



APPLICATION ACCEPTED: July 20, 2011
PLANNING COMMISSION: October 27, 2011

County of Fairfax, Virginia

October 11, 2011

STAFF REPORT

APPLICATION CSPA 2002-PR-016

PROVIDENCE DISTRICT

APPLICANT: Avalon Park Crest, LLC

ZONING: PRM

LOCATION 8200, 8210, and 8220 Crestwood Heights Drive, located in Tysons Corner, on the north side of Westpark Drive, approximately 200 feet east of its intersection with International Drive.

PARCELS: 29-4 ((7)) A9, D, E; 29-4 ((13)) C1, 102-105, 107-109, 113-117, 201-219, 301-319, 401-419, 501-519, 601-619, 701-719, 801-819, 901-919, 1001-1019, 1101-1119, 1201-1219, 1301-1319, 1401-1419, 1501-1519, 1601-1619, 1701-1703, 1705-1719, 1801-1802, 1808, 1810, 1812, 1814, 1816, 1818, 1819, 1901-1902, 1906, 1908, 1910, 1912, 1914, 1916, 1918, 1919, and 29-4 ((14)) C1, 1C

ACREAGE: 13.54 acres

PLAN MAP: Residential Mixed Use

PROPOSAL: To amend CSP 2002-PR-016, a previously approved Comprehensive Sign Plan for the Park Crest development located in Tysons Corner.

Bob Katai

Department of Planning and Zoning
Zoning Evaluation Division
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035-5509
Phone 703-324-1290 FAX 703-324-3924
www.fairfaxcounty.gov/dpz/



STAFF RECOMMENDATIONS:

Staff recommends approval of CSPA 2002-PR-016 subject to the proposed development conditions in Appendix 1.

It should be noted that it is not the intent of staff to recommend that the Planning Commission, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Planning Commission.

The approval of this CSPA does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.

O:\BKATAI\Park Crest CPSA\STAFF REPORT COVER 092611.doc



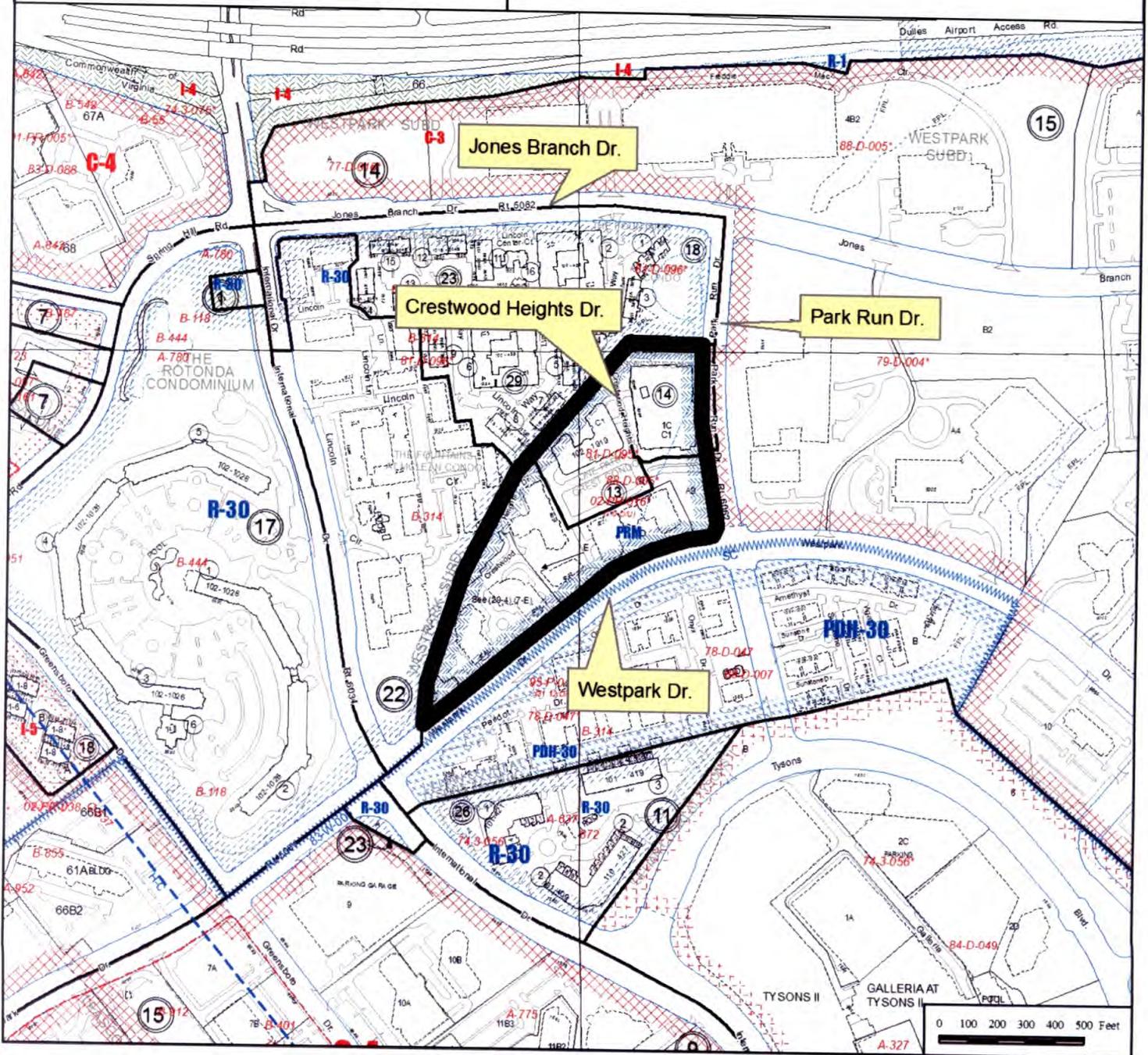
Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

Comprehensive Sign Plan Amendment

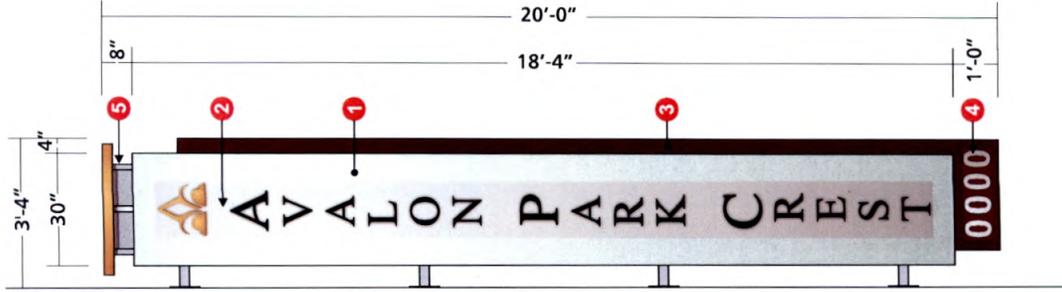
CSPA 2002-PR-016



Applicant: AVALON PARK CREST, LLC
Accepted: 07/20/2011
Proposed: AMEND PREVIOUSLY APPROVED COMPREHENSIVE SIGN PLAN CSP-PR-016 TO PERMIT MODIFICATIONS
Area: 13.54 AC OF LAND; DISTRICT - PROVIDENCE
Located: NORTHWEST QUADRANT OF THE INTERSECTION OF WESTPARK DRIVE AND PARK RUN DRIVE
Zoning: PRM
Map Ref Num: 029-4- /07/ / A9 /07/ / D /07/ / E /13/ / AND MULTIPLE OTHER PARCELS



FACE VIEW
SCALE: 3/8" = 1'-0"



SIGN TYPE K - (1X) INTERNALLY ILLUMINATED BLADE SIGN

- 1 Fabricated aluminum cabinets, painted metallic silver.
- 2 1/2" thick push-thru transl. white acrylic logo, applied gold and day/night vinyl on faces.
- 3 Welded side panel painted dark brick color to match building.
- 4 1/2" deep fabricated brushed SS address numbers, horizontal finish. Non-illuminated.
- 5 Fabricated aluminum topper, non-lit.

COLORS

- Metallic Silver ■ Gold Metallic
- Black ■ Dark Brick Color

Sign Area: 66.67 sq. ft.

3M-3635-DC-4815
 (M-3635) Light Management Film - 3 Year - Dual Color Film (48"x96" x45)

NEW FINISHERS
 Film Thickness: 3 mil.
 Color: Black
 Adhesive: Clear
 Color: 100% UV
 Compatibility: No

MANUFACTURER
 3M Company
 3M Center
 St. Paul, MN 55144
 USA

FINISHERS
 3M
 3M Center
 St. Paul, MN 55144
 USA

SIDE VIEW
SCALE: 1/4" = 1'-0"



SW ELEVATION
SCALE: 1/8" = 1'-0"



PREPARED AND PROVIDED BY: **ART DISPLAY CO.**
 401 HAMPTON PARK BLVD.
 CAPITOL HEIGHTS, MD 20743
 (PH) 240-765-1400
 (FAX) 240-765-1401
 WWW.ARTDISPLAYCO.COM

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CLIENT: **Avalon Park Crest**

SALESPERSON: **ARTHUR GOLDBERG**
 DESIGNER: **DIANA**

NO.	BY	DATE
1	DC	11/18/10
2	DC	01/07/11
3	DC	01/20/11
4	DC	02/24/11
5	DC	03/22/11
6	DC	04/25/11
7	DC	10/11/11

APPROVED BY: _____

CLIENT: _____

SALESPERSON: _____

PRODUCTION: _____

INSTALLATION: _____

NOTES: _____

SAVED AS 3337-07DC Avalon Park Crest (Exterior & Garage Signs) PAGE: 1

FACE VIEW
SCALE: 1/4" = 1' 0"

15'-6"

AvalonParkCrest.com
NOW LEASING

4'-6"

SIGN TYPE L - (2X) FLEX FACE SIGNS
20oz vinyl banner material with digitally printed or applied vinyl graphics. stretched over 1"x1" extruded aluminum frame. Installed to building wall with sleeve anchors.

Sign Area: 69.75 sq. ft.

Note: Field verify height & ledge

SW ELEVATION
SCALE: 3/32" = 1' 0"



NE ELEVATION
SCALE: 1/16" = 1' 0"



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Avalon Park Crest

SALESPERSON
ARTHUR GOLDBERG
DESIGNER
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5	DC	03/22/11
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7	DC	10/11/11

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CLIENT
SALESPERSON
PRODUCTION
INSTALLATION
NOTES:

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CLIENT

Avalon Park Crest

SALESPERSON
ARTHUR GOLDBERG
DESIGNER
DIANA

REVISIONS

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6	DC	04/25/11
7	DC	10/11/11

APPROVED BY

CLIENT

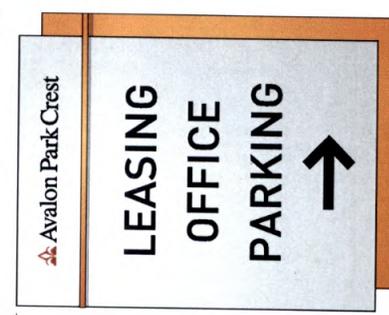
SALESPERSON

PRODUCTION

INSTALLATION

NOTE:

FACE VIEW
SCALE: 1/2" = 1' 0"



Side A



Side B

FACE VIEW
SCALE: 1/2" = 1' 0"



TBD

SIGN TYPE M - (2X) PARKING SIGNS

- Silver painted face plate.
- Gold painted back plate, offset 1" to the right and 1" down.
- 1/4" h horizontal rule bar.
- Applied black and gold vinyl graphics.
- 2"x2" aluminum post painted brick color.

Sign Area: 1.72 sq. ft.

SIGN TYPE N - (1X) D/F PARKING SIGN

- Silver painted face plates.
- Gold painted back plates, offset 1 1/2" to the right and 1 1/2" down.
- 3/8" h horizontal rule bars.
- Applied black and gold vinyl graphics.
- 8"x3" aluminum post painted brick color.
- 12" x 6" x 3"h concrete base.

Sign Area: 3.5 sq. ft.

M Quantity: (2x)

N Quantity: (1x)

PREPARED AND PROVIDED BY:

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CLIENT

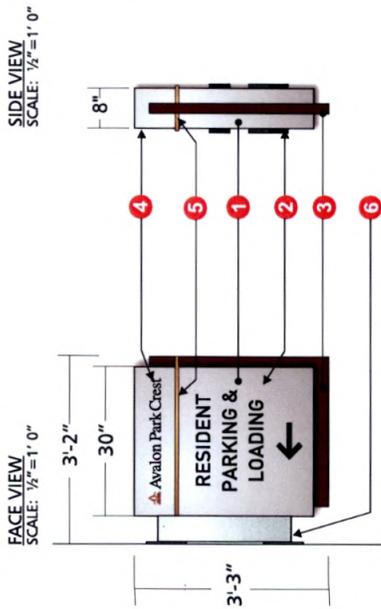
Avalon Park Crest

SALESPERSON
 ARTHUR GOLDBERG
 DESIGNER
 DIANA

REVISIONS	
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5	DC 03/22/11
6	DC 04/25/11
7	DC 10/11/11

APPROVED BY
 CLIENT
 SALES/PM
 PRODUCTION
 INSTALLATION
 NOTES:

SAVED AS 3337-07DC Avalon Park Crest (Exterior & Garage Signs)
 PAGE: 4



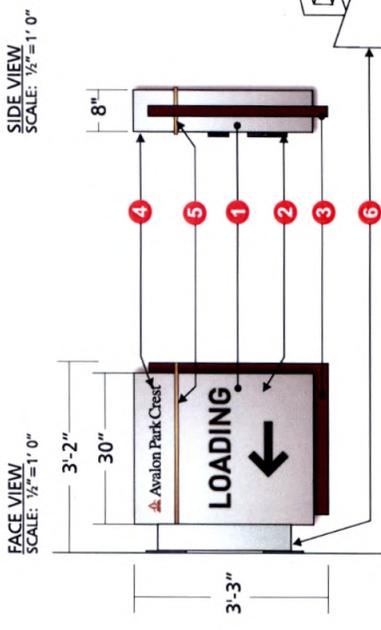
Sign Area: 10.3 sq. ft.

SIGN TYPE O - (1X) D/F DIRECTIONAL

- 1 Fabricated aluminum cabinets, painted metallic silver.
- 2 3/8" cut-out black acrylic copy & arrow.
- 3 Welded side panel painted dark brick color to match building.
- 4 Applied black & gold vinyl copy & arrow.
- 5 1/2" gold horizontal bar.
- 6 Mounting arms to be concealed with cover plate.

COLORS

- Metallic Silver
- Gold Metallic
- Black
- Dark Brick Color



Sign Area: 10.3 sq. ft.

SIGN TYPE P - (1X) S/F LOADING

- 1 Fabricated aluminum cabinets, painted metallic silver.
- 2 3/8" cut-out black acrylic copy & arrow.
- 3 Welded side panel painted dark brick color to match building.
- 4 Applied black & gold vinyl copy & arrow.
- 5 1/2" gold horizontal bar.
- 6 Mounting arms to be concealed with cover plate.

COLORS

- Metallic Silver
- Gold Metallic
- Black
- Dark Brick Color

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ACTUAL SIZE AND PROPORTIONS TO ALLIANCE

CLIENT

Avalon Park Crest

SALESPERSON

ARTHUR GOLDBERG

DESIGNER

DIANA

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6	DC	04/25/11
7	DC	10/11/11

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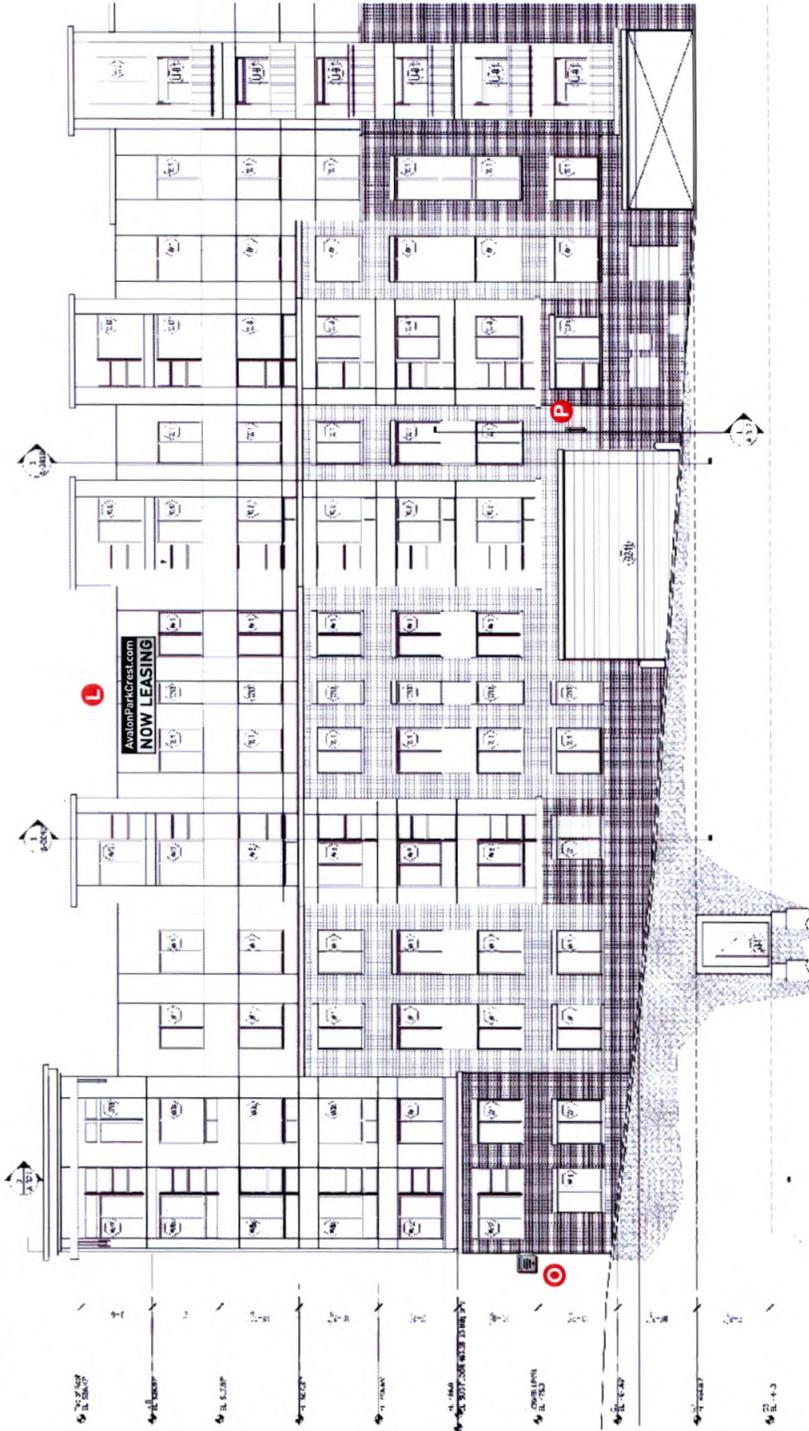
SALES/PM

PRODUCTION

INSTALLATION

NOTES

NE ELEVATION
SCALE: 1/16"=1'-0"



NORTHEAST

PREPARED AND PROVIDED BY:



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CLIENT

Avalon ParkCrest

SALESPERSON

ARTHUR GOLDBERG

DESIGNER

DIANA

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SALESPERSON

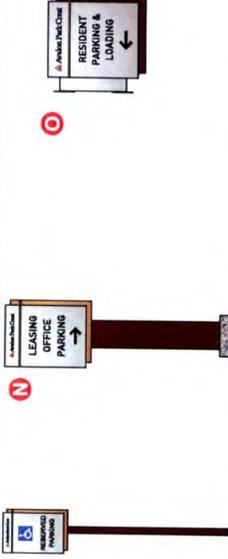
PRODUCTION

INSTALLATION

NOTES

3337-07DC Avalon Park Crest (Exterior & Garage Signs)

PAGE: 6



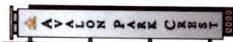
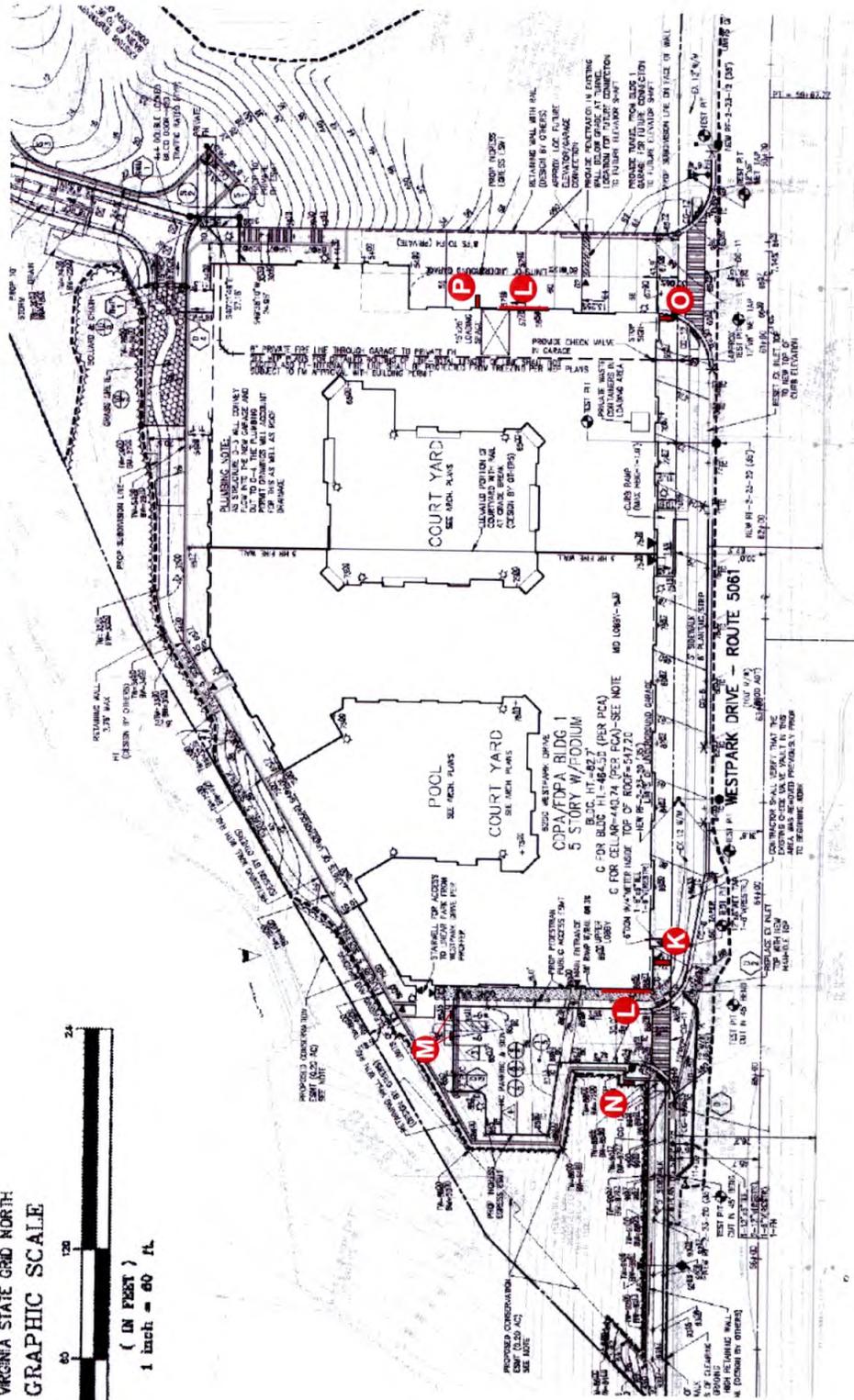
AvalonParkCrest.com
NOW LEASING



VIRGINIA STATE GRID NORTH
 GRAPHIC SCALE



(IN FEET)
 1 inch = 60 ft.



**A GLOSSARY OF TERMS FREQUENTLY
USED IN STAFF REPORTS WILL BE
FOUND AT THE BACK OF THIS REPORT**

DESCRIPTION OF THE APPLICATION

The applicant, Avalon Park Crest, LLC, is requesting approval of a Comprehensive Sign Plan Amendment (CSPA) for Park Crest, a mixed-use project that is currently developed with two buildings containing multifamily units and a grocery store. This amendment would facilitate installation of signs related to Building 1, the Avalon Park Crest Apartments, which is currently under construction. Building 1 will consist of 354 multifamily units located in a single, six-story structure. No retail uses will be located in this building.

The purpose of the site’s comprehensive sign program is to provide a cohesive, comprehensive, and functional system to direct and communicate with those who work or live nearby or who may visit the residential or retail uses in Park Crest. The original CSP included three components. The first component was the corner identification monument sign which was installed at the corner of Westpark Drive and Park Run Drive. The second component consisted of site identification signs, freestanding directional signs and building identification signs within the site associated mostly with the residential development on the site. The third component was a sign package for the Harris Teeter grocery store.

This request seeks amendment of the CSP’s second component by adding nine signs to Building 1 as detailed below. The proposed signs would replace the two placeholder signs approved with the original CSP. No other changes to the approved CSP are proposed. The complete, approved CSP is attached as Appendix 3.

Building 1 Sign Type	Size and Number	Location
Sign Type K – Internally Illuminated Blade Sign: opaque aluminum cabinet with lighted dark lettering.	66.67 square feet; one sign	Located along Westpark Drive; perpendicular to Building 1; approximately 22 feet above a planter strip. The sign location is on private property, outside of the right-of-way.
Sign Type L – Temporary Building Banner: vinyl banner stretched over an aluminum frame.	70 square feet; two signs	Mounted along the top of the west and east sides of Building 1.
Sign Type M – Parking Signs: free standing signs; identifies handicap parking spaces.	1.72 square feet; two signs	Located in the small surface parking lot situated on the west side of Building 1.

Building 1 Sign Type	Size and Number	Location
Sign Type N – Parking Sign; free standing sign; directs potential tenants to leasing office parking.	3.5 square feet; one sign	Located at entrance to small surface parking lot situated on the west side of Building 1.
Sign Type O – Directional Sign: blade sign directing vehicular traffic to residential parking and to loading areas	10.3 square feet; one sign	Mounted on the building’s frontage on Westpark Drive at its juncture with the building’s driveway to the subterranean parking garage; perpendicular to the building; a minimum of 20 feet above a planter strip. The sign location is on private property, outside of the right-of-way.
Sign Type P – Loading Sign: blade sign directing vehicular traffic to loading areas.	10.3 square feet; one sign	Located along the building’s driveway to the subterranean parking garage; perpendicular to the building; a minimum of 20 feet above a driveway.

LOCATION AND CHARACTER

The project site is located in the northwest quadrant of the intersection of Westpark Drive and Park Run Drive in Tysons Corner. The site is zoned PRM (Planned Residential Mixed Use District). The 13.54 acre property is wedge-shaped, with its apex near the International Drive/Westpark Drive intersection. The wedge expands eastward, towards the property’s Park Run Drive boundary. The development consists of five buildings. The area affected by this CSPA is Building 1, which is located in the westernmost portion of the project site. Building 2 is a residential tower (maximum height of 150 feet, approximately 6,000 square feet of retail) for which construction drawings are being finalized. Building 3 is also a residential tower (maximum height of 150 feet, approximately 6,000 square feet of retail) which is planned for future development. Building 4 is an existing 19-story multifamily residential tower. Lastly, Building 5 is also constructed, consisting of five stories of residential lofts and a Harris Teeter grocery store in the cellar space. The CSPA does not propose changes to signage for Buildings 2 through 5.

The surrounding uses are as follows:

SURROUNDING AREA DESCRIPTION			
Direction	Use	Zoning	Plan
North	Multifamily Residential (The Post Apartments and The Fountains of McLean Condominiums)	R-30	Park/Open Space, Residential Mixed Use
South (opposite site of Westpark Drive)	Multifamily Residential (Lillian Court at Tysons II)	PDH-30	Residential Mixed Use
East (opposite side of Park Run Drive)	Office (Freddie Mac)	C-3	Residential Mixed Use
West	Private open space (The Post Apartments; International Drive)	R-30	Park/Open Space and Residential

BACKGROUND

On January 6, 2003, the Board of Supervisors (BOS) approved RZ 2002-PR-016 to rezone the subject 13.54 acre site from the C-3 District to the Planned Residential Mixed Use (PRM) District in order to permit a high-rise multifamily residential development with single-family attached units and support retail at a 3.0 floor area ratio (FAR) or 1,770,100 gross floor area (GFA). A maximum of 1,354 residential units was proffered. Under the approved conceptual/final development plan (CDP/FDP), a majority of these units (1,296) were multifamily dwelling units contained in four, 150-foot tall, high-rise buildings. Up to 58 units were single-family attached units, located along the eastern perimeter of the site. The applicant also proffered between 30,000 to 53,760 SF of retail and other secondary uses, including a possible grocery store in the westernmost multifamily building (known as High-Rise Building 1).

On August 2, 2004, the BOS approved PCA/FDPA 2002-PR-016 with a seven building layout (Buildings 1, 1A, 2, 3, 3A, 4 & 5) on this site to permit a five-story building (Building 5) with 138 loft units with possible grocery store in the cellar space instead of the previously approved 58 single family attached units. The total number of units (1,354) did not change; however, modifications to the site layout for the four other approved high-rise multifamily buildings were also approved. Applicable excerpts of the approved proffers for PCA 2002-PR-016 are contained in Appendix 5 and approved development conditions for FDPA 2002-PR-016 are contained in Appendix 6.

On October 22, 2008, the Planning Commission approved Comprehensive Sign Plan CSP-PR-016 to allow a monument sign at the corner of Westpark Drive and Park Run Drive, identification signs for the residential buildings, directional signs for all buildings, and signs for the Harris Teeter grocery store.

On May 11, 2010, the Board approved PCA 2002-PR-016-2 which replaced the site's previously approved two 13-story residential buildings along Westpark Drive near its intersection with International Drive, Buildings 1 and 1A, with a new Building 1, a single, six-story multifamily residential building.

COMPREHENSIVE PLAN PROVISIONS

Plan Area:	Area II
Planning Sector:	Tysons Corner Urban Center
Plan Map:	Residential Mixed Use

Relevant plan text can be found in Appendix 4.

ANALYSIS

Comprehensive Sign Plan Amendment (CSPA) (Copy at front of staff report)

Title of CSPA:	Avalon Park Crest
Prepared By:	Art Display Company
Original and Revision Dates:	October 22, 2008 as revised through October 11, 2011

The submitted CSPA describes the new signs proposed for Building 1. These six sheets will be incorporated into the approved CSP. Concurrently, Sheet 3 of the approved CSP, which included potential "placeholder" signs for Buildings 1 and 1A, will be removed. Sheet 3 indicates two signs, a building identification sign and a freestanding directional sign, associated with the previously approved twin 13-floor residential towers. Details of the two signs were not provided.

Park Crest	
Page	Description
1	Details for Type K Internally Illuminated Apartment ID Blade Sign
2	Details for Type L Temporary Banner Sign and North Elevation
3	Details for Type M and N Freestanding Handicap Parking ID and Directional Signs
4	Details for Type O and P Directional Signs
5	NE Elevation
6	Site Plan Showing Sign Locations

Below is a sign chart that compares the proposed signs to that which would be permitted under the Zoning Ordinance. The proposal seeks more sign area for Building 1 than would be permitted in Article 12 of the Zoning Ordinance (approximately 74 square feet of additional sign area), not including temporary signage. The requested temporary signage is 116 square feet in excess of the amount permitted by ordinance.

Sign Type/Description	Zoning Ordinance Section	Article 12 Allowable Sign Area	Number of Proposed Signs	Total Proposed Sign Area	Difference between Proposed vs. Allowable
Sign Type K – apartment complex blade sign	12-202 (2)	12 square feet (s.f.); flush against bldg; not exceeding 30 feet above grade	1	66.67 s.f.	+54.67 s.f., perpendicular to bldg.; up to 40 feet above grade
Sign Type L – temporary banner sign	12-103 (3) (D)	12 s.f.; not exceeding 8 feet above grade	2	70 s.f.	+116 s.f.; over 60 feet above grade
Sign Type M – handicap parking identification signs	12-103 (2) (M)	In accordance with PFM	2	1.72 s.f.	N/A
Sign Type N – leasing office parking directional sign	12-103 (2) (G)	2 s.f.	1	3.5 s.f.	+1.5 s.f.
Sign Type O – residential parking and loading area directional sign	12-103 (2) (G)	2 s.f.	1	10.3 s.f.	+8.3 s.f.
Sign Type P – loading area directional sign	12-103 (2) (G)	2 s.f.	1	10.3 s.f.	+8.3 s.f.

The Sheet 6 of the CSPA at the front of this report indicates the locations of the proposed signs.

Land Use Analysis

Park Crest is a mixed-use development that contains retail and residential uses. The provision of a CSP complements the level of design that is expected of a Planned Development District and provides for a cohesive and harmonious site design that should be beneficial to the nearby residential areas and provide way-finding for visitors to the development as recommended by the Plan language for the Tysons Corner Urban Center.

In reviewing the proposed signs for Building 1, staff identified the following issues:

Blade Sign. The internally illuminated blade sign will consist of black lettering on fabricated aluminum cabinets that are to be painted metallic silver. The blade sign will be installed perpendicular to the Westpark Drive façade, in proximity to the windows of the residential units. Staff was concerned that the light colored background would be translucent and would adversely impact the nearby units.

The adopted proffers and Sect. 14-902 of the Zoning Ordinance require that the background material for signs must be opaque, with only the letters being illuminated. The applicant explained that only the raised letters on this sign will be illuminated and that the blade sign will be located between living room windows. To ensure compliance with the approved proffers and Zoning Ordinance provisions, staff is including the internal illumination provisions in the recommended conditions for this CSPA.

Staff notes that the Zoning Ordinance does not contain provisions specific to blade signs for multifamily residential developments. The closest zoning provisions are those related to building-mounted signs that are flush against the building. For those types of signs, Par.2 of Sect. 12-202 limits the size to 12 square feet and limits the height to a maximum of 30 feet above grade. The Ordinance also permits freestanding signs for multifamily development. For those types of signs, Par. 4 of Sect. 12-202 limits the size to 30 square feet and a maximum height of eight feet. The proposed blade sign will contain approximately 67 square feet and will be mounted with the top of the sign approximately 40 feet above grade. In searching past blade signs associated with multifamily developments, staff came across the blade signs approved earlier this year for the Woodland Park Apartments in the Herndon area. As part of CSPA 2003-HM-046, two double-sided blade signs, to be mounted on opposite ends of the four-story, central apartment building, were approved. Each of those signs contain approximately 47 square feet. Given these previously approved signs, the requested Avalon Park Crest blade sign appears to be proportionate to the six-story building. However, staff notes that the proposed sign contains over five times the maximum square footage

allowed for traditional building mounted signs related to multifamily developments.

The draft design guidelines for Tysons Corner include the following design suggestion regarding Signage and Way Finding Elements:

The scale and materials used for signs should be appropriate to the neighborhood. For instance, monolithic digital or other illuminated signs will be considered on a case by case basis in areas close to the metro and adjacent high concentrations of arts and entertainment uses. Similarly, small scale blade signs or awing signage would be more appropriate for a mixed-use residential neighborhood.

Although not yet being implemented, the draft guidelines may be useful in discussions regarding the appropriateness of the size of the proposed blade sign.

Temporary Banners. The applicant is proposing two temporary banners, each slightly less than 70 square feet in size (15.5 by 4.5 feet) for Building 1. The temporary banners would consist of vinyl material stretched over an aluminum frame. The signs would indicate the availability of the new units for lease. The signs would be mounted on the east and west sides of Building 1, just below the roofline. The signs would be visible from Westpark Drive, International Boulevard, and a short segment of Park Run Drive.

Originally, the applicant requested a single temporary banner containing 240 square feet and visible from the Dulles Airport Access Road (DAAR). Staff expressed concern that this large sign would appear to be a rooftop billboard and would set a precedent for signs for future buildings in Tysons. While temporary banner signs had been approved for similar projects, those signs were substantially smaller in scale, the most recent being 72 square feet. Furthermore, those banners, totaling four for the mixed-use project, were primarily directed towards adjoining streets. Based on subsequent discussions, the applicant modified the request to the two 70 square foot temporary banners.

Sect. 12-210 of the Zoning Ordinance allows, as an alternative within a P district, for an applicant to request approval of a comprehensive plan of signage to obtain flexibility from strict adherence of the provisions of Article 12. One of the findings that must be made in approving a CPS/CPSA is Section 12-210 (4), which states:

The above-cited signage options shall be in accordance with the standards for all planned developments as set forth in Part 1 of Article 16. All proposed signs shall be in scale and harmonious with the development and shall be so located and sized as to ensure convenience to the visitor, user or occupant of the development while not adding to street clutter or otherwise detracting from the planned

unit nature of the development and the purposes of architectural and urban design elements.

Part 1 of Article 16 states that developments must conform to the character and type as recommended within the Comprehensive Plan. Staff believes that the proposed 70 square foot banner signs conform with the Urban Design Principles for the Tysons Corner Urban Center set forth in the Comprehensive Plan.

In addition, Part 1 states that proposed signs should be harmonious with the development and should be located and sized to ensure convenience to the visitor, user or occupant of the development and that the signs should not add to street clutter or otherwise detract from the planned unit nature of the development and the purposes of architectural design elements. Staff determined that the originally proposed 240 square foot sign would not be in scale nor harmonious with the development. While the sign might have provided information to travellers on the DAAR, it did little to ensure the convenience to visitors, users, or occupants of the development (which further heightens staff's concern that this banner is a billboard). The out-of-scale sign would have detracted from the nature of the development and the architectural and urban design elements that the County is striving for Tysons. Staff does not believe this to be the case with the 70 square foot temporary banners. In any case, staff is recommending an initial 12-month time limit for the temporary signs, which can be extended for an additional 12 months if the applicant can demonstrate that less than 90% of the units available for marketing in Building 1 have been leased.

Increase in Signage Square Footage. As previously mentioned, the requested permanent signs would exceed zoning standards by 73 square feet. In addition, the two requested temporary banners would exceed the Zoning standard by a total of 116 square feet. Staff feels this additional square footage is not uncommon for large buildings, especially those adjoining major streets. As shown on the submitted plans, the signage would be contextual to the architecture of the buildings. Therefore, for the permanent signs, staff finds that the deviations from the Zoning Ordinance standards are acceptable. Staff also notes that the recommended provisions regarding time limits will assure that the temporary signs would be removed in after a reasonable period.

Proffer Analysis (Appendix 5)

Park Crest, as discussed above, is subject to proffers that were approved with PCA 2002-PR-016-02. Proffer 3(B)(iv) states that signage will be primarily for residents, tenants, and guests and shall be permitted in accordance with CSP 2002-PR-016, or as may be permitted in accordance with Article 12 of the Zoning Ordinance. The proffer further notes that all signage may be modified by the approval of an amendment to CSP 2002-PR-016. The current application is such an amendment.

Proffer 3(C) states:

No temporary signs (including "popsicle" style paper or cardboard signs) that are prohibited by Article 12 of the Zoning Ordinance, and no signs that are prohibited by Chapter 7 of Title 33.1 or Chapter 8 of Title 46.2 of the Code of Virginia shall be placed on- or off-site by the Applicant or at the Applicant's direction to assist in the advertising, marketing, sale, rental, or leasing of residential dwelling units and any commercial, retail, office, or any other secondary use space, on the Application Property. Furthermore, the Applicant shall direct its agents and employees involved in the advertising, marketing, sale, rental, or leasing of residential dwelling units, and any commercial, retail, office, or any other secondary use space, on the Application Property to adhere to this proffer.

Because the "no temporary signs" provision is modified by the phrase "that are prohibited by Article 12 of the Zoning Ordinance" and because Article 12 permits the approval of CSPs, Proffer 3 does not affect the proposed temporary banner. However, as noted previously in this report, the compliance with the findings for CSPs requires that the banner be reduced in size to an acceptable scale.

Finally, Proffer 15(A) contains a commitment that any illuminated signage shall be internally illuminated unless such signage is located on the side of a canopy where it may be internally illuminated or backlit. Further, the background of any internally illuminations signs shall be opaque with translucent text, or shall be of non-white colors. As conditioned, the proposed signs, including the internally illuminated blade sign, will comply with the applicable proffers.

Environmental Analysis

No environmental issues were identified with this application

Transportation Analysis (Appendix 8)

The Virginia Department of Transportation (VDOT) had noted that the proposed blade sign might be located within the sight lines for an entrance. Once staff informed VDOT that the sign would be at least 22 above grade and would not

extend into the Westpark Drive right-of-way, VDOT determined that the sign conforms to entrance sight line requirements.

No other transportation issues were raised.

Public Facilities Comments (Appendix 9)

The Fairfax County Park Authority, Fairfax County Fire and Rescue Department, and Fairfax County Public Schools had no comments on the CSPA.

The Fairfax County Water Authority commented that permanent type signs and support structures with concrete foots are not allowed within Fairfax Water easements and that any proposed work within existing water main easements will require review and approval from Fairfax Water. Staff is recommending that the appropriate condition be imposed on this application.

Office of Community Revitalization and Reinvestment (OCRR) Analysis (Appendix 10)

OCRR commented that, except for the proposed banner sign, the requested signs were acceptable. OCRR did comment that the proposed banner sign should be reduced in size and should be limited in its duration.

ZONING ORDINANCE PROVISIONS (Appendix 11)

Section 12-210 of the Zoning Ordinance allows the Planning Commission to approve a Comprehensive Sign Plan for developments within a "P" District as an alternative to the provisions contained in Article 12 of the Zoning Ordinance. This provision requires a Comprehensive Sign Plan to show the location, size, height and extent of all signs within the "P" District, or section of the "P" District, as well as the nature of the information being displayed on the signs. In addition, Paragraph 4 of Section 12-210 of the Zoning Ordinance state that all signage shall be in accordance with the general and design standards for all plan developments as set forth in Part 1 of Article 16. Part 1 of Article 16 states that developments must conform to the character and type as recommended within the Comprehensive Plan. As stated in the Land Use Analysis, staff believes that the proposed signs conform with the Urban Design Principles for the Tysons Corner Urban Center set forth in the Comprehensive Plan. In addition, Part 1 states that the proposed signs should be harmonious with the development and should be located and sized to ensure convenience to the visitor, user or occupant of the development and should not add to street clutter or otherwise detract from the planned unit nature of the development and the purposes of architectural design elements.

Staff believes that, with the proposed development conditions set forth in Appendix 1, the proposed CSPA is in conformance with the Zoning Ordinance provisions relative to the requirements for information illustrating location, extent of signage, and information to be displayed.

CONCLUSIONS AND RECOMMENDATIONS

Staff Conclusions

The proposed Comprehensive Sign Plan Amendment is consistent with the adopted Comprehensive Plan, the underlying CDP/FDP, and the underlying proffers. With the imposition of the proposed development conditions, staff believes that the application meets the applicable Zoning Ordinance provisions.

Recommendation

Staff recommends approval of CSPA 2002-PR-016 subject to the development conditions set forth in Appendix 1 of this report.

It should be noted that it is not the intent of staff to recommend that the Planning Commission, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

The approval of this CSPA does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Planning Commission.

APPENDICES

1. Proposed Development Conditions
2. Statement of Justification
3. Park Crest Comprehensive Sign Plan (CSP 2002-PR-016) with Amended Pages
4. Approved Development Conditions for CSP 2002-PR-016
5. Excerpts of Proffers for PCA 2002-PR-016
6. Development Conditions for FDP 2002-PR-016
7. Applicable Comprehensive Plan Provisions
8. Virginia Department of Transportation Analysis
9. Public Facilities Analysis
10. Office of Community Revitalization and Reinvestment Analysis
11. Applicable Zoning Ordinance Provisions
12. Glossary

PROPOSED DEVELOPMENT CONDITIONS**CSPA 2002-PR-016****October 11, 2011**

If it is the intent of the Planning Commission to approve CSPA 2002-PR-016, located at Tax Map 29-4 ((7)) A9, D, E; 29-4 ((13)) C1, 102-105, 107-109, 113-117, 201-219, 301-319, 401-419, 501-519, 601-619, 701-719, 801-819, 901-919, 1001-1019, 1101-1119, 1201-1219, 1301-1319, 1401-1419, 1501-1519, 1601-1619, 1701-1703, 1705-1719, 1801-1802, 1808, 1810, 1812, 1814, 1816, 1818, 1819, 1901-1902, 1906, 1908, 1910, 1912, 1914, 1916, 1918, 1919, and 29-4 ((14)) C1, 1C to allow a Comprehensive Sign Plan Amendment (CSPA) pursuant to Section 12-210 of the Fairfax County Zoning Ordinance, to permit amendment of CSP 2002-PR-016 to provide signage for a multiple family residential building, staff recommends that the Planning Commission condition the approval by requiring conformance with the following development conditions. These development conditions incorporate and supersede the previous conditions approved by the Planning Commission for CSP 2002-PR-016 on October 22, 2008. Carry over conditions that were not changed by the amendment are denoted with an asterisk.

- 1.* This Comprehensive Signage Plan is granted for and runs with the land indicated in this application and is not transferrable to other land. Minor deviations in sign location, design, and area may be permitted provided the Zoning Administrator determines that such deviations are minor and are in substantial conformance with the Comprehensive Signage Plan.
2. This "Comprehensive Sign Package: Park Crest" consists of the Park Crest sign package (prepared by Art Display Company on December 12, 2007, as revised through March 28, 2008), Park Crest Entry Feature (prepared by Lewis, Scully and Gionet on April 11, 2008 and May 14, 2008), Sign Package Submittal for Harris Teeter #302 @ Tyson's Corner, VA (prepared by Casco Signs Incorporated September 28, 2007, as revised through September 23, 2008) and Sign Package Submittal for Avalon Park Crest Signs (Building 1) Sheets 1-6 (prepared by Art Display Company on October 11, 2011) and as qualified by these development conditions. In addition, signs allowed by Section 12-103 of the Zoning Ordinance may be permitted, as qualified by these development conditions.

Any sign permit for the signs listed above submitted pursuant to this CSP shall be in substantial conformance with these conditions. Minor deviations in sign location, design (such as shape, font, text and colors), and sign area of the signs present in the CSP may be permitted when the Zoning Administrator determines

that such deviations are minor and are in substantial conformance with this CSP. Signs otherwise allowed by Article 12, Signs in the Zoning Ordinance are also permitted, unless qualified by these development conditions.

- 3.* A matrix for signage shall be provided to the Zoning Administrator prior to the issuance of the first sign permit and all subsequent sign permits. The matrix shall include the participant name, address, sign type, sign height, sign area, Non-Residential Use Permit number, and/or any other pertinent information deemed necessary by the Zoning Administrator in order to allow sufficient tracking of all signage to be provided on site. Each sign permit shall be accompanied by a letter from the property owner, manager, and or/agent of the property stating that the requested sign has been reviewed for compliance with this approval.
- 4.* Traffic regulatory signage shall meet the Manual of Uniform Traffic Control Devices (MUTCD) and Virginia Department of Transportation (VDOT) standards.
- 5.* All freestanding permanent signs shall maintain a minimum five-foot setback from any curb line, walkway, street right-of-way or other pedestrian or vehicular travel way.
- 6.* Pursuant to Section 2-505 of the Zoning Ordinance, all freestanding signs shall be located so as not to restrict sight distance for drivers entering or exiting travel intersections, aisles, or driveways.
- 7.* At least 40 square feet of sign area shall be reserved for use by the Fairfax County Park Authority for signage and the Fairfax County Park Authority logo may be placed on signs relating to the proffered linear park.
- 8.* Illumination of signs shall be in conformance with the Lighting Proffer as approved with PCA 2002-PR-016-2. As such, any illuminated signage shall be internally illuminated, unless such signage is located on the sides of a canopy in which case it may be internally illuminated or backlit. The background of any internally illuminated signs shall be opaque with translucent text, or shall be of non-white colors. Otherwise, the illumination of signs shall be in conformance with the performance standards for glare as set forth in Part 9 of Article 14 of the Zoning Ordinance.
- 9.* All signs shall be consistent with the color palette, typography, and the use of logos as indicated in the CSP. The metallic arch to be located on the monument sign at the corner of West Park Drive and Park Run Drive shall be of a non-reflective metallic material in a satin or matte finish to reduce reflection and glare.
- 10.* The proposed landscaping within the CSP shall be in substantial conformance with the landscaping as previously approved by PCA 2002-PR-016-2 as to the location, quantity, and quality of plantings.

- 11.* All landscaping located near any sign shall be maintained regularly to prevent overgrowth from obstructing the visibility of the sign.
12. All temporary signage shall conform to Article 12 of the Zoning Ordinance. In addition, Sign Type L, the two temporary leasing banners for Building 1, shall be limited to a maximum of 70 square feet and shall require approval of an individual sign permit that shall be valid for a maximum of 12 months. If, at the expiration of the initial 12-month period, it can be demonstrated to the satisfaction of the Zoning Administrator that less than 90% of the units available for marketing in Building 1 have been leased, then the Zoning Administrator may administratively grant a single 12-month extension of the temporary sign.
13. Permanent type signs and support structures with concrete footers shall not be placed within Fairfax Water easements. Any proposed sign work within existing water main easements will require review and approval from Fairfax Water prior to sign permit issuance and/or ground disturbance.

The above-proposed conditions are staff recommendations and do not reflect the position of the Planning Commission unless and until adopted by that Commission.

This approval, contingent upon the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. Sign permits must be obtained from Fairfax County for each and every sign erected pursuant to this Comprehensive Sign Plan. The applicant shall be himself responsible for obtaining the required Sign Permits through established procedures.



Sara V. Mariska
(703) 528-4700 Ext. 5419
smariska@arl.thelandlawyers.com

**WALSH COLUCCI
LUBELEY EMRICH
& WALSH PC**

June 17, 2011

Via Hand Delivery

Barbara C. Berlin, Director
Fairfax County Department of Planning & Zoning
Zoning Evaluation Division
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035

Re: Proposed Comprehensive Sign Plan Amendment
Applicant: Avalon Park Crest, LLC
Fairfax County Tax Map Reference: 29-4 ((7)) A9, D, E; 29-4 ((13)) C1, 102-105, 107-109, 113-117, 201-219, 301-319, 401-419, 501-519, 601-619, 701-719, 801-819, 901-919, 1001-1019, 1101-1119, 1201-1219, 1301-1319, 1401-1419, 1501-1519, 1601-1619, 1701-1703, 1705-1719, 1801-1802, 1808, 1810, 1812, 1814, 1816, 1818, 1819, 1901-1902, 1906, 1908, 1910, 1912, 1914, 1916, 1918, 1919, and 29-4 ((14)) C1, 1C (the "Subject Property")

Dear Ms. Berlin:

Please accept this letter as a statement of justification for a comprehensive sign plan amendment application on property identified as Fairfax County tax map 29-4 ((7)) A9, D, E; 29-4 ((13)) C1, 102-105, 107-109, 113-117, 201-219, 301-319, 401-419, 501-519, 601-619, 701-719, 801-819, 901-919, 1001-1019, 1101-1119, 1201-1219, 1301-1319, 1401-1419, 1501-1519, 1601-1619, 1701-1703, 1705-1719, 1801-1802, 1808, 1810, 1812, 1814, 1816, 1818, 1819, 1901-1902, 1906, 1908, 1910, 1912, 1914, 1916, 1918, 1919, and 29-4 ((14)) C1, 1C.

The Subject Property contains approximately 13.54 acres and is located in the northwest quadrant of the intersection of Westpark Drive (Route 5601) and Park Run Drive (Route 6062). On January 6, 2003, the Board of Supervisors (the "Board") approved RZ 2002-PR-016 to rezone the Subject Property from the C-3 District to the PRM District in order to permit a high-rise multi-family residential development with single-family attached units and support retail at a 3.0 floor area ratio ("FAR") or 1,770,100 square feet of gross floor area ("GFA"). A maximum of 1,354 residential units were proffered. On August 2, 2004, the Board approved PCA/FDPA 2002-PR-016. This approval eliminated the previously proposed single-family attached units to allow a five-story building with 138 loft units and grocery store in the cellar space. The approval also permitted modifications to the site layout of the four previously approved high-rise multi-family buildings.

On May 11, 2010, the Board approved PCA 2002-PR-016-2 subject to proffers dated May 7, 2010 (the "Proffers") subsequent to the Planning Commission's approval of FDPA 2002-

PR-016-2 on April 22, 2010. The approval modified the previously approved development plan to allow construction of a single six-story multifamily residential building (Building 1) in lieu of the two (2) thirteen (13) story residential buildings that were originally shown on the CDP/FDP. Building 1 is comprised of 354 units, or a total of approximately 353,802 square feet of gross floor area.

Prior to the most recent proffered condition amendment/final development plan amendment, the Planning Commission approved Comprehensive Sign Plan CSP-PR-016 on October 22, 2008 to allow a monument sign at the corner of Westpark Drive and Park Run Drive, identification signs for the residential buildings, directional signs for all buildings, and signs for the Harris Teeter grocery store. Currently, Buildings 4 (the 19-story multifamily tower) and Building 5 (the 5-story lofts), as well as a Harris Teeter grocery store in the cellar space of Building 5 have been constructed. The monument sign, Harris Teeter signs, and signs for the existing portion of Park Crest have been installed. I have enclosed a copy of the previously approved Comprehensive Sign Plan for reference.

The Applicant purchased a portion of the Park Crest development identified as Fairfax County tax map reference 29-4 ((7)) E and has received site plan approval to construct a six-story multi-family building identified as Building 1. As noted above, subsequent to the approval of the Comprehensive Sign Plan, the Board modified the layout and size of Building 1. Signs for Building 1 were not designed at the time of the prior Comprehensive Sign Plan approval and three (3) different sign types and specific sizes were specified as placeholders for the future Building 1. The Applicant now seeks to amend the approved Comprehensive Sign Plan to supplement and clarify the proposed signs for Building 1. The Applicant proposes no changes to the approved signs for the balance of the Subject Property and proposes only to modify the signs that were previously approved for Building 1.

The Park Crest development is a large-scale, urban, mixed-use development in Tysons Corner. Based on the size and scope of development, appropriate signage is crucial to establish an identity for the community, identify individual portions of the community, and direct pedestrians and motorists through the development. The scale of the buildings and the access to the community, suggests that meaningful signage needs to be larger than is typically contemplated under the Fairfax County Zoning Ordinance. Additionally, coordinated and complementary signage is vital in establishing a sense of place and creating a cohesive development.

The Applicant proposes identification, directional, and temporary signs for Building 1. I have enclosed seven (7) sheets prepared by Art Display Co. that provide detailed information on the nine (9) signs proposed for Building 1. The proposed signs include the following:

- Sign Type K – Internally Illuminated Blade Signs (one sign)
- Sign Type L – Temporary Building Banner (one sign);
- Sign Type M – Parking Signs (two signs);
- Sign Type N – Parking Sign (one sign);
- Sign Type O – Directional Parking Sign (one sign);

- Sign Type P – Loading Sign (one sign);
- Sign Type Q – Leasing Office Sign (one sign);
- Sign Type R – Leasing Office Directional Sign (one sign).

The plans include information on the proposed size, colors, and materials for each sign. I have also updated the previously approved sign matrix to reflect the addition of the proposed signs.

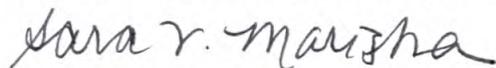
The proposed signs are necessary to identify Building 1 within the Park Crest development and help residents and visitors easily locate the building and associated parking. Because of the limited access points to the Park Crest development, combined with the limited amount of surface parking areas, identification and directional signs are critical to the success of the development. The Applicant has carefully designed the signs for Building 1 to identify the residential building and clearly direct both pedestrians and motorists. The Applicant has also provided for a temporary leasing sign as well as signs to identify the leasing office. The signage is unified by color and the Avalon Park Crest logo to provide coordinated and complementary signage for Building 1. The typography, color, and materials of the proposed signs for Building 1 also complement the previously approved signs for the Park Crest Development. The signs proposed for Building 1 are in keeping with the size, scale, typography, color, and materials of the previously approved signs for the balance of the Park Crest Development.

In sum, the Applicant simply proposes to modify the previously approved sign plan to provide specific signs for Building 1. Although the previously approved Comprehensive Sign Plan provided placeholders for signs for future Building 1, the Comprehensive Sign Plan approval occurred prior to the Board's most recent proffered condition amendment/final development plan amendment that slightly modified the layout and design of Building 1. The Applicant now proposes specific signs that will identify the building, direct residents and visitors to the building, and serve to unify the proposed building with the remainder of the Park Crest development.

Should you have any questions regarding the enclosed, or should you require additional information, please do not hesitate to give me a call. I would appreciate the acceptance of this application and the scheduling of a public hearing before the Fairfax County Planning Commission at your earliest convenience. As always, I appreciate your cooperation and assistance.

Very truly yours,

WALSH, COLUCCI, LUBELEY, EMRICH & WALSH, P.C.



Sara V. Mariska

cc: Chris Helsabeck Lynne J. Strobel Martin D. Walsh

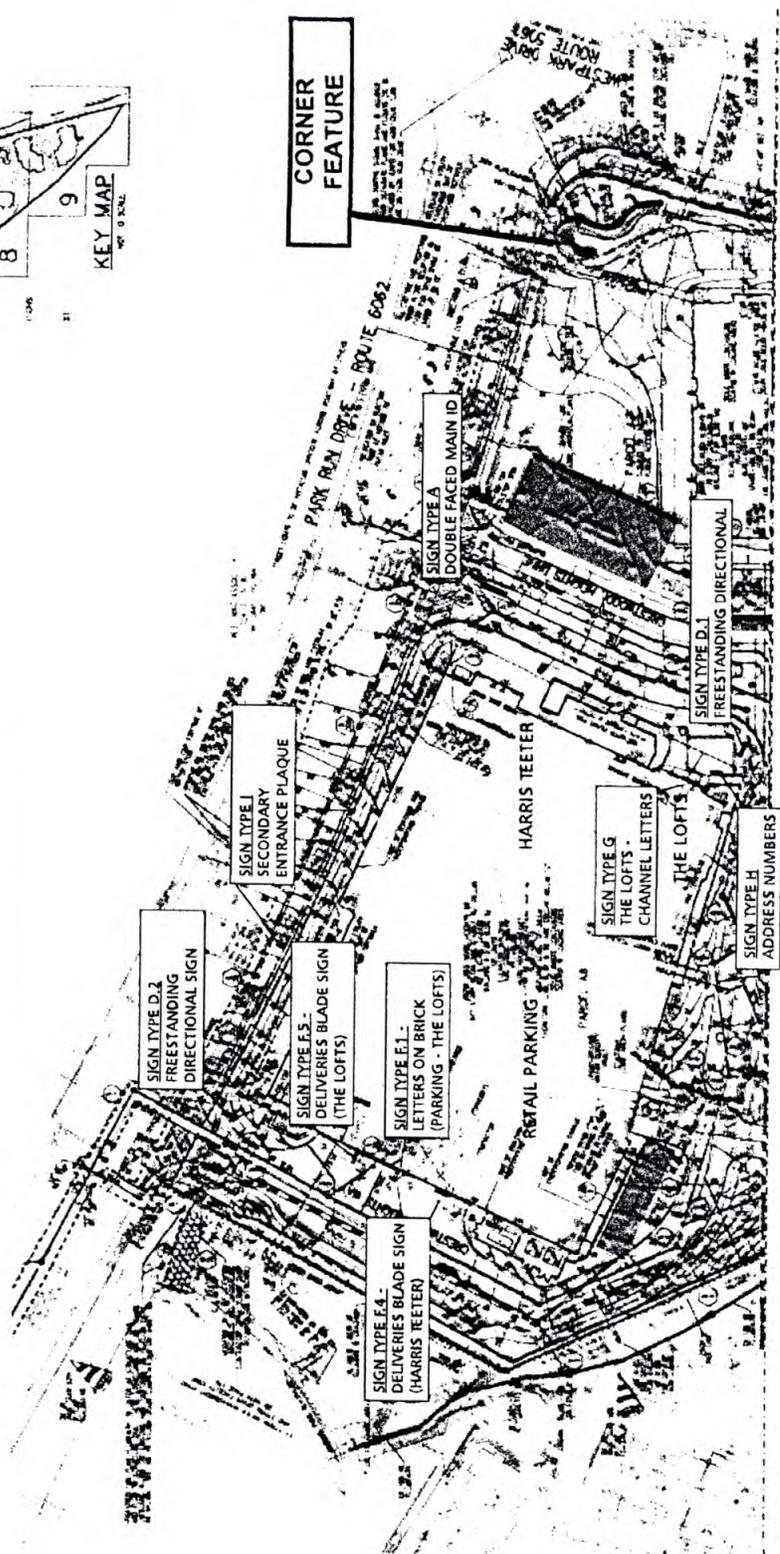
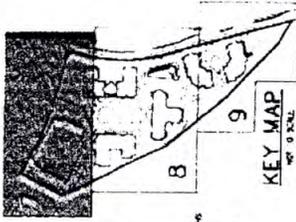
Application No. CSP 2002-PR-016 Staff S.W.

APPROVED SEC CSP PLAN

SEE DEV CONDS DATED 10.22.08

Date of (BOS) (BZA) approval 10.22.08

Sheet 1 of



CONTINUED ON PAGE 7

PREPARED AND PROVIDED BY:

ARTUSKYAN CO
481 HAMPTON PARK BLVD.
CAPTIV, HEIGHTS, MD 20743
TEL: 301-732-1100
FAX: 301-732-1100
WWW.ARTUSKYAN.CO

ARTUSKYAN CO IS AN EQUAL OPPORTUNITY AND AFFIRMATIVE ACTION EMPLOYER. WE DO NOT DISCRIMINATE ON THE BASIS OF RACE, GENDER, RELIGION, NATIONAL ORIGIN, ANCESTRY, AGE, SEX, OR HANDICAP.

CLIENT

PARK CREST

SALESPERSON
ARTHUR GOLDBERG
DESIGNER
DIANA CHESHMEDIEV

REVISIONS

NO.	BY	DATE
1	DC	1/27/07
2	DC	1/28/07
3	DC	2/6/07
4	DC	2/25/07
5	VS	3/26/08
6	VS	3/18/08

APPROVED BY

CLIENT _____
SALESPERSON _____
PRODUCTION _____
INSTALLATION _____
NOTES _____

Application No. DS# 2002-PR-014 Staff S. Lu

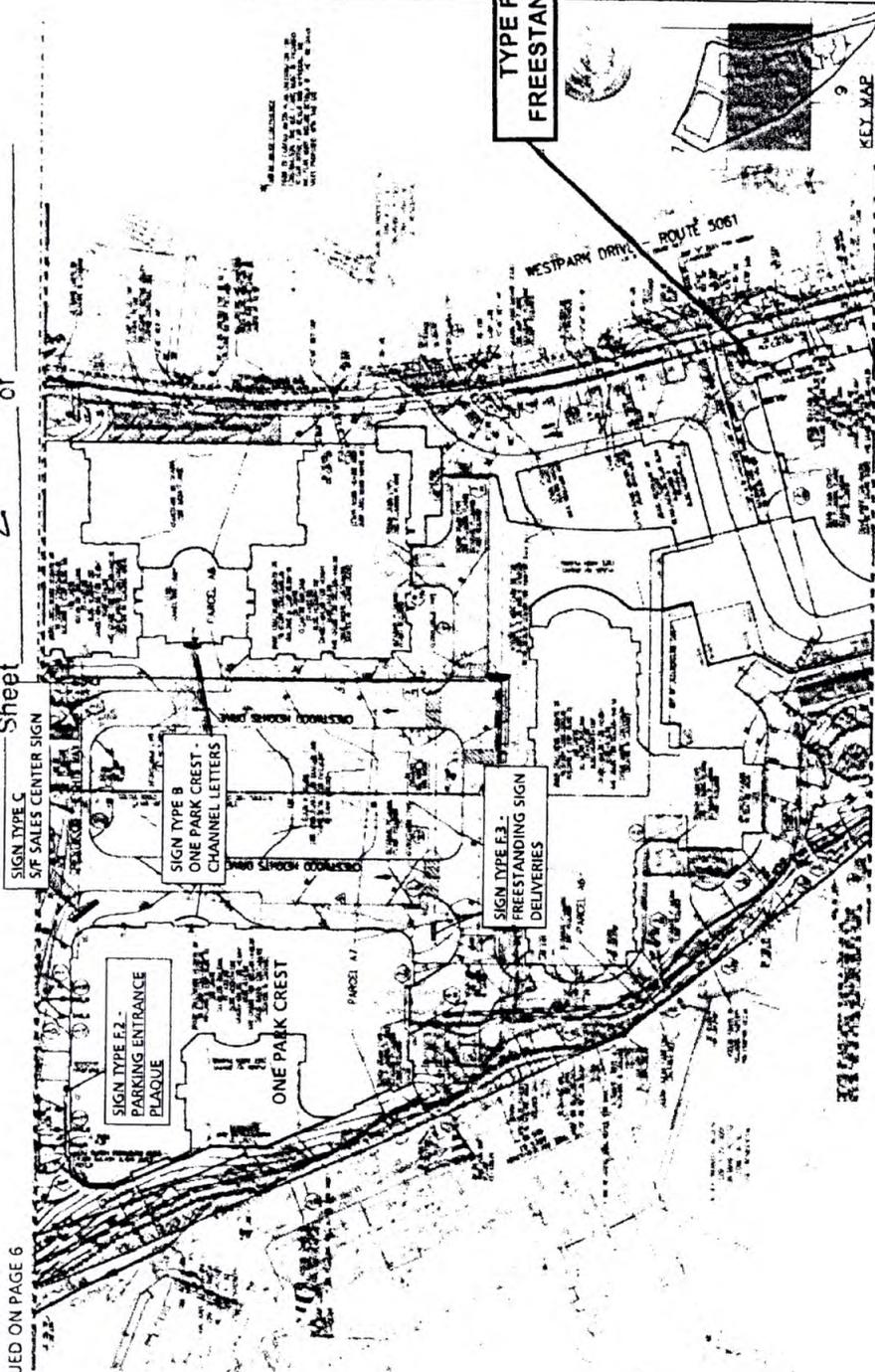
APPROVED SEC SP PLAN

SEE DEV CONDS DATED 10-22-08

Date of (BOS) (BZA) approval 10-22-08

Sheet 2 of

CONTINUED ON PAGE 6



TYPE F.3
FREESTANDING

KEY MAP

PREPARED AND PROVIDED BY:
ART DISPLAY CO.
401 HAMPTON PARK BLVD.
CAPTOD HEIGHTS, MD 20743
PH: 246-765-1100
FAX: 246-765-1101
WWW.ARTDISPLAYCO.COM

DESIGNED BY: ARTHUR GOLDBERG
DRAWN BY: DIANA GIESHEDIEV
DATE: 12/12/07

CLIENT
PARK CREST

SALESPERSON
ARTHUR GOLDBERG
DESIGNER
DIANA GIESHEDIEV

NO.	BY	DATE
1	DC	12/12/07
2	DC	1/24/07
3	DC	2/6/07
4	DC	2/25/07
5	VS	3/20/08
6	VS	3/28/08

APPROVED BY:
DATE:

SALES/PM
PRODUCTION
INSTALLATION
NOTES

SAVED AS: 2429-06dc vs Donchase - Park Crest (Exterior Signs)
PAGE: 12



Application No. OSP 2002-PR-011 Staff S. W. W.
 APPROVED SE OSP PLAN
 SEE DEV CONDS DATED 10-22-08
 Date of (BOS) (BZA) approval 10-22-08
 Sheet 3 of

- NOTES:
- ALL CHANGE ORDER REQUESTS SHALL BE ACCORDING TO THE CITY ORDINANCE (FOR PUBLIC WORKS)
 - SOIL BORE CORINGS LOCATED IN DRAWING
 - THIS IS AN INTER-CITY STREET OVER ALL PRIVATE PROPERTIES
 - ALL UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE VERIFIED BY THE CONTRACTOR BEFORE ANY CONSTRUCTION BEGINS
 - SEE SHEET 2 FOR PAVEMENT AND PUBLIC UTILITY DRAWINGS

- REMARKS:
- THE WALL SHALL BE CONSTRUCTED WITH CONCRETE AND SHALL BE FINISHED WITH PAVEMENT
 - THE WALL SHALL BE CONSTRUCTED WITH CONCRETE AND SHALL BE FINISHED WITH PAVEMENT
 - THE WALL SHALL BE CONSTRUCTED WITH CONCRETE AND SHALL BE FINISHED WITH PAVEMENT
 - THE WALL SHALL BE CONSTRUCTED WITH CONCRETE AND SHALL BE FINISHED WITH PAVEMENT
 - THE WALL SHALL BE CONSTRUCTED WITH CONCRETE AND SHALL BE FINISHED WITH PAVEMENT

SCALE 1" = 30'
 DATE 11/27/05
 TYPICAL REVISIONS

PARK CREST

Application No. OSP 1002-R-016 Staff SLM
APPROVED SE OSP PLAN
SEE DEV CONDS DATED 10-22-08
Date of (BOS) (BZA) approval 10-22-08
Sheet 4 of _____

Sign Package Prepared by:



PREPARED AND PROVIDED BY:



401 HAMILTON PARK BLVD.
 CAPITOL HEIGHTS, MD 20743
 PH: 202-342-1000
 WWW.PARKCREST.COM

THE FOLLOWING INFORMATION IS FOR YOUR INFORMATION ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

CLIENT

SALESPERSON

DESIGNER

DATE

REVISIONS

NO.	DATE	DESCRIPTION
1	DC 12/12/07	
2	DC 12/12/07	
3	DC 2/8/07	
4	DC 2/13/07	
5	VS 3/28/08	
6	VS 3/28/08	

APPROVED BY

DATE

PROJECT

PRODUCTION

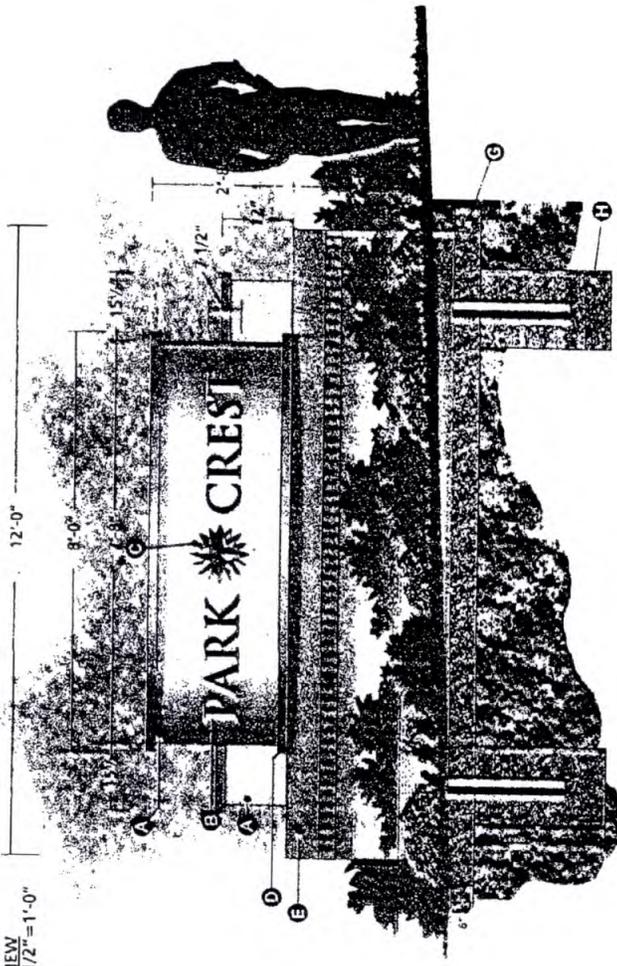
INSTALLATION

NOTES

SAVED AS 2429-0606 vs Donohoe - Park Crest (Exterior Signs)

PAGE 1

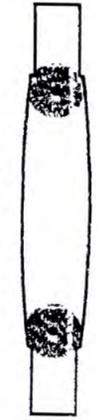
FRONT VIEW
 SCALE: 1/2" = 1'-0"



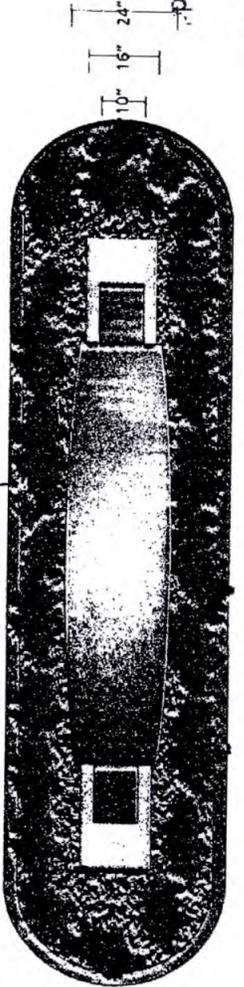
(1x) Non Illuminated D/F Main ID Sign

- A Fabricated aluminum cabinet with curved faces to be painted Matthews Neutral Solid Mp05658
- B Cut out S-thick aluminum letters sprayed Matthews Gold Metallic Mp20358. Letters to be mounted 1" offset from sign face.
- C Icon fabricated in 3 dimensions and sprayed Matthews Gold Metallic Mp20358. Logo to be mounted 1" offset from sign face.
- D 2" caps painted Matthews Neutral Solid Mp05758.
- E Fabricated aluminum sign base to be painted Matthews Neutral Solid Mp05658 with 1/4" thick aluminum tiles painted Matthews Neutral Solid Mp05758.
- F Planter.
- G 6" concrete pad.
- H 1.8" diameter concrete footers with 4" diameter steel tubing.

Footers Details



2P VIEW
 SCALE: 1/2" = 1'-0"



Application No. CSP 2002-R2-DK Staff S-LU

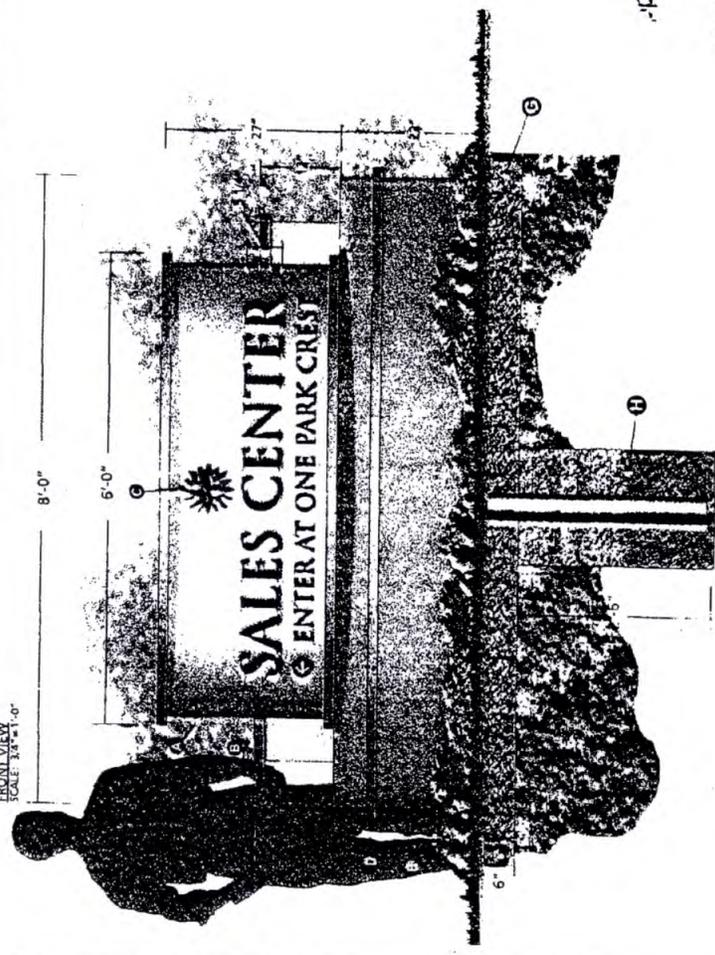
APPROVED SE (SP) PLAN

SEE DEV CONDS DATED 10-22-08

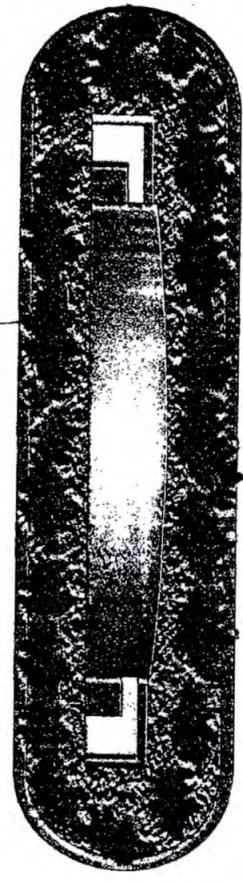
Date of (BOS) (BZA) approval 10-22-08

Sheet 5 of

FRONT VIEW
SCALE: 3/4" = 1'-0"



TOP VIEW
SCALE: 3/4" = 1'-0"



(1x) Non Illuminated S/F Second ID Sign

- A Fabricated aluminum cabinet with curved faces to be painted Matthews Neutral Solid Mp05658
- B Cut out 5" thick aluminum letters sprayed Matthews Gold Metallic Mp20358. Letters to be mounted 1" offset from sign face.
- C Icon fabricated in 3 dimensions and sprayed Matthews Gold Metallic Mp20358. Logo to be mounted 1" offset from sign face.
- D 2" h caps painted Matthews Neutral Solid Mp05758.
- E Fabricated aluminum sign base to be painted Matthews Neutral Solid Mp05658.
- F Planter.
- G 6" concrete pad.
- H 18" diameter concrete footers with 4" diameter steel tubing.

Application No. CSP 1002 PR-06 Staff S-U-1

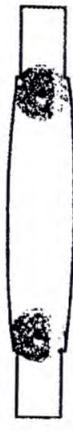
APPROVED SEC CSP PLAN

SEE DEV CONDS DATED 10.22.08

Date of (BOS) (BZA) approval 10.22.08

Sheet 6 of

Footers Details



PREPARED AND PROVIDED BY: **HASI LUSTAY CO.**
 401 HAMPTON PARK BLVD.
 CAPITOL HEIGHTS, MD 20743
 (301) 346-1514
 WWW.HASILUSTAYCO.COM

NOTICE: THESE DRAWINGS ARE THE PROPERTY OF HASI LUSTAY COMPANY. NO PART OF THESE DRAWINGS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HASI LUSTAY COMPANY.

CLIENT: **PARK CREST**

SALESPERSON: **ARTHUR GOLDBERG**

DESIGNER: **DIANA CHEKHMEDIEV**

REV	DATE	DESCRIPTION
1	DC 1/21/07	
2	DC 1/28/07	
3	DC 2/09/07	
4	DC 2/15/07	
5	VS 2/10/08	
6	VS 3/18/08	

APPROVED BY: _____

CLIENT: _____

DATE: _____

PROJECT: _____

LOCATION: _____

SCALE: _____

NOTES: _____

SAVED AS 74279-06dc - Park Crest (Elevator Sign)

PAGE: 2

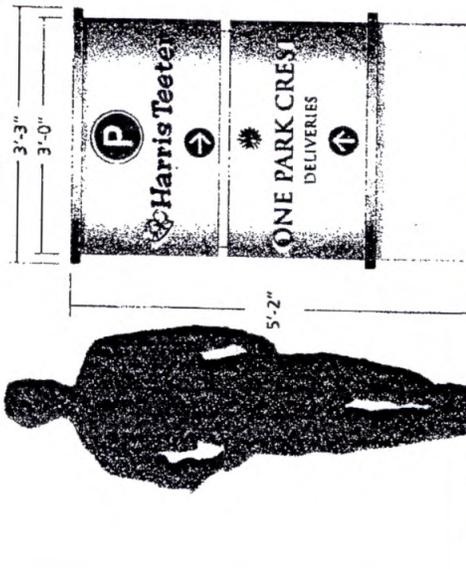
**SIGN TYPE D
FREESTANDING DIRECTIONAL**

Non illuminated signs with curved faces.
Copy & arrows to be cut out white acrylic
and applied vinyl (colors to be determined).

FRONT VIEW
SCALE: 1/4" = 1'-0"



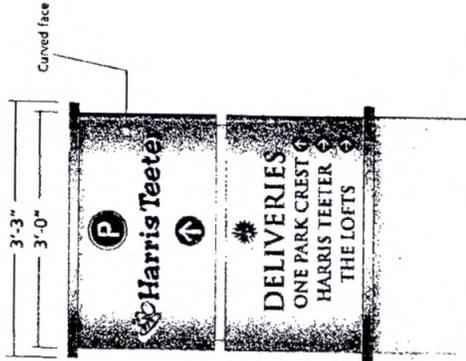
SIGN TYPE D.1



FRONT VIEW
SCALE: 1/4" = 1'-0"

Application No. CSP 2002-12-06 Staff S. Um
APPROVED SIGN PLAN
SEE DEV CONDS DATED 10-22-08
Date of (BOS) (BZA) approval 10-22-08
Sheet 7 of

SIGN TYPE D.2



PREPARED AND PROVIDED BY:

 905 INNOVATION PARK BLVD.
 CAPITOL HEIGHTS, MD 20743
 (301) 443-7850
 WWW.PARKCRESTSIGNS.COM

SALES/PERSON: ARTHUR GOLDBERG
DESIGNER: DIANA GIESHEMEDIEV

REVISIONS:

REV.	BY	DATE
1	DC	1/27/07
2	DC	1/28/07
3	DC	2/9/07
4	DC	2/15/07
5	VS	3/10/08
6	VS	3/7/08

APPROVED BY:

 TITLE:
 PROJECT:
 INSTALLATION:
 NOTES:

CLIENT:
PARK CREST

SAVED AS: 2429-06dc - Park Crest (Exterior Signs)
PAGE 3

PREPARED AND PROVIDED BY:
ART DESIGN CO
 401 HAMPTON PARK BLVD.
 CAPITOL HEIGHTS, MD 20743
 PH: 240-782-1608
 FAX: 240-782-1601
 WWW.ARTDESIGNCO.COM

RELIEFS AND MATERIALS TO BE USED
 MUST BE APPROVED BY THE ARCHITECT
 AND MUST BE SPECIFIED IN THE CONTRACT
 BEFORE ANY WORK BEGINS.
 WE ARE NOT RESPONSIBLE FOR ANY
 DAMAGE TO PROPERTY OR PERSONS
 ARISING FROM THE USE OF THIS
 DRAWING OR FROM ANY MATERIALS
 USED IN CONNECTION WITH IT.

CLIENT:
PARK CREST

SALESPERSON:
 ARTHUR GOLDBERG
 DESIGNER:
 DIANA CHEMIDIEV

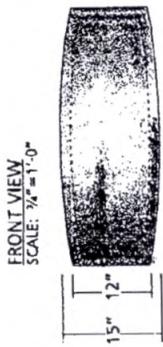
REVISIONS

NO.	BY	DATE
1	DC	12/2/07
2	DC	1/28/07
3	DC	2/6/07
4	DC	2/7/07
5	VS	2/20/08
6	VS	3/18/08

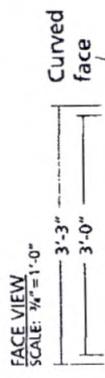
APPROVED BY:
 CLIENT
 DESIGNER
 PRODUCTION
 RETAIL/TRADE
 NOTES

SAVED AS 24792.dwg v Donohoe - Park Crest (Exterior Signs) PAGE 4

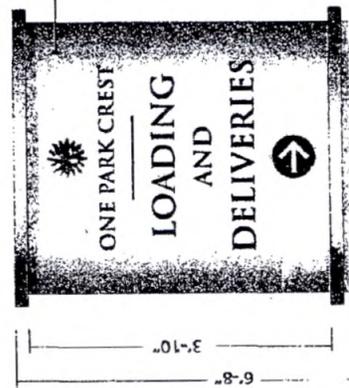
SIGN TYPE E3 - FREESTANDING SIGN (DELIVERIES)



FRONT VIEW
 SCALE: 3/4" = 1'-0"



FACE VIEW
 SCALE: 3/4" = 1'-0"



Non illuminated signs with curved faces.
 Copy & arrows to be cut out white acrylic

Application No. 2008-11-015 (colors to be determined) S. 117

APPROVED SE(C)SP PLAN

SEE DEV CONDS DATED 10.22.08

Date of (BOS) (BZA) approval 10.22.08

Sheet 8 of

SIGN TYPE F1 - LETTERS ON BRICK (PARKING - THE LOFTS)

FACE VIEW
 SCALE: 3/4" = 1'-0"



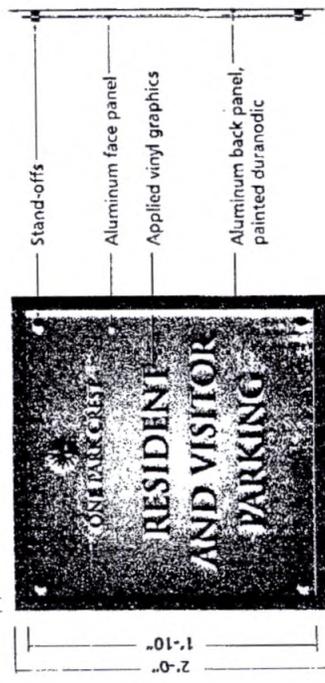
RESIDENT AND VISITOR PARKING

1/2" deep fabricated stainless steel letters (finish to be specified); stud mounted flat against brick wall.

SIGN TYPE F2 - PARKING ENTRANCE PLAQUE

FACE VIEW
 SCALE: 1 1/2" = 1'-0"

SIDE VIEW
 SCALE: 1 1/2" = 1'-0"



PREPARED AND PROVIDED BY:



401 HAMPTON PARK BLVD.
 CAPITOL HEIGHTS, MD 20743
 TEL: 301-278-1100
 FAX: 301-278-1140
 WWW.ARTISTS-W/LO.COM

DESIGN AND CONSTRUCTION OF ALL SIGNS AND GRAPHIC ELEMENTS TO BE PROVIDED BY THE CLIENT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

NOTES: THESE SIGNS ARE TO BE CONSTRUCTED BY ARTISTS W/LO AND SHALL BE THE PROPERTY OF ARTISTS W/LO. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

CLIENT:

PARK CREST

SALESPERSON:

ARTHUR GOLDBERG

DESIGNER:

DIANA CHERMEDIEV

REVISIONS

NO.	BY	DATE
1	DC	12/2/07
2	DC	1/28/07
3	DC	2/8/07
4	DC	2/23/07
5	VS	3/25/08
6	VS	2/18/08

APPROVED BY:

DATE:

SALES:

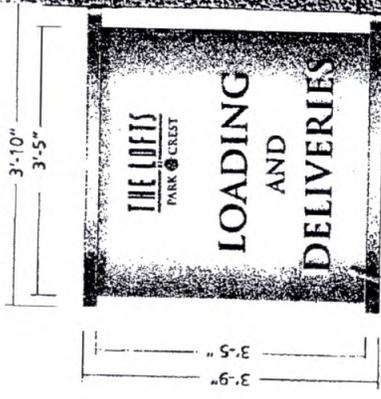
PRODUCTION:

INSTALLATION:

NOTE:

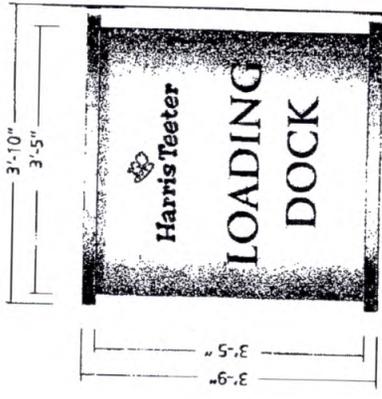
SIGN TYPE E.5 - DELIVERIES BLADE SIGN (THE LOFTS)

FACE VIEW
 SCALE: 1/4" = 1'-0"



SIGN TYPE E.4 - DELIVERIES BLADE SIGN (HARRIS TEETER)

FACE VIEW
 SCALE: 1/4" = 1'-0"



Non-illuminated signs with curved faces. Copy & logos to be applied vinyl (colors to be determined).

Application No. CSF 2008-PR-06, Staff SMW

APPROVED SE(CSP) PLAN

SEE DEV CONDS DATED 10-22-08

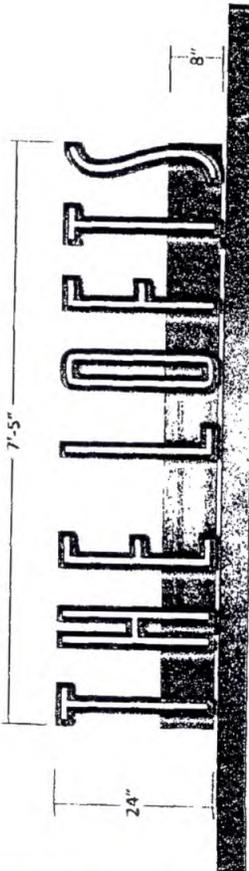
Date of (BOS) (BZA) approval 10-22-08

Sheet 9 of 10

SAVED AS 2429-06dc vs Donohoe - Park Crest (Exterior Signs)

SIGN TYPE G
CHANNEL LETTERS

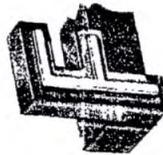
FRONT VIEW
SCALE: 3/8" = 1'-0"



(1x) set of custom channel letters

Fabricated aluminum letters painted silver with cut-in, push-through translucent white acrylic centers. 8" h silver raceway behind letters. Raceway and letters to be installed on top of existing metal canopy. Approximate weight of the construction is 80lbs.

PERSPECTIVE VIEW
NOT TO SCALE



Application No. CSP 2002-P2-016 Staff SLM

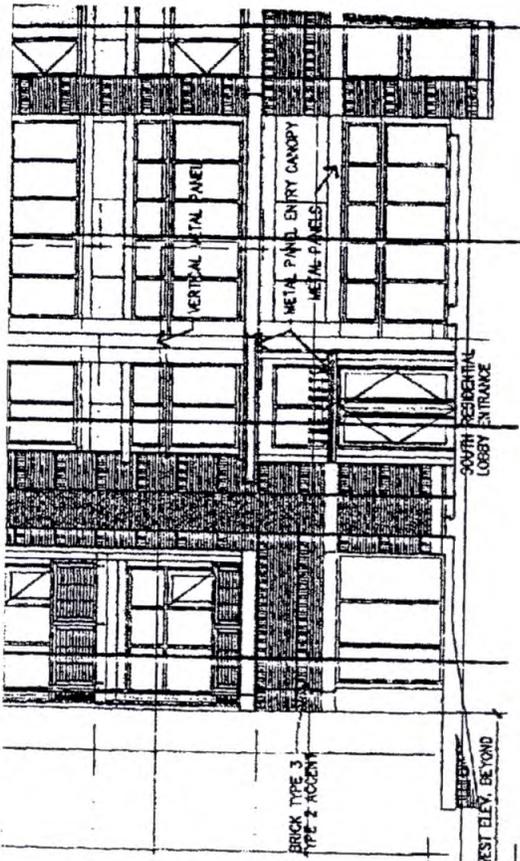
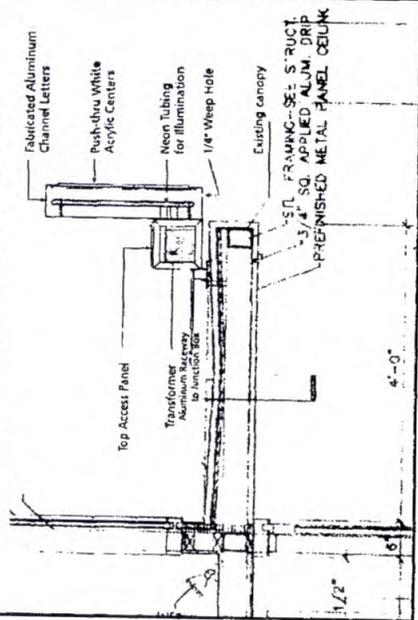
APPROVED SE(CSP) PLAN

SEE DEV CONDS DATED 10.12.06

Date of (BOS) (BZA) approval 10.12.06

Sheet 10 of

CHANNEL LETTER ON RACEWAY - SECTION DETAIL



PREPARED AND PROVIDED BY:



401 HAMPTON PARK BLVD.
CAPTOL HEIGHTS, MD 20743
PH 240-765-1488
FAX 240-765-1481
WWW.ARTDESIGNCO.COM

DESIGN AND CONSTRUCTION OF SIGN
SYSTEMS FOR BUILDINGS AND INTERIORS
AND EXTERIOR SIGNAGE
FOR THE FOLLOWING INDUSTRIES:
HOTEL, RESTAURANT, RETAIL, OFFICE,
SCHOOL, HEALTH CARE, MANUFACTURING,
INDUSTRIAL, TRANSPORTATION, AND
RECREATION.

CLIENT:

PARK CREST

SALESPERSON:

ARTHUR GOLDBERG

DESIGNER:

DIANA CHERKHEDEYEV

REVISIONS:

NO.	BY	DATE
1	DC	12/12/07
2	DC	1/28/07
3	DC	2/6/07
4	DC	2/25/07
5	VS	3/20/08
6	VS	3/28/08

APPROVED BY:

CLIENT

SALESPERSON

PRODUCTION

INSTALLATION

NOTES

SAVED AS 2429-08dc vs Donohoe - Park Crest (Elevation Signs)

PAGE: 6

PREPARED AND PROVIDED BY:
SKULLS IN THE WOODS
 491 HANFORD PARK BLVD.
 CANTON, HEIGHTS, MD 20743
 (PH) 246-713-1158
 (FAX) 246-713-1801
 WWW.SKULLSINTHEWOODS.COM
 (301) 246-7131
 (301) 246-7132
 (301) 246-7133
 (301) 246-7134
 (301) 246-7135
 (301) 246-7136
 (301) 246-7137
 (301) 246-7138
 (301) 246-7139
 (301) 246-7140
 (301) 246-7141
 (301) 246-7142
 (301) 246-7143
 (301) 246-7144
 (301) 246-7145
 (301) 246-7146
 (301) 246-7147
 (301) 246-7148
 (301) 246-7149
 (301) 246-7150

PARK CREST CLUB
 SALES/PERSON
 ARTHUR GOLDBERG
 DESIGNER
 DIANA GIERHARDT
 SALES/PERSON

REVISIONS

NO.	BY	DATE
1	DC	12/20/07
2	DC	12/20/07
3	DC	2/6/09
4	DC	2/25/07
5	VS	2/25/08
6	VS	2/28/08

APPROVED BY:

 TITLE:

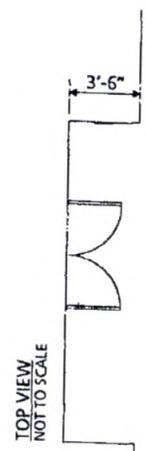
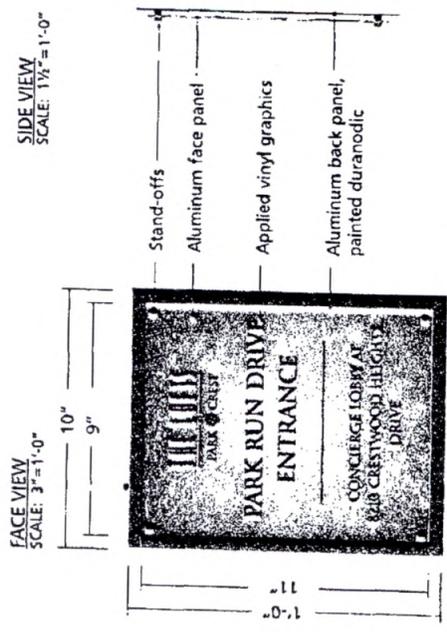
 SALES/PERSON

 PROJECT/NO.

 INSTALLATION

 NOTES

SIGN TYPE 1 - SECONDARY ENTRANCE PLAQUE



Application No. CSP 1002 PP-016 Staff S. Liu
 APPROVED SE (CSP) PLAN
 SEE DEV CONDS DATED 10-22-06
 Date of (BOS) (BZA) approval 10-22-06
 Sheet 11 of

PREPARED AND PROVIDED BY:

ART DISPLAY CO.
 481 HANCOCK PARK BLVD.
 CAPITOL HEIGHTS, MO 20273
 (PH) 346-148-1438
 (FAX) 346-148-1481
 WWW.ARTDISPLAY.CO

CLIENT: **PARK CREST**
 SALES PERSON: **ARTHUR GOLDBERG**
 DESIGNER: **DARNA GUEHEDRIEY**

REVISIONS:

NO.	BY	DATE
1	DC	1/17/07
2	DC	1/28/07
3	DC	2/6/07
4	DC	2/27/07
5	VS	3/25/08
6	VS	3/24/08

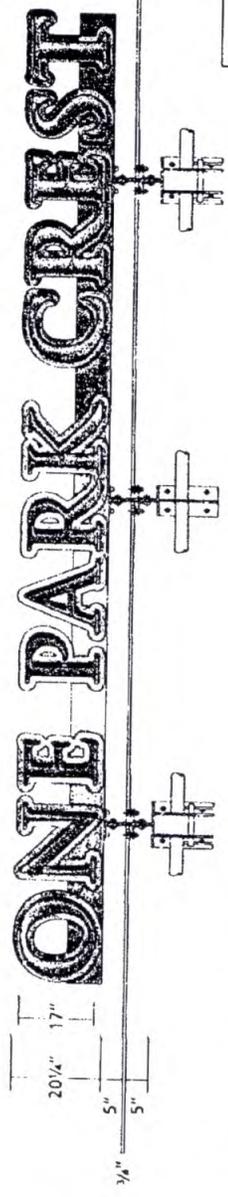
APPROVED BY:

CLIENT: _____
 SALES PERSON: _____
 DESIGNER: _____
 INSTALLATION: _____
 NOTES: _____

SAVED AS 2429-06dc vs Donohoe - Park Crest (Lettering signs)

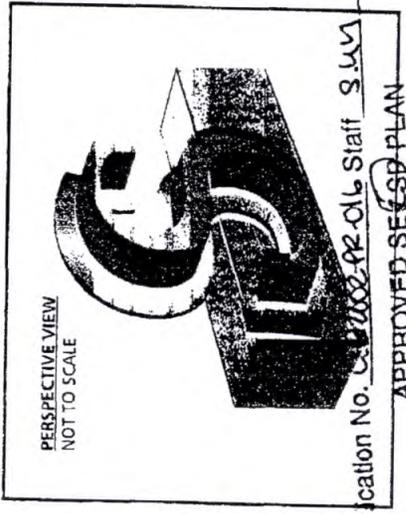
PAGE: 10

FRONT VIEW
 SCALE: 1/2" = 1'-0"



(1x) Set of Channel Letters

Halo-illuminated brushed S/S channel letters illuminated with white LED lights. Light to reflect off silver painted, oversized aluminum back plates. Channel letters and back plates mounted to 8" h raceway, painted silver to match color of canopy. Raceway to be curved to conform to front curve of the canopy.



Application No. 0955-02VS-DC Staff SUV

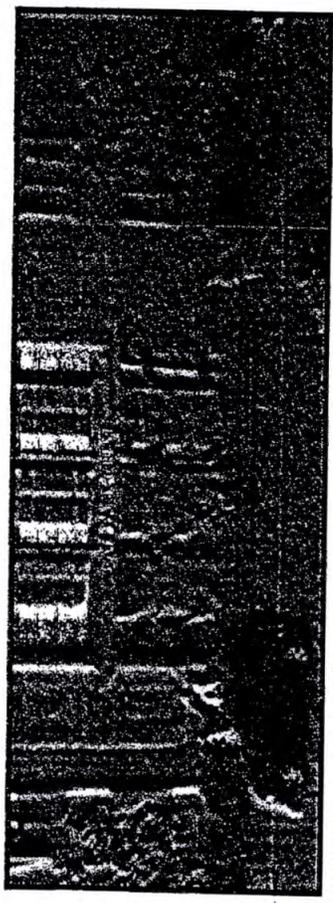
APPROVED SE SP PLAN

SEE DEV CONDS DATED 10.22.08

Date of (BOS) (BZA) approval 10.22.08

Sheet 17 of _____

NOTE: use this file for reference 0955-02VS-DC Donohoe Park Crest (Channel Letters)



PLAN VIEW

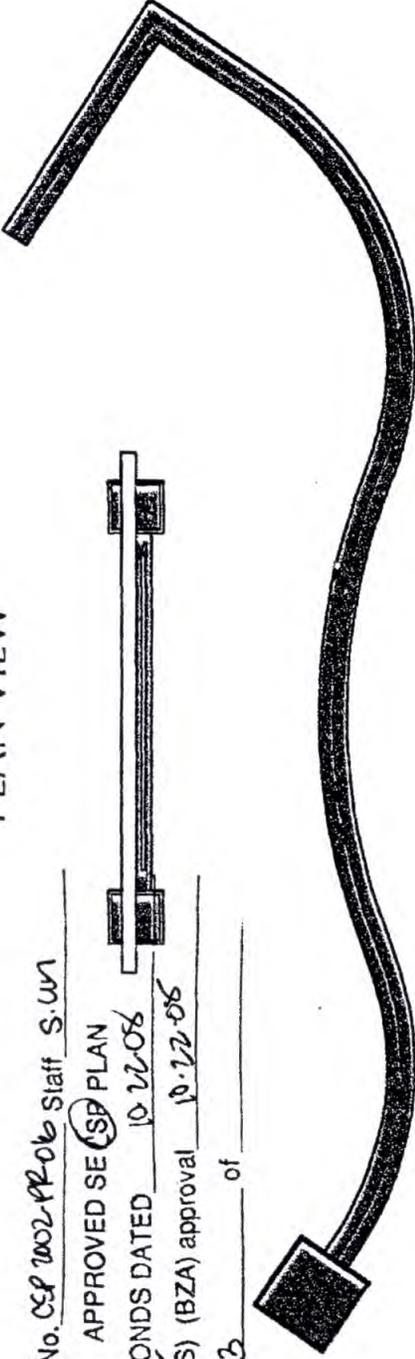
Application No. CSL 2002-PR-06 Staff S.W.1

APPROVED SE (SP) PLAN

SEE DEV CONDS DATED 10-22-08

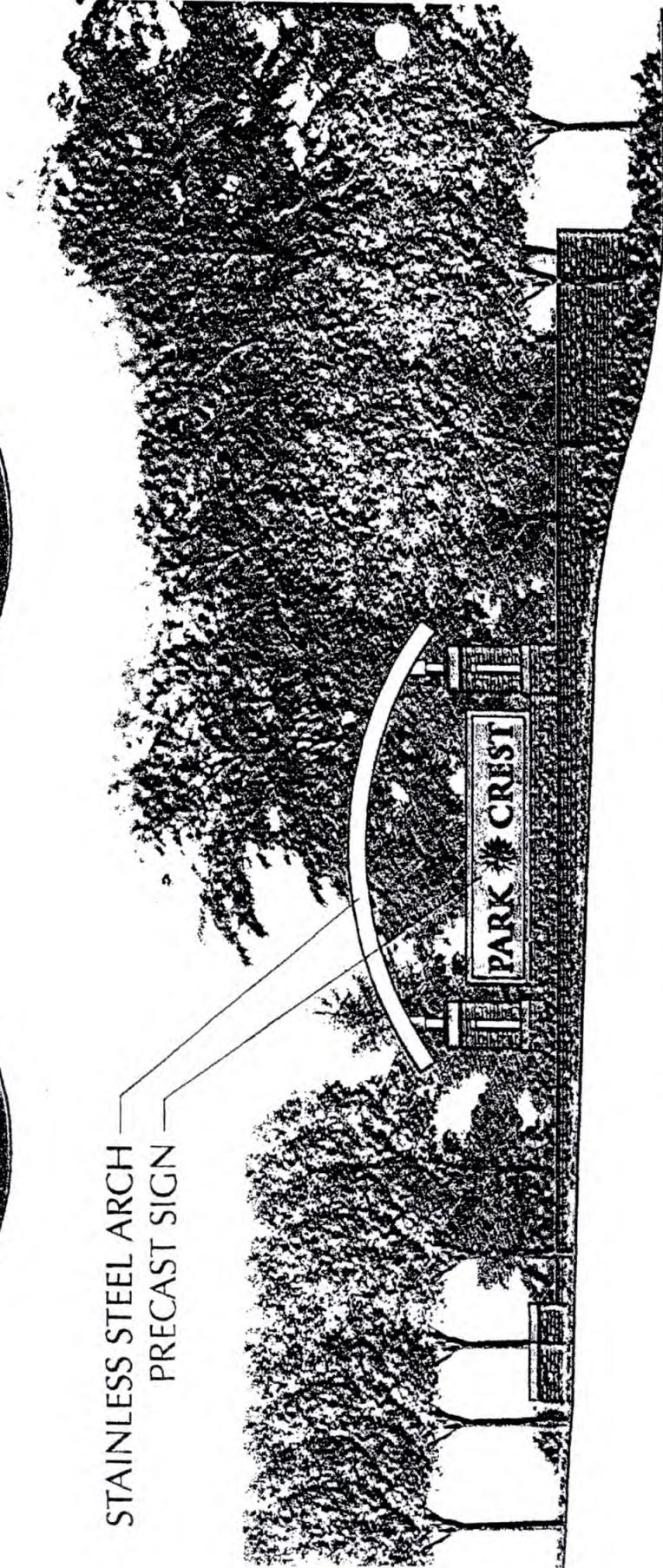
Date of (BOS) (BZA) approval 10-22-08

Sheet 12 of _____



STAINLESS STEEL ARCH

PRECAST SIGN



SIGN WALL - OPTION A

Application No. CSF 1002-RP-016 Staff S. Wini

APPROVED **SEC 51** PLAN

SEE DEV CONDS DATED 10.22.08

Date of (BOS) (BZA) approval 10.22.08

Sheet 14 of 14



Pennoss Group
Danahoe Development
 2000 West Loop South, Suite 1000
 Houston, Texas 77056
 Tel: 713.865.1111
 Fax: 713.865.1111

Park Crest
 Entry Feature

-PRECAST CONCRETE-

10/22/08

10/22/08

10/22/08

10/22/08

10/22/08

10/22/08

10/22/08

10/22/08

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10/22/08

10/22/08

10/22/08

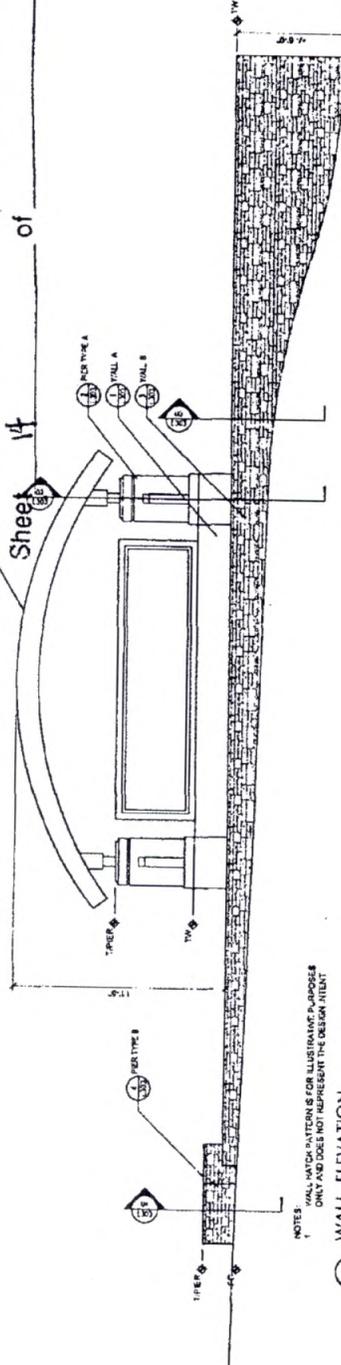
10/22/08

10/22/08

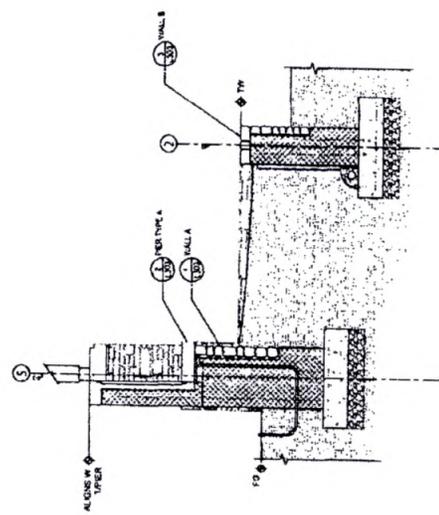
CONSTRUCTION
 DETAILS

Drawing Title	Sheet No.	Scale
Park Crest Entry Feature	14	1/8" = 1'-0"
Author	Check	Date
SW	SW	10/22/08
Drawn	Checked	Scale
SW	SW	1/8" = 1'-0"

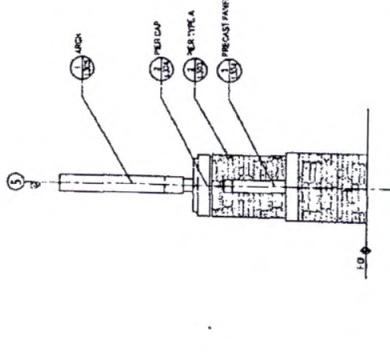
L302



1 WALL ELEVATION
 SCALE: 1/8" = 1'-0"



2 WALL SECTION
 SCALE: 1/2" = 1'-0"



3 WALL END ELEVATION
 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

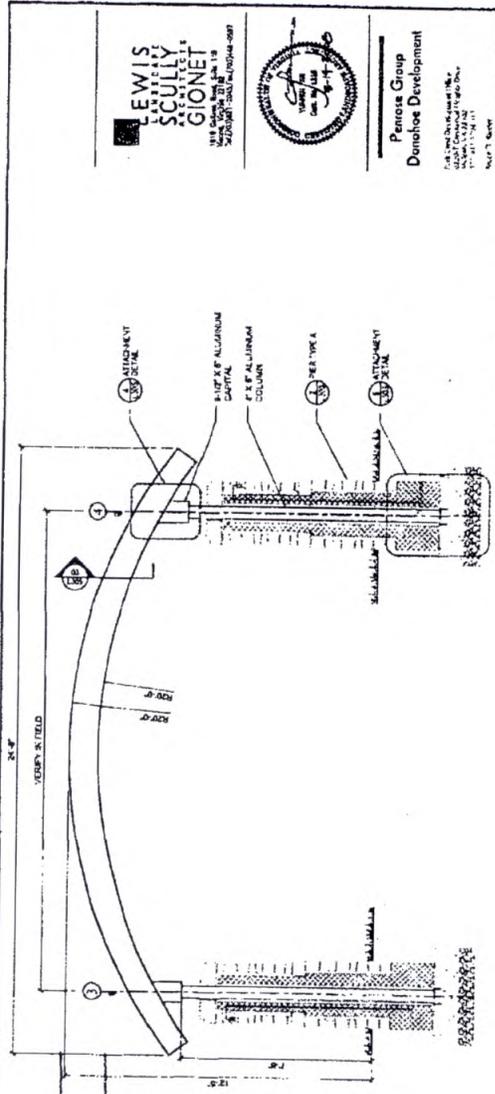
Application No. 088 1000 P.D. Staff S.U.M

APPROVED SE (SP) PLAN

SEE DEV CONDS DATED 10.22.06

Date of (SES) (BZA) approval 10.22.06

Sheet 17 of 17



1 ARCH ELEVATION
Scale: 1/2" = 1'-0"

- NOTES
1. ALL CONNECTIONS ARE WELDED UNLESS OTHERWISE INDICATED.
 2. GRIND SMOOTH ALL WELDS. REMOVE BURRS.
 3. PROVIDE FINISH SCHEDULE FOR ALL ALUMINUM.
 4. ISOLATE CONTACTS ON ALL ALUMINUM.
 5. PROVIDE FRESH SAMPLES AND SHOP DRAWINGS SEALED BY A PROFESSIONAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

2 TROUGH
Scale: 1/2" = 1'-0"



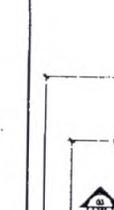
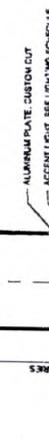
3 BEAM
Scale: 1/2" = 1'-0"



4 ATTACHMENT DETAIL
Scale: 1/2" = 1'-0"



5 ATTACHMENT DETAIL
Scale: 1/2" = 1'-0"



Park Crest Entry Feature

1/8" = 1'-0"

CONSTRUCTION DETAILS

Drawing Title: Park Crest Entry Feature
Scale: 1/8" = 1'-0"
Date: 10/22/06
Author: S.U.M
Checker: S.U.M
Title: 10/22/06

L305

Sign Package Submittal

Harris Teeter #302 @ Tyson's Corner, VA

Originally submitted: Sept. 28, 2007

Latest revision: Sept. 23, 2008

PRESENTED BY:



1638 South Ridge Ave.
Kannapolis, NC 28083
www.casecosigns.com
Contact: Darin Harun
704-788-9055

Application No. CSP 1002 PR-06 Staff S.W.

APPROVED SEE CSP PLAN

SEE DEV CONDS DATED 10-22-08

Date of (BOS) (BZA) approval 10-22-08

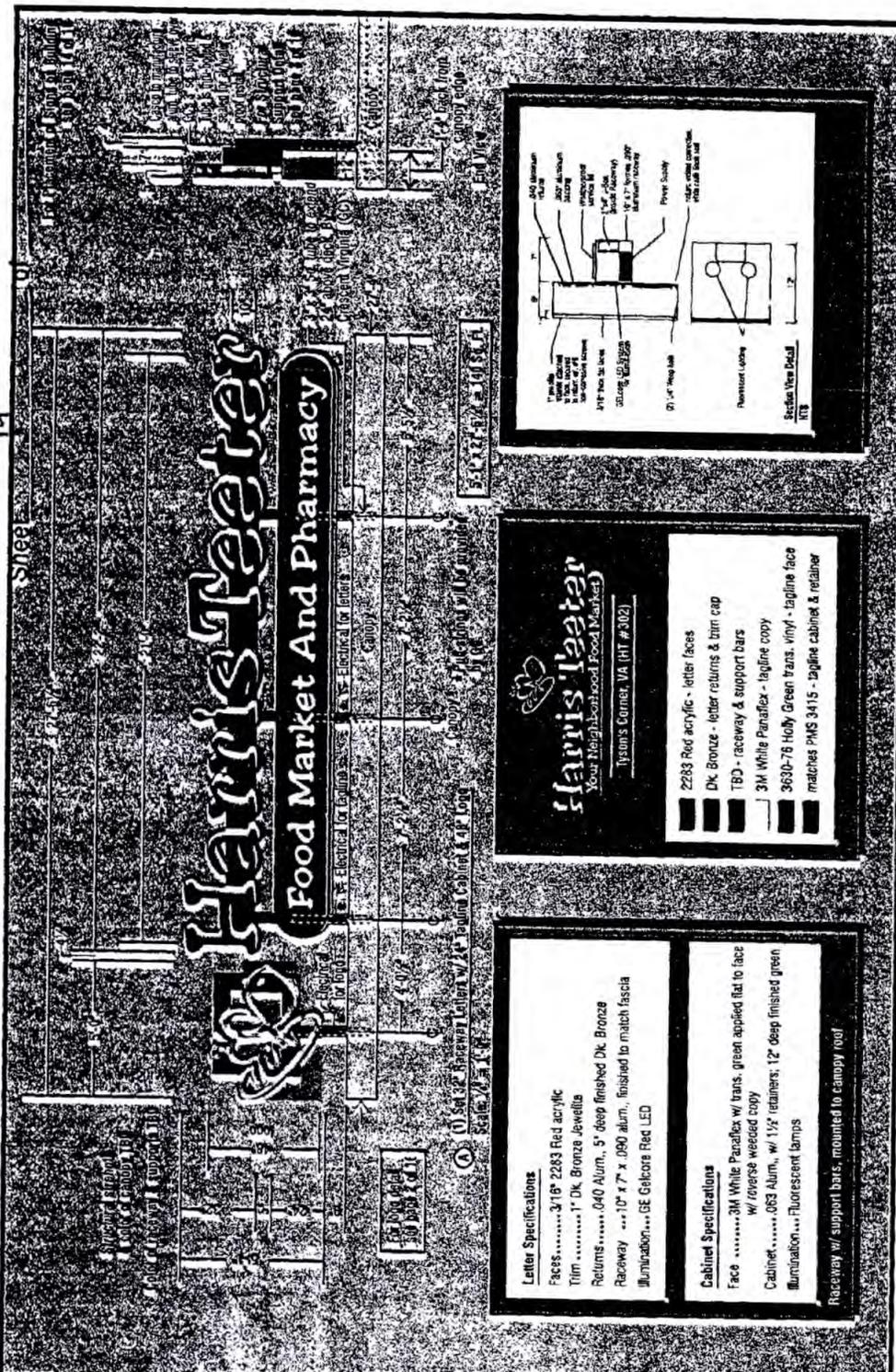
Sheet 16 of

Application No. CS 1002-12-016 Staff S. Lee

APPROVED SE/SP/PLAN

SEE DEV CONDS DATED 10-12-08

Date of (BOS) (BZA) approval 10-22-08



Letter Specifications

- Face 3/16" 2283 Red acrylic
- Trim 1" Dk. Bronze Jewella
- Returns040 Alum., 5" deep finished Dk. Bronze
- Raceway 1"0" x 7" x .090 alum., finished to match fascia
- Illumination GE Gelcote Rect LED

Cabinet Specifications

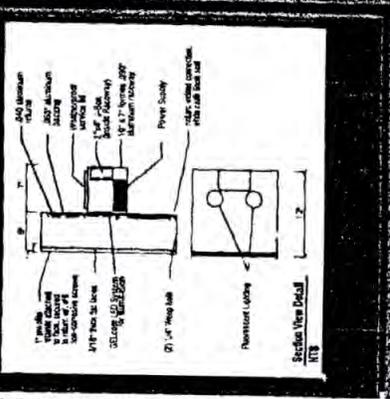
- Face 3M White Panaflex w/ trans. green applied flat to face w/ reverse weeded copy
- Cabinet083 Alum., w/ 1/2" return, 12" deep finished green
- Illumination Fluorescent lamps

Raceway w/ support bars, mounted to canopy roof

Hamis Teeter
Your Neighborhood Food Market

Tyson's Corner, VA (HT #302)

- 2283 Red acrylic - letter faces
- Dk. Bronze - letter returns & trim cap
- TBD - raceway & support bars
- 3M White Panaflex - tagline copy
- 3600-78 Holly Green trans. vinyl - tagline face
- matches PMS 3415 - tagline cabinet & return



Drawing # 07-2512	Sales DM	Customer HT #302 Tyson's Corner	Customer Approval:
Date 09/28/07	Designer G. Peters	Location Park Run West Drive Tyson's Corner, VA	
Revised 10/29/07	02/06/08 09/10/08		

