONTO I-95 SOUTH TOWARD WASHINGTON. TAKE EXIT 27 TO MERGE ONTO CAPITAL BELTWAY/I-495 WEST TOWARD SILVER SPRING. TAKE EXIT 54A-B FOR BRADDOCK ROAD/VA-620. TAKE EXIT 54A FOR BRADDOCK ROAD W/VA-620 SLIGHT RIGHT AT BRADDOCK ROAD/VA-620 WEST SLIGHT LEFT AT BURKE LAKE ROAD/VA-645 TURN LEFT AT LAKEHAVEN LANE SLIGHT RIGHT AT LAKEHAVEN COURT AND ARRIVE AT SITE.



**NOT TO SCALE**

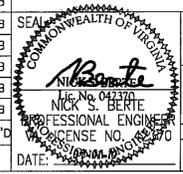
**GENERAL NOTES**

1. THE SUBCONTRACTOR SHALL GIVE ALL NOTICES AND REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY. MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE SUBCONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID SUBCONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE SUBCONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE AT&T REPRESENTATIVE (BECHTEL) OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF SUBCONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES, THE SUBCONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE SUBCONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE SUBCONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
7. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/VENDORS SPECIFICATIONS UNLESS OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. THE SUBCONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE SUBCONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
11. THE SUBCONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVEMENTS, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE SUBCONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
12. THE SUBCONTRACTOR SHALL MAINTAIN THE GENERAL WORK AREA AS CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
13. THE SUBCONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
14. THE SUBCONTRACTOR SHALL NOTIFY THE AT&T REPRESENTATIVE (BECHTEL) WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE SUBCONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE AT&T REPRESENTATIVE (BECHTEL).
15. THE SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.

AT&T CONSTRUCTION DATE AT&T RF DATE

AT&T COMPLIANCE DATE AT&T REAL ESTATE DATE

Application No. SE 2010-SP-003 Staff RS  
APPROVED RS SP PLAN  
SEE DEY COND'S DATED  
Date of (303) (EIA) approval: 12/1/2010  
Sheet 1 of 8



TITLE SHEET

PROJECT NUMBER: 50013647

DRAWING NUMBER REV

25471-430 T-01 7

NO.	DATE	REVISIONS	BY	CHK	APP'D
7	09/01/10	REVISED FOR COUNTY COMMENTS	EDTV	CJZ	NSB
6	08/17/10	REVISED FOR MINOR SITE PLAN REQ.	MPC	CJZ	NSB
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4	02/26/10	REVISED FOR COUNTY COMMENTS	EDTV	CJZ	NSB
3	12/14/09	REVISED FOR COUNTY COMMENTS	EDTV	CJZ	NSB
2	10/22/09	ISSUED FOR ZONING	EDTV	CJZ	NSB
1	01/16/09	ISSUED FOR ZONING	CMA	CJZ	NSB
0	08/11/08	ISSUED FOR ZONING	CMA	CJZ	NSB

SCALE: AS SHOWN DESIGNED BY: CMA DRAWN BY: CMA DATE: 12/1/2010

**Dewberry**<sup>®</sup>  
Dewberry-Goodkind, Inc.  
EASTGATE BUSINESS CENTER  
138 GAITHER DRIVE, SUITE F  
MT. LAUREL, NEW JERSEY 08054  
PHONE: 856.802.0943  
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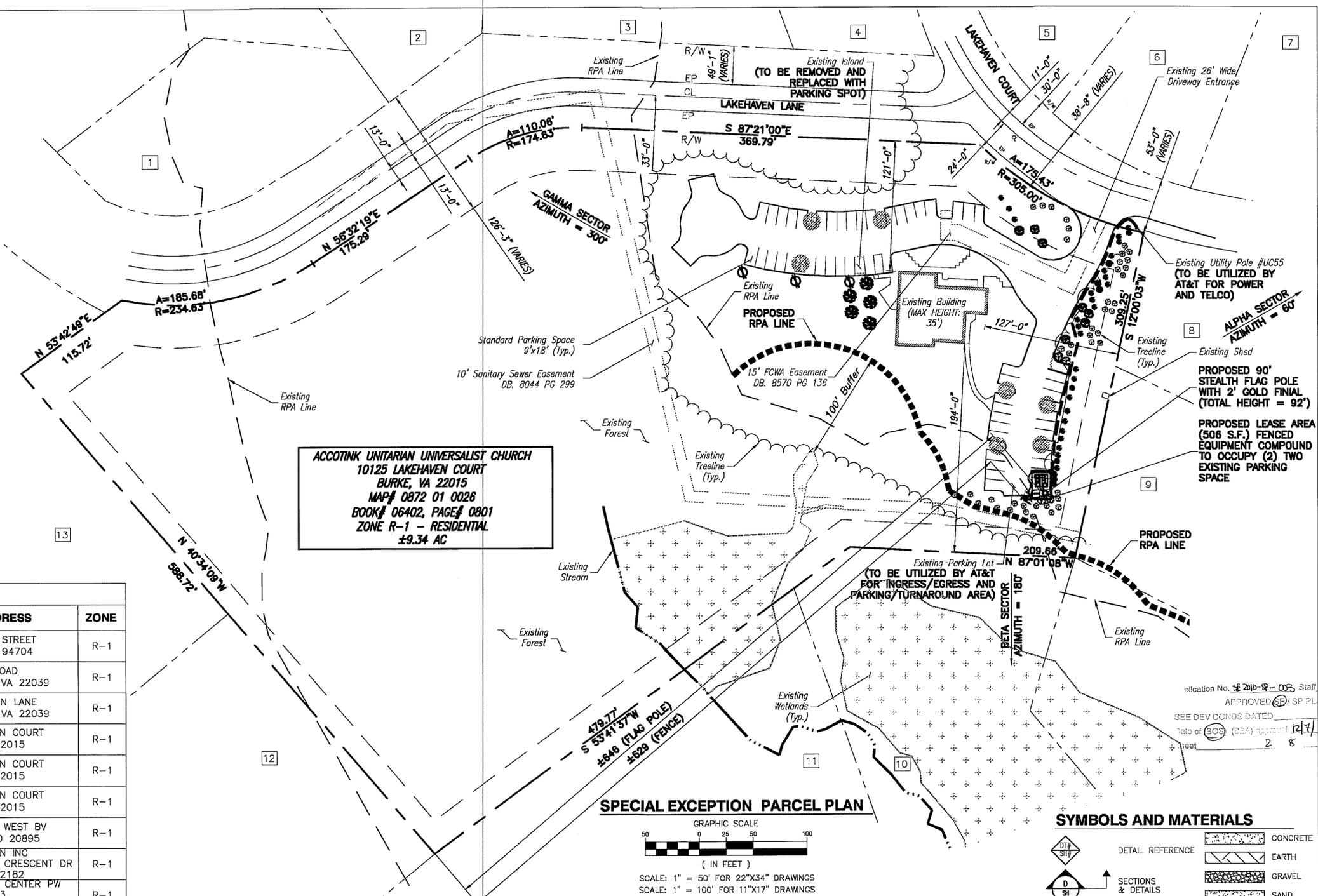
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10012632\_461G1212**  
10125 LAKEHAVEN COURT  
BURKE, VA 22039

**at&t  
MOBILITY**  
7150 STANDARD DRIVE  
HANOVER, MD 21076

**LEGEND**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- x- CHAINLINK FENCE LINE
- - - EASEMENT LINE
- HEAVY LINEWEIGHT INDICATES PROPOSED FACILITIES
- LIGHT LINEWEIGHT INDICATES EXISTING FACILITIES
- - - PROPOSED ACCESS AND UTILITY EASEMENT
- ~ TREE LINE
- - - EXISTING MAJOR TOPO (FIELD SURVEY)
- - - EXISTING MINOR TOPO (FIELD SURVEY)
- - - EXISTING RPA LINE
- ■ ■ PROPOSED RPA LINE
- - - EXISTING STREAM LINE
- ○ ○ PROPOSED SILT FENCE

VIRGINIA STATE GRID NORTH (NAD29)



**ACCOTINK UNITARIAN UNIVERSALIST CHURCH**  
 10125 LAKEHAVEN COURT  
 BURKE, VA 22015  
 MAP# 0872 01 0026  
 BOOK# 06402, PAGE# 0801  
 ZONE R-1 - RESIDENTIAL  
 ±9.34 AC

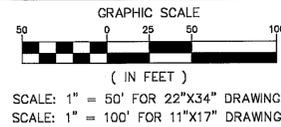
**ADJACENT PROPERTY OWNERS LIST**

REF. #	MAP #	OWNER	MAILING ADDRESS	ZONE
1	0872 12 0002	BUKKYO DENDO KYOKAI AMERICA INC.	2620 WARRING STREET BERKELEY, CA 94704	R-1
2	0872 12 A	LAKEHAVEN ESTATES HOMEOWNERS	8101 OX ROAD FAIRFAX STATION, VA 22039	R-1
3	0872 12 0003	EUGENE SIN TRUSTEE	6507 LAKEHAVEN LANE FAIRFAX STATION, VA 22039	R-1
4	0872 12 0015	JAMES G. & KITTY XIDON	10129 LAKEHAVEN COURT BURKE, VA 22015	R-1
5	0872 12 0014B	RICHARD G. & JOY H. W. ELLIS	10128 LAKEHAVEN COURT BURKE, VA 22015	R-1
6	0872 12 0014C	MICHAEL D. & NAYONG HUMENIK	10126 LAKEHAVEN COURT BURKE, VA 22015	R-1
7	0872 12 0014D1	TAYLOR E. JONES III, DIEM LINH TL JONES	3535 UNIVERSITY WEST BV KENSINGTON, MD 20895	R-1
8	0872 12 0014C	EDGEWATER LANDBAY 2 & 3 HOA	STANLEY MARTIN INC 8TH FL 8000 TOWERS CRESCENT DR VIENNA, VA 22182	R-1
9	0872 07A	FAIRFAX COUNTY BOARD OF SUPERVISORS	12000 GOVERNMENT CENTER PW SUITE 533 FAIRFAX, VA 22035	R-1
10	0872 01 0027A	PARK AUTHORITY FAIRFAX COUNTY	12055 GOVERNMENT CENTER PW SUITE 927 FAIRFAX, VA 22035	R-1
11	0872 01 0029	PARK AUTHORITY FAIRFAX COUNTY	12055 GOVERNMENT CENTER PW SUITE 927 FAIRFAX, VA 22035	R-1
12	0872 01 0024	HESS, EARL JACOB	PO BOX 133 BURKE, VA 22015	R-1
13	0872 01 0022	EKOJI BUDDHIST TEMPLE	6500 LAKEHAVEN LA FAIRFAX STATION VA 22039	R-1

**ZONE AREAS**

TOTAL PROPERTY	AREA
9.34 AC	
ZONE ID	AREA
R-1	9.34 AC

**SPECIAL EXCEPTION PARCEL PLAN**



**SYMBOLS AND MATERIALS**

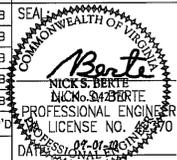
- SH DETAIL REFERENCE
- SH SECTIONS & DETAILS
- CONCRETE
- ▨ EARTH
- ▩ GRAVEL
- ▧ SAND

**PARKING REQUIREMENTS**

USE	REQUIRED NUMBER OF SPACES	CAPACITY	EXISTING	PROPOSED	REMARKS
R-1	1 SPACE FOR EVERY 4 SEATS AND 4 HANDICAPPED SPACES	200 SEATS	51 SPACES/ 4 HANDICAPPED	51 SPACES/ 4 HANDICAPPED	* CONFORMING

\* 1 PARKING SPACE WILL BE UTILIZED FOR TELECOMMUNICATIONS FACILITY. (AVERAGE 2 VISITS, PER MONTH)

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SPECIAL EXCEPTION PARCEL PLAN AND ADJACENT PROPERTY OWNERS LIST

PROJECT NUMBER: 50013647

DRAWING NUMBER	REV
25471-430	C-01
	7

**Dewberry**  
 Dewberry-Goodkind, Inc.  
 EASTGATE BUSINESS CENTER  
 133 GAITHER DRIVE, SUITE F  
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 FAX: 856.802.0846

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 10012632 461G1212  
 10125 LAKEHAVEN COURT  
 BURKE, VA 22039

**at&t**  
 MOBILITY  
 7150 STANDARD DRIVE  
 HANOVER, MD 21076

SCALE: AS SHOWN DESIGNED BY: CMA DRAWN BY: CMA DATE: 09-01-2010

**GENERAL NOTES**

- SITE AND BOUNDARY INFORMATION OBTAINED FROM THE FOLLOWING:
  - LIMITED FIELD OBSERVATIONS PERFORMED BY DEWBERRY-GOODKIND, INC. ON 04/15/08.
  - SURVEY ENTITLED "SYDALUC-TOPO" PERFORMED BY DEWBERRY & DAVIS LLC. OF FAIRFAX, VA DATED ON 7/2/08.
  - FAIRFAX COUNTY, VA WEBSITE (HTTP://ICARE.FAIRFAXCOUNTY.GOV/MAIN/HOME.ASPX)
  - DRAWINGS TITLED "ACCOTINK UNITARIAN UNIVERSALIST CHURCH" PREPARED BY GANNETT FLEMING INC. OF CHANTILLY, VA LAST DATED 05/29/92.
- THIS PROPOSAL IS FOR AN UNMANNED WIRELESS COMMUNICATIONS FACILITY FOR NEW CINGULAR WIRELESS PCS, LLC. d.b.a. AT&T MOBILITY CONSISTING OF THE INSTALLATION OF NINE (9) PANEL ANTENNAS AT CENTERLINE HEIGHTS OF 85'-0", 75'-0", AND 65'-0" AGL ON A PROPOSED 90' FLAG POLE WITH 2 FUTURE CARRIERS CONSISTING OF 3 PANEL ANTENNAS EACH AT ELEVATIONS OF 55'-0" AND 45'-0" AGL AND THE PLACEMENT OF RADIO EQUIPMENT CABINETS ON AN 11'X11' CONCRETE SLAB-ON-GRADE AND ASSOCIATED APPURTENANCES WITHIN A NEW 506 SF. FENCED COMPOUND.
- THE PROPOSED FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITATION. (NO HANDICAP ACCESS IS REQUIRED)
- NO NOISE, SMOKE, DUST, VAPORS OR ODOR WILL RESULT FROM THIS PROPOSAL.
- EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC.
- TOTAL AREA OF DISTURBANCE UNDER THIS PROPOSAL: ±1,980 S.F. TOTAL INCREASE IN IMPERVIOUS COVERAGE =500 S.F.
- THE PROPOSED FACILITY WILL CAUSE ONLY AN INSIGNIFICANT ("DE MINIMUS") INCREASE IN STORMWATER RUNOFF, THEREFORE, NO DRAINAGE STRUCTURES ARE PROPOSED.
- ALL CONSTRUCTION FOR SITE IMPROVEMENTS SHALL CONFORM TO APPLICABLE SPECIFICATIONS, STANDARDS, AND REQUIREMENTS OF THE GOVERNMENTAL OR UTILITY AUTHORITIES HAVING JURISDICTION.
- IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
- CONTRACTOR SHALL CONTACT THE VIRGINIA ONE CALL SYSTEM PRIOR TO CONSTRUCTION @ 1-800-552-7001.
- ALL CONSTRUCTION AND DESIGN FOR THE PROPOSED ANTENNA MOUNTS SHALL CONFORM IN ACCORDANCE WITH THE CURRENT STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES (TIA/EIA-222-G) REVISED, JANUARY 2006.
- POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
- THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
- THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
- ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP OF FAIRFAX COUNTY, VA COMMUNITY PANEL NUMBER 515525 0075 D DATED MARCH 5, 1990, THE SITE IS LOCATED WITHIN ZONE X - AREAS TO BE DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN.
- NO STORMWATER MANAGEMENT CALCULATIONS WERE PREPARED SINCE OUR AREA OF DISTURBANCE IS LESS THAN 2,000 SF.
- THIS SITE WAS BUILT IN 1992 (SEE NOTE 10)
- THE PROPOSED FACILITY IS UNMANNED AND WILL NOT REQUIRE SANITARY SEWER OR WATER SERVICE.
- THE FLOOR AREA RATION (FAR) OF THE EXISTING CHURCH IS 0.02 PER THE DRAWINGS TITLED "ACCOTINK UNITARIAN UNIVERSALIST CHURCH" PREPARED BY GANNETT FLEMING INC. OF CHANTILLY, VA LAST DATED 05/29/92.
- THE PROPOSED PROJECT LOCATION WAS FIELD SURVEYED WITH THE REMAINDER OF THE PROPERTY TRACED FROM COUNTY FLOODPLAIN MAPS.
- PER THE FAIRFAX COUNTY PARK AUTHORITY TRAIL COORDINATOR THERE ARE NO TRAILS CURRENTLY LOCATED ON THE PROPERTY.
- NO EVIDENCE OF GRAVES OR BURIAL SITES WERE FOUND ON THIS SITE.
- THE GROSS FLOOR AREA OF THE CHURCH IS ±7,254 SF.
- THE GROSS FLOOR AREA OF THE DAYCARE FACILITY IS THE ENTIRE LOWER LEVEL OF THE CHURCH WITH A GROSS FLOOR AREA OF ±3,627 SF.
- THE GROSS FLOOR AREA OF THE EXTERIOR PLAY AREA IS 1,030 SF.
- CATEGORY 1 SPECIAL EXCEPTION REQUESTS SUCH AS THIS APPLICATION SHALL NOT HAVE TO COMPLY WITH THE LOT SIZE REQUIREMENTS OR THE BULK TABLES.

