



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

September 12, 2011

John F. Amatetti, P. E.
VIKA, Inc.
8180 Greensboro Drive, Suite 200
McLean, VA 22102

Re: Interpretation for SE 2007-SU-012; Tax Map 46-1 (91)) 32;
McGinn Property: Grading Plan

Dear Mr. Amatetti:

This is in response to your letter of June 9, 2011, as revised August 23, 2011, requesting an interpretation of the Special Exception (SE) Plat and development conditions approved by the Board of Supervisors in conjunction with SE 2007-SU-012. As I understand it, you have two questions regarding the development of the residential lots. The questions will be addressed individually below. This determination is based on your letter; correspondence from Department of Public Works and Environmental Services (DPWES) regarding waivers, dated March 2, 2011, and May 2, 2011; and a revised exhibit "Interpretation Exhibit, 8/22/11," consisting of two sheets, Sheet 1 titled "Tree Preservation Plan;" and Sheet 2 titled "Rough Grading Plan," prepared by VIKA, Inc., dated July, 2011. Copies of your letter and relevant documents are attached.

SE 2007-SU-012 was approved by the Board of Supervisors on February 25, 2008, subject to development conditions, to permit a waiver of minimum lot width in order to subdivide a single lot zoned R-1 into two lots. An existing 1½-story single-family detached dwelling will remain on proposed lot 32B and a new single-family detached dwelling will be constructed on proposed lot 32A. The SE Plat and development conditions include requirements for landscaping and tree preservation; right-of-way dedication on Waples Mill Road; an ingress/egress easement; porous pavers for the proposed driveway; provision and maintenance for stormwater management/best management practices (SWM/BMP) facilities, as determined by DPWES; residential covenants to govern the maintenance of the SWM/BMP facilities and the shared driveway; and provision for adequate outfall in accordance with the Public Facilities Manual (PFM), as determined by DPWES at the time of Subdivision Plan review.

The first question is whether the use of the DPWES simple subdivision process that includes Grading Plan approval and recordation of a Final Plat to implement the special exception would be in substantial conformance with the SE Plat and development conditions. The SE development conditions specify Subdivision Plan approval as the milestone for implementation. However, in this case since there are no required public improvements, DPWES has indicated that a Subdivision Plan is not required.

Department of Planning and Zoning
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035-5509
Phone 703 324-1290
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In your letter, you note that a Rough Grading Plan (RGP) would be used to demonstrate compliance with the SE development conditions for the purpose, use and structures shown on the approved SE Plat. Also included with the plans would be a landscape plan, tree preservation plan and final tree survey, for the determination and provision for an escrow, as required by Development Condition 4. The porous parking pavers for the driveway, as depicted on the Plat, would be included and subsequent Lot Grading Plan (LGP) for compliance with Development Condition 7. SWM/BMP bio-retention facilities on each lot shown as infiltration/percolation trenches would be provided on the RGP, including an escrow, per Development Condition 8, as well as the proposed alternate and reserve septic fields. It should be noted that according to the attached waiver letter from DPWES dated March 2, 2011, a modification was approved to allow infiltration facilities on the individual single-family detached lots with the condition that the facilities satisfy the detention requirements per the PFM for each lot as shown on the SE Plat. The outfall analysis narrative would also be stated and provided on the RGP, per Development Condition 10.

You indicate that the recordation of the Final Plat, deeds and covenants will provide compliance with Development Conditions 5, 6 and 9 for dedication of right-of-way, ingress/egress easement and the escrow to insure construction and private maintenance of the required SWM/BMP facilities. The establishment of covenants for the construction and maintenance will be included in the subdivision deed submitted to the County Attorney with the Plat recordation.

It is my determination that the use of the DPWES simple subdivision process, including Grading Plans, and approval and recordation of the Final Plat, to meet the requirements of the SE development conditions would be in substantial conformance with SE 2007-SU-012.

The second question is whether the modification to the limits of clearing and grading would be in substantial conformance with the SE Plat and development conditions. At the time of SE approval, the limits of clearing and grading were shown as approximate locations for the proposed septic drain field in the north, the proposed SWM/BMP infiltration/percolation trenches in the center of the parcels and the proposed residential dwelling and driveway in the south. A notation on the SE Plat for the SWM/BMP trenches states that the design, location and size would be determined at the time of final engineering. You state that as a result of DPWES review of the Rough Grading Plan, the design and size of the SWM/BMP and the limits of clearing and grading were revised to provide an increase in the size of the facilities, adequate area of access for construction and adequate area of clearing to drain the storm water to the facilities. A subsequent submission of the Lot Grading Plan will depict the limits of clearing and grading associated with the proposed septic drain fields, residential structure and driveway, as shown on the SE Plat, subject to review and approval by DPWES.

It is my determination that the modifications to the limits of clearing and grading discussed above would be in substantial conformance with the SE Plat and development conditions, subject to approval by DPWES.

Please note that according to the Department of Public Works and Environmental Services (DPWES), the applicant must comply with stormwater management (SWM) and Best Management Practices (BMP) for water quality requirements to provide the infiltration/percolation trenches as shown on the SE Plat

John F. Amatetti
Page 3

prior to the recordation of the Final Plat. In addition, adequate outfall must be demonstrated to be in accordance with the PFM prior to the recordation of the plat.

These determinations have been made in my capacity as the duly authorized agent of the Zoning Administrator and address only the issues discussed herein. If you have any questions regarding this interpretation, please contact Carrie Lee at (703) 324-1290.

Sincerely,



Barbara C. Berlin, AICP, Director
Zoning Evaluation Division, DPZ

BCB/CDLN: Interpretations\SE\McGinn_lot grading plan.doc

Attachments: A/S

cc: Michael R. Frey, Supervisor, Sully District
John L. Litzenberger, Planning Commissioner, Sully District
Diane Johnson-Quinn, Deputy Zoning Administrator, Permit Review Branch, ZAD, DPZ
Ken Williams, Technical Processing, Land Development Services, DPWES
Clinton Abernathy, Chief Site Review Engineer, ESRD, DPWES
Kevin Guinaw, Chief, Special Projects/Applications Management Branch, ZED, DPZ
File: SE 2007-SU-012, SEI 11 06 029, Imaging, Reading File



June 9, 2011

REVISED: August 23, 2011

Ms. Barbara Berlin
 Director, Zoning Evaluation Division
 Fairfax County Department of Planning and Zoning
 12055 Government Center Parkway
 8th Floor
 Fairfax, VA 22035

RECEIVED
 Department of Planning & Zoning

AUG 24 2011

Zoning Evaluation Division

**RE: 11928 Waples Mill Road
 (McGinn Property)
 SE 2007-SU-012
 Tax Map # 46-1 ((1)) 32
 VIKA #V6933C**

Dear Barbara:

On February 25, 2008 the referenced Special Exception (SE) was approved with 10 conditions. A copy of the SE Plat and conditions are attached. The purpose of this letter is to request an interpretation and clarification of the conditions in order to secure approval of a rough grading plan, Fairfax County Plan 24907-RGP-01 (here after referenced to as the RGP), which is a prerequisite to recordation of a record plat to divide the property into two (2) lots. The purpose of said plat is to divide the above referenced lot as approved with the SE and dedicate certain right of way/grant certain easements. Recordation of this plat to divide the lot is necessary prior to a Lot Grading Plan submission so that the final house construction drawings can be properly coordinated with EFRD requirements, and approved in conformance with the SE.

This request is being requested in accordance with Section 9-004 (4) of the Zoning Ordinance. It is in response to drainage, layout, and design issues. As specified in Section 9-004 (4A), it does not:

1. Change the land area;
2. Result in increased parking;
3. Permit additional uses;
4. Reduce screen, buffering beyond those contemplated with the approved SE per notation therein regarding flexibility reserved for final design;
5. Change bulk or mass;
6. Revise clearing limits or flexibility identified with the approved SE and conditions; and/or
7. Include building additions.

As noted above, in order to properly execute this Special Exception, the plat must first be recorded and then a lot grading plan for the resultant lots prepared following recordation. There is no requirement to process a "Subdivision Plan" as referenced in the SE conditions, in that there are no public improvements anticipated. I have enclosed two (2) waivers approved that document this fact: the sidewalk waiver and a waiver to provide bio-retention facility on an individual lot. Both are approved. The direction of LDS, Ms. Smith, has requested that an RGP be approved to establish SWM/MBP prior to plat recordation. The process therefore is:

VIKA, Incorporated

8180 Greensboro Drive, Suite 200 ◊ McLean, Virginia 22102 ◊ 703.442.7800 Fax 703.761.2787

McLean, VA ◊ Germantown, MD ◊ Washington, DC

www.vika.com

Ms. Barbara Berlin
Fairfax County Department of Planning and Zoning
RE: 11928 Waples Mill Road
(McGinn Property)
SE 2007-SU-012
VIKA #V5933C

August 23, 2011
Page 2 of 3

1. Secure interpretation
2. Gain approval of RGP
3. Record the record plat
4. Submit an INF lot grading plan

Based on the above, this request is to gain your approval to meet specific conditions related to the special exception with the RGP, plat and subsequently the future "Lot Grading Plan(s)". The conditions are as follows:

1. The special exception is being applied to the referenced property. No interpretation needed.
2. The use is not part of the subject RGP, however it will ultimately be consistent with future lot grading plan(s). No new structures are proposed with the RGP, they will be per future lot grading plan(s). We request that the SWM/BMP facilities shown in the RGP be considered in substantial conformance with the SE. We have coordinated the limits of the UFD.
3. This interpretation is requested to clarify conformance to this request by identifying specific requirements to be met with the Record Plat and requirements to meet with the Lot Grading Plan. The limits shown in the RGP and SWM/BMP facilities specifically are being considered.
4. The landscape and tree preservation requirements are to be met in full with future lot grading plan(s), with landscape and tree preservation requirements. Tree preservation requirements specifically related to the LOD in the RGP being met with the RGP. Any reference to "Subdivision Plan" shall mean "Future Lot Grading Plan(s)". Lot Grading Plan(s) will be submitted for Lot 32A and Lot 32B, at which time full coordination with Urban Forestry is to occur. A final tree survey exhibit has been included. This interpretation is intended to apply to all sub-paragraphs ("A" through "I"), but specifically, we request the escrow anticipated in subparagraph "F" is to be posted with final Lot Grading Plan(s).
5. The final plat shows and will dedicate the right-of-way. A copy of the draft plat is attached to this request.
6. The ingress / egress easement is shown on the plat referenced above, and will be recorded with the final attached draft plat.
7. The porous parking described will be indicated in the Lot Grading Plan(s).
8. The purpose of the subject RGP is to provide the necessary SWM/BMP facilities for the future subdivision and development of the property.
9. The covenant will be included in the subdivision deed submitted to the County attorney with the plat recordation.
10. Included in the RGP is an outfall analysis. Future additional analysis shall be provided with the Lot Grading Plan(s).



Ms. Barbara Berlin
Fairfax County Department of Planning and Zoning
RE: 11928 Waples Mill Road
(McGinn Property)
SE 2007-SU-012
VIFA #V6933C

August 23, 2011
Page 3 of 3

A copy of select sheets from the RGP plan is enclosed. Please note that on these sheets, per UFMD coordination, there is a sub-area within the limits of construction in which no land disturbance is to occur. This minimizes the impacts of the RGP.

Please let me know of your decision at your earliest convenience.

Thank you.

Sincerely,
VIFA, Inc.


John A. Amatetti, PE
Principal

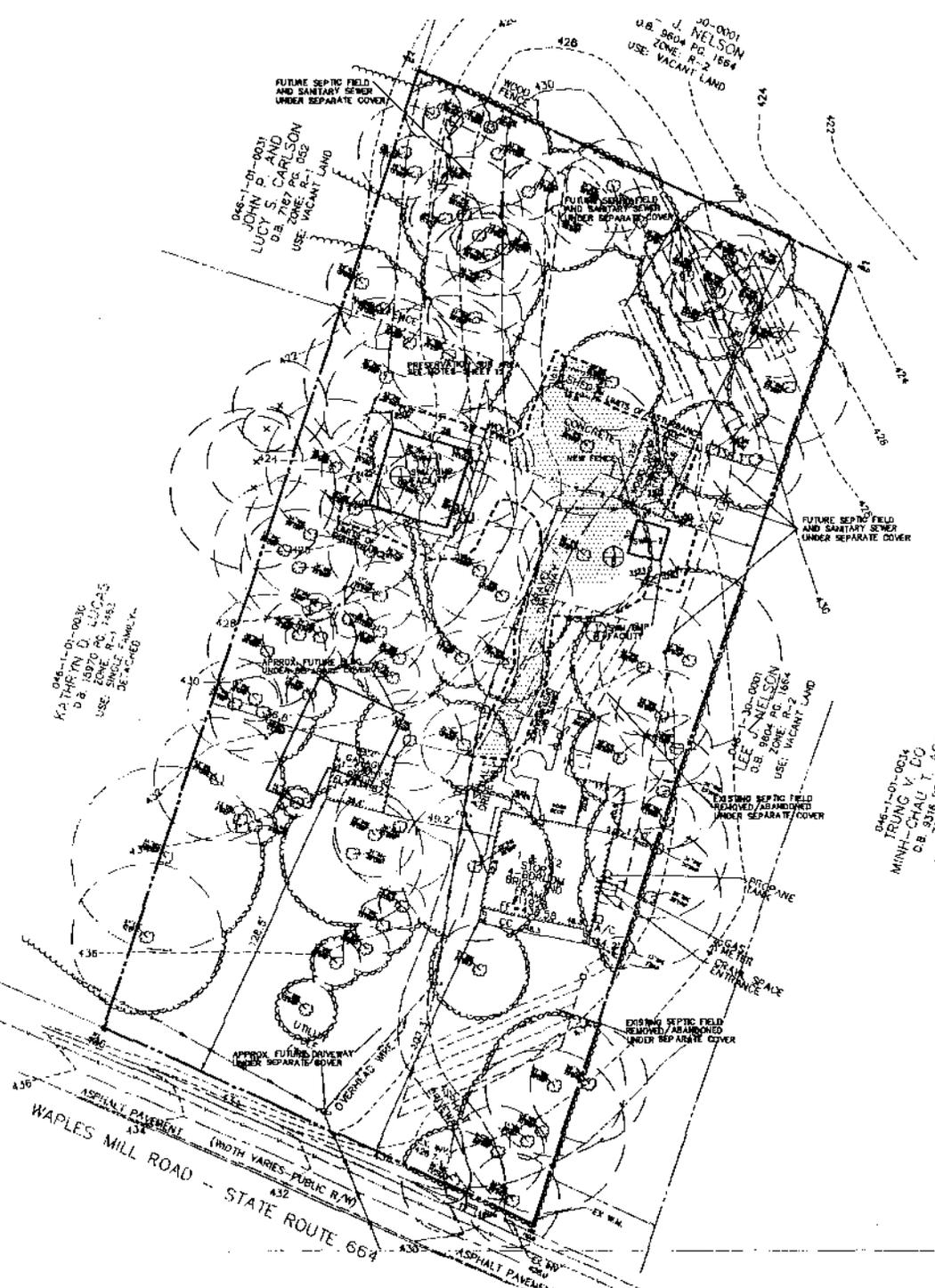
JFA/jr

Enclosures

cc: Mr. Kevin Guinaw
Mr. Clinton Abernathy; EFRD

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FENCE NOTE:
 PORTION OF NEW FENCE AND REPLACEMENT FENCE SHALL CONNECT THE EXISTING FENCE AND SHALL BE THE SAME TYPE AND HEIGHT AS EXISTING FENCE.

SEPTIC FIELD NOTE:
 SEPTIC FIELD AND SANITARY DATA SHOWN FOR INFORMATION ONLY TO ENSURE COORDINATION WITH SWM/BMP FACILITIES. SEPTIC FIELD WORK (ABANDONMENT/REMOVAL AND NEW CONSTRUCTION) SHALL BE UNDER SEPARATE COVER.

OUTFALL NARRATIVE:
 NO FLOW IS BEING CONCENTRATED AND LEAVING THE SITE AS A RESULT OF CONSTRUCTION PROPOSED ON THIS PLAN. SHEET FLOW WILL CONTINUE TO BE THE METHOD BY WHICH FLOW LEAVES THE SUBJECT SITE. THE POINTS OF RUNOFF COLLECTION ARE THE TWO (2) TRENCHES WHICH INFILTRATE THE RUNOFF COLLECTED - PER SECTION 6-0202.6 OF THE PFM. THE SHEET FLOW REFERENCED ABOVE MAY CONTINUE TO BE DISCHARGED ONTO THE DOWNSTREAM PROPERTY. BECAUSE THE TRENCHES HAVE BEEN SIZED FOR THE 10-YR, 2-HR STORM, PER SECTION 6-1303.4B OF THE PFM NO DESIGN COMPUTATIONS ARE REQUIRED FOR THE 2-YR STORM AS IT WILL NECESSARILY BE CONTROLLED BY THE FACILITIES. FURTHERMORE, BECAUSE THE FACILITIES ARE DESIGNED TO INFILTRATE THESE STORM VOLUMES, THERE WILL NOT BE AN INCREASE IN THE RUNOFF VOLUME. IT CAN BE SAID THEN THAT NO ADVERSE IMPACT WILL BE MADE ON THE DOWNSTREAM PROPERTIES BY THE INSTALLATION OF THESE TWO FACILITIES AND THEREFORE SECTION 6-0202.6A GOVERNS IN ALLOWING THIS SHEET FLOW OFF OF THE SITE.

046-1-01-004
 TRUNG V. DO
 MINH-CHAU T. DO
 SONS
 U.S. 8018 PG. 1021
 ZONE: R-1 1021
 USE: SINGLE FAMILY



NORTH (VCS 83)
 GRAPHIC SCALE



INTERPRETATION
EXHIBIT 2 OF 2
 8/22/11

VIKI
 RECEIVED
 DATE:
 DES. BY:
 SCALE:
 PROJECT:
 SHEET:



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

MAR 02 2011

RECEIVED
MAR 07 2011

John F. Amatetti, PE
VIKA, Incorporated
8180 Greensboro Drive, Suite 200
McLean, Virginia 22102

Subject: McGinn Lots, Special Exception Plan #SE 2007-SU-012, Tax Map #046-1-01-0032,
Sully District

Reference: Public Facilities Manual Modification Request #24907-WPFM-001-1

Dear Mr. Amatetti:

In response to your request for modification to Sections 6-0303.9 and 6-1307.2A of the Public Facilities Manual (PFM) to allow infiltration facilities on individual buildable single family detached lots is hereby approved under following condition:

- Provide detention (stormwater management) and water quality control (best management practice (BMP)) facilities on individual lots to satisfy the detention (PFM 6-0300) and BMP (PFM 6-0400) requirements for each lot as shown on the Special Exception Plan #SE-2007-SU-0012.

This approval shall automatically expire, without notice, twenty-four (24) months after the date of this letter, unless the subject plan has been approved.

Please ensure that a copy of this letter is made a part of the subject plan.

If further assistance is desired, please contact Sharad Regmi, P.E., Senior Engineer III, Stormwater and Geotechnical Section, Environmental and Site Review Division (ESRD), at 703-324-1720 (voice), 703-324-8359 (fax).

Sincerely,

Jeremiah Stonefield, Chief
Stormwater and Geotechnical Section
ESRD

cc: Craig Carinci, Director, Stormwater Planning Division, DPWES
Clinton Abernathy, Chief Site Review Engineer, ESRD, DPWES
Sharad Regmi, Senior Engineer III, Stormwater and Geotechnical Section, ESRD, DPWES
Waiver File

Department of Public Works and Environmental Services
Land Development Services, Environmental and Site Review Division
12055 Government Center Parkway, Suite 535
Fairfax, Virginia 22035-5503
Phone 703-324-1720 • TTY 711 • FAX 703-324-8359





County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

MAY 2 - 2011

RECEIVED
MAY 06 2011

P. Christopher Champagne, PE, LEED AP+
VIKA, Incorporated
8180 Greensboro Drive, Suite 200
McLean, Virginia 22102

Subject: 11928 Waples Mill Road, Lot 32, Plan #24907-RP-001, Tax Map #046-1-01-0032,
Sully District

Reference: Sidewalk Waiver #24907-WSW-001-1

Dear Mr. Champagne:

Your request to waive the requirement of Section 101-2-2 of The Code of the County of Fairfax, Virginia, for the construction a sidewalk along the subject site's frontage on Waples Mill Road (Route #664) is hereby approved.

This waiver shall automatically expire, without notice, twenty-four (24) months after the approval date of this letter, unless the subject construction plan has been approved.

If you have any questions or need additional information, please contact Dele Tirfie, Engineer III, Environmental and Site Review Division (ESRD) West, at 703-324-1720.

Sincerely,

for Assad Ayoubi, Director
ESRD West

AUA/dah

cc: Dele Tirfie, Engineer III, ESRD West, DPWES
Waiver File

Department of Public Works and Environmental Services
Land Development Services, Environmental and Site Review Division
12055 Government Center Parkway, Suite 535
Fairfax, Virginia 22035-5503
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County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

March 5, 2008

Patrice McGinn
11928 Waples Mill Road
Oakton, VA 22124

Re: Special Exception Application SE 2007-SU-012

Dear Ms. McGinn:

At a regular meeting of the Board of Supervisors held on February 25, 2008, the Board approved Special Exception Application SE 2007-SU-012 in the name of Patrice E. McGinn. The subject property is located at 11928 Waples Mill Road on approximately 2.0 acres of land zoned R-1 in the Sully District [Tax Map 46-1 ((1)) 32]. The Board's action permits a waiver of minimum lot width pursuant to Section 9-610 of the Fairfax County Zoning Ordinance, by requiring conformance with the following development conditions:

1. This Special Exception is granted for and runs with the land indicated in this application and is not transferable to other land.
2. This Special Exception is granted only for the purpose(s), structure(s) and/or use(s) indicated on the Special Exception Plat approved with the application, as qualified by these development conditions.
3. Any plan submitted pursuant to this Special Exception shall be in substantial conformance with the approved SE plat entitled Special Exception Plat, 11928 Waples Mill Road, prepared by VIKA, Inc., which is dated April 4, 2007, and revised through November 9, 2007 and these conditions.
4. Landscaping & Tree Preservation
 - a. The limits of clearing and grading shall be strictly adhered to during and after construction. Special attention shall be paid to any demolition, clearing and grading associated with the proposed new septic field and lateral to ensure that there is no encroachment into the RPA/EQC. Prior to any demolition, clearing and grading on the site, the limits of clearing and grading shall be fenced and flagged, as determined appropriate by Urban Forest Management, DPWES, to protect existing vegetation which is to be preserved, both on and off-site, and to prevent intrusions

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12000 Government Center Parkway, Suite 533
Fairfax, Virginia 22035

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Email: clerktothebos@fairfaxcounty.gov
<http://www.fairfaxcounty.gov/bosclerk>

into tree save areas. Clearing and grading limits around the border of the proposed septic field and sewer lateral shall be adjusted, as recommended by the Urban Forest Management, to minimize damage and/or removal of trees in that area.

- b. Minor field adjustments shall be permitted to the location of the limits of clearing and grading to protect individual trees which are located off-site and on the boundary line at time of subdivision plan review and construction, in conjunction with and to the satisfaction of the Urban Forest Management, DPWES. However all trees shown to be located off-site near the property boundary and co-owned trees shall be protected by adjusted limits of clearing located a minimum of ten (10) feet from the off-site or co-owned tree trunks.
- c. The limits of clearing and grading shall be marked with a continuous line of flagging prior to the demolition and/or pre-construction meeting. Before or during the pre-construction meeting, the limits of clearing and grading shall be walked by the Owner, and a representative of the Owner, who is a certified arborist or landscape architect, with an Urban Forest Management, DPWES, representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified specifically by Urban Forest Management in writing as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump grinding machine in a manner causing as little disturbance as possible to the adjacent trees and associated understory vegetation and soil conditions.
- d. A tree preservation plan shall be prepared and submitted for the review and approval of DPWES and the Urban Forester's office as part of the first and all subsequent submissions of the subdivision plan. The preservation plan shall be prepared by a professional with experience in the preparation of tree preservation plans, such as a certified arborist or landscape architect, and shall be subject to the review and approval of the Urban Forest Management, DPWES.
- e. The tree preservation plan shall consist of a final tree survey that includes the location, species, size, crown spread and condition

rating percentage of all trees 12 inches in diameter and greater, and 20 feet to either side of the limits of clearing and grading shown on the SE Plat for the entire site. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of clearing and grading shown on the SE Plat, and those additional areas in which trees can be preserved as a result of final engineering. The condition analysis ratings shall be prepared using methods outlined in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture. Specific tree preservation activities that will maximize the survivability of trees identified to be preserved, such as: crown pruning, root pruning, mulching, fertilization, and others as necessary, shall be included in the plan.

- f. At the time of subdivision plan approval, the Applicants shall post cash, bond, or letter of credit payable to the County of Fairfax to ensure preservation and/or replacement of the trees that are designated to be saved that die or are dying due to normal construction activities permitted on the approved plan. Provided, however, notwithstanding anything to the contrary in these development conditions, the amount of the cash, bond, letter of credit regarding the trees referred to in these development conditions shall not exceed \$10,000. Any trees shown to be preserved on the Tree Preservation Plan that die or are dying due to construction activities shall be replaced with trees of a species and size acceptable to the Urban Forest Management, DPWES, and reasonably ensured of surviving. The total amount of cash, bond, or letter of credit shall be in the amount of the sum of the assigned replacement values of the designated trees. These preservation measures shall not apply to trees otherwise protected by these development conditions that die or begin to die as a result of factors not related to the Applicant's construction activities.

If, at the time of final bond release, trees are found to be dead or dying despite adherence to approved construction activities by the Urban Forest Management, DPWES, the cash, bond, or letter of credit shall be used as necessary to plant replacement trees of a size and species appropriate to the site, in consultation with the Urban Forest Management, DPWES, and the Applicants' certified arborist. The cash, bond, or letter of credit shall not to be used for the removal of the dead/dying trees normally required by the Public Facilities Manual (PFM) and the Conservation Agreement. Any funds remaining in the cash, bond, or letter of credit will be released two years from the date of release of the Applicants'

property's conservation escrow, or sooner, if approved by Urban Forest Management, DPWES.

- g. The use of motorized equipment in tree preservation areas will be limited to hand-operated equipment such as chainsaws, wheel barrows, rake and shovels. Any work that requires the use of motorized equipment, such as tree transplanting spades, skid loaders, tractors, trucks, stump-grinders, etc., or any accessory or attachment connected to this type of equipment shall not occur unless pre-approved by Urban Forest Management, DPWES.
 - h. All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fence. Tree protection fencing (four foot high, 14 gauge welded wire attached to 6 foot steel posts driven 18 inches into the ground and placed no further than 10 feet apart, or other measures as approved by Urban Forest Management, DPWES) shall be erected at the limits of clearing and grading as shown on the demolition, and Phase I and II erosion and sediment control sheets, as may be modified by Urban Forest Management.
 - i. All tree protection fencing shall be installed prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fence types shall be performed under the supervision of a certified arborist, and accomplished in a manner that does not harm existing vegetation that is to be preserved. Three days prior to the commencement of any clearing, grading, or demolition activities, but subsequent to the installation of the tree protection devices, Urban Forest Management, DPWES and the District Supervisor shall be notified and given the opportunity to inspect the site to assure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by Urban Forest Management, DPWES.
5. Right-of-way up to forty-two (42) feet from the centerline of Waples Mill Road along the Waples Mill Road frontage of the site shall be dedicated to the Board of Supervisors, in fee simple, at the time of subdivision plan approval or within sixty (60) days upon demand by VDOT or Fairfax County, whichever occurs first.
6. An ingress/egress access easement in a form approved by the County Attorney shall be placed and recorded in land records by the applicant, over part of lot 32B and the existing driveway that is to be shared.

7. Porous pavers, such as UNI Eco-Stone or an approved equivalent as determined by DPWES shall be utilized for the driveway serving lot 32A.
8. Stormwater Management or Best Management Practices measures may be provided in infiltration/percolation trenches as shown on the SE plat as determined by DPWES, which shall be privately maintained. If a modification of the PFM to permit the proposed stormwater management/best management practices as shown on the SE plat is not granted by DPWES and SWM/BMP facilities in substantial conformance with the SE Plat cannot be provided, then a Special Exception Amendment (SEA) shall be filed to provide water quantity and quality control measures in accordance with the PFM as determined by DPWES.
9. Prior to record plat approval, the necessary residential covenants shall be established governing the maintenance of the infiltration/percolation trenches and shared driveway on the proposed lots as shown on the SE Plat. Residential covenants shall be recorded which disclose to the existing and all subsequent property owners the maintenance obligations of the infiltration/percolation trenches and shared driveway.
10. Adequate Outfall shall be demonstrated in accordance with the Public Facilities Manual (PFM) as determined by DPWES at the time of Subdivision plan review.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The applicant shall be responsible for obtaining the required Residential Use Permit through established procedures, and this Special Exception shall not be valid until this has been accomplished.

Pursuant to Section 9-015 of the Zoning Ordinance, this special exception shall automatically expire, without notice, thirty (30) months after the date of approval unless the use has been established. This development may be phased; for the purpose of this Special Exception; the term "established" shall be interpreted to mean the obtaining of a valid Non-RUP for the first phase. The Board of Supervisors may grant additional time to establish the use or to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special exception. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

Sincerely,



Nancy Veirs
Clerk to the Board of Supervisors
NV/dms

Cc: Chairman Gerald E. Connolly
Supervisor Michael R. Frey, Sully District
Janet Coldsmith, Director, Real Estate Division, Dept. of Tax Administration
Regina Coyle, Director, Zoning Evaluation Division, DPZ
Diane Johnson-Quinn, Deputy Zoning Administrator, Dept. of Planning and Zoning
Thomas Conry, Dept. Manager. – GIS - Mapping/Overlay
Angela K. Rodeheaver, Section Chief, Transportation, Planning Division
Ellen Gallagher, Capital Projects and Operations Div., Dept. of Transportation
Audrey Clark, Director – Building Plan Review, DPWES
Ken Williams, Plans & Document Control, ESRD, DPWES
Department of Highways-VDOT
Sandy Stallman, Park Planning Branch Manager, FCPA
Charlene Fuhrman-Schulz, Development Officer, DHCD/Design Development Division
District Planning Commissioner
Barbara J. Lippa, Executive Director, Planning Commission
Jose Comayagua, Director, Facilities Management
Denise James, Office of Capital Facilities/Fairfax County Public Schools
Karyn Mooreland, Chief Capital Projects Sections, Dept. of Transportation

11928 WAPLES MILL ROAD

OAKTON, VIRGINIA

SPECIAL EXCEPTION PLAN

SULLY DISTRICT

FAIRFAX COUNTY, VIRGINIA

APRIL 4, 2007
 REV. AUGUST 27, 2007
 REV. SEPTEMBER 25, 2007
 REV. OCTOBER 22, 2007
 REV. NOVEMBER 09, 2007

SHEET INDEX

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6. EROSION CONTROL MANAGEMENT & DETAIL ANALYSIS
7. EROSION CONTROL MANAGEMENT & DETAIL ANALYSIS
8. ILLUSTRATIVE SITE PLAN

APPLICANT/OWNER/AGENT

MR. WALTER BACORN
 11928 WAPLES MILL ROAD
 OAKTON, VIRGINIA 22090
 FAIRFAX COUNTY

ATTORNEY

MARK BARNES & MARTIN
 2000 GREENBROOK DRIVE
 SUITE 400
 MCLEAN, VIRGINIA 22101
 CONTACT: MORTY C. LAMOTEN
 (703) 844-9800

ENGINEER/LANDSCAPE ARCHITECT

YUCA INC.
 1800 GREENBROOK DRIVE
 SUITE 400
 MCLEAN, VIRGINIA 22101
 CONTACT: JIM COOBERAY
 (703) 444-9800



VICINITY MAP
 SCALE: 1"=100'

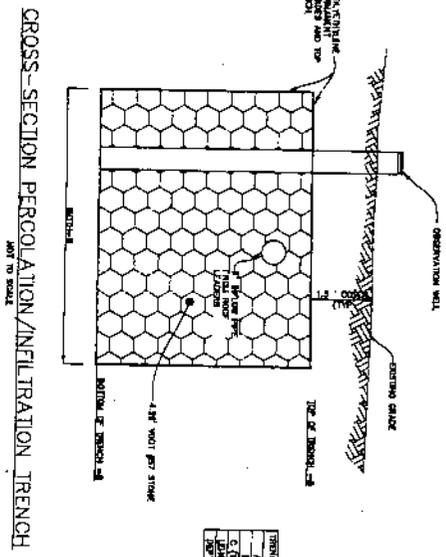
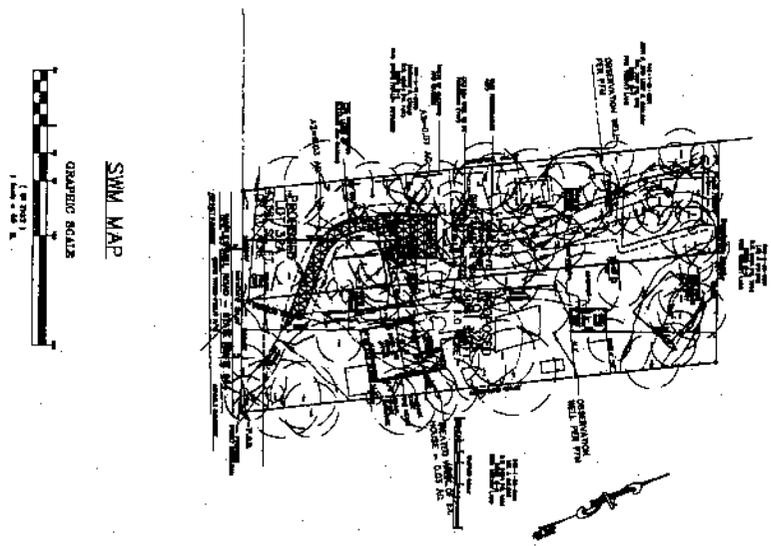
TM NO. 46-1 (00) 0022



SOILS MAP
 SCALE: 1"=100'

TM NO. 46-1 (00) 0023





ITEM NO.	DESCRIPTION	QTY	UNIT	PRICE
1	PERFORATED PIPE	1	LINEAL FOOT	10.00
2	CONCRETE	1	SQ. YD.	15.00
3	GRAVEL	1	CY	12.00
4	SOIL	1	CY	1.00
5	LABOR	1	HOUR	20.00
6	PERFORATED PIPE	1	LINEAL FOOT	10.00
7	CONCRETE	1	SQ. YD.	15.00
8	GRAVEL	1	CY	12.00
9	SOIL	1	CY	1.00
10	LABOR	1	HOUR	20.00

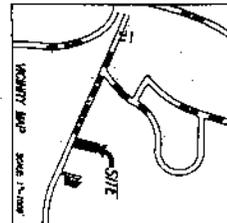
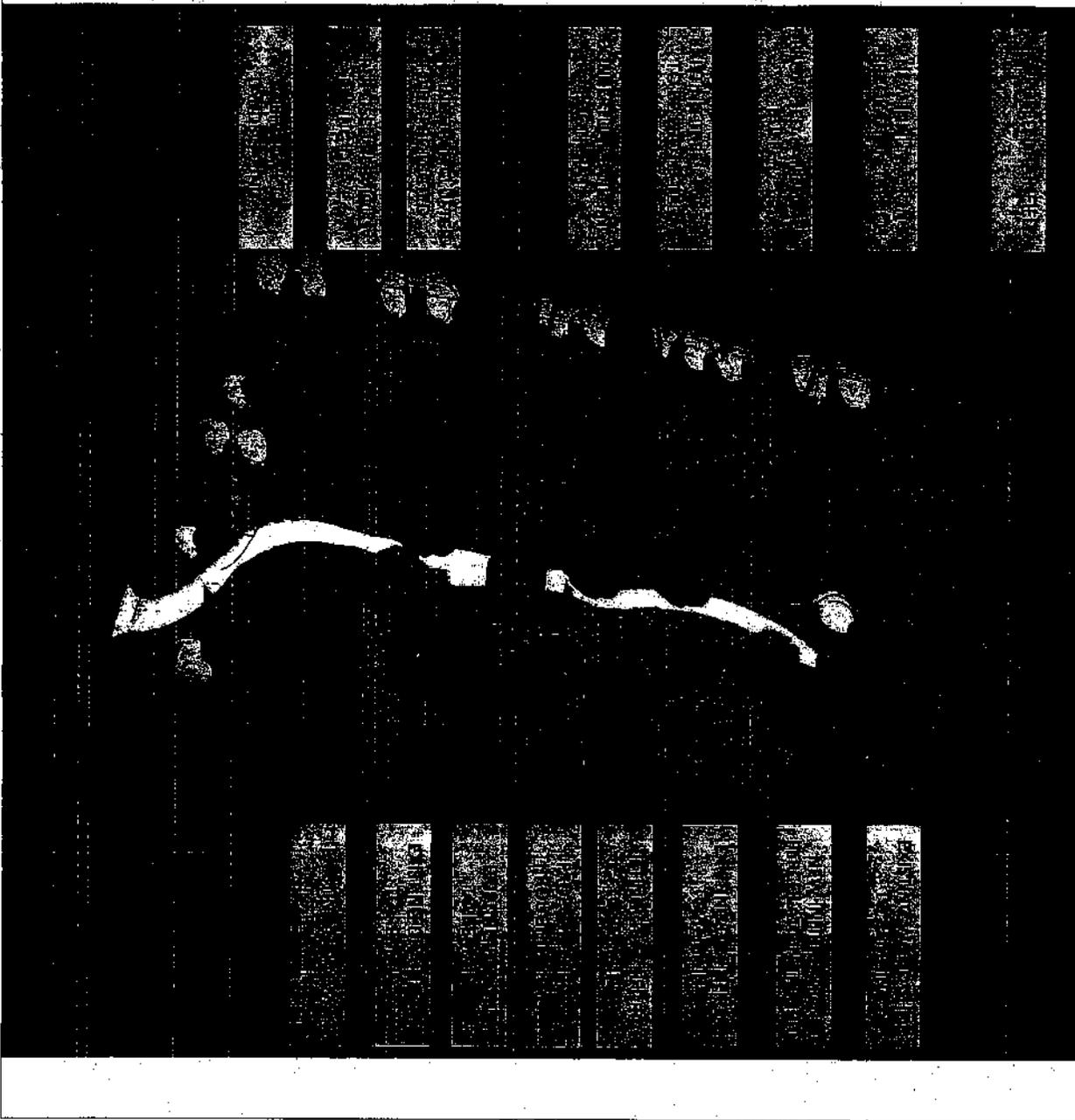
INFILTRATION/PERCOLATION TRENCH CROSS SECTION
NOT TO SCALE

NOTE: ALL CROSS SECTIONS AND DETAILS SHALL BE CHECKED FOR CONFORMANCE WITH THE LATEST EDITIONS OF THE VIRGINIA MANUAL OF PRACTICE AND SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST EDITIONS OF THE VIRGINIA MANUAL OF PRACTICE AND SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST EDITIONS OF THE VIRGINIA MANUAL OF PRACTICE AND SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.



<p>VIKA REVISIONS</p> <p>NO. DATE DESCRIPTION</p>	<p>STORM WATER MANAGEMENT AND OUTFALL ANALYSIS</p>	<p>11928 WAPLES MILL ROAD LOT 32 DEED BOOK 15848 PAGE 1301 SULLY DISTRICT FAIRFAX COUNTY, VIRGINIA</p>	<p>VIVA</p> <p>INCORPORATED 11928 WAPLES MILL ROAD SULLY DISTRICT FAIRFAX COUNTY, VIRGINIA 22031</p>
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PROJECT NO.	11928 WAPLES MILL ROAD
SHEET NO.	4 OF 8
DATE	10/22/2007 2:08:54 PM EDT



PROJECT NO.	11928 WAPLES MILL ROAD
DATE	09/27/2007
SCALE	1" = 30'
DESIGNER	VIFA
CHECKED BY	
DATE	
PROJECT NO.	
DATE	
SCALE	
DESIGNER	
CHECKED BY	
DATE	

ILLUSTRATIVE SITE PLAN

11928 WAPLES MILL ROAD
 LOT 32
 DEED BOOK 15848 PAGE 1501
 JULY 2007
 FAIRFAX COUNTY, VIRGINIA

VIFA
 ARCHITECTS PLANNERS & LANDSCAPE ARCHITECTS 12 BAYVIEW DRIVE SUITE 200
 ANN ANDREWS SUITE 200 12 BAYVIEW DRIVE SUITE 200
 FREDERICKSBURG VA 22405-4007
 TEL: 541-333-1111 FAX: 541-333-1112
 WWW.VIFA-VA.COM

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHD BRG	CHORD
CL	13.80'	70.00'	12°35'50"	7.33'	N39°11'23"W	15.76'

NOTES:

- 1.) THE SUBJECT PROPERTY SHOWN HEREON IS IDENTIFIED ON FAIRFAX COUNTY TAX ASSESSMENT NUMBER 046-1-01-0032 AND ZONED R-1 AND IS SUBJECT TO SE-2007-SU-012 APPROVED ON FEB. 25, 2008. THE HORIZONTAL DATUM FOR THIS SURVEY IS BASED ON A PLAT RECORDED IN DEED BOOK 7861 AT PAGE 25B, THE MERIDIAN OF RECORD BECAUSE NO MORE THAN TWO (2) LOTS ARE CREATED.
- 2.) THE PROPERTY SHOWN HEREON LIES IN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE 500 YEAR FLOODPLAIN) AS DESCRIBED ON THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY-PANEL NUMBER 51525Z DATES D MARCH 5, 1990 FOR FAIRFAX COUNTY, VIRGINIA.
- 3.) NO TITLE REPORT FURNISHED. ALL KNOWN EASEMENTS OF RECORD ARE SHOWN HEREON.
- 4.) THERE ARE NO RPA'S LOCATED ON THIS SITE AND THE PLAT DOES NOT PROPOSE ANY ENCROACHMENTS INTO ANY RPA'S. THIS PLAT COMPLIES FULLY WITH THE AMENDMENT OF CHAPTER 11B (CHESAPEAKE BAY PRESERVATION ORDINANCES) OF THE CODE OF FAIRFAX COUNTY.
- 5.) ANY FUTURE EASEMENTS OR AUTHORIZATION FOR ELECTRIC, CABLE, TELEPHONE OR GAS SERVICE TO BE FURNISHED TO THE PROPERTY SHOWN HEREON SHALL COMPLY WITH THE PROVISIONS OF VIRGINIA CODE 15.2-2241.
- 6.) WAIVER OF MINIMUM LOT WIDTH WAS APPROVED WITH SE-2007-SU-012 APPROVED ON FEB. 25, 2008.
- 7.) SW/8TH SHALL BE MET WITH INF/LOT GRADING PLAN, PER 24907-VSU-001 AND 24907-VHP-001.
- 8.) TREE CONSERVATION REQUIREMENTS SHALL BE MET WITH INF/LOT GRADING PLAN.
- 9.) THE FOLLOWING WAIVERS/DEFERRALS HAVE BEEN APPROVED:
24907-VSU-001 (SIDEWALK WAIVER)
24907-VHP-001 (SUMP INFILTRATION ON RESIDENTIAL LOTS)
- 10.) SPECIAL EXCEPTION CONDITION 44 (A THRU D), 87 & 810 - SHALL BE MET WITH THE LOT GRADING PLAN.
- 11.) SPECIAL EXCEPTION CONDITION 45 - RIGHT-OF-WAY DEDICATION IS RECORDED WITH THIS PLAT.
- 12.) SPECIAL EXCEPTION CONDITION 46 - FOR INGRESS/EGRESS EASEMENT BETWEEN THE LOTS IS RECORDED WITH THIS PLAT.
- 13.) SPECIAL EXCEPTION CONDITION 48 - IS DEFERRED TO THE LOT GRADING PLAN FOR LOT 32A AND IF REQUIRED LOT 32B, ESCROW TO BE RELEASED AT LOT GRADING PLAN APPROVAL AND TRANSFERRED TO THE CONVERSATION ESCROW.
- 14.) SPECIAL EXCEPTION CONDITION 49 - SHALL BE INCLUDED WITHIN THE DEED OF SUBDIVISION.

AREA TABULATION:

LOT 32A	41,671 SQ. FT. OR 0.95664 AC.
LOT 32B	41,450 SQ. FT. OR 0.95156 AC.
STREET DEDICATION	4,001 SQ. FT. OF 0.9185 AC.
EXISTING LOT 32	87,122 SQ. FT. OR 2.00063 AC.

EXISTING ZONE: R-1

MINIMUM YARD REQUIREMENTS:
REFER TO APPROVED (SE 2007-SU-0012)
FRONT = 40'
REAR = 25'
SIDE = 20' (VC 8001/106)

HEALTH DEPARTMENT NOTES:

- 1.) LOT 32A
12 RATE @ 42" AFTER GRADE CUTS
4 BEDROOMS (TO INCLUDE 1 KITCHEN & 1 LAUNDRY)
ACTIVE: 4 LINES @ 94"
RESERVE: LOADING RATE: 2.5 GAL/FT²/DAY
3 LINES @ 57"
- 2.) LOT 32B
10 RATE @ 42" AFTER GRADE CUTS
4 BEDROOMS (TO INCLUDE 1 KITCHEN & 1 LAUNDRY)
ACTIVE: 4 LINES @ 90"
RESERVE: LOADING RATE: 2.5 GAL/FT²/DAY
4 LINES @ 50"
- 3.) A COMPLETE SET OF ARCHITECTURAL PLANS FOR THE PROPOSED STRUCTURES ON LOT 32A AND ANY ADDITIONS TO LOT 32B MUST BE SUBMITTED TO THE HEALTH DEPT. DURING REVIEW OF THE FINAL LOT GRADING PLAN. A FAIRFAX COUNTY APPROVED SET IS NOT AVAILABLE FOR THE EXISTING STRUCTURE ON LOT 32B. THE OWNER SHALL SIGN AND DATE A NOTICE AS PART OF THE LOT GRADING PLAN THAT THE STRUCTURES REMAINING ON LOT 32B CONTAIN 4 BEDROOMS AND WILL NOT BE MODIFIED.

THIS APPROVAL IS NOT A COMMITMENT TO PROVIDE PUBLIC SANITARY SEWER.

FINAL PLAT
RECOMMENDED FOR APPROVAL
FAIRFAX COUNTY
DATE: 6-21-11

APPROVED
COUNTY OF FAIRFAX
OFFICE OF PLANNING AND SERVICES
DATE: 6-21-11

DEPARTMENT OF PUBLIC WORKS
AND ENVIRONMENTAL SERVICES
OFFICE OF SITE DEVELOPMENT SERVICES
DATE: 6-21-11

APPROVED FOR BOARD OF SUPERVISORS
FAIRFAX COUNTY, VIRGINIA
DATE: 6-21-11

APPROVED
COUNTY OF FAIRFAX
OFFICE OF SITE DEVELOPMENT SERVICES
DATE: 6-21-11

SURVEYOR'S CERTIFICATION:

I, FRANKLIN E. JENKINS, A LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA, DO HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEYED THE PROPERTY DELINEATED ON THIS PLAT OF SUBDIVISION AND THAT IT IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THAT IT IS ALL OF THE PROPERTY ACQUIRED BY PATRICE E. MCGINN, BY DEED RECORDED IN DEED BOOK 15648 AT PAGE 1501, ALL AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.

I FURTHER CERTIFY THAT THE LAND EMBRACED BY THIS PLAT OF SUBDIVISION LIES ENTIRELY WITHIN THE BOUNDS OF THE ORIGINAL TRACT, THAT THIS PLAT REPRESENTS AN ACCURATE SURVEY OF THE SAME AND THAT THE PROPERTY SHOWN HEREON IS REFERENCED TO THE DEED MENTIONED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE FAIRFAX COUNTY SUBDIVISION ORDINANCE. (SEE NOTE 9B)

GIVEN UNDER MY HAND AND SEAL

6-21-11
DATE



FRANKLIN E. JENKINS
LICENSED LAND SURVEYOR
VIRGINIA # 2061

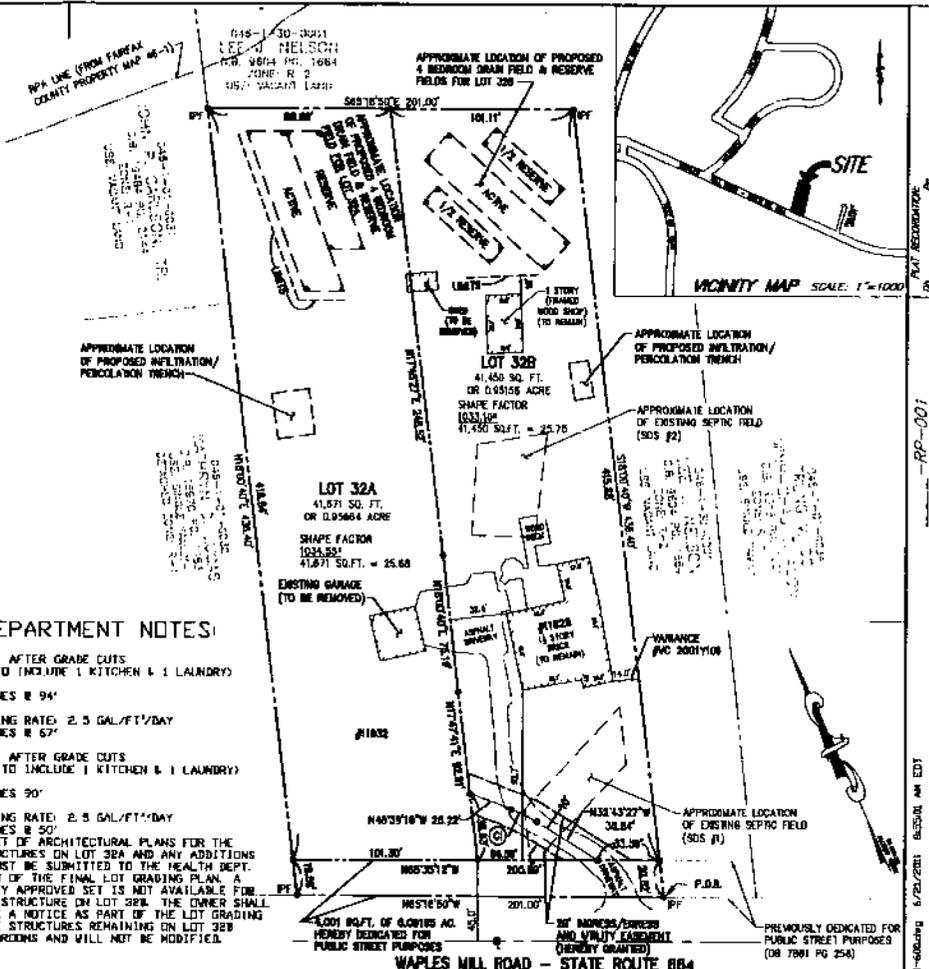
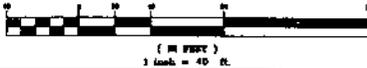
WETLAND NOTE:

I HEREBY CERTIFY THAT ALL WETLAND PERMITS REQUIRED BY LAW WILL BE OBTAINED PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES.

SIGNATURE: *Patrice E. McGinn* AS AGENT FOR OWNER

OWNER/DEVELOPER: PATRICE E. MCGINN

GRAPHIC SCALE



SHEET 1 OF 1
PLAT SHOWING
LOTS 32A AND 32B
BEING A RESUBDIVISION OF
THE PROPERTY OF
PATRICE E. MCGINN
DEED BOOK 15648 PAGE 1501
SULLY DISTRICT
FAIRFAX COUNTY, VIRGINIA
SCALE: 1" = 40' DATE: DECEMBER 31, 2010
REVISION: JUNE 21, 2011



ENGINEERING PLANNING & LANDSCAPE ARCHITECTURE & SURVEYING & O.P.S. SERVICES
5180 GREENBROOK DRIVE, SUITE 200, FALLS CHURCH, VIRGINIA 22041
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WWW.VIA-VA.COM