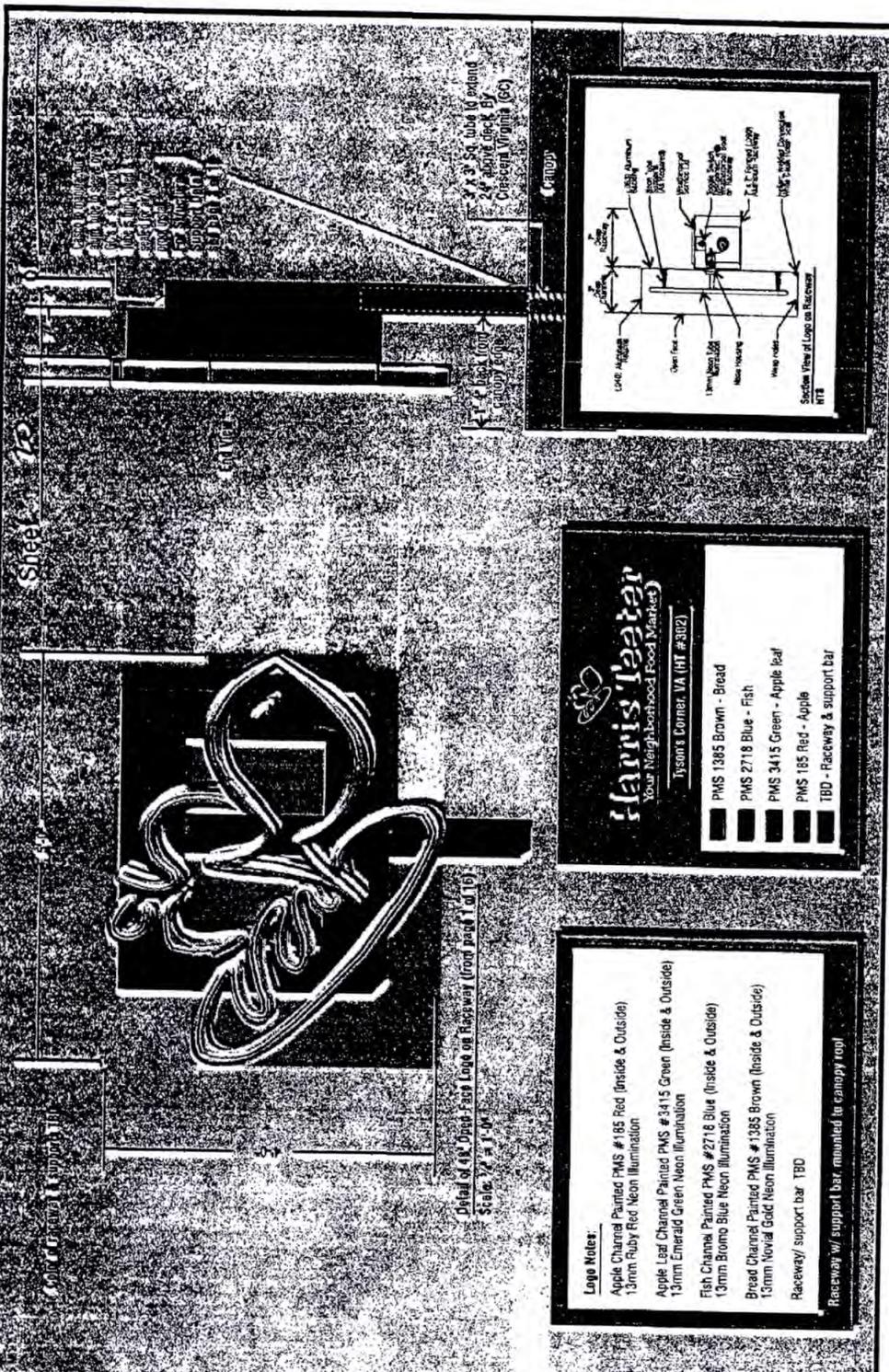
This design is the property of CASCO SIGNS, INC. and remains our property until sign is purchased. Design may be purchased for a sum of two hundred and fifty dollars (\$250.00) and is protected by U. S. copyright law. Any attempt to reproduce this design or use by others for any purpose, without written consent is subject to prosecution to the fullest extent allowed by law. Customer's signature: _____

Application No. CS# 100242-06 Staff S. Luv

APPROVED SEC (CSP) PLAN

SEE DEV CONDS DATED 10.22.08

Date of (BOS) (BZA) approval 10.22.08



Sheet 10

Detail of 4x4 Open Face Logo on Raceway (from page 1 of 16)
Scale: 1/2" = 1'-0"

flarris' heater
Your Neighborhood Food Market
Tyson's Corner, VA (HT #302)

- PMS 1385 Brown - Bread
- PMS 2718 Blue - Fish
- PMS 3415 Green - Apple leaf
- PMS 185 Red - Apple
- TBD - Raceway & support bar

Logo Notes:

- Apple Channel Painted PMS # 185 Red (Inside & Outside)
- 13mm Ruby Red Neon Illumination
- Apple Leaf Channel Painted PMS # 3415 Green (Inside & Outside)
- 13mm Emerald Green Neon Illumination
- Fish Channel Painted PMS # 2718 Blue (Inside & Outside)
- 13mm Bromo Blue Neon Illumination
- Bread Channel Painted PMS # 1385 Brown (Inside & Outside)
- 13mm Novial Gold Neon Illumination
- Raceway/ support bar TBD

Raceway w/ support bar mounted to canopy roof.

Drawing # 07-2512	Sales DM	Customer HT #302 Tyson's Corner	Customer Approval:
Date 09/28/07	Designer G. Peters	Location Park Run West Drive Tyson's Corner, VA	
Revised 10/29/07	02/05/08	04/11/08	
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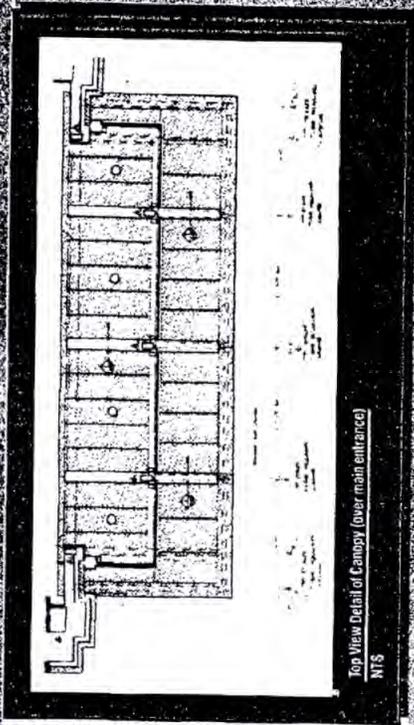
Application No. CSP 2002-016 Staff S. U. V.

APPROVED SE CSP PLAN

10-22-08

SEE DEV CONDS DATED

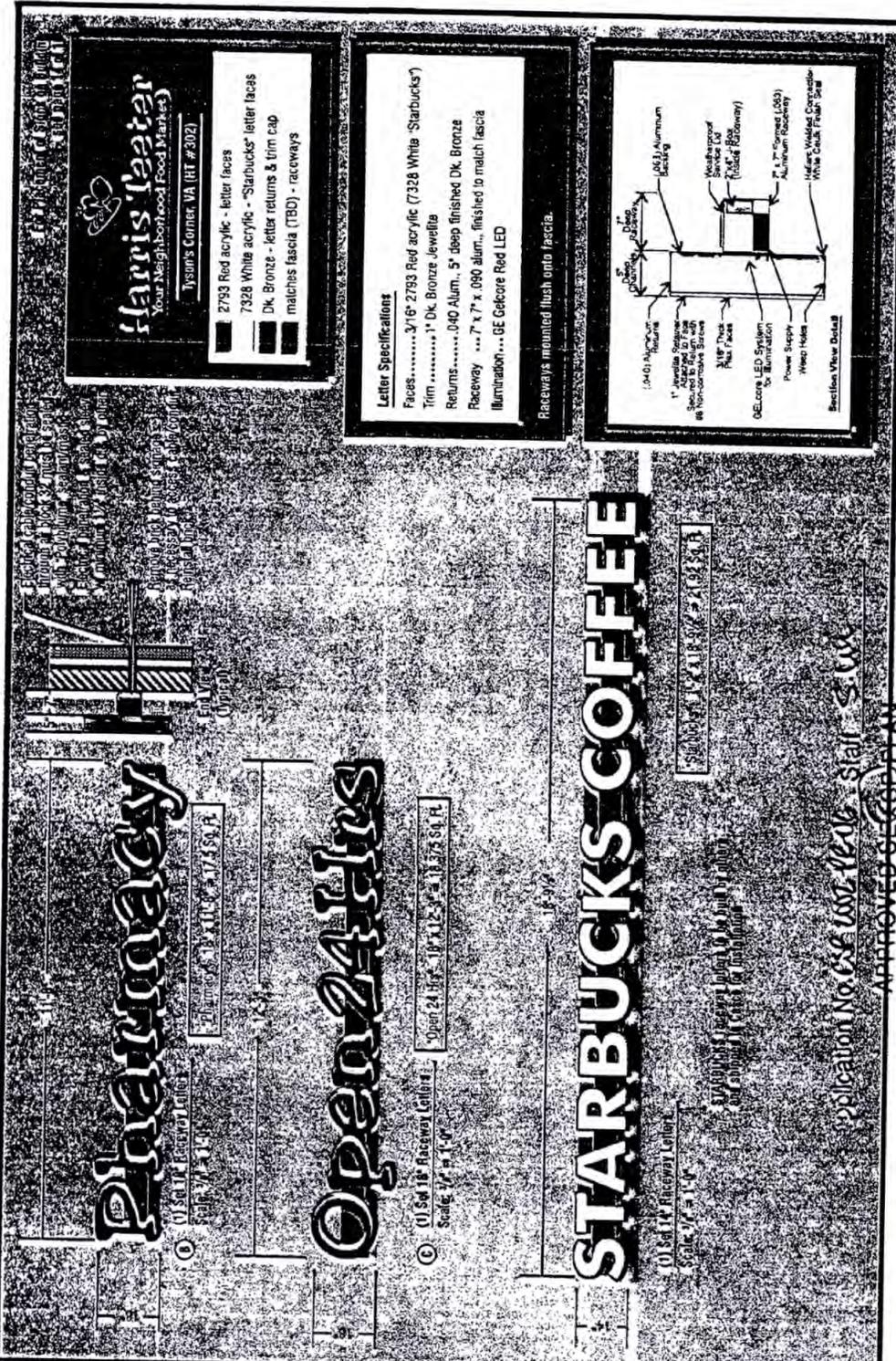
Date of (BOS) (BZA) approval 10/22/08
Sheet 21 of 21



Structural Support Detail

Drawing # 07-2512	Sales DM	Customer HT #302 Tyson's Corner	Customer Approval:
Date 02/05/08	Designer G. Peters	Location Park Run West Drive Tyson's Corner, VA	
Revised 03/11/06	All components and installers are approved and listed by: 		Page 3 of 15

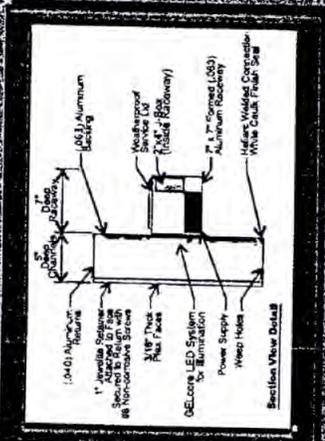
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Customer's signature:



Harris' Heater
 Your Neighborhood Food Market
 Tyson's Corner, VA (HT #302)

- 2793 Red acrylic - letter faces
- 7328 White acrylic - "Starbucks" letter faces
- Dk. Bronze - letter returns & trim cap
- matches fascia (TBD) - raceways

Letter Specifications
 Faces.....3/16" 2793 Red acrylic (7328 White "Starbucks")
 Trim.....1" Dk. Bronze Jewella
 Returns.....0.40 Alum., 5" deep finished Dk. Bronze
 Raceway ... 7" x 7" x .090 alum., finished to match fascia
 Illumination... GE Geckore Red LED
 Raceways mounted flush onto fascia.



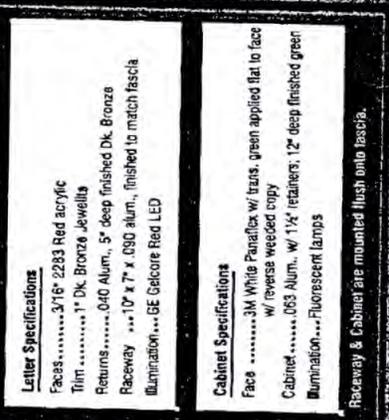
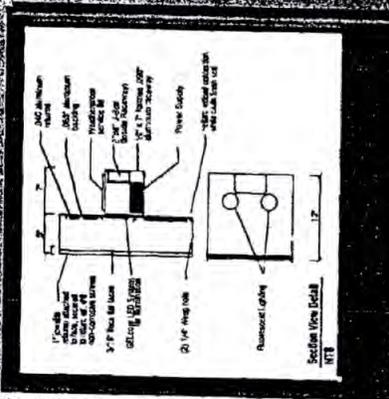
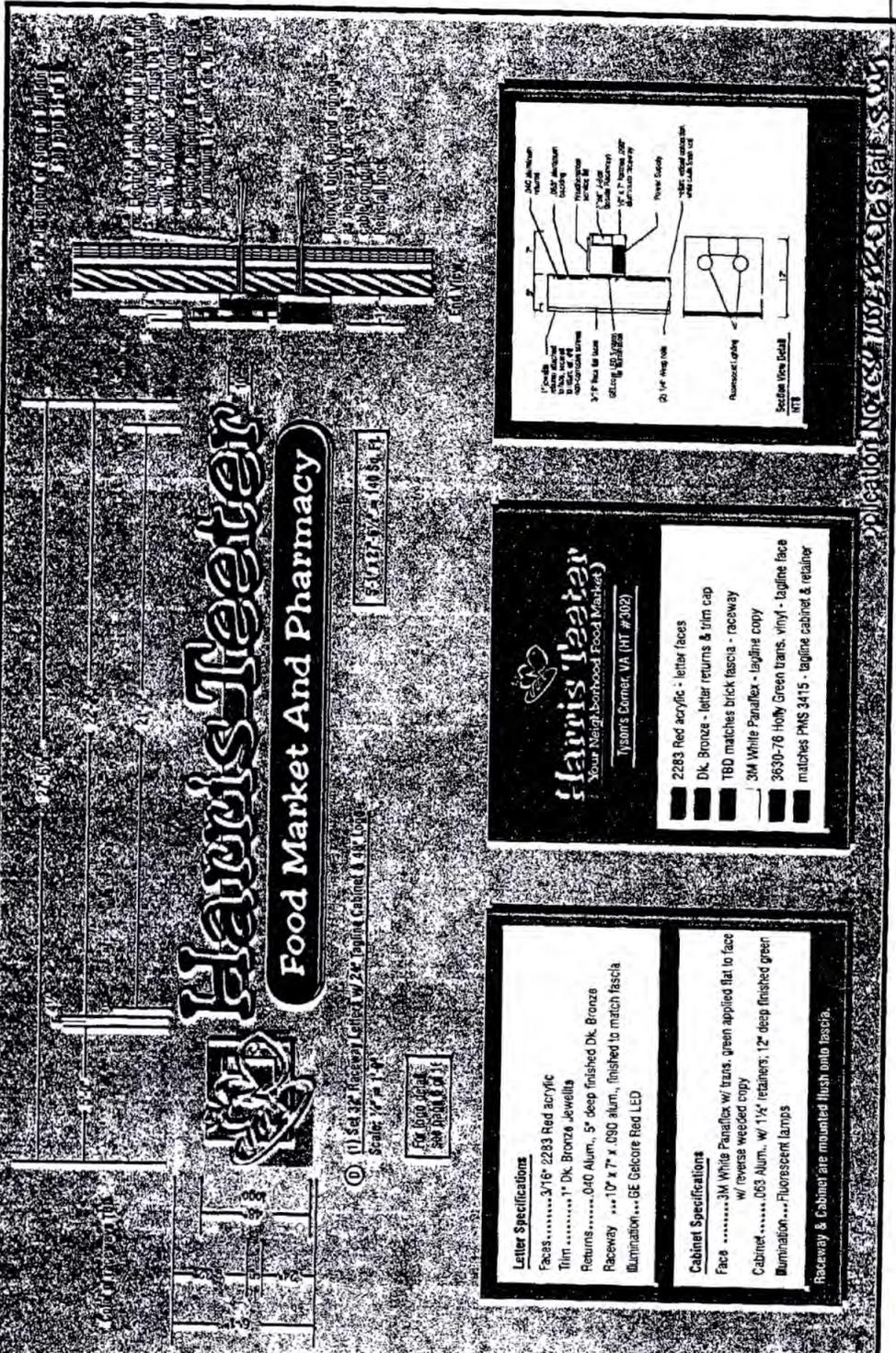
SEE DEV CONDS DATED 10-22-06

Date of (BOS) (BZA) approval 10-22-06

Sheet 22 of

Drawing # 07-2512	Sales DM	Customer HT #302 Tyson's Corner	Customer Approval:
Date 10/29/07	Designer G. Peters	Location Park Run West Drive Tyson's Corner, VA	
Revised 02/05/08 03/11/08 08/23/08	As components and instructions are approved and listed by:		

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 Customer's signature: _____



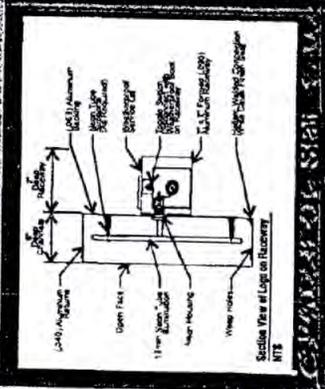
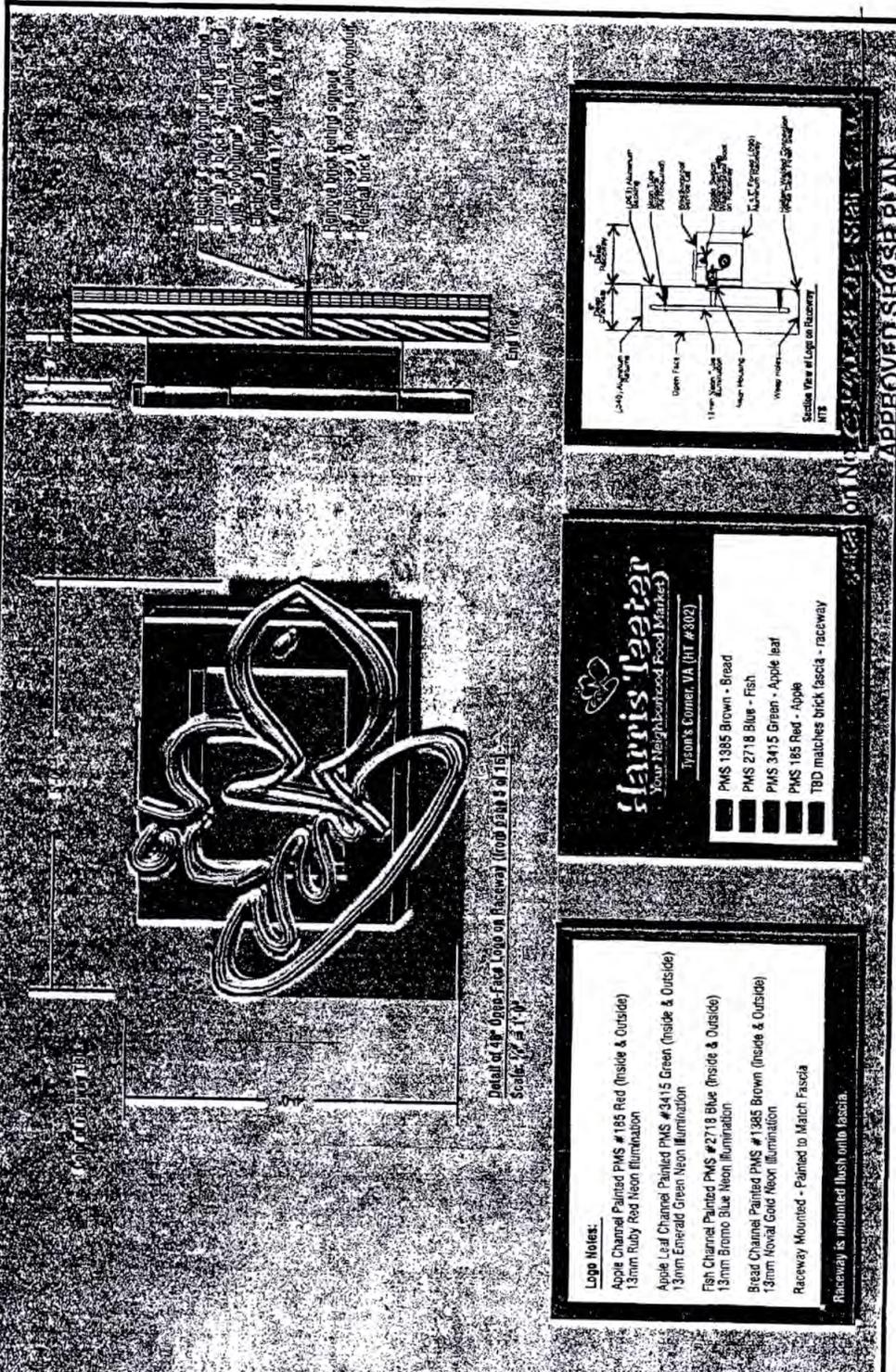
Drawing #	07-2512	Sales	DM	Customer	HT #302 Tyson's Corner	Customer Approval:	
Date	09/23/07	Designer	G. Peters	Location	Park Run West Drive Tyson's Corner, VA	All components and installations are approved and listed by: (K)	
Revised	10/29/07	12/06/08	03/11/08				

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Customer's signature: _____

APPROVED SE(CSP) PLAN
 SEE DEV CONDS DATED 10-22-08
 Date of (BOS) (BZA) approval 10-22-08
 Sheet 23 of _____

POLYMER LETTERS, INC. 1155 E. 12th St. Ste. 100, Tallahassee, FL 32304



flarris'leater
Your Neighborhood Food Market
Tyson's Corner, VA (HT #302)

- PMS 1385 Brown - Bread
- PMS 2718 Blue - Fish
- PMS 3415 Green - Apple leaf
- PMS 185 Red - Apple
- TBD matches brick, fascia - raceway

Logo Notes:

- Apple Channel Painted PMS #185 Red (inside & outside)
- 13mm Ruby Red Neon Illumination
- Apple Leaf Channel Painted PMS #3415 Green (inside & outside)
- 13mm Emerald Green Neon Illumination
- Fish Channel Painted PMS #2718 Blue (inside & outside)
- 13mm Bromo Blue Neon Illumination
- Bread Channel Painted PMS #1385 Brown (inside & outside)
- 13mm Novial Gold Neon Illumination
- Raceway Mounted - Painted to Match Fascia

Raceway is mounted flush onto fascia.

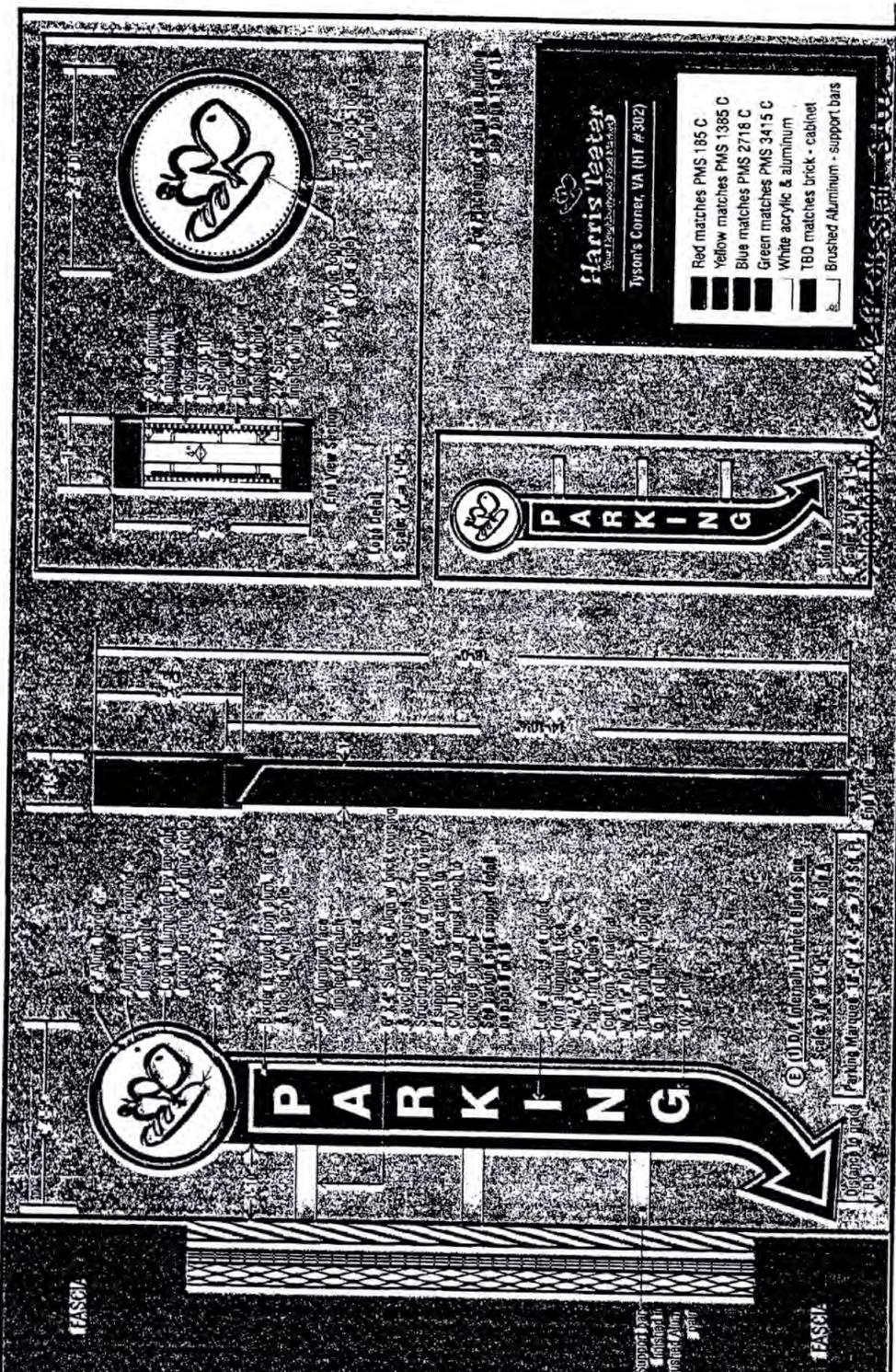
APPROVED SIGN PLAN

SEE DEV CONDS DATED 10.12.08
Date of (BOS) (BZA) approval 10.12.08
Sheet 24 of

Drawing # 07-2512	Sales DM	Customer HT #302 Tyson's Corner	Customer Approval:
Date 09/28/07	Designer G. Peters	Location Park Run West Drive Tyson's Corner, VA	
Revised 10/29/07	02/03/08	03/11/08	

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APPROVED SIGN PLAN

SEE DEV CONDS DATED 10-22-08

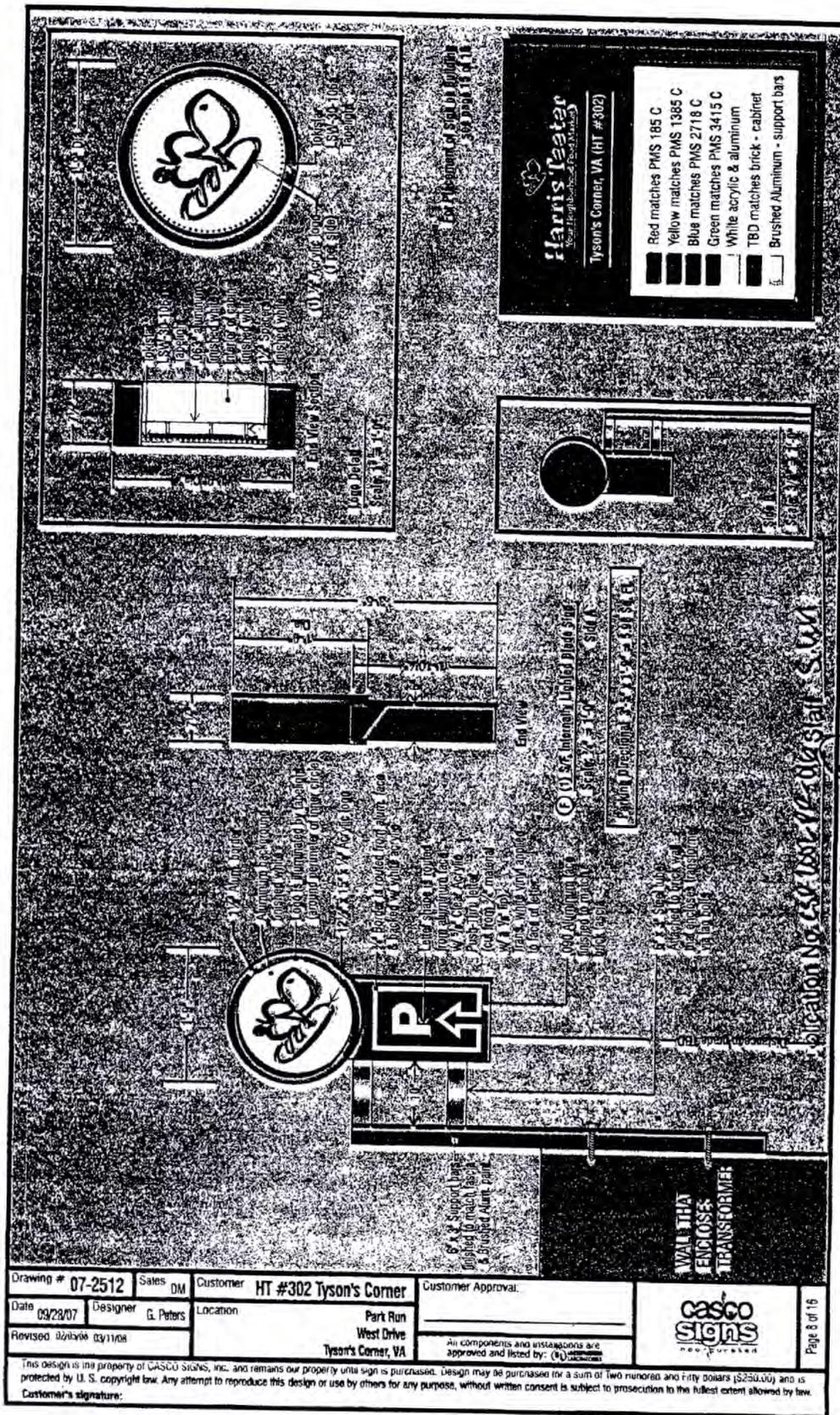
Date of (BOS) (BZA) approval 10-22-08

Sheet 25 of

Drawing # 07-2512	Sales DM	Customer HT #302 Tyson's Corner	Customer Approval:
Date 09/28/07	Designer G. Peters	Location Park Run West Drive Tyson's Corner, VA	
Revised 02/08/08	All components and installations are approved and listed by: (E) O.D.A. International Limited Glass Sign		

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Customer's signature: _____



APPROVED SE/CSP PLAN

SEE DEV CONDS DATED 10-12-06
 Date of (BOS) (BZA) approval 10-12-06
 Sheet 26 of _____

Drawing # 07-2512	Sales DM	Customer HT #302 Tyson's Corner	Customer Approval:
Date 09/28/07	Designer G. Peters	Location Park Run West Drive Tyson's Corner, VA	All components and installations are approved and listed by: (UL)
Revised 02/20/06 03/11/06			

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Customer's signature: _____

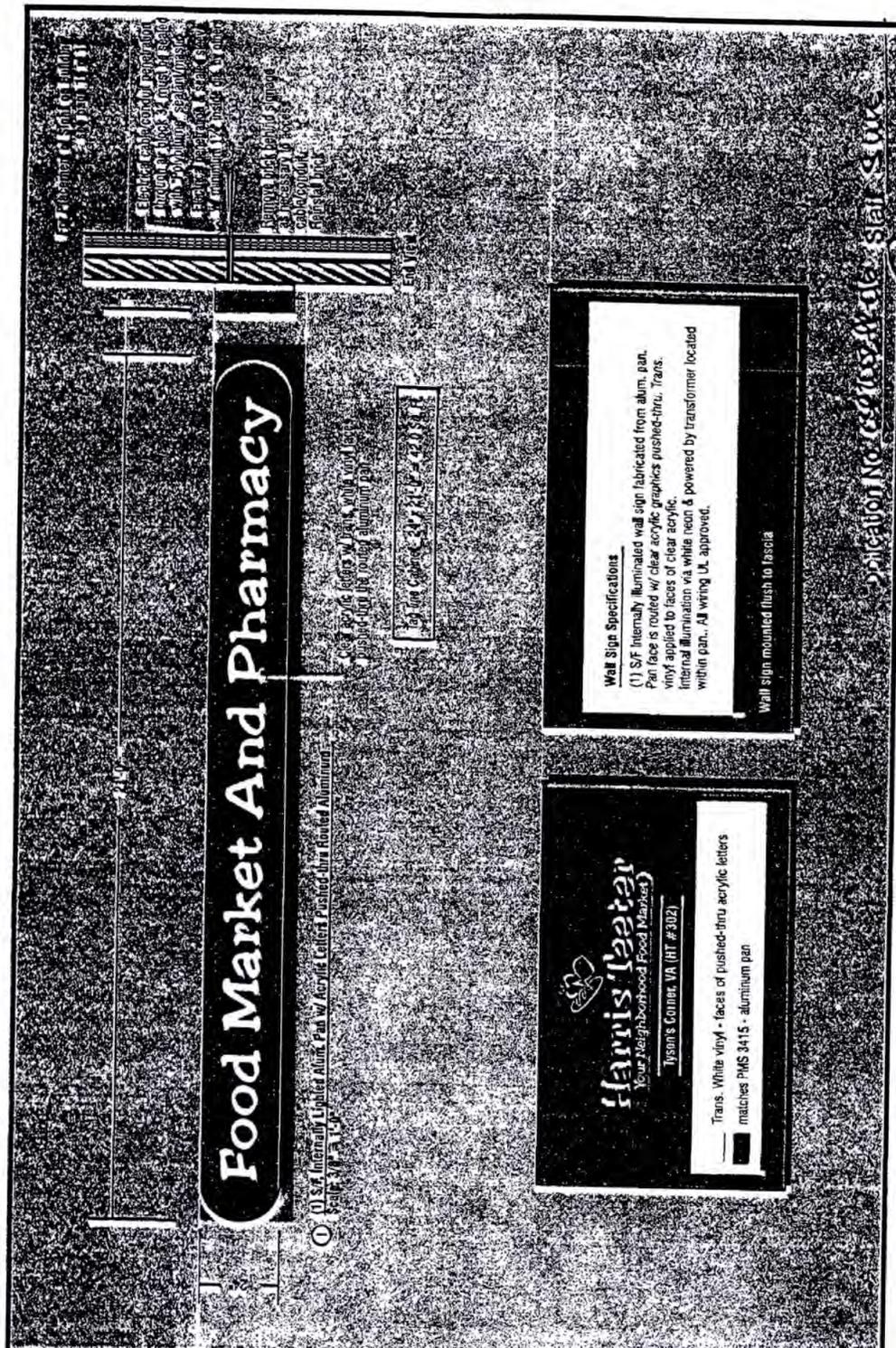
Page 8 of 16



SEE DEV CONDS DATED 10.22.08
 Date of (BOS) (BZA) approval 10.22.08
 Sheet 266 of

Drawing # 07-2512	Sales DM	Customer HT #302 Tyson's Corner	Customer Approval:
Date 09/28/07	Designer G. Peters	Location Park Run West Drive Tyson's Corner, VA	 All components and installations are approved and listed by: (UL) LISTED
Revised 10/29/07	02/05/08	04/11/08	

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 Customer's signature:



APPROVED SE(S)P PLAN

SEE DEV CONDS DATED 10-22-08

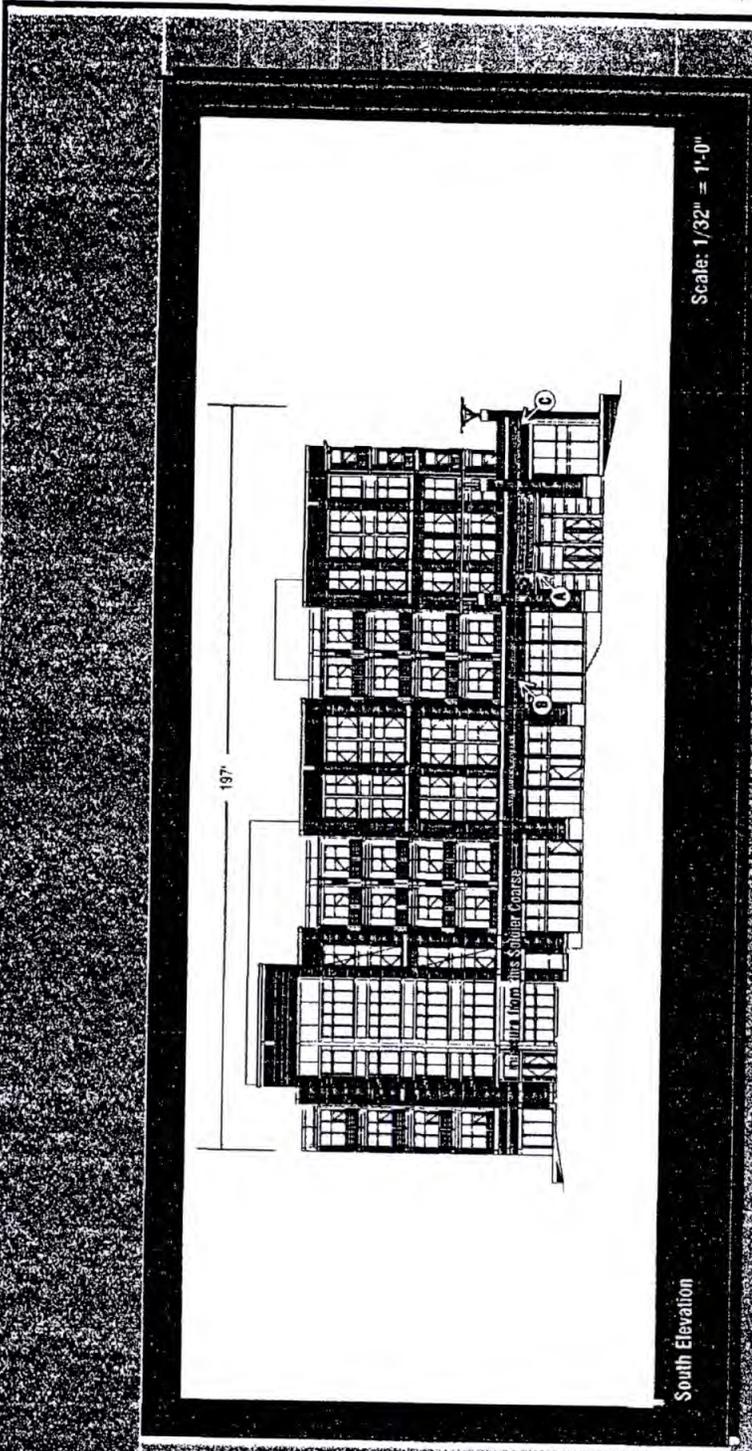
Date of (BES) (BZA) approval 10-22-08

Sheet 30 of _____

Drawing # 07-2512	Sales DM	Customer HT #302 Tyson's Corner	Customer Approval:		Page 12 of 16
Date 09/22/07	Designer G. Peters	Location Park Run West Drive Tyson's Corner, VA			
Revised 02/20/08 (1/1) rje			All components and installations are approved and listed by: (E) International Brotherhood of Electrical Workers		

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Customer's signature: _____



Location of Electrical Penetrations	
Vertical location:	13" above soldier course
Horizontal location:	centered
Vertical location:	13" above soldier course
Horizontal location:	centered
Vertical location:	13" above soldier course
Horizontal location:	centered

Location No. 05-257-016 Staff SUU
 APPROVED BY (S) PLAN
 SEE REV COMMENTS 6/22/08

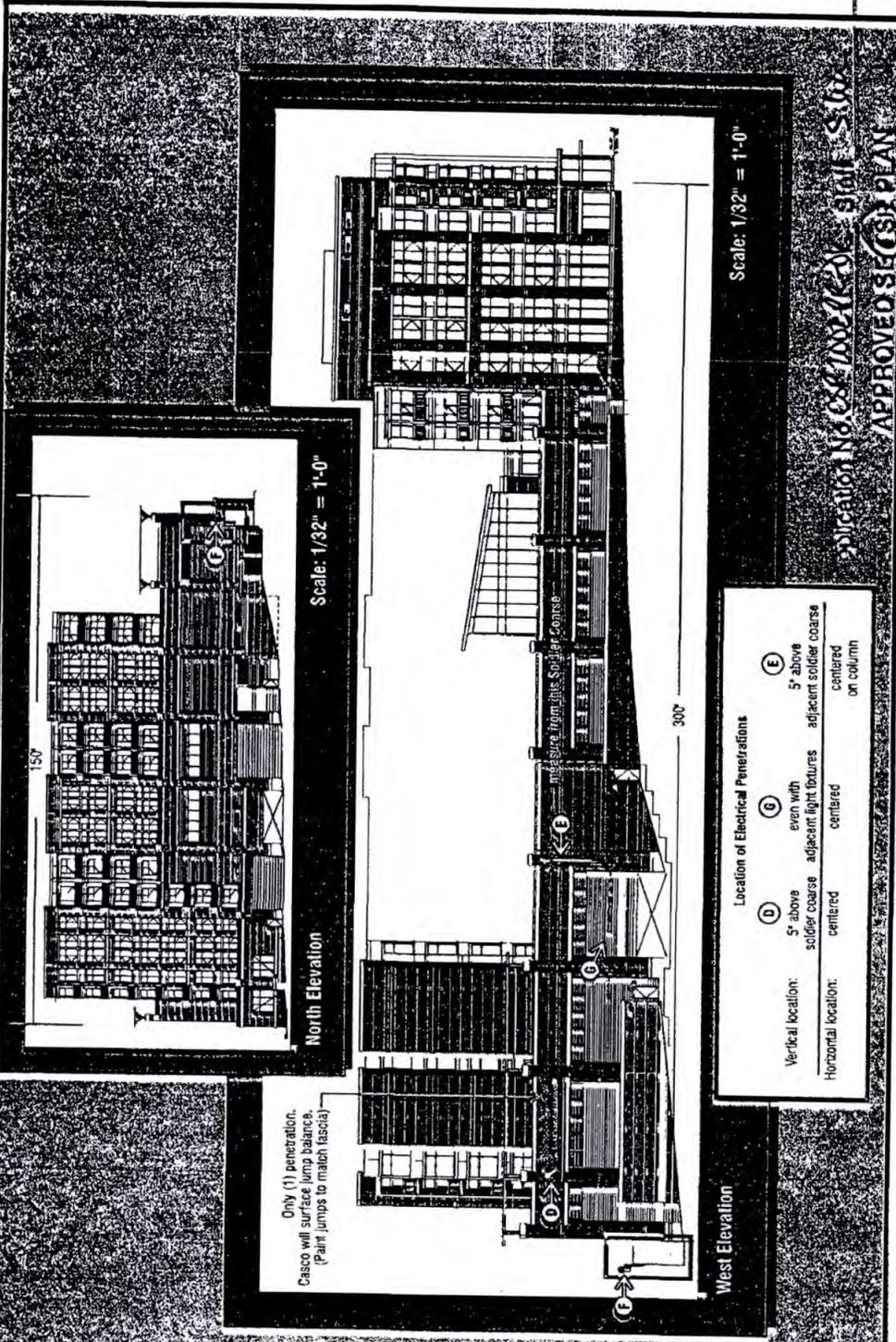
Date of (BOS) (BZA) approval 10-22-08
 Sheet 32 of

Drawing # 07-2512	Sales DM	Customer HT #302 Tyson's Corner	Customer Approval:
Date 09/28/07	Designer G. Peters	Location Park Run West Drive Tyson's Corner, VA	All components and installations are approved and listed by: (S) [Signature]
Revised 10/29/07	09/11/06	09/23/08	

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Customer's signature: _____





Scale: 1/32" = 1'-0"

Scale: 1/32" = 1'-0"

Location of Electrical Penetrations

Vertical location: **D** 5" above soldier course centered
E 5" above adjacent soldier course centered on column
G even with adjacent light fixture centered
F measure from this soldier course

Horizontal location: centered on column

Only (1) penetration.
 Casco will surface jump balance.
 (Paint jumps to match fascia)

Application No. 08-1002-12-1 Staff Site
 APPROVED SIGN PLAN

SEE DEV CONDS DATED 10-22-08
 Date of (BOS) (BZA) approval 10-22-08
 Sheet 03 of

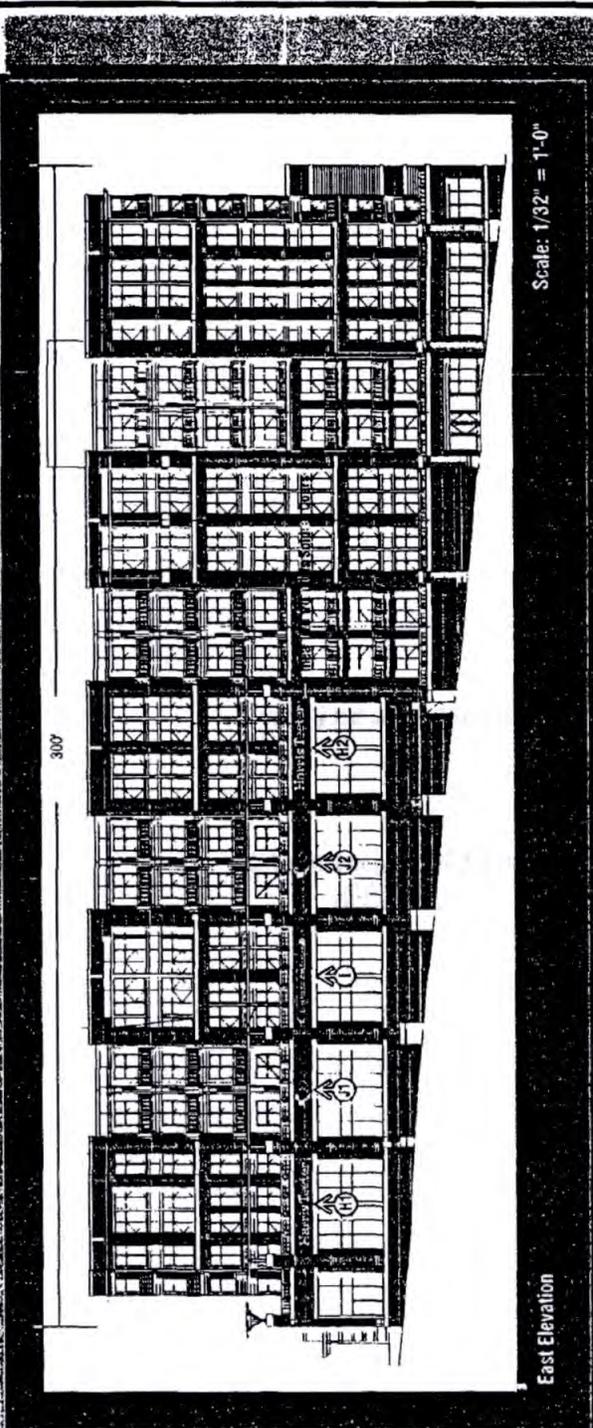
Drawing # 07-2512	Sales DM	Customer HT #302 Tyson's Corner	Customer Approval:
Date 09/28/07	Designer G. Peters	Location Park Run West Drive Tyson's Corner, VA	All components and instructions are approved and listed by: (4)
Revised 10/29/07 0011/08			

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Customer's signature: _____

casco signs
INCORPORATED

Page 15 of 16



Location of Electrical Penetrations			
Vertical location:	10" above solder coarse	10" above solder coarse	10" above solder coarse
Horizontal location:	centered	14" to right of center	centered

Date of (BOS) (BZA) approval 10-22-08
 Sheet 34 of 34

Drawing # 07-2512	Sales DM	Customer HT #302 Tyson's Corner	Customer Approval:
Date 09/28/07	Designer G. Peters	Location Park Run West Drive Tyson's Corner, VA	 <small>All components and installations are approved and listed by: (UL) LISTED</small>
Revised 10/20/07	by gallie		

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Customer's signature: _____

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CLIENT

Avalon Park Crest

SALESPERSON

ARTHUR GOLDBERG

DESIGNER

DIANA

REVISIONS

NO.	BY	DATE
1	DC	11/18/10
2	DC	01/07/11
3	DC	01/20/11
4	DC	02/24/11
5	DC	03/22/11
6	DC	04/25/11
7	DC	10/11/11

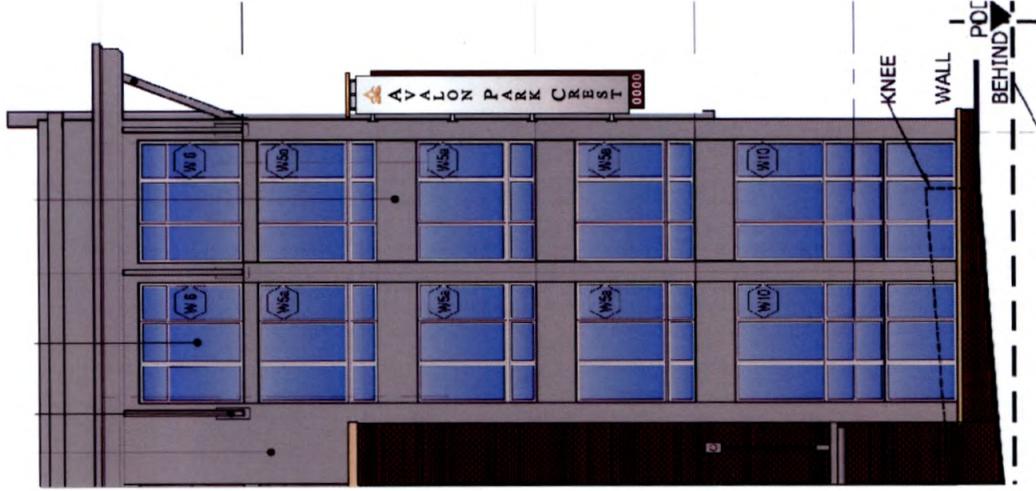
APPROVED BY

CLIENT _____
SALESPERSON _____
PRODUCTION _____
INSTALLATION _____
NOTES _____

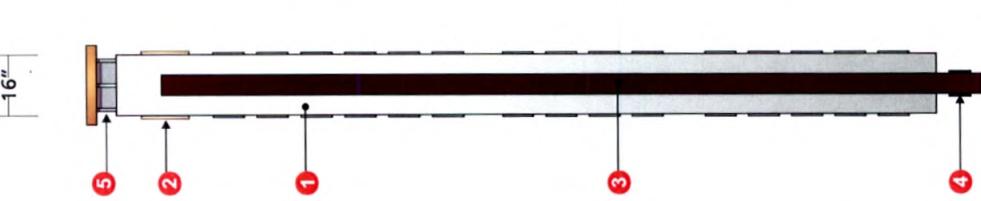
PAGE: 1

3337-07DC Avalon Park Crest (Exterior & Garage Signs) SAVED AS

SW ELEVATION
SCALE: 1/8" = 1'-0"



SIDE VIEW
SCALE: 1/4" = 1'-0"



SIGN TYPE K - (1X) INTERNALLY ILLUMINATED BLADE SIGN

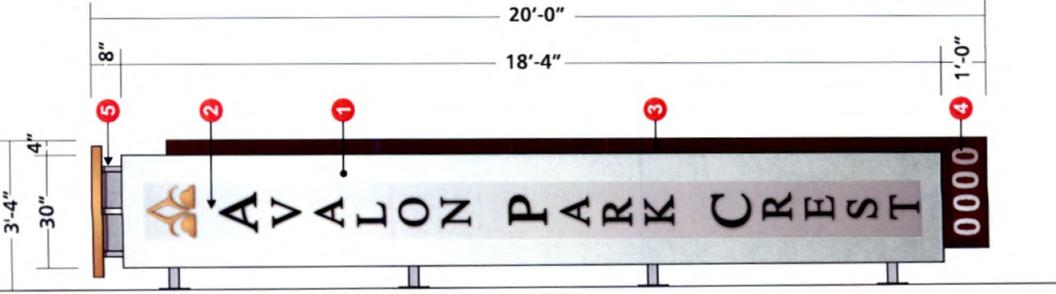
- 1 Fabricated aluminum cabinets, painted metallic silver.
- 2 1/2" thick push-thru transl. white acrylic logo, applied gold and day/night vinyl on faces.
- 3 Welded side panel painted dark brick color to match building.
- 4 1/2" deep fabricated brushed SS address numbers, horizontal finish. Non-illuminated.
- 5 Fabricated aluminum topper, non-lit.

COLORS

- Metallic Silver
- Gold Metallic
- Black
- Dark Brick Color

Sign Area: 66.67 sq. ft.

FACE VIEW
SCALE: 3/8" = 1'-0"



3M 3035 Light Management Film - 5 Year Dual Color Film (48" x 500 Yds.)

3M 3035-DC-4835
This film is designed for use on signs and displays. It provides maximum color clarity and excellent brightness both day and night. The film is available in a variety of colors and finishes. It is designed for use on signs and displays. It is designed for use on signs and displays.

Key Features:
• 5 Year Warranty
• Dual Color Film
• Excellent Color Clarity
• Excellent Brightness
• Excellent Contrast
• Excellent Durability

Installation:
This film is designed for use on signs and displays. It is designed for use on signs and displays. It is designed for use on signs and displays.

FACE VIEW
SCALE: 1/4"=1'-0"

15'-6"

AvalonParkCrest.com NOW LEASING

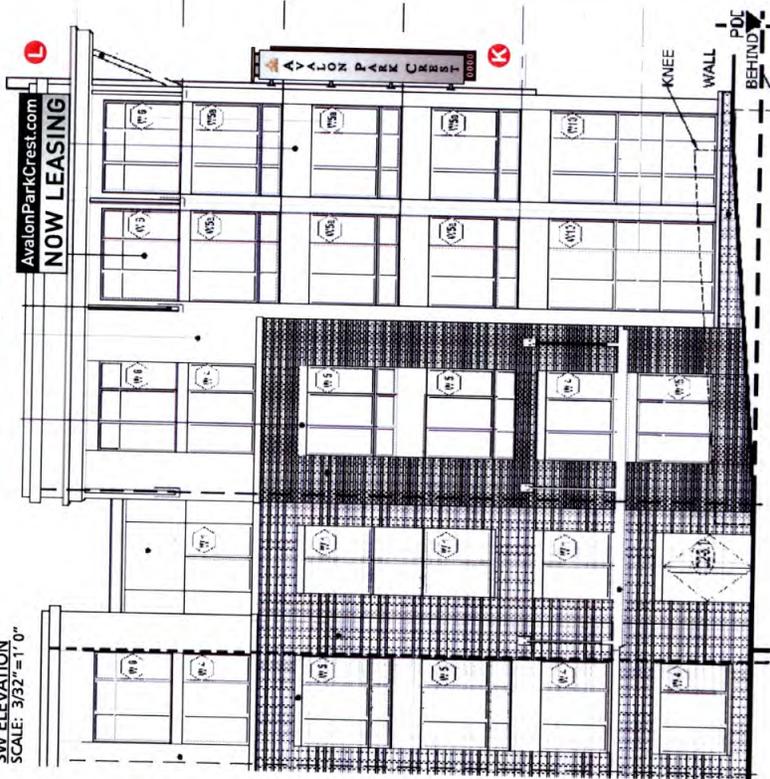
4'-6"

SIGN TYPE L - (2X) FLEX FACE SIGNS
20oz vinyl banner material with digitally printed or applied vinyl graphics, stretched over 1"x1" extruded aluminum frame. Installed to building wall with sleeve anchors.

Sign Area: 69.75 sq. ft.

Note: Field verify height & ledge

SW ELEVATION
SCALE: 3/32"=1'-0"



NE ELEVATION
SCALE: 1/16"=1'-0"



PREPARED AND PROVIDED BY:



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CANTON HEIGHTS, MD 20743
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(FAX) 240-765-1401
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CLIENT

Avalon Park Crest

SALESPERSON
ARTHUR GOLDBERG
DESIGNER
DIANA

REVISIONS

NO.	BY	DATE
1	DC	11/18/10
2	DC	01/07/11
3	DC	01/20/11
4	DC	02/24/11
5	DC	03/22/11
6	DC	04/25/11
7	DC	10/11/11

APPROVED BY

CLIENT
SALESPERSON
PRODUCTION
INSTALLATION
NOTES

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Avalon Park Crest

SALESPERSON

ARTHUR GOLDBERG

DESIGNER

DIANA

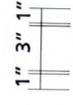
REVISIONS

NO.	BY	DATE
1	DC	11/18/10
2	DC	01/07/11
3	DC	01/20/11
4	DC	02/24/11
5	DC	03/22/11
6	DC	04/25/11
7	DC	10/11/11

APPROVED BY

CLIENT
 SALES/PM
 PRODUCTION
 INSTALLATION
 NOTES

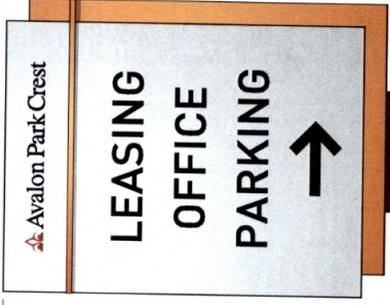
SIDE VIEW
 SCALE: 1 1/2" = 1' 0"



FACE VIEW
 SCALE: 1 1/2" = 1' 0"



Side B



Side A

SIGN TYPE M - (2X) PARKING SIGNS

- Silver painted face plate.
- Gold painted back plate, offset 1" to the right and 1" down.
- 1/4" h horizontal rule bar.
- Applied black and gold vinyl graphics.
- 2"x2" aluminum post painted brick color.

Sign Area: 1.72 sq. ft.

SIGN TYPE N - (1X) D/F PARKING SIGN

- Silver painted face plates.
- Gold painted back plates, offset 1 1/2" to the right and 1 1/2" down.
- 3/8" h horizontal rule bars.
- Applied black and gold vinyl graphics.
- 8"x3" aluminum post painted brick color.
- 12" x 6" x 3" h concrete base.

Sign Area: 3.5 sq. ft.

FACE VIEW
 SCALE: 1 1/2" = 1' 0"



1'-6"

1"

TBD

TBD

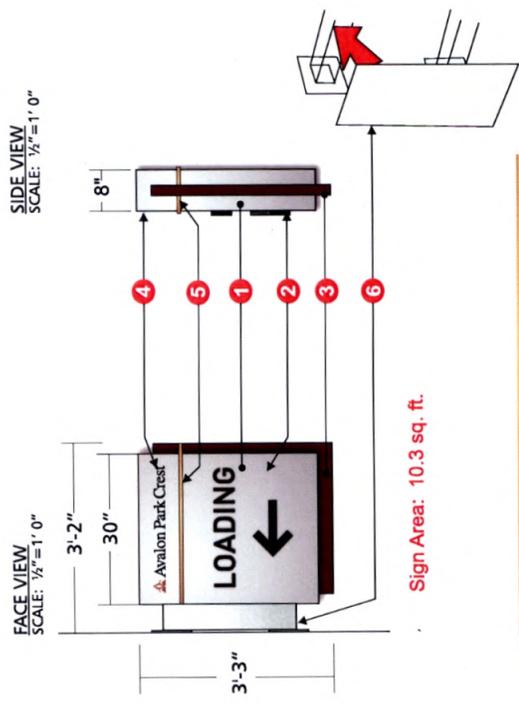
M Quantity: (2x)

N Quantity: (1x)

REVISIONS	
NO.	DATE
1	DC 11/18/10
2	DC 01/07/11
3	DC 01/20/11
4	DC 02/24/11
5	DC 03/22/11
6	DC 04/25/11
7	DC 10/11/11

APPROVED BY

CLIENT
 SALES/PM
 PRODUCTION
 INSTALLATION
 NOTES:

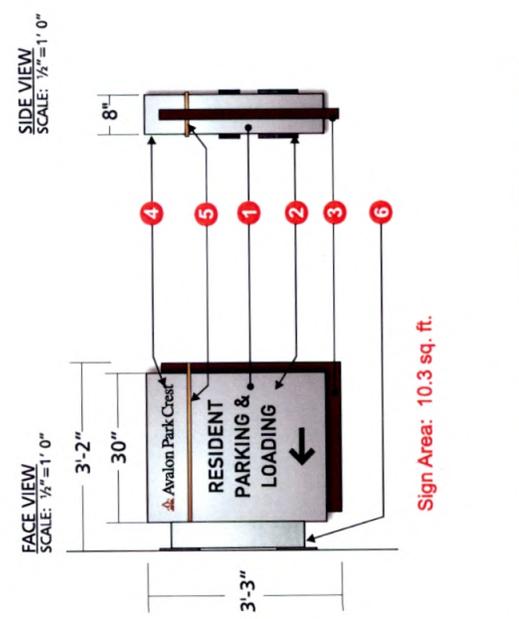


SIGN TYPE P - (1X) S/F LOADING

- 1 Fabricated aluminum cabinets, painted metallic silver.
- 2 3/8" cut-out black acrylic copy & arrow.
- 3 Welded side panel painted dark brick color to match building.
- 4 Applied black & gold vinyl copy & arrow.
- 5 1/2" h gold horizontal bar.
- 6 Mounting arms to be concealed with cover plate.

COLORS

- Metallic Silver
- Gold Metallic
- Black
- Dark Brick Color



SIGN TYPE O - (1X) D/F DIRECTIONAL

- 1 Fabricated aluminum cabinets, painted metallic silver.
- 2 3/8" cut-out black acrylic copy & arrow.
- 3 Welded side panel painted dark brick color to match building.
- 4 Applied black & gold vinyl copy & arrow.
- 5 1/2" h gold horizontal bar.
- 6 Mounting arms to be concealed with cover plate.

COLORS

- Metallic Silver
- Gold Metallic
- Black
- Dark Brick Color

PREPARED AND PROVIDED BY:



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 CAPITOL HEIGHTS, MD 20743
 (PH) 240-785-1460
 (FAX) 240-785-1481
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CLIENT

Avalon Park Crest

SALESPERSON
 ARTHUR GOLDBERG
 DESIGNER
 DIANA

REVISIONS	
NO.	DATE
1	DC 11/18/10
2	DC 01/07/11
3	DC 01/20/11
4	DC 02/24/11
5	DC 03/22/11
6	DC 04/25/11
7	DC 10/11/11

APPROVED BY
 CLIENT
 SALES/PM
 PRODUCTION
 INSTALLATION
 NOTES:

SAVED AS 337-07DC Avalon Park Crest (Exterior & Garage Signs)

NE ELEVATION
 SCALE: 1/16" = 1'-0"



NORTHEAST

PREPARED AND PROVIDED BY:

ART DISPLAY CO.
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 CAPITOL HEIGHTS, MD 20743
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Avalon Park Crest

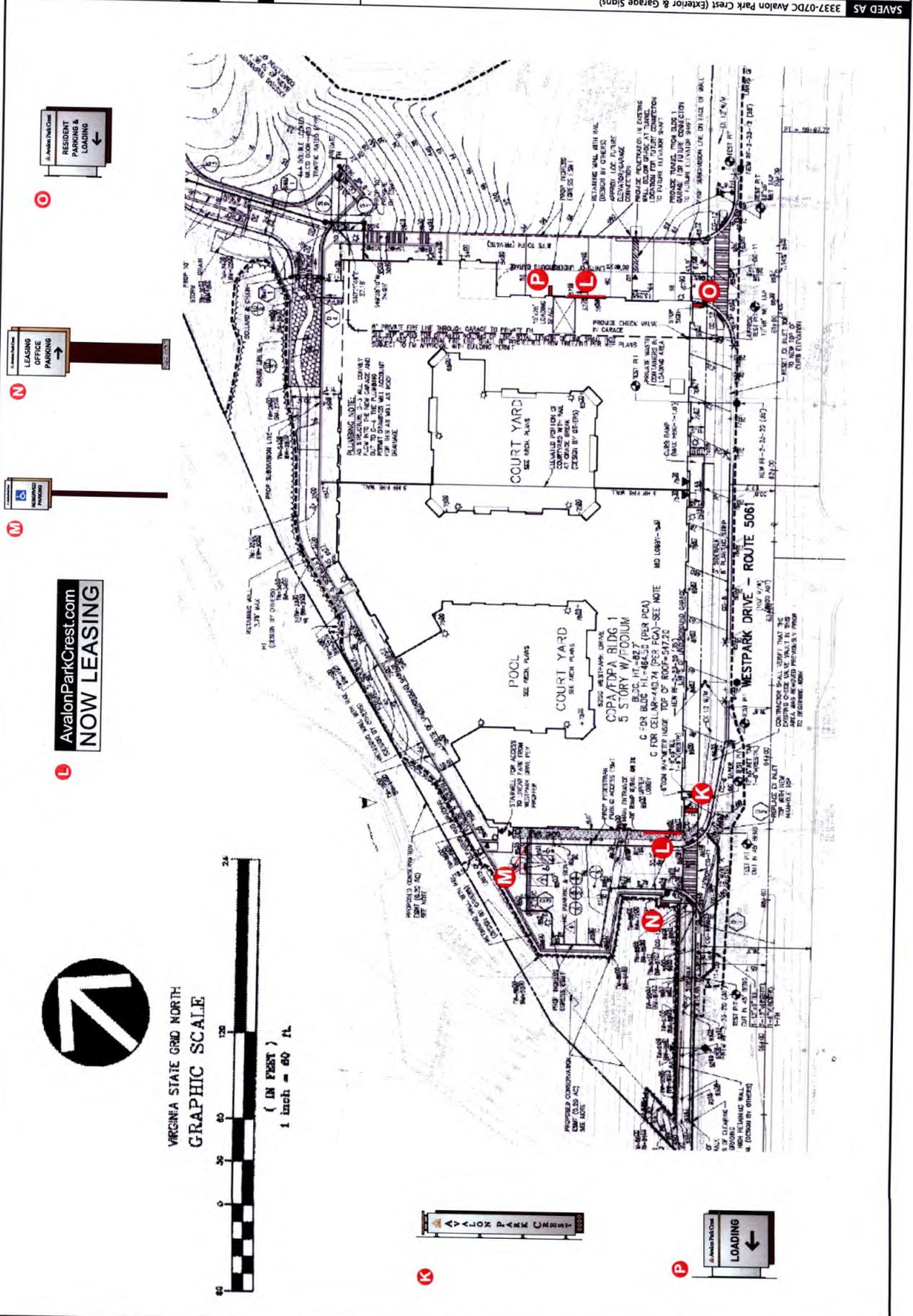
SALESPERSON
ARTHUR GOLDBERG
 DESIGNER
DIANA

NO.	BY	DATE
1	DC	11/18/10
2	DC	01/07/11
3	DC	01/20/11
4	DC	02/24/11
5	DC	03/22/11
6	DC	04/25/11
7	DC	10/17/11

APPROVED BY

CLIENT
 SALESPERSON
 PRODUCTION
 INSTALLATION
 NOTE:

PAGE: 6



SAVED AS 3337-07DC Avalon Park Crest (Exterior & Garage Signs)

PARK CREST
Sign Dimensions and Areas
Comprehensive Sign Plan Amendment
Revised October 12, 2011

The following table provides a summary of the signs by building, type, number and size, as well as a comparison of the proposed signs to the maximum permitted by the Zoning Ordinance absent approval of a Comprehensive Sign Plan:

Sign Type/Description	Zoning Ordinance Section	Article 12 Allowable Sign Area (Square Feet)	Number of Proposed /Existing Signs	Total Proposed/Existing Sign Area (Square Feet)	Difference Proposed/Existing vs. Allowable (Square Feet)
General Community Signage <i>(All signs have been installed except the Park Identification Sign.)</i>					
Corner Entry Feature	12-202(4)	30.00	1	63.75	+33.75
Main Entrance Sign at Crestwood Heights Drive (Double Faced)	12-202 (4)	30.00	1	35.75	+5.75
One Park Crest Building Identification Sign Over Front Door (Building 4)	12-202 (2)	12.00	1	20.00	+8.00
Sales Center Sign (Temporary)	12-103(3)(D)	12.00	1	12.00	No Change
Sign Type D.1 and D.2 -- Directional Freestanding Parking/Deliveries	12-103(2)(G)	2.00	2	24.00 (12.00 each)	+22.00
Sign Type F.1 – Wall Mounted “Resident and Visitor Parking” Lettering	12-103(2)(G)	2.00	1	2.58	+.58
Sign Type F.2 - Wall-Mounted Parking Entrance	12-103(2)(G)	2.00	1	4.00	+2.00
Sign Type F.3 --	12-	2.00	1	12.00	+10.00

PARK CREST
Sign Dimensions and Areas
Comprehensive Sign Plan Amendment
Revised October 12, 2011

Sign Type/Description	Zoning Ordinance Section	Article 12 Allowable Sign Area (Square Feet)	Number of Proposed /Existing Signs	Total Proposed/Existing Sign Area (Square Feet)	Difference Proposed/Existing vs. Allowable (Square Feet)
Directional Freestanding Deliveries/Loading	103(2)(G)				
Sign Type F.4 -- Wall-Mounted Loading Identification for Harris Teeter (Double Faced)	12-103(2)(G)	2.00	1	24.50	+22.50
Sign Type F.5 -- Wall-Mounted Loading Identification for Residential (Doubled Faced)	12-103(2)(G)	2.00	1	24.50	+22.50
Sign Type G -- Lofts Building Identification Over Front Door "The Lofts"	12-202(2)	12.00	1	15.00	+3.00
Sign Type I -- Wall-Mounted Lofts Secondary Building Entrance	12-103(2)(G)	2.00	1	0.83	-1.17
Signage Reserved for Park Identification (<i>Not yet installed</i>)	12-103 ((2) (D)	No limit on allowable area. Freestanding sign cannot exceed 6 feet in height.	1	40.00	No Change
Future Building 3 <i>(Building is planned for future phase. No existing signage.)</i>					
Sign Type B -- Two Park Crest Building Identification Over Front Door	12-202(2)	12.00	1	20.00	+8.00

PARK CREST
Sign Dimensions and Areas
Comprehensive Sign Plan Amendment
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Sign Type/Description	Zoning Ordinance Section	Article 12 Allowable Sign Area (Square Feet)	Number of Proposed /Existing Signs	Total Proposed/Existing Sign Area (Square Feet)	Difference Proposed/Existing vs. Allowable (Square Feet)
Sign Type F.3 -- Directional for Loading/Deliveries	12-103(2)(G)	2.00	1	12.00	+10.00
Sign Type F.2 -- Parking Entrance for Building 3	12-103(2)(G)	2.00	1	4.00	+2.00
Retail Allowance Per Proffer 3(B)(vi)	N/A	N/A	1	8.00	N/A
Future Building 2 <i>(Building planned for a future phase. No existing signage.)</i>					
Sign Type B -- Three Park Crest Building Identification Over Front Door	12-202(2)	12.00	1	24.00	+12.00
Sign Type F.3 -- Directional for Loading/Deliveries	12-103(2)(G)	2.00	1	12.00	+10.00
Sign Type F.2 -- Parking Entrance for Building 2	12-103(2)(G)	2.00	1	4.00	+2.00
Retail Allowance Per Proffer (3)(B)(vi)	N/A	N/A	1	8.00	N/A
Building 1 (Avalon Park Crest) <i>(Building currently under construction. Signs to be installed upon approval of CSPA.)</i>					
Sign Type K -- Four Park Crest Building	12-202(2)	12.00	1	66.67	+54.67

PARK CREST
Sign Dimensions and Areas
Comprehensive Sign Plan Amendment
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Sign Type/Description	Zoning Ordinance Section	Article 12 Allowable Sign Area (Square Feet)	Number of Proposed /Existing Signs	Total Proposed/Existing Sign Area (Square Feet)	Difference Proposed/Existing vs. Allowable (Square Feet)
Identification Internally Illuminated Blade Sign					
Sign Type L— Temporary Leasing Sign	12-103(3)(D)	12.00 per sign	2	69.75 x 2 = 139.50	+115.5
Sign Type M -- Parking Signs	12-103(2)(M)	No size specified in Ordinance.	2	1.72 x 2 = 3.44	N/A
Sign Type N – Parking Sign	12-103(2)(G)	2.00	1	3.5	+1.5
Sign Type O – Directional for Parking and Loading	12-103(2)(G)	2.00	1	10.3	+8.3
Sign Type P – Directional for Loading Area	12-103(2)(G)	2.00	1	10.3	+8.3
Harris Teeter Signage (Building 5) <i>(All signs have been installed.)</i>	12-203(8)	* 1.5 sq. ft. of sign area for each of the first 100 linear feet of building frontage plus 1 sq. ft. of sign area for each linear foot over 100 linear foot of building frontage. No one sign shall exceed 200 sq. ft.	See Below	247.00 (based on 197 feet of frontage on Crestwood Heights Drive)	+281.02 (excluding parking/directional signs)
Sign Type A – Front Door Store Name	12-203 (8)	See *	1	135.00	See Above
Sign Type B – Pharmacy	12-203(8)	See *	1	17.50	See Above

PARK CREST
Sign Dimensions and Areas
Comprehensive Sign Plan Amendment
Revised October 12, 2011

Sign Type/Description	Zoning Ordinance Section	Article 12 Allowable Sign Area (Square Feet)	Number of Proposed /Existing Signs	Total Proposed/Existing Sign Area (Square Feet)	Difference Proposed/Existing vs. Allowable (Square Feet)
Signe Type C – Open 24 Hours	12-203(8)	See *	1	18.38	See Above
Starbucks Lettering	12-203(8)	See *	1	21.92	See Above
Sign Type D – Store Name	12-203(8)	See *	1	135.00	See Above
Sign Type E – Parking Directional	12-103(2)(G)	2.00	1	79.50	+77.50
Sign Type F – Parking Directional	12-103(2)(G)	2.00	1	6.00	+4.00
Sign Type G – Parking Directional	12-103(2)(G)	2.00	1	11.67	+9.67
Sign Type H1 – Store Name	12-203(8)	See *	1	59.11	See Above
Sign Type H2 – Store Name	12-203(8)	See *	1	59.11	See Above
Sign Type I – Food Market and Pharmacy	12-203(8)	See *	1	42.00	See Above
Sign Type J1 – Logo	12-203(8)	See *	1	20.00	See Above
Sign Type J2 – Logo	12-203(8)	See *	1	20.00	See Above

Total Existing Sign Area: 864.1 square feet

Total Sign Area Approved Pursuant to CSP 2002-PR-016: 1,048.1 square feet

Total Proposed Sign Area: 1,229.81 square feet

PROPOSED DEVELOPMENT CONDITIONS**CSP 2002-PR-016****October 22, 2008**

If it is the intent of the Planning Commission to approve CSP 2002-PR-016, located at Tax Map Parcels 29-4 ((7)) A6, A7, A8 and A9 to allow a Comprehensive Sign Plan (CSP) pursuant to Section 12-210 of the Fairfax County Zoning Ordinance, staff recommends that the Planning Commission condition the approval by requiring conformance with the following development conditions.

1. This Comprehensive Signage Plan is granted for and runs with the land indicated in this application and is not transferrable to other land. Minor deviations in sign location, design, and area may be permitted provided the Zoning Administrator determines that such deviations are minor and are in substantial conformance with the Comprehensive Signage Plan.
2. This "Comprehensive Sign Package: Park Crest" consisting of the Park Crest sign package (prepared by Art Display Company on December 12, 2007 as revised through March 28, 2008), Park Crest Entry Feature (prepared by Lewis, Scully and Gionet on April 11, 2008 and May 14, 2008) and Sign Package Submittal for Harris Teeter #302 @ Tyson's Corner, VA (prepared by Casco Signs Incorporated September 28, 2007 as revised through September 23, 2008) and approved with this application, as qualified by these development conditions. Accordingly, the signs regulated by this Comprehensive Sign Plan approval include the signs as described in Attachment 1. In addition, signs allowed by Section 12-103 of the Zoning Ordinance may be permitted, as qualified by these development conditions.

Any sign permit for the signs listed above submitted pursuant to this CSP shall be in substantial conformance with these conditions. Minor deviations in sign location, design (such as shape, font, text and colors), and sign area of the signs present in the CSP may be permitted when the Zoning Administrator determines that such deviations are minor and are in substantial conformance with this CSP. Signs otherwise allowed by Article 12, Signs in the Zoning Ordinance are also permitted, unless qualified by these development conditions.

3. A matrix for signage shall be provided to the Zoning Administrator prior to the issuance of the first sign permit and all subsequent sign permits. The matrix shall include the participant name, address, sign type, sign height, sign area, Non-Residential Use Permit number, and/or any other pertinent information deemed necessary by the Zoning Administrator in order to allow sufficient tracking of all signage to be provided on site. Each sign permit shall be accompanied by a letter from the property owner, manager, and or/agent of the property stating that the requested sign has been reviewed for compliance with this approval.

4. Traffic regulatory signage shall meet the Manual of Uniform Traffic Control Devices (MUTCD) and Virginia Department of Transportation (VDOT) standards.
5. All freestanding permanent signs shall maintain a minimum five-foot setback from any curb line, walkway, street right-of-way or other pedestrian or vehicular travel way.
6. Pursuant to Section 2-505 of the Zoning Ordinance, all freestanding signs shall be located so as not to restrict sight distance for drivers entering or exiting travel intersections, aisles, or driveways.
7. At least 40 square feet of sign area shall be reserved for use by the Fairfax County Park Authority for signage and the Fairfax County Park Authority logo may be placed on signs relating to the proffered linear park.
8. Illumination of signs shall be in conformance with the Lighting Proffer as approved with PCA 2002-PR-016. As such, any illuminated signage shall be internally illuminated, unless such signage is located on the sides of a canopy in which case it may be internally illuminated or backlit. The background of any internally illuminated signs shall be opaque with translucent text, or shall be of non-white colors. Otherwise, the illumination of signs shall be in conformance with the performance standards for glare as set forth in Part 9 of Article 14 of the Zoning Ordinance.
9. All signs shall be consistent with the color palette, typography, and the use of logos as indicated in the CSP. The metallic arch to be located on the monument sign at the corner of West Park Drive and Park Run Drive shall be of a non-reflective metallic material in a satin or matte finish to reduce reflection and glare.
10. The proposed landscaping within the CSP shall be in substantial conformance with the landscaping as previously approved by PCA 2002-PR-016 as to the location, quantity, and quality of plantings.
11. All landscaping located near any sign shall be maintained regularly to prevent overgrowth from obstructing the visibility of the sign.
12. All temporary signage shall conform to Article 12 of the Zoning Ordinance.

The above-proposed conditions are staff recommendations and do not reflect the position of the Planning Commission unless and until adopted by that Commission.

This approval, contingent upon the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. Sign permits must be obtained from Fairfax County for each and every sign erected pursuant to this Comprehensive Sign Plan. The applicant shall be himself responsible for obtaining the required Sign Permits through established procedures.

5. Eating establishments
6. Financial institutions
7. Hotels, motels
8. Offices
9. Medical Care Facility
10. Personal service establishments
11. Quasi-public uses (Category 3), limited to:
 - A. Child care centers and nursery schools
 - B. Colleges, universities
 - C. Private clubs and public benefit associations
 - D. Private schools of general education
 - E. Private schools of special education
12. Retail sales establishments

→ iv. Signage for the Application Property will be primarily for residents, tenants, and guests and shall be permitted in accordance with CSP 2002-PR-016, or as may be permitted in accordance with Article 12 of the Zoning Ordinance. All signage may be modified by the approval of an amendment to CSP 2002-PR-016.

→ C. Temporary Signs

- i. No temporary signs (including “popsicle” style paper or cardboard signs) that are prohibited by Article 12 of the Zoning Ordinance, and no signs that are prohibited by Chapter 7 of Title 33.1 or Chapter 8 of Title 46.2 of the Code of Virginia shall be placed on- or off-site by the Applicant or at

the Applicant's direction to assist in the advertising, marketing, sale, rental, or leasing of residential dwelling units and any commercial, retail, office, or any other secondary use space, on the Application Property. Furthermore, the Applicant shall direct its agents and employees involved in the advertising, marketing, sale, rental, or leasing of residential dwelling units, and any commercial, retail, office, or any other secondary use space, on the Application Property to adhere to this proffer.

- ii. For purposes of this proffer, the Applicant shall be considered to include, but not be limited to, any person, company, or other entity involved in the design, building, site planning, site work, and any other development of the Application Property, any person, company, or other entity involved in the advertising, marketing, sale, rental, or leasing of residential dwelling units and any commercial, retail, office, or any other secondary use space, on the Application Property, any tenant, lessee, or licensee of such space, whether or not the person or company is related to, affiliated with, or has a contractual relationship with the Applicant.

- D. Any additional Principal and Secondary uses specified in the PRM District and not specifically listed in Proffer 3B may be permitted within the buildings with the approval of a Final Development Plan Amendment and/or Special Exception application or Special Permit application, as applicable. A Proffered Condition Amendment ("PCA") application shall not be required, so long as the layout is in substantial conformance with the CDPA.

H. The Applicant will not increase the height of the buildings from the height shown on the CDPA/FDPA nor create a larger shadow impact on the abutting properties to the northwest (the Lincoln and Fountains of McLean, identified as Fairfax County tax map reference 29-2 ((18)), 29-1 ((22)) 1).

14. **Geotechnical Report** – If required by DPWES, the Applicant shall submit geotechnical studies at time of site plan submission and the recommendations of said studies shall be implemented, as required by DPWES.

15. **Lighting**

A. Outdoor Lighting

- i. All lighting shall meet the minimum requirements of Article 14 of the Zoning Ordinance. Any illuminated signage shall be internally illuminated, unless such signage is located on the sides of a canopy in which case it may be internally illuminated or backlit. The background of any internally illuminated signs shall be opaque with translucent text, or shall be of non-white colors.
- ii. Notwithstanding the “Typical Light Fixture” shown on Sheet 16 of the CDPA/FDPA, all outdoor lighting fixtures shall be full cut-off lighting and fully-shielded.

B. Neighborhood Lighting Mitigation

- i. During construction, the Applicant will comply with Article 14-902 Paragraph 2(G) of the Zoning Ordinance. In addition, the Applicant will attempt to reduce glare from OSHA, VOSHA, VUSBC and local ordinance required superstructure lighting to the maximum extent possible

PROPOSED DEVELOPMENT CONDITIONS

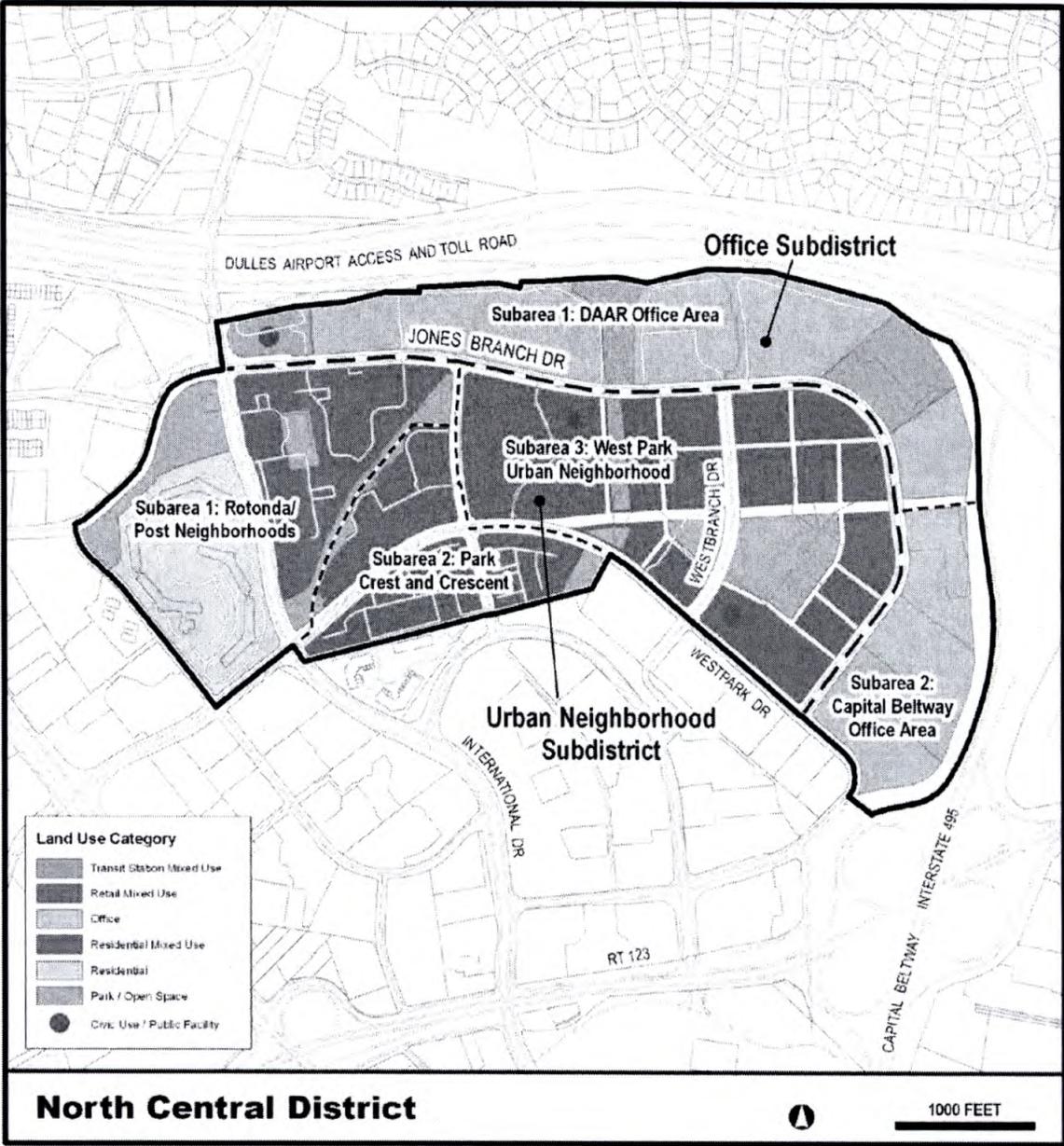
FDP 2002-PR-016

November 5, 2002

If it is the intent of the Planning Commission to approve Final Development Plan FDP 2002-PR-016 for mixed-use residential development located at Tax Map 29-4 ((7)) A3, staff recommends that the Planning Commission condition the approval by requiring conformance with the following development conditions.

1. A sign shall be posted at the northernmost entrance on Park Run Drive which states that use of this entrance is restricted to residents only.
2. The fourteen surface space proposed along West*Park Drive in front of the proposed retail building shall be eliminated.
3. At the main entrance to the site along Park Run Drive, adequate distance shall be provided between the proposed gate and Park Run Drive so that 80-foot long trucks entering the site can pull completely off of Park Run Drive, as approved by DPWES and the Fairfax County Department of Transportation.
4. Lighting shall be provided for the proposed trail within the urban linear park.

The land use concept for the North Central District is shown in the map below. The district is composed of two subdistricts: an office subdistrict and an urban neighborhood subdistrict.



MAP 18

Redevelopment Option

The vision for Subarea 1 is to preserve and enhance the residential area on the west side of International Drive (The Rotonda). To preserve and enhance, road improvements should minimize impact on this area. For example the planned widening of Greensboro Drive should be designed in a manner that minimizes impacts on the entrance of the Rotonda and on its existing tree canopy.

Redevelopment of the area east of International Drive should be considered, especially if it provides affordable and workforce housing and is phased with the provision of circulator service. The minimum affordable/workforce housing commitment should be provided as indicated in the Areawide Land Use Recommendations; in addition, the development proposal should have as an objective increased affordable housing opportunities and positive impacts on the environment, public facilities and transportation systems (See Objective 11 in the Land Use section of the Policy Plan).

Prior to operation of circulator service, redevelopment in this subarea could be considered for additional residential use with intensity up to 1.5 FAR. Redevelopment proposals should provide right-of-way and make appropriate contributions toward the construction cost of the circulators which abut this area. See the Intensity section of the Areawide Land Use Recommendations.

Public facility, transportation and infrastructure analyses should be performed in conjunction with any development application. The results of these analyses should identify necessary improvements, the phasing of these improvements with new development, and appropriate measures to mitigate other impacts. Also, commitments should be provided for needed improvements and for the mitigation of impacts identified in the public facility, transportation and infrastructure analyses, as well as improvements and mitigation measures identified in the Areawide Recommendations.

The ability to realize planned intensities will depend on the degree to which access and circulation improvements are implemented consistent with guidance in the Areawide Urban Design and Transportation Recommendations.

The maximum building height in this subarea is 75 to 150 feet, as shown conceptually on the Building Height Map in the Areawide Urban Design Recommendations. As indicated under the Building Height Guidelines in the Areawide Urban Design Recommendations, building heights should vary within the subarea.

Redevelopment of the Post Neighborhood area should retain and enhance on-site recreational amenities.

Subarea 2: Park Crest and Crescent

This area is comprised of about 32 acres, bounded by Subarea 1 on the north and west, Subarea 3 to the east, and the Tysons Central 123 District on the south. This area contains the Park Crest and Crescent residential developments.

Base Plan

The area north of Westpark Drive containing the Park Crest development is planned for high rise, high density residential and retail uses at its currently approved intensity. The area

south of Westpark Drive is planned for and developed with multi-family residential at 30 dwelling units per acre.

Redevelopment Option

The vision for Subarea 2 is to remain a residential mixed use area. However, some office uses may also be appropriate for a portion of the area north of Westpark Drive given its close proximity to the Dulles Toll Road and the existing office focus there. Office uses may be considered when designed in a manner that complements the existing residential and retail uses in this area. Office uses should be limited to the conversion of one of the approved residential buildings and only if the resultant traffic impact is comparable or less than the currently approved residential building.

For the portion of Subarea 2 to the south of Westpark Drive, higher intensity residential mixed use developments are appropriate to replace the existing residential uses. Redevelopment of this area to an urban residential neighborhood should be considered if it will provide affordable and workforce housing and if the redevelopment is phased with the provision of circulator service. Prior to operation of circulator service, the area should be developed in residential use up to 1.5 FAR. Redevelopment proposals should provide right-of-way or otherwise accommodate the circulators and make appropriate contributions toward their construction cost. See the Intensity section of the Areawide Land use Recommendations.

Public facility, transportation and infrastructure analyses should be performed in conjunction with any development application. The results of these analyses will identify necessary improvements, the phasing of these improvements with new development, and appropriate measures to mitigate other impacts. Also, commitments should be provided for needed improvements and for the mitigation of impacts identified in the public facility, transportation and infrastructure analyses, as well as improvements and mitigation measures identified in the Areawide Recommendations.

The ability to realize planned intensities will depend on the degree to which access and circulation improvements are implemented consistent with guidance in the Areawide Urban Design and Transportation Recommendations.

The maximum building height in this subarea is 150 feet, as conceptually shown on the Building Height Map in the Areawide Urban Design Recommendations. As indicated under the building height guidance in the Areawide Urban Design Recommendations, building heights should vary within the subarea. Approved building heights north of Westpark Drive average 150 feet and due to topographic conditions, in some cases, may exceed 150 feet.

Subarea 3: West Park Urban Neighborhood

This area is comprised of about 88 acres, bounded by Jones Branch Drive on the north and east, the Tysons Central 123 District on the south, and the Subarea 2 neighborhood on the west. This area contains the central portion of the West Park office development.

Base Plan

This area is planned for office with support retail and service uses at existing intensities, which average about 0.60 FAR.



COMMONWEALTH of VIRGINIA
DEPARTMENT OF TRANSPORTATION

4975 Alliance Drive
Fairfax, VA 22030

August 19, 2011

GREGORY A. WHIRLEY
COMMISSIONER

To: Ms. Barbara Berlin
Director, Zoning Evaluation Division

From: Kevin Nelson
Virginia Department of Transportation – Land Development Section

Subject: CSPA 2002-PR-016 Avalon Park Crest LLC
Tax Map # 29-4((07)), ((13)), & ((14)) Various Parcels

All submittals subsequent to the first submittal shall provide a response letter to the previous VDOT comments. Submittals without comment response letters are considered incomplete and will be returned without review.

I have reviewed the above plan submitted on August 4, 2011, and received August 9, 2011. The following comment is offered:

1. Sign K appears to be located within the sight line for an entrance. All signs shall be placed beyond entrance sight lines.

If you have any questions, please call me.

cc: Ms. Angela Rodeheaver

fairfaxrezoning2002-PR-016cspa1AvalonPkCrestLLC8-19-11BB

We Keep Virginia Moving

Fairfax Water

FAIRFAX COUNTY WATER AUTHORITY
8560 Arlington Boulevard, Fairfax, Virginia 22031
www.fairfaxwater.org

**PLANNING & ENGINEERING
DIVISION**

Jamie Bain Hedges, P.E.
Director
(703) 289-6325
Fax (703) 289-6382

August 10, 2011

Ms. Barbara Berlin, Director
Fairfax County Department of Planning and Zoning
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035-5505

Re: CSPA 2002-PR-016
Tax Map: 29-4

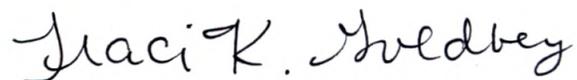
Dear Ms. Berlin:

The following information is submitted in response to your request for a water service analysis for the above application:

1. The property is served by Fairfax Water.
2. Adequate domestic water service is available at the site from an existing 12-inch water main. See the enclosed water system map.
3. Permanent type signs and support structures with concrete footers are not allowed within Fairfax Water easements. Any proposed work within existing water main easements will require review and approval from Fairfax Water.

If you have any questions regarding this information please contact Dave Guerra at 703-289-6343.

Sincerely,



Traci K. Goldberg, P.E.
Manager, Planning Department

Enclosure

cc: Sara Mariska, Walsh Colucci Lubeley Emrich & Walsh



County of Fairfax, Virginia

MEMORANDUM

DATE: September 20, 2011

TO: Barbara Berlin, Director,
Zoning Evaluation Division
Department of Planning & Zoning

FROM: *Barbara Berlin*
Barbara A. Byron, Director
Office of Community Revitalization and Reinvestment

SUBJECT: Avalon Park Crest, LLC CSPA 2002-PR-016

The Office of Community Revitalization and Reinvestment (OCRR) has reviewed the above Comprehensive Sign Plan. Overall, OCRR believes this application is an acceptable amendment to the Park Crest CSP. The one exception to this is Sign Type L, the temporary leasing sign. This sign should be significantly reduced in size and should be removed from the building within 12 months, unless fewer than 90% of the units in the building have been leased. In this case, an extension may be granted.

CC: Bob Katai, Staff Coordinator, DPZ/ZED
OCRR File



Office of Community Revitalization and Reinvestment
12055 Government Center Parkway, Suite 1048
Fairfax, VA 22035
703-324-93000, TTY 711
www.fcrevit.org

FAIRFAX COUNTY ZONING ORDINANCE

PART 2 12-200 SIGN REGULATIONS BY USE AND DISTRICT

The following regulations shall apply to all signs which require a sign permit by the provisions of this Article. The regulations are based on the zoning district in which the use and accessory sign are located, the use itself and the location of the use.

12-201 Residential, Single Family Uses

The following regulations shall apply to all signs which are accessory to single family residential uses, to include single family detached, single family attached and mobile home dwellings.

1. Unless otherwise qualified, permitted signs may be located anywhere on the lot of the use to which the sign is accessory.
2. Building-mounted signs may be permitted in accordance with Par. 2F of Sect. 103 above; however, such signs shall be flush against the building and shall not exceed a height of ten (10) feet above grade.
3. Illumination, if used, shall be white and not colored. All illumination shall be in conformance with the performance standards for outdoor lighting as set forth in Part 9 of Article 14.
4. Freestanding signs which identify the name of a single family residential subdivision or development shall be permitted at each major entrance thereto. Such signs shall not exceed thirty (30) square feet in area or eight (8) feet in height. More than one (1) sign may be placed at each major entrance; however, the aggregate area of all such signs shall not exceed thirty (30) square feet at each entrance.

12-202 Residential, Multiple Family Uses

The following regulations shall apply to all signs which are accessory to multiple family residential uses.

1. Unless otherwise qualified, permitted signs may be located anywhere on the lot of the use to which the sign is accessory.
2. Building-mounted signs identifying the name of the building and the address as required by Chapter 102 of The Code shall be permitted. Such signs shall be flush against the building and shall not exceed twelve (12) square feet in area per building nor be located at a height exceeding thirty (30) feet above grade.
3. Illumination, if used, shall be white and not colored light. All illumination shall be in conformance with the performance standards for outdoor lighting as set forth in Part 9 of Article 14.
4. Freestanding signs which identify the name of a multiple family development shall be permitted at each major entrance thereto. Such signs shall not exceed thirty (30) square feet in area or eight (8) feet in height. More than one (1) sign may be placed at each major entrance; however, the aggregate area of all such signs shall not exceed thirty (30) square feet at each entrance.

SIGNS

5. In addition to the signs permitted above, each multiple family development shall be permitted one (1) sign identifying a rental office. Such sign shall not exceed four (4) square feet in area, may be either building-mounted or freestanding, and if freestanding shall not exceed four (4) feet in height or be located closer than five (5) feet to any lot line.

12-203

Commercial Uses - General

The following regulations shall apply to all signs which are accessory to permitted, special permit and special exception uses located in a C district or the commercial area of a P district, except as provided in Par. 12 of Sect. 207 below. The regulations of this section are supplemented by the provisions set forth in Sections 204, 205 and 206 below.

1. Building-mounted signs may be located anywhere on the surface of the walls or roof of the building, but no part of any sign shall extend above or beyond the perimeter of the building wall, parapet wall or roof, except as permitted by Par. 2 below. No sign shall be located on a chimney, flue, antenna, monopole, transmission tower or cable, smokestack, or other similar rooftop structures and mechanical appurtenances. A sign may be mounted flat against a rooftop penthouse wall or rooftop screening wall which is an integral architectural element of the building through the continuation of materials, color, and design exhibited by the main portion of the building. Such signs shall conform to the following:
 - A. No part of the sign shall extend above or beyond the perimeter of the penthouse wall or screening wall to which it is attached or project outward from the penthouse wall or screening wall.
 - B. The sign shall not extend more than twelve (12) feet above the lowest point of the wall, and shall be limited to identification signs consisting of an organizational logo and/or the name of a company or premises.
2. A building-mounted sign may extend beyond the wall of a building when such sign is erected at a right angle to the wall, does not extend into the minimum required yard and is not located closer than two (2) feet to any street line.
3. Signs may be located on the vertical face of a marquee, but no part of the sign shall extend above or below the vertical face. The bottom of a marquee sign shall be no less than ten (10) feet above a walkway or grade, at any point.
4. Unless further restricted by the provisions that follow, no freestanding sign shall exceed a height of twenty (20) feet.
5. Freestanding signs, where permitted, shall in no instance project beyond any property line or be within five (5) feet of the curb line of a service drive, travel lane or adjoining street. When located on a corner lot, a freestanding sign shall be subject to the provisions of Sect. 2-505.

SIGNS

- M. Any other use located in structures that have the exterior appearance of a single family detached dwelling may be permitted one (1) sign, either building-mounted or freestanding. Such sign shall not exceed six (6) square feet in area.
- (1) If building-mounted, such sign shall not exceed a height of ten (10) feet above grade.
 - (2) If freestanding, such sign shall not exceed a height of four (4) feet or be located closer than ten (10) feet to any lot line.
- N. Any other use located in structures that do not have the exterior appearance of a single family detached dwelling and uses which are predominantly outdoor uses such as golf courses, marinas and cemeteries may be permitted one (1) building-mounted sign and one (1) freestanding sign. No such sign shall exceed a sign area of twelve (12) square feet and the combined total sign area for a given use shall not exceed twenty (20) square feet.
- (1) If building-mounted, such sign shall not exceed a height of twenty (20) feet above grade.
 - (2) A freestanding sign shall not exceed a height of ten (10) feet or be located closer than ten (10) feet to any lot line.

12-209 Accessory Service Uses

Accessory service uses as permitted by the provisions of Part 2 of Article 10 shall be permitted one (1) building-mounted sign not to exceed fifteen (15) square feet in area for all such uses in a given building. Such signs shall be calculated as part of the sign area permitted for the building by the provisions of this Article.

12-210 Uses in P Districts

The provisions set forth in the preceding Sections shall be applicable to signs accessory to uses in P districts. However, in keeping with the intent to allow flexibility in the design of planned developments, the following options may be applicable to signs in the P districts:

1. As an alternative, signs may be permitted in a P district in accordance with a comprehensive plan of signage subject to the approval of the Planning Commission following a public hearing conducted in accordance with the provisions of Sect. 18-109. The comprehensive plan of signage shall show the location, size, height and extent of all proposed signs within the P district or section thereof, as well as the nature of the information to be displayed on the signs.
2. In addition, within a PRC District or the Tysons Corner Urban Center as designated in the adopted comprehensive plan, a plan for off-site directional signs which identify destinations or locations within the district or center such as commercial centers, residential areas, public uses or community facilities may be approved by the Planning Commission following a public hearing conducted in accordance with Sect. 18-109; provided, however, that written notice to property owners and adjacent property owners

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shall not be required. The plan for off-site signs shall show the location, size, height and extent of all signs encompassed within the plan as well as the nature of the information to be displayed on each sign. All such signs shall be located within the PRC District or the Tysons Corner Urban Center, as applicable.

3. Any application submitted pursuant to Par. 1 or 2 above may be made by any property owner, owner of an easement, lessee, contract purchaser or their agent or within the Tysons Corner Urban Center, an application pursuant to Par. 2 above may be made by a public agency or County recognized redevelopment organization or authority. Such application shall be accompanied by a statement setting forth the names of the record owners of the properties upon which such signs are proposed to be located and a fee as set forth in Sect. 18-106. In the event an application pursuant to Par. 2 above is made within the Tysons Corner Urban Center to include property not zoned PTC, such directional signs shall not impact the amount or size of signage otherwise permitted on such property.

When such application requests permission to erect a sign on property owned by someone other than the applicant, then such application shall be accompanied by a written statement signed by the record owners of such properties which indicates their endorsement of the application.

4. The above-cited signage options shall be in accordance with the standards for all planned developments as set forth in Part 1 of Article 16. All proposed signs shall be in scale and harmonious with the development and shall be so located and sized as to ensure convenience to the visitor, user or occupant of the development while not adding to street clutter or otherwise detracting from the planned unit nature of the development and the purposes of architectural and urban design elements.

GLOSSARY

This Glossary is provided to assist the public in understanding the staff evaluation and analysis of development proposals. It should not be construed as representing legal definitions. Refer to the Fairfax County Zoning Ordinance, Comprehensive Plan or Public Facilities Manual for additional information.

ABANDONMENT: Refers to road or street abandonment, an action taken by the Board of Supervisors, usually through the public hearing process, to abolish the public's right-of-passage over a road or road right-of way. Upon abandonment, the right-of-way automatically reverts to the underlying fee owners. If the fee to the owner is unknown, Virginia law presumes that fee to the roadbed rests with the adjacent property owners if there is no evidence to the contrary.

ACCESSORY DWELLING UNIT (OR APARTMENT): A secondary dwelling unit established in conjunction with and clearly subordinate to a single family detached dwelling unit. An accessory dwelling unit may be allowed if a special permit is granted by the Board of Zoning Appeals (BZA). Refer to Sect. 8-918 of the Zoning Ordinance.

AFFORDABLE DWELLING UNIT (ADU) DEVELOPMENT: Residential development to assist in the provision of affordable housing for persons of low and moderate income in accordance with the affordable dwelling unit program and in accordance with Zoning Ordinance regulations. Residential development which provides affordable dwelling units may result in a density bonus (see below) permitting the construction of additional housing units. See Part 8 of Article 2 of the Zoning Ordinance.

AGRICULTURAL AND FORESTAL DISTRICTS: A land use classification created under Chapter 114 or 115 of the Fairfax County Code for the purpose of qualifying landowners who wish to retain their property for agricultural or forestal use for use/value taxation pursuant to Chapter 58 of the Fairfax County Code.

BARRIER: A wall, fence, earthen berm, or plant materials which may be used to provide a physical separation between land uses. Refer to Article 13 of the Zoning Ordinance for specific barrier requirements.

BEST MANAGEMENT PRACTICES (BMPs): Stormwater management techniques or land use practices that are determined to be the most effective, practicable means of preventing and/or reducing the amount of pollution generated by nonpoint sources in order to improve water quality.

BUFFER: Graduated mix of land uses, building heights or intensities designed to mitigate potential conflicts between different types or intensities of land uses; may also provide for a transition between uses. A landscaped buffer may be an area of open, undeveloped land and may include a combination of fences, walls, berms, open space and/or landscape plantings. A buffer is not necessarily coincident with transitional screening.

CHESAPEAKE BAY PRESERVATION ORDINANCE: Regulations which the State has mandated must be adopted to protect the Chesapeake Bay and its tributaries. These regulations must be incorporated into the comprehensive plans, zoning ordinances and subdivision ordinances of the affected localities. Refer to Chesapeake Bay Preservation Act, Va. Code Section 10.1-2100 et seq and VR 173-02-01, Chesapeake Bay Preservation Area Designation and Management Regulations.

CLUSTER DEVELOPMENT: Residential development in which the lots are clustered on a portion of a site so that significant environmental/historical/cultural resources may be preserved or recreational amenities provided. While smaller lot sizes are permitted in a cluster subdivision to preserve open space, the overall density cannot exceed that permitted by the applicable zoning district. See Sect. 2-421 and Sect. 9-615 of the Zoning Ordinance.

COUNTY 2232 REVIEW PROCESS: A public hearing process pursuant to Sect. 15.2-2232 (Formerly Sect. 15.1-456) of the Virginia Code which is used to determine if a proposed public facility not shown on the adopted Comprehensive Plan is in substantial accord with the plan. Specifically, this process is used to determine if the general or approximate location, character and extent of a proposed facility is in substantial accord with the Plan.

dBA: The momentary magnitude of sound weighted to approximate the sensitivity of the human ear to certain frequencies; the dBA value describes a sound at a given instant, a maximum sound level or a steady state value. See also Ldn.

DENSITY: Number of dwelling units (du) divided by the gross acreage (ac) of a site being developed in residential use; or, the number of dwelling units per acre (du/ac) except in the PRC District when density refers to the number of persons per acre.

DENSITY BONUS: An increase in the density otherwise allowed in a given zoning district which may be granted under specific provisions of the Zoning Ordinance when a developer provides excess open space, recreation facilities, or affordable dwelling units (ADUs), etc.

DEVELOPMENT CONDITIONS: Terms or conditions imposed on a development by the Board of Supervisors (BOS) or the Board of Zoning Appeals (BZA) in connection with approval of a special exception, special permit or variance application or rezoning application in a "P" district. Conditions may be imposed to mitigate adverse impacts associated with a development as well as secure compliance with the Zoning Ordinance and/or conformance with the Comprehensive Plan. For example, development conditions may regulate hours of operation, number of employees, height of buildings, and intensity of development.

DEVELOPMENT PLAN: A graphic representation which depicts the nature and character of the development proposed for a specific land area: information such as topography, location and size of proposed structures, location of streets trails, utilities, and storm drainage are generally included on a development plan. A development plan is a submission requirement for rezoning to the PRC District. A **GENERALIZED DEVELOPMENT PLAN (GDP)** is a submission requirement for a rezoning application for all conventional zoning districts other than a P District. A development plan submitted in connection with a special exception (SE) or special permit (SP) is generally referred to as an SE or SP plat. A **CONCEPTUAL DEVELOPMENT PLAN (CDP)** is a submission requirement when filing a rezoning application for a P District other than the PRC District; a CDP characterizes in a general way the planned development of the site. A **FINAL DEVELOPMENT PLAN (FDP)** is a submission requirement following the approval of a conceptual development plan and rezoning application for a P District other than the PRC District; an FDP further details the planned development of the site. See Article 16 of the Zoning Ordinance.

EASEMENT: A right to or interest in property owned by another for a specific and limited purpose. Examples: access easement, utility easement, construction easement, etc. Easements may be for public or private purposes.

ENVIRONMENTAL QUALITY CORRIDORS (EQCs): An open space system designed to link and preserve natural resource areas, provide passive recreation and protect wildlife habitat. The system includes stream valleys, steep slopes and wetlands. For a complete definition of EQCs, refer to the Environmental section of the Policy Plan for Fairfax County contained in Vol. 1 of the Comprehensive Plan.

ERODIBLE SOILS: Soils that wash away easily, especially under conditions where stormwater runoff is inadequately controlled. Silt and sediment are washed into nearby streams, thereby degrading water quality.

FLOODPLAIN: Those land areas in and adjacent to streams and watercourses subject to periodic flooding; usually associated with environmental quality corridors. The 100 year floodplain drains 70 acres or more of land and has a one percent chance of flood occurrence in any given year.

FLOOR AREA RATIO (FAR): An expression of the amount of development intensity (typically, non-residential uses) on a specific parcel of land. FAR is determined by dividing the total square footage of gross floor area of buildings on a site by the total square footage of the site itself.

FUNCTIONAL CLASSIFICATION: A system for classifying roads in terms of the character of service that individual facilities are providing or are intended to provide, ranging from travel mobility to land access. Roadway system functional classification elements include Freeways or Expressways which are limited access highways, Other Principal (or Major) Arterials, Minor Arterials, Collector Streets, and Local Streets. Principal arterials are designed to accommodate travel; access to adjacent properties is discouraged. Minor arterials are designed to serve both through traffic and local trips. Collector roads and streets link local streets and properties with the arterial network. Local streets provide access to adjacent properties.

GEOTECHNICAL REVIEW: An engineering study of the geology and soils of a site which is submitted to determine the suitability of a site for development and recommends construction techniques designed to overcome development on problem soils, e.g., marine clay soils.

HYDROCARBON RUNOFF: Petroleum products, such as motor oil, gasoline or transmission fluid deposited by motor vehicles which are carried into the local storm sewer system with the stormwater runoff, and ultimately, into receiving streams; a major source of non-point source pollution. An oil-grit separator is a common hydrocarbon runoff reduction method.

IMPERVIOUS SURFACE: Any land area covered by buildings or paved with a hard surface such that water cannot seep through the surface into the ground.

INFILL: Development on vacant or underutilized sites within an area which is already mostly developed in an established development pattern or neighborhood.

INTENSITY: The magnitude of development usually measured in such terms as density, floor area ratio, building height, percentage of impervious surface, traffic generation, etc. Intensity is also based on a comparison of the development proposal against environmental constraints or other conditions which determine the carrying capacity of a specific land area to accommodate development without adverse impacts.

Ldn: Day night average sound level. It is the twenty-four hour average sound level expressed in A-weighted decibels; the measurement assigns a "penalty" to night time noise to account for night time sensitivity. Ldn represents the total noise environment which varies over time and correlates with the effects of noise on the public health, safety and welfare.

LEVEL OF SERVICE (LOS): An estimate of the effectiveness of a roadway to carry traffic, usually under anticipated peak traffic conditions. Level of Service efficiency is generally characterized by the letters A through F, with LOS-A describing free flow traffic conditions and LOS-F describing jammed or grid-lock conditions.

MARINE CLAY SOILS: Soils that occur in widespread areas of the County generally east of Interstate 95. Because of the abundance of shrink-swell clays in these soils, they tend to be highly unstable. Many areas of slope failure are evident on natural slopes. Construction on these soils may initiate or accelerate slope movement or slope failure. The shrink-swell soils can cause movement in structures, even in areas of flat topography, from dry to wet seasons resulting in cracked foundations, etc. Also known as slippage soils.

OPEN SPACE: That portion of a site which generally is not covered by buildings, streets, or parking areas. Open space is intended to provide light and air; open space may function as a buffer between land uses or for scenic, environmental, or recreational purposes.

OPEN SPACE EASEMENT: An easement usually granted to the Board of Supervisors which preserves a tract of land in open space for some public benefit in perpetuity or for a specified period of time. Open space easements may be accepted by the Board of Supervisors, upon request of the land owner, after evaluation under criteria established by the Board. See Open Space Land Act, Code of Virginia, Sections 10.1-1700, et seq.

P DISTRICT: A "P" district refers to land that is planned and/or developed as a Planned Development Housing (PDH) District, a Planned Development Commercial (PDC) District or a Planned Residential Community (PRC) District. The PDH, PDC and PRC Zoning Districts are established to encourage innovative and creative design for land development; to provide ample and efficient use of open space; to promote a balance in the mix of land uses, housing types, and intensity of development; and to allow maximum flexibility in order to achieve excellence in physical, social and economic planning and development of a site. Refer to Articles 6 and 16 of the Zoning Ordinance.

PROFFER: A written condition, which, when offered voluntarily by a property owner and accepted by the Board of Supervisors in a rezoning action, becomes a legally binding condition which is in addition to the zoning district regulations applicable to a specific property. Proffers are submitted and signed by an owner prior to the Board of Supervisors public hearing on a rezoning application and run with the land. Once accepted by the Board, proffers may be modified only by a proffered condition amendment (PCA) application or other zoning action of the Board and the hearing process required for a rezoning application applies. See Sect. 15.2-2303 (formerly 15.1-491) of the Code of Virginia.

PUBLIC FACILITIES MANUAL (PFM): A technical text approved by the Board of Supervisors containing guidelines and standards which govern the design and construction of site improvements incorporating applicable Federal, State and County Codes, specific standards of the Virginia Department of Transportation and the County's Department of Public Works and Environmental Services.

RESOURCE MANAGEMENT AREA (RMA): That component of the Chesapeake Bay Preservation Area comprised of lands that, if improperly used or developed, have a potential for causing significant water quality degradation or for diminishing the functional value of the Resource Protection Area. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

RESOURCE PROTECTION AREA (RPA): That component of the Chesapeake Bay Preservation Area comprised of lands at or near the shoreline or water's edge that have an intrinsic water quality value due to the ecological and biological processes they perform or are sensitive to impacts which may result in significant degradation of the quality of state waters. In their natural condition, these lands provide for the removal, reduction or assimilation of sediments from runoff entering the Bay and its tributaries, and minimize the adverse effects of human activities on state waters and aquatic resources. New development is generally discouraged in an RPA. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

SITE PLAN: A detailed engineering plan, to scale, depicting the development of a parcel of land and containing all information required by Article 17 of the Zoning Ordinance. Generally, submission of a site plan to DPWES for review and approval is required for all residential, commercial and industrial development except for development of single family detached dwellings. The site plan is required to assure that development complies with the Zoning Ordinance.

SPECIAL EXCEPTION (SE) / SPECIAL PERMIT (SP): Uses, which by their nature, can have an undue impact upon or can be incompatible with other land uses and therefore need a site specific review. After review, such uses may be allowed to locate within given designated zoning districts if appropriate and only under special controls, limitations, and regulations. A special exception is subject to public hearings by the Planning Commission and Board of Supervisors with approval by the Board of Supervisors; a special permit requires a public hearing and approval by the Board of Zoning Appeals. Unlike proffers which are voluntary, the Board of Supervisors or BZA may impose reasonable conditions to assure, for example, compatibility and safety. See Article 8, Special Permits and Article 9, Special Exceptions, of the Zoning Ordinance.

STORMWATER MANAGEMENT: Engineering practices that are incorporated into the design of a development in order to mitigate or abate adverse water quantity and water quality impacts resulting from development. Stormwater management systems are designed to slow down or retain runoff to re-create, as nearly as possible, the pre-development flow conditions.

SUBDIVISION PLAT: The engineering plan for a subdivision of land submitted to DPWES for review and approved pursuant to Chapter 101 of the County Code.

TRANSPORTATION DEMAND MANAGEMENT (TDM): Actions taken to reduce single occupant vehicle automobile trips or actions taken to manage or reduce overall transportation demand in a particular area.

TRANSPORTATION SYSTEM MANAGEMENT (TSM) PROGRAMS: This term is used to describe a full spectrum of actions that may be applied to improve the overall efficiency of the transportation network. TSM programs usually consist of low-cost alternatives to major capital expenditures, and may include parking management measures, ridesharing programs, flexible or staggered work hours, transit promotion or operational improvements to the existing roadway system. TSM includes Transportation Demand Management (TDM) measures as well as H.O.V. use and other strategies associated with the operation of the street and transit systems.

URBAN DESIGN: An aspect of urban or suburban planning that focuses on creating a desirable environment in which to live, work and play. A well-designed urban or suburban environment demonstrates the four generally accepted principles of design: clearly identifiable function for the area; easily understood order; distinctive identity; and visual appeal.

VACATION: Refers to vacation of street or road as an action taken by the Board of Supervisors in order to abolish the public's right-of-passage over a road or road right-of-way dedicated by a plat of subdivision. Upon vacation, title to the road right-of-way transfers by operation of law to the owner(s) of the adjacent properties within the subdivision from whence the road/road right-of-way originated.

VARIANCE: An application to the Board of Zoning Appeals which seeks relief from a specific zoning regulation such as lot width, building height, or minimum yard requirements, among others. A variance may only be granted by the Board of Zoning Appeals through the public hearing process and upon a finding by the BZA that the variance application meets the required Standards for a Variance set forth in Sect. 18-404 of the Zoning Ordinance.

WETLANDS: Land characterized by wetness for a portion of the growing season. Wetlands are generally delineated on the basis of physical characteristics such as soil properties indicative of wetness, the presence of vegetation with an affinity for water, and the presence or evidence of surface wetness or soil saturation. Wetland environments provide water quality improvement benefits and are ecologically valuable. Development activity in wetlands is subject to permitting processes administered by the U.S. Army Corps of Engineers

TIDAL WETLANDS: Vegetated and nonvegetated wetlands as defined in Chapter 116 Wetlands Ordinance of the Fairfax County Code: includes tidal shores and tidally influenced embayments, creeks, and tributaries to the Occoquan and Potomac Rivers. Development activity in tidal wetlands may require approval from the Fairfax County Wetlands Board.

Abbreviations Commonly Used in Staff Reports

A&F	Agricultural & Forestal District	PDH	Planned Development Housing
ADU	Affordable Dwelling Unit	PFM	Public Facilities Manual
ARB	Architectural Review Board	PRC	Planned Residential Community
BMP	Best Management Practices	RC	Residential-Conservation
BOS	Board of Supervisors	RE	Residential Estate
BZA	Board of Zoning Appeals	RMA	Resource Management Area
COG	Council of Governments	RPA	Resource Protection Area
CBC	Community Business Center	RUP	Residential Use Permit
CDP	Conceptual Development Plan	RZ	Rezoning
CRD	Commercial Revitalization District	SE	Special Exception
DOT	Department of Transportation	SEA	Special Exception Amendment
DP	Development Plan	SP	Special Permit
DPWES	Department of Public Works and Environmental Services	TDM	Transportation Demand Management
DPZ	Department of Planning and Zoning	TMA	Transportation Management Association
DU/AC	Dwelling Units Per Acre	TSA	Transit Station Area
EQC	Environmental Quality Corridor	TSM	Transportation System Management
FAR	Floor Area Ratio	UP & DD	Utilities Planning and Design Division, DPWES
FDP	Final Development Plan	VC	Variance
GDP	Generalized Development Plan	VDOT	Virginia Dept. of Transportation
GFA	Gross Floor Area	VPD	Vehicles Per Day
HC	Highway Corridor Overlay District	VPH	Vehicles per Hour
HCD	Housing and Community Development	WMATA	Washington Metropolitan Area Transit Authority
LOS	Level of Service	WS	Water Supply Protection Overlay District
Non-RUP	Non-Residential Use Permit	ZAD	Zoning Administration Division, DPZ
OSDS	Office of Site Development Services, DPWES	ZED	Zoning Evaluation Division, DPZ
PCA	Proffered Condition Amendment	ZPRB	Zoning Permit Review Branch
PD	Planning Division		
PDC	Planned Development Commercial		