



# County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

October 7, 2011

Lori Greenlief  
McGuire Woods, LP  
1750 Tysons Boulevard, Suite 1800  
McLean, VA 22102-4215

Re: Interpretation for SEA 85-D-097-5, Potomac School, Tax Map 31-1 ((1)) 5, 7, 8, and 12A:  
Building Modifications to Intermediate School

Dear Ms. Greenlief:

This is in response to your letter of August 26, 2011, requesting an interpretation of the Special Exception Amendment (SEA) Plat and development conditions imposed by the Board of Supervisors with approval of the above application. As I understand it, the question is whether the proposed modifications to the Intermediate School are in substantial conformance with SEA 85-D-097-5. This determination is based on your letter; attached highlighted exhibits based on the SEA Plat; an existing conditions exhibit; existing and proposed floor plans for the first and second floors of the intermediate school; existing and proposed sections of the intermediate school; proposed perspective views of the intermediate school; the development conditions; and the SEA Plat. Copies of the letter and relevant exhibits are attached.

On August 6, 2007, the Board of Supervisors approved SEA 85-D-097-5, subject to development conditions, to amend the previously approved special exception for a private school of general education and child care center to permit building additions, temporary classrooms, an increase in land area from 82.95 acres to 89.99 acres, and other site modifications. The total square gross floor area (GFA) approved for the site was 478,315 square feet or a Maximum Floor Area Ratio (FAR) of 0.122 at final build-out. The school has proceeded with a phased approach and has now constructed the improvements to the Lower School as the first phase. The area under discussion in this letter is the Intermediate School located generally in the center of the site.

According to your letter and the attached exhibits, you are proposing to modify the entrance foyer, communal areas, and rear stairwell of the Intermediate School. You state that a portion of the existing building will be demolished in order to construct the modifications. As I understand it, the proposed new construction will equal approximately 2,242 square feet. You state that the overall FAR will not increase above the approved 0.122 because the lower school was constructed 6,830 square feet smaller than approved. Therefore, with the proposed new construction,

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Lori Greenlief

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there will remain 4,588 square feet of approved but unbuilt GFA. In addition, approximately 400 square feet of approved square footage for the Intermediate School will not be constructed. The proposed modifications are located in the interior of the site. According to the proposed typical section, where the proposed new construction is two-story, the height will be slightly less than the approved 32 feet. You note that the proposed modifications will not result in any increase in trip generation and that all other development conditions associated with SRA 84-D-097-5 will be honored.

As such, it is my determination that the proposed modifications to the intermediate school discussed above would be in substantial conformance with the development conditions and the SEA Plat. This determination has been made in my capacity as the duly authorized agent of the Zoning Administrator and addresses only those items discussed herein.

If you have any questions regarding this interpretation, please feel free to contact Mary Ann Godfrey at (703) 324-1290.

Sincerely,



Barbara C. Berlin, AICP, Director  
Zoning Evaluation Division

O:\BCB\mgodf2\SE Interpretations\Potomac School (SEA 85-D-097-5) Bldg. Modif. Intermediate School.doc

Attachments: A/S

cc: John Foust, Supervisor, Dranesville District  
Jay P. Donahue, Planning Commissioner, Dranesville District  
Diane Johnson-Quinn, Deputy Zoning Administrator, DPZ  
Kenneth Williams, Technical Processing, Office of Land Development Services, DPWES  
Angela Rodeheaver, Section Chief for Site Analysis, DOT  
Jack Weyant, Director, Environmental and Facilities Inspection Division, DPWES  
Kevin Guinaw, Chief, Special Projects/Applications Acceptance Branch, DPWES  
File: SEA 85-D-097-5, SEI 1108 041, Imaging, Reading File

McGuireWoods LLP  
1750 Tysons Boulevard  
Suite 1800  
McLean, VA 22102-4215  
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McGUIREWOODS

RECEIVED  
Department of Planning & Zoning  
AUG 30 2011  
Zoning Evaluation Division

lgreenlief@mcguirewoods.com  
Direct Fax: 703.712.5050

August 26, 2011

Ms. Barbara Berlin, Director  
Zoning Evaluation Division  
12005 Government Center Parkway  
Suite 801  
Fairfax, VA 22035

RE: Interpretation for SEA 85-D-097-5, Potomac School, Tax Map 31-1((1))5, 7, 8, 10A, 10B, 10C and 12A

Dear Ms. Berlin:

The purpose of this letter is to request an interpretation pursuant to Sect. 9-004 of the Zoning Ordinance of Condition 2 of the development conditions approved by the Board of Supervisors in conjunction with SEA 85-D-097-5, Potomac School. Specifically, the request is for a determination that the proposed building modifications to the Intermediate School are in substantial conformance with that shown on the approved special exception plat.

#### Background

The Potomac School currently operates under special exception approval on their campus located off of Potomac School Road in McLean. The most recent and the governing special exception amendment, SEA 85-D-097-5, was approved in 2007 and allowed several building additions and other site modifications. An additional 150,934 square feet of floor area was allowed with this approval bringing the building square footage on site to 478,315 square feet at ultimate build-out. The school has proceeded with a phased approach to implementing the approved buildings/additions and has constructed the improvements to the Lower School as the first phase.