**SYMBOLS AND MATERIALS**

	DETAIL REFERENCE		CONCRETE
			EARTH
			GRAVEL
			SAND

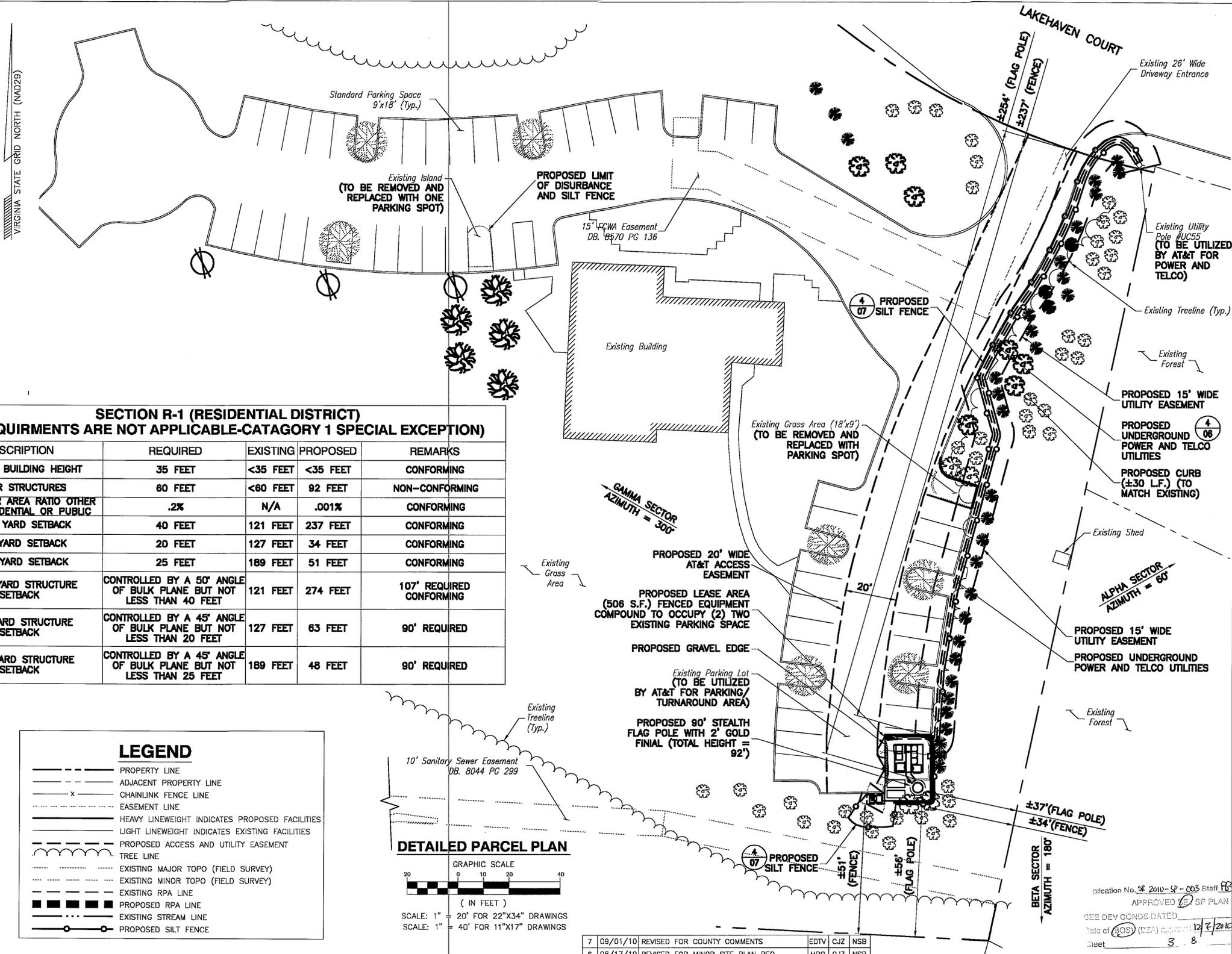
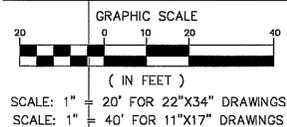
**SECTION R-1 (RESIDENTIAL DISTRICT)  
(REQUIREMENTS ARE NOT APPLICABLE-CATAGORY 1 SPECIAL EXCEPTION)**

DESCRIPTION	REQUIRED	EXISTING	PROPOSED	REMARKS
MAXIMUM BUILDING HEIGHT	35 FEET	<35 FEET	<35 FEET	CONFORMING
OTHER STRUCTURES	60 FEET	<60 FEET	92 FEET	NON-CONFORMING
MAX. FLOOR AREA RATIO OTHER THAN RESIDENTIAL OR PUBLIC	.2%	N/A	.001%	CONFORMING
FRONT YARD SETBACK	40 FEET	121 FEET	237 FEET	CONFORMING
SIDE YARD SETBACK	20 FEET	127 FEET	34 FEET	CONFORMING
REAR YARD SETBACK	25 FEET	189 FEET	51 FEET	CONFORMING
FRONT YARD STRUCTURE SETBACK	CONTROLLED BY A 50° ANGLE OF BULK PLANE BUT NOT LESS THAN 40 FEET	121 FEET	274 FEET	107' REQUIRED CONFORMING
SIDE YARD STRUCTURE SETBACK	CONTROLLED BY A 45° ANGLE OF BULK PLANE BUT NOT LESS THAN 20 FEET	127 FEET	63 FEET	90' REQUIRED
REAR YARD STRUCTURE SETBACK	CONTROLLED BY A 45° ANGLE OF BULK PLANE BUT NOT LESS THAN 25 FEET	189 FEET	48 FEET	90' REQUIRED

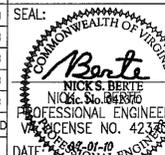
**LEGEND**

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CHAINLINK FENCE LINE
	EASEMENT LINE
	HEAVY LINWEIGHT INDICATES PROPOSED FACILITIES
	LIGHT LINWEIGHT INDICATES EXISTING FACILITIES
	PROPOSED ACCESS AND UTILITY EASEMENT
	TREE LINE
	EXISTING MAJOR TOPO (FIELD SURVEY)
	EXISTING MINOR TOPO (FIELD SURVEY)
	EXISTING RPA LINE
	PROPOSED RPA LINE
	EXISTING STREAM LINE
	PROPOSED SILT FENCE

**DETAILED PARCEL PLAN**



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0	08/11/08	ISSUED FOR ZONING	CMA	CJZ	NSB



**DETAILED PARCEL PLAN AND GENERAL NOTES**

PROJECT NUMBER: 50013647	DRAWING NUMBER: C-02	REV: 7
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**Dewberry**  
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133 GAITHER DRIVE, SUITE F  
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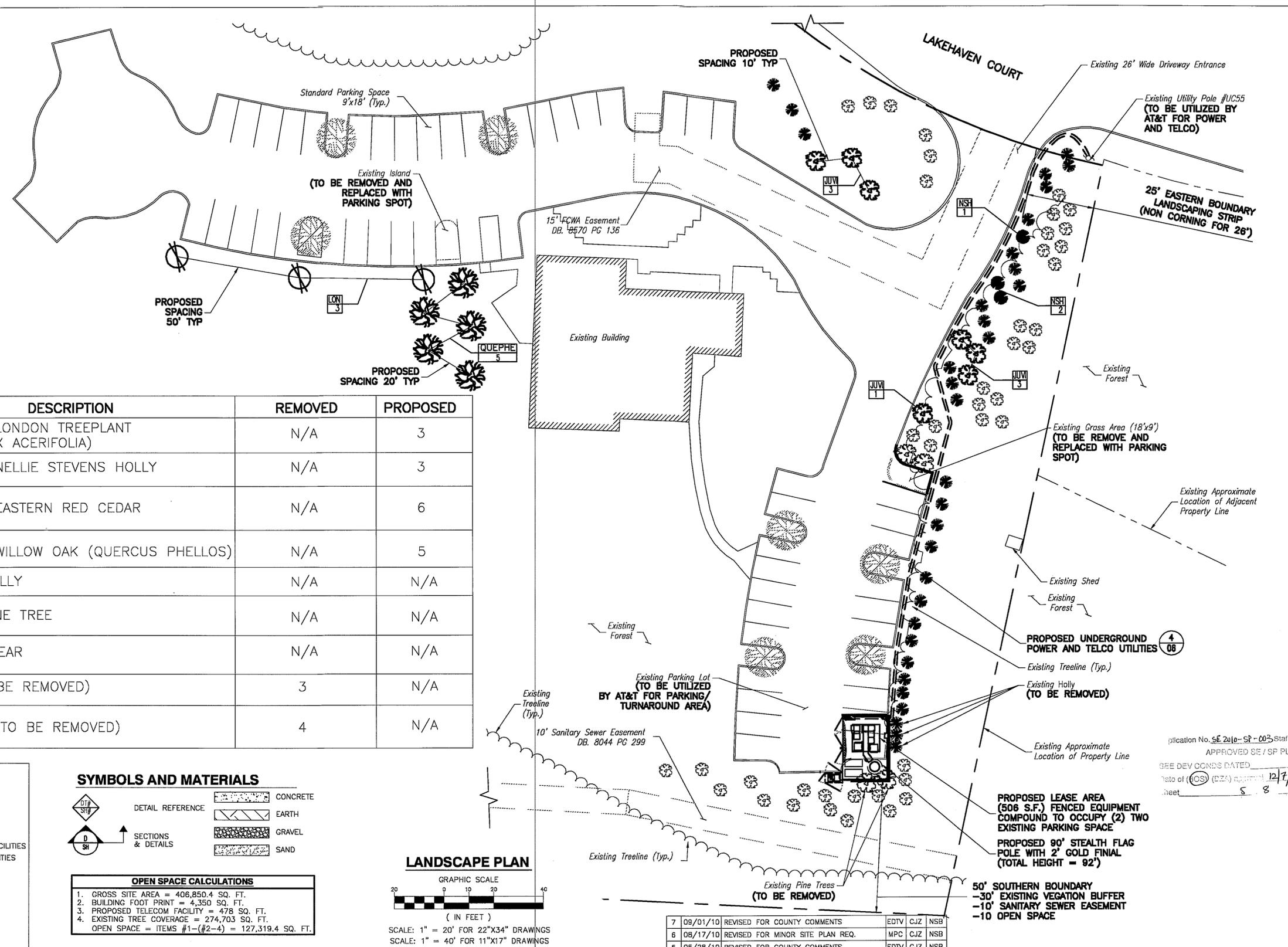
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**at&t**  
MOBILITY  
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HANOVER, MD 21076

Application No. 09-2010-SF-003 Staff PG  
APPROVED SF PLAN  
SEE DEV CONDS DATED 12/7/2010  
Date of (SOS) (EZA) approval 12/7/2010  
Sheet 3 of 8



VIRGINIA STATE GRID NORTH (NA029)



SYMBOL	ABBREVIATION	DESCRIPTION	REMOVED	PROPOSED
	LON	PROPOSED LONDON TREEPLANT (PLATANUS X ACERIFOLIA)	N/A	3
	NSH	PROPOSED NELLIE STEVENS HOLLY	N/A	3
	JUVI	PROPOSED EASTERN RED CEDAR	N/A	6
	QUEPHE	PROPOSED WILLOW OAK (QUERCUS PHELLOS)	N/A	5
	NSH	EXISTING HOLLY	N/A	N/A
	JUVI	EXISTING PINE TREE	N/A	N/A
	JC	REDSPIRE PEAR	N/A	N/A
	NSH	HOLLY (TO BE REMOVED)	3	N/A
	JUVI	PINE TREE (TO BE REMOVED)	4	N/A

**LEGEND**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- CHAINLINK FENCE LINE
- EASEMENT LINE
- HEAVY LINEWEIGHT INDICATES PROPOSED FACILITIES
- LIGHT LINEWEIGHT INDICATES EXISTING FACILITIES
- PROPOSED ACCESS AND UTILITY EASEMENT
- TREE LINE
- EXISTING MAJOR TOPO (FIELD SURVEY)
- EXISTING MINOR TOPO (FIELD SURVEY)
- PROPOSED RPA LINE
- EXISTING STERAM LINE
- PROPOSED SILT FENCE

**SYMBOLS AND MATERIALS**

- CONCRETE
- EARTH
- GRAVEL
- SAND

**OPEN SPACE CALCULATIONS**

- GROSS SITE AREA = 406,850.4 SQ. FT.
- BUILDING FOOT PRINT = 4,350 SQ. FT.
- PROPOSED TELECOM FACILITY = 478 SQ. FT.
- EXISTING TREE COVERAGE = 274,703 SQ. FT.

OPEN SPACE = ITEMS #1-(#2-4) = 127,319.4 SQ. FT.

**LANDSCAPE PLAN**

GRAPHIC SCALE

( IN FEET )

SCALE: 1" = 20' FOR 22"x34" DRAWINGS  
SCALE: 1" = 40' FOR 11"x17" DRAWINGS

NO.	DATE	REVISIONS	BY	CHK	APP'D
7	09/01/10	REVISED FOR COUNTY COMMENTS	EDTV	C/JZ	NSB
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3	12/14/09	REVISED FOR COUNTY COMMENTS	EDTV	C/JZ	NSB
2	10/22/09	ISSUED FOR ZONING	EDTV	C/JZ	NSB
1	01/16/09	ISSUED FOR ZONING	CMA	C/JZ	NSB
0	08/11/08	ISSUED FOR ZONING	CMA	C/JZ	NSB

**Dewberry**  
Dewberry-Goodkind, Inc.  
EASTGATE BUSINESS CENTER  
133 GAITHER DRIVE, SUITE F  
MT. LAUREL, NEW JERSEY 08054  
PHONE: 856.802.0843  
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**SYDENSTRICKER AUUC**  
10012632\_461G1212  
10125 LAKEHAVEN COURT  
BURKE, VA 22039

**at&t**  
MOBILITY  
7150 STANDARD DRIVE  
HANOVER, MD 21076

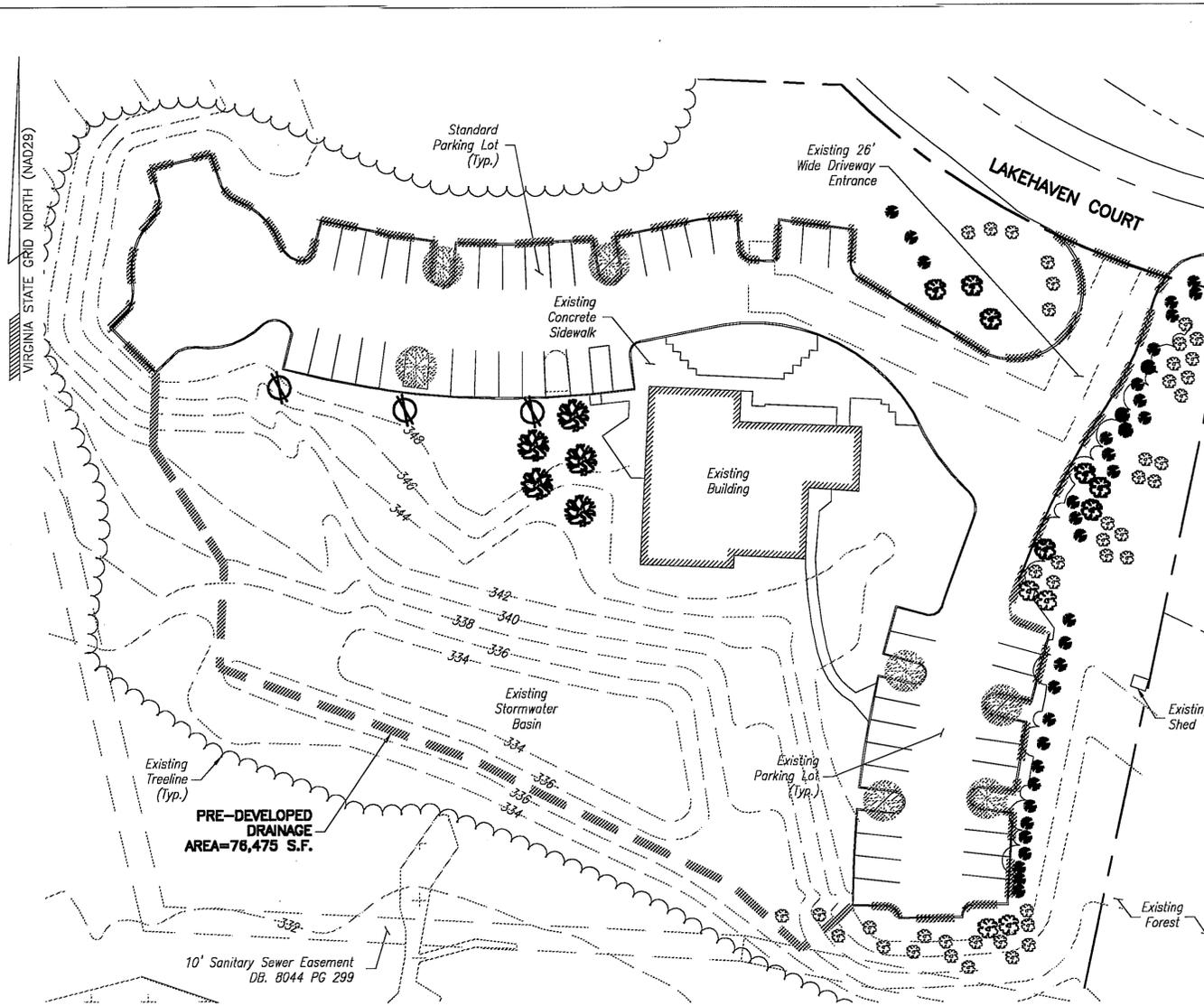
SEAL:   
NICK S. BERTÉ  
Lic. No. 042970  
PROFESSIONAL ENGINEER  
LICENSE NO. 042970  
DATE: 09-01-2010

LANDSCAPE PLAN

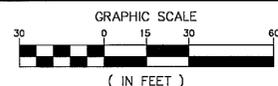
PROJECT NUMBER: 50013647

DRAWING NUMBER	REV
25471-430	C-04
	7

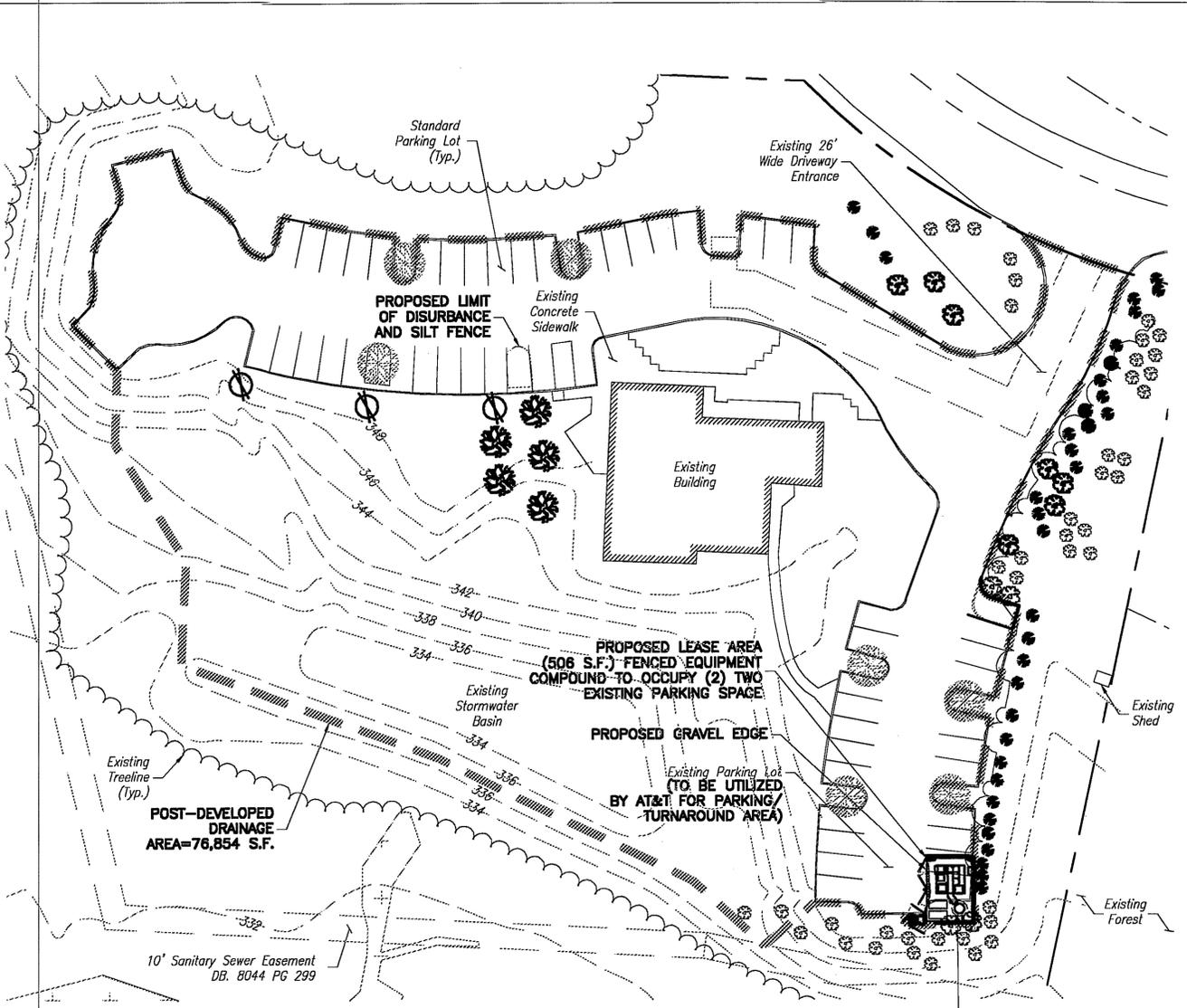
Application No. SE 2010-SP-003 Staff:   
APPROVED SE / SP PLAN  
SEE DEV COND'S DATED:  
Date of (HOS) (BZA) Approval: 12/7/2010  
Sheet: 5 of 8



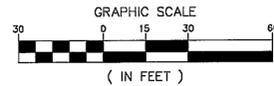
**PRE-DEVELOPED DRAINAGE CONDITIONS**



SCALE: 1" = 30' FOR 22"x34" DRAWINGS  
SCALE: 1" = 60' FOR 11"x17" DRAWINGS



**POST-DEVELOPED DRAINAGE CONDITIONS**



SCALE: 1" = 30' FOR 22"x34" DRAWINGS  
SCALE: 1" = 60' FOR 11"x17" DRAWINGS

**PROPOSED 90° STEALTH FLAG POLE WITH 2' GOLD FINIAL (TOTAL HEIGHT = 92')**

Application No. **SE 240-SP-003** Staff **BB**  
APPROVED **EE** SP PLAN  
SEE DEV CONDS DATED  
Date of (905) (EZA) approval **12/7/2010**  
Sheet **6** of **8**

**LEGEND**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- x- CHAINLINK FENCE LINE
- - - EASEMENT LINE
- HEAVY LINEWEIGHT INDICATES PROPOSED FACILITIES
- LIGHT LINEWEIGHT INDICATES EXISTING FACILITIES
- - - PROPOSED ACCESS AND UTILITY EASEMENT
- TREE LINE
- EXISTING MAJOR TOPO (FIELD SURVEY)
- EXISTING MINOR TOPO (FIELD SURVEY)
- PROPOSED RPA LINE
- EXISTING STERAM LINE
- PROPOSED SILT FENCE

**CALCULATING C:**

PRE-DEVELOPED CONDITION		
COVER TYPE	C	AREA (ACRES)
IMPERVIOUS AREA	0.90	±0.81 ACRES
GRASS AREA	0.35	±0.94 ACRES

$C$  (PRE-DEVELOPED CONDITION) =  $((0.90)(0.81) + (.35)(0.94))/1.75 = 0.605$

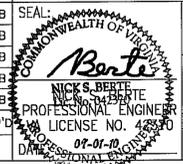
POST-DEVELOPED CONDITION		
COVER TYPE	C	AREA (ACRES)
IMPERVIOUS AREA	0.90	±0.82 ACRES
GRASS AREA	0.35	±0.94 ACRES

$C$  (PRE-DEVELOPED CONDITION) =  $((0.90)(0.82) + (.35)(0.94))/1.76 = 0.606$

**NARRATIVE:**

THE PROPOSED DEVELOPMENT HAS INCREASED THE OVERALL DRAINAGE AREA AND IMPERVIOUS AREA GOING TO THE EXISTING STORMWATER DRAINAGE BASIN BY ±.01 ACRES AND INCREASED THE RUNOFF COEFFICIENT BY ±.001. EACH INCREASE IS CONSIDERED DE MINIMUS AND THUS A WAIVER FOR STORMWATER CALCULATIONS AND BMPS IS BEING REQUESTED.

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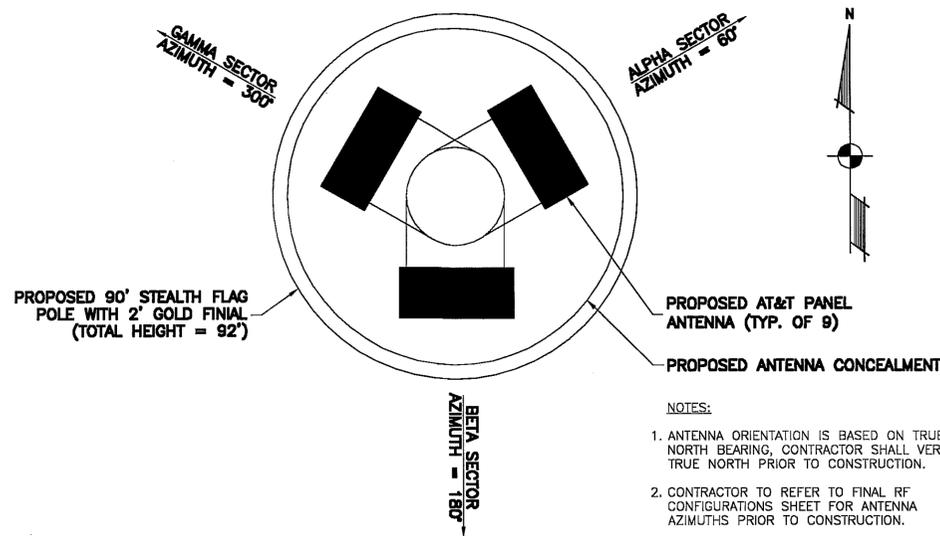
STORMWATER WAIVER CALCULATIONS		
PROJECT NUMBER: 50013647		
DRAWING NUMBER	REV	
25471-430	C-05	7

**Dewberry**  
Dewberry-Goodkind, Inc.  
EASTGATE BUSINESS CENTER  
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PHONE: 856.802.0849  
FAX: 856.802.0848

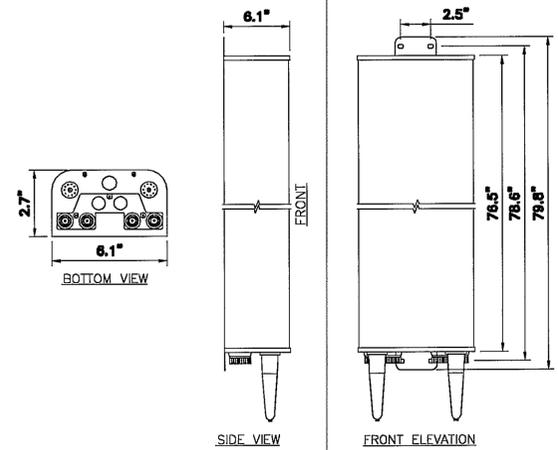
**SYDENSTRICKER AUUC**  
10012632 461G1212  
10125 LAKEHAVEN COURT  
BURKE, VA 22039

**at&t**  
MOBILITY  
7150 STANDARD DRIVE  
HANOVER, MD 21076

SCALE: AS SHOWN    DESIGNED BY: CMA    DRAWN BY: CMA

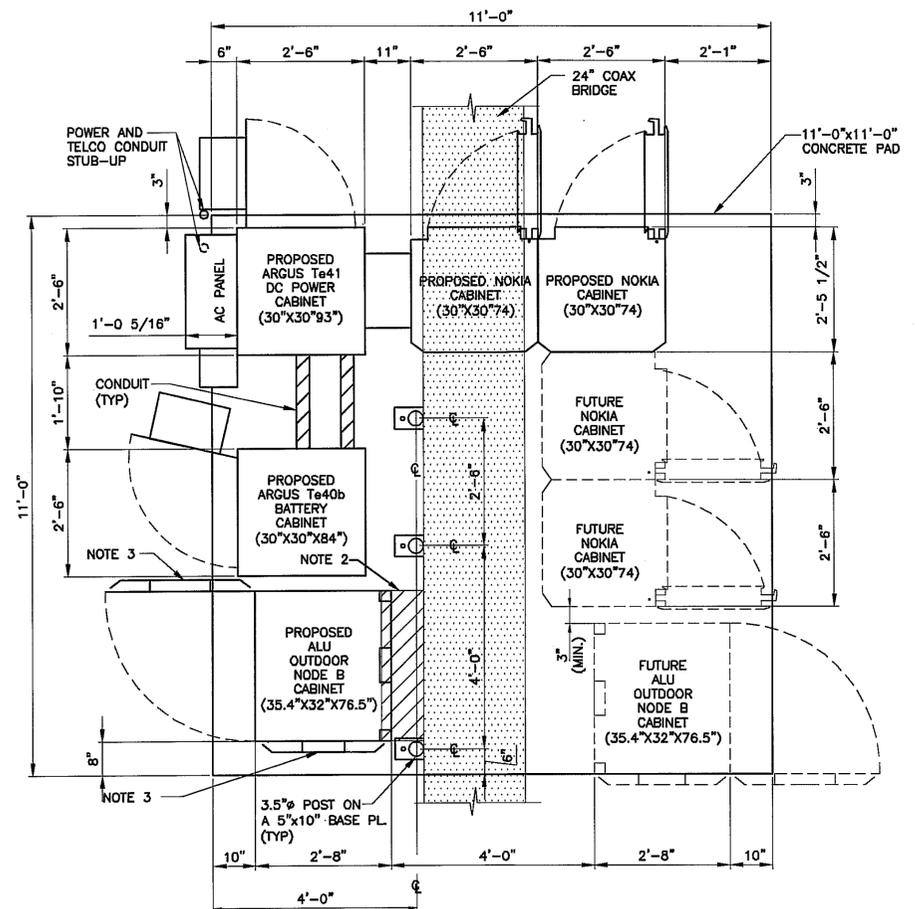


**ANTENNA MOUNTING AND ORIENTATION DETAIL**  
NOT TO SCALE



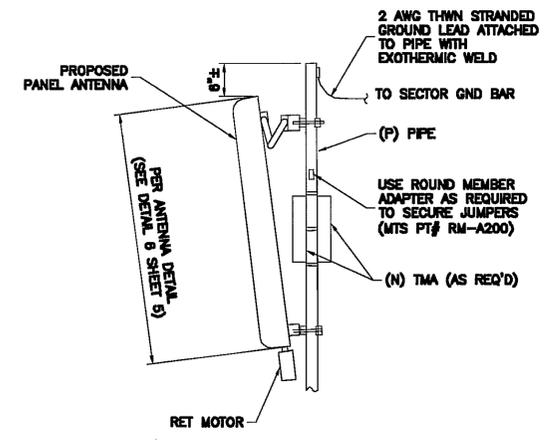
**MECHANICAL CHARACTERISTICS**  
 DIMENSIONS (L x W x D): 76.5" x 6.1" x 2.7"  
 (1,942mm x 155mm x 92mm)  
 WEIGHT: MET 23.8lbs (10.8kg)  
 CAAA: 6.16ftz  
**DUAL BAND DUAL POLE PANEL ANTENNA**  
 KATHREIN - SCALA (741 990)  
 AP14/17-880/1940/088D/ADT/XXP  
 AZIMUTH BEAMWIDTH 88°  
 (806 MHz-890 MHz / 1710 MHz-2180 MHz)

**PANEL ANTENNA DETAILS**  
NOT TO SCALE

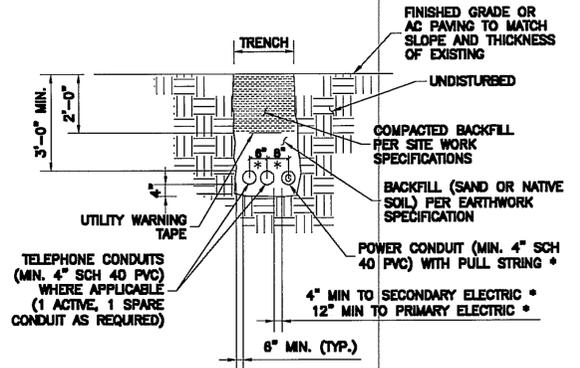


**NOTES:**  
 1. DELETED  
 2. INSTALL 10" WIDE BRIDGE EXTENSION (GALV. CHANNEL OR PLATE) OVER BACK OF LUCENT CABINET.  
 3. SOLAR SHIELD MOUNTED TO RIGHT SIDE AND DOOR  
 (W" x D" x H") (TYP.)  
**EQUIPMENT LAYOUT ON CONCRETE PAD**  
**TYPE 1 (PREFERRED)**

DETAIL 775A-BWA  
NTS



**ANTENNA/TMA MOUNTING DETAIL**  
NOT TO SCALE



**JOINT SERVICE TRENCH BURIED CONDUIT (ELECT/TELEPHONE)**  
NOT TO SCALE

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0	08/11/08	ISSUED FOR ZONING	CMA	CJZ NSB

SEAL: **NICK S. BERTÉ**  
 No. 042878  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 45370  
 DATE: 07-01-10

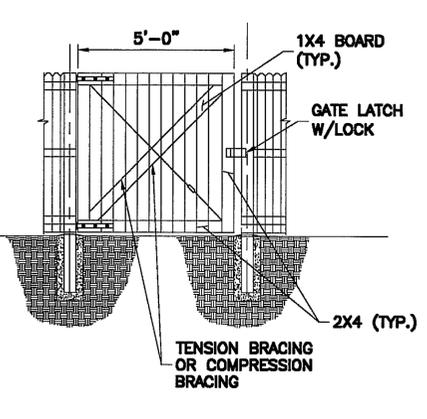
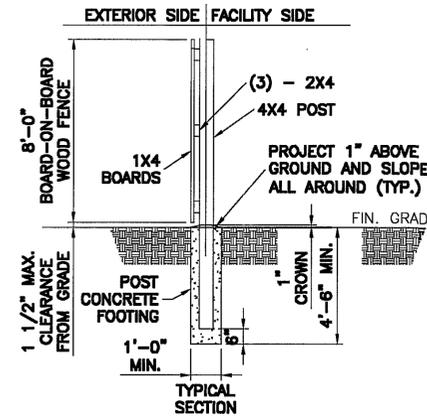
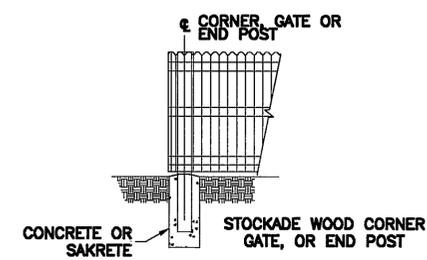
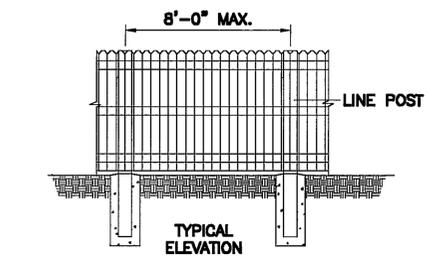
Application No. 2010-SP-003 Staff RB  
 APPROVED (E) SP PLAN  
 SEE DEV CONDS DATED 12/7/10  
 Date of (E) (BZA) APPROVAL 12/7/10  
 sheet 7 of 8

**Dewberry**  
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 FAX: 856.802.0848

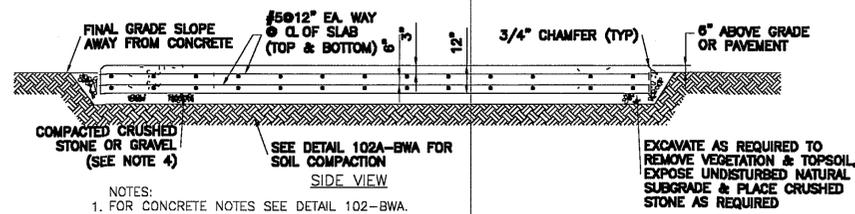
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DRAWING NUMBER		REV
25471-430	C-06	7

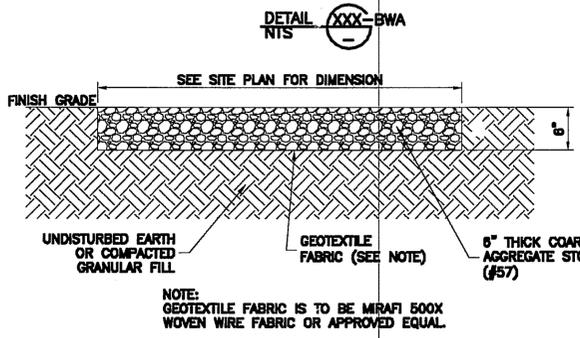


**BOARD-ON-BOARD FENCE DETAIL**  
NOT TO SCALE

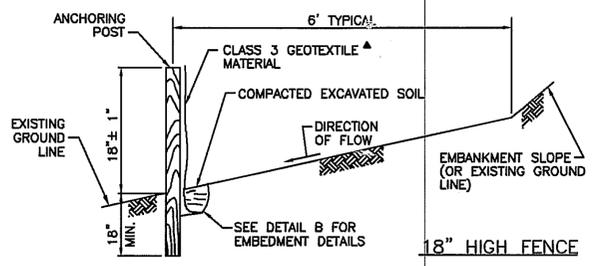


- NOTES:  
1. FOR CONCRETE NOTES SEE DETAIL 102-BWA.  
2. GRAVEL SHALL BE NATURAL OR CRUSHED STONE WITH 100 PERCENT PASSING 1 INCH SIEVE.

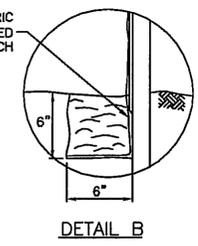
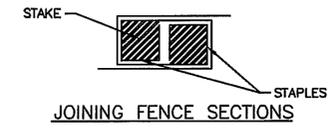
CAST IN PLACE CONCRETE PAD FOR DUAL BAY PURCELL & NOKIA CABINETS



**GRAVEL COMPOUND DETAIL**  
NOT TO SCALE



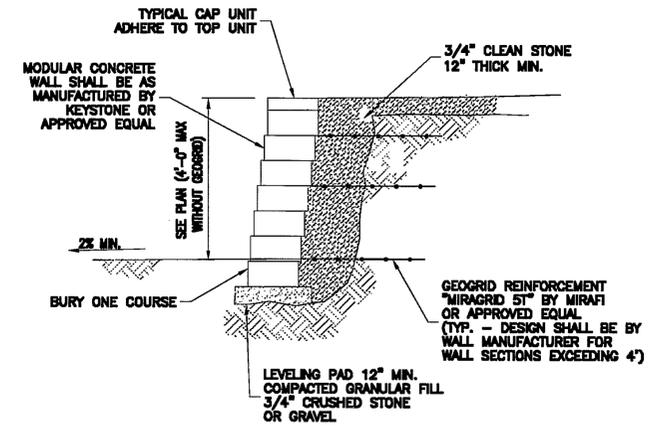
- SILT BARRIER FENCE INSTALLATION:**
- A TRENCH WILL BE PLOWED OR OTHERWISE EXCAVATED TO THE REQUIRED DEPTH (SEE FIGURE) WITH LITTLE, IF ANY, DISTURBANCE TO THE DOWNSLOPE SIDE OF THE TRENCH. THE BOTTOM OF THE TRENCH AND THE FENCE TOP WILL BE PLACED ON A LEVEL GRADE. WHEN IT IS NECESSARY TO CROSS SMALL DEPRESSIONS, THE TRENCH BOTTOM AND FENCE TOP EDGE MAY DEViate SLIGHTLY FROM THE LEVEL GRADE. GRADES IN SUCH SECTIONS WILL NOT EXCEED ONE PERCENT (1%), NOR WILL THE DEVIATION EXTEND FOR MORE THAN 25 FEET.
  - SUPPORT STAKES WILL BE DRIVEN TO THE REQUIRED DEPTH (AS SHOWN) BELOW THE EXISTING GROUND SURFACE, AT SPECIFIED INTERVALS.
  - STRETCH AND FASTEN FABRIC TO THE UPSLOPE SIDE OF THE SUPPORT STAKES (IF A REINFORCED SECTION, FASTEN REINFORCEMENT MESH PRIOR TO FASTENING THE FABRIC).
  - WHERE ENDS OF FABRIC COME TOGETHER, THEY WILL BE OVERLAPPED, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.
  - THE EMBEDMENT TRENCH WILL BE BACKFILLED AND COMPACTED TO A DENSITY EQUAL TO SURROUNDING SOILS.
  - SILT BARRIER FENCE MUST BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION MUST EXTEND AT LEAST 10 FT UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.
  - ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.
  - INSTALL SILT BARRIER FENCE IN ACCORDANCE WITH DESIGN STANDARDS STIPULATED IN THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, LATEST EDITION.



**TABLE B  
SILT BARRIER FENCE  
GEOTEXTILE SELECTION**

TYPE OF CLASS 3 GEOTEXTILE MATERIAL	NOMINAL FABRIC HEIGHT	MAX. POST SPACING WITHOUT MESH SUPPORT	MAX. POST SPACING WITH MESH SUPPORT
3A	18"	8'-0"	NA
3B	18"	4'-0"	NA

- SILT BARRIER FENCE MAINTENANCE:**
- THE FENCE INSTALLATION SHOULD BE INSPECTED AFTER EVERY PRECIPITATION EVENT. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY.
  - ACCUMULATED SEDIMENTS WILL BE REMOVED AS REQUIRED TO KEEP THE FENCE FUNCTIONAL. IN ALL CASES REMOVE DEPOSITS WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.
  - ALL UNDERCUTTING OR EROSION OF THE EMBEDMENT TRENCH WILL BE REPAIRED IMMEDIATELY WITH COMPACTED BACKFILL MATERIALS.
  - ADHERE TO ANY MANUFACTURER'S RECOMMENDATIONS FOR REPLACING FILTER FABRIC FENCE DUE TO WEATHERING.



**MODULAR BLOCK RETAINING WALL**  
NOT TO SCALE

**MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS**

The following information is required to be shown or provided in all zoning applications, or a waiver request of the minimum requirements with justification shall be attached. Note: Waivers will be acted upon expeditiously. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Zoning Ordinance paragraphs:

Special Permits (8-911.21 & 21.1)	Special Exceptions (9-911.21 & 21.1)
Under Subdivision (9-615.1G & 1N)	Commercial Re-zoning District (14-22.2A, (12)&(14))
Development Plans PRC District (16-302.2 & 4L)	PRC Plan (16-303.1E & 1F)
FDP Districts (except PRC) (16-502.1F & 1G)	Amendments (16-202.10F & 10G)

- Plan at a minimum scale of 1"=50' (unless it is depicted on one sheet with a minimum scale of 1"=100').
- A graphic depicting the stormwater management facilities (ies) and limits of clearing and grading necessary to provide the stormwater management facilities, storm drainage pipe systems and other protection, pond spillways, access roads, site cutfills, energy dissipation devices, and stream stabilization measures, as shown on Sheet... 02.
- Provide:  

Facility Name / Type & No.	On-Site area served (acres)	Off-Site area served (acres)	Drainage area (acres)	Footprint area (sf)	Storage Volume (sf)	If pond, dam height (ft)
N/A	N/A	N/A	N/A	N/A	N/A	N/A
- Gasline drainage channels, outfalls and pipe systems are shown on Sheet... N/A.
- Maintenance accesses (roads) to stormwater management facilities are shown on Sheet... N/A.
- Landscaping and tree preservation shown in and near the stormwater management facility is shown on Sheet... N/A.
- A "stormwater management narrative" which contains a description of how detention and best management practices requirements will be met is provided on Sheet... N/A.
- A description of the existing conditions of each numbered site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet... N/A.
- A description of how the outfall requirements, including contributing drainage areas of the Public Facilities Manual will be satisfied is provided on Sheet... N/A.
- Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheet... 02.
- A submittal waiver is requested for... N/A.
- Stormwater management is not required because:  

The net increase in disturbed area (2,277 S.F.) does not significantly increase the water quantity volume.

**Dewberry**  
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PHONE: 856.802.0943  
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1	01/16/09	ISSUED FOR ZONING	CMA	CJZ NSB
0	08/11/08	ISSUED FOR ZONING	CMA	CJZ NSB

SCALE: AS SHOWN    DESIGNED BY: CMA    DRAWN BY: CMA    DATE: 08/11/08

SEAL OF PROFESSIONAL ENGINEER  
**Robert**  
MICHAEL BERTIE  
LICENSE NO. 2870

APPROVED (E) SP PLAN  
DATE OF DEV CONDS DATED: 12/7/2010  
DATE OF (BOS) (DZA) APPROVAL: 8/8/2010

DETAILS - 2  
PROJECT NUMBER: 50013647

DRAWING NUMBER	REV
25471-430	C-07