#### Request

The school has now turned its attention to improvements to the Intermediate School building. Building modifications are proposed which will create a redesigned entry foyer and communal areas for the intermediate level students. A portion of the existing building will be demolished to accomplish this goal. The new areas represent a minor revision to that shown on the approved special exception plat. Additionally, a

revision to a back stairwell of the Intermediate School is also proposed which is, again, in a slightly different configuration than that shown on the approved special exception plat. The two areas of change represent an increase of about 2,242 square feet over that approved for that area of the site. These increases are shown in green on Attachment 2 to this letter.

Several facts should be noted in your consideration of this request for a substantial conformance determination.

- The proposed revisions are internal to the 90 acre site and most are within a courtyard area between the Intermediate School and the Middle School. Thus, while there was no visual impact to off-site properties anticipated from the building additions as shown on the special exception plat, there are, likewise, no visual impacts to off-site properties anticipated with the proposed revisions.
- The maximum height of 32 feet for the Intermediate School as shown on the special exception plat will be honored. As a matter of fact, the proposed revisions are slightly lower in height than the existing 32 foot high building.
- The general layout of the building, as shown on the approved special exception plat, is not proposed to change. The modification/revision to the Intermediate School is merely a reworked entrance which incorporates a portion of the proposed connection to the library that was shown on the special exception plat.
- While there is an increase in square footage proposed at the Intermediate School over that approved for that building, there is no overall increase in square footage for the site, and consequently no increase in floor area ratio (FAR). This is explained below.
- The proposed changes will result in no increase in trip generation/traffic nor any change in traffic pattern for the use.
- All other special exception conditions associated with the approval of SEA 85-D-097-5 can and will be honored.

As mentioned above, the school has already received site plan approval for and has constructed the Lower School building modifications. The actual building which was constructed, however, is 6,830 square feet smaller than what was shown on the approved special exception plat for the Lower School building. This difference in square footage is depicted graphically in the yellow areas shown on Attachment 2 and represent unused, but approved square footage. That 6,830 SF, coupled with approximately 400 square feet which was approved but will not be used for the Intermediate School, results in about 7,230 square feet of unused, but approved, square footage for the site. This number is considerably more than the 2,242 square footage overage which would be realized with the Intermediate School building revisions

proposed with this interpretation request which means that neither the total square footage approved for the site pursuant to SEA 85-D-097-5 nor the maximum FAR approved will be exceeded if the proposed Intermediate School modifications are allowed to proceed.

#### Explanation of Enclosures

There are several pieces of information enclosed to help explain the proposed request. First is a letter from the project architect which briefly explains the scenario of the square footage "bank" on the property. Attachment 1 is the square footage chart taken directly from Sheet 2 of 14 of the approved special exception plat. The highlighted portion depicts the total square footage approved for the Lower School. As noted above, less (6,830 square feet) than the approved total was ultimately constructed. Attachment 2 is explained above. The remainder of the drawings are included to help illustrate the proposed changes to the Intermediate School. Please feel free to call with any questions about these drawings.

#### Conclusion

The proposed changes to the approved addition to the Intermediate School are minor in scope and do not result in an exceedance of the approved FAR for the property. For this and the other reasons stated in this letter, we respectfully request a determination that the proposed changes to the Intermediate School as described in this letter and shown on Attachment 2 are in substantial conformance with the approved special exception plat. For your information, we have met and discussed this request with Kevin Guinaw.

If you have any questions or need additional information, please do not hesitate to call me.

Best Regards,



Lori Greenlief

cc: Perry Swope, Potomac School  
Joanna Schmickel, cox graae + spack architects

# **cox graae + spack architects**

2909 m street nw ■ washington dc 20007 ■ 202.965.7070 ■ fax 202.965.7144

## **memorandum**

**no. 01**

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project: **The Potomac School – Intermediate School**  
project no: 1103  
to: Lori Greenlief – McGuireWoods LLP  
Greg Riegler – McGuireWoods LLP  
Perry Swope – Potomac School  
from: Joanna Schmickel - **cg+s** architects  
date: 8.26.2011  
subject: Zoning – SE Area Calculation

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### summary:

The Potomac School received approval through a Fairfax County Special Exception to build an additional 46,495 sf for their new Lower School and Intermediate School. (See Attachment 1). The final building is smaller than the approved footprint by more than **7,230 sf**. (See Attachment 2).

A proposed renovation and addition to The Potomac Intermediate School exceeds the approved area by **2,242 sf**. (See Attachment 2).

Because the Intermediate School is located in the central academic area of the campus with the Lower School, The Potomac School requests that 2,242 sf of the unused area of the Lower School be applied toward the Intermediate School project.

**end of memorandum**

page 1 of 1

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Please notify **cox graae + spack architects** within five days if you take exception to any item in this document.

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# ATTACHMENT 11



## SPECIAL EXCEPTION AMENDMENT PLAT

EX. BLDG AREAS		PROP. BLDG. AREAS		
EXISTING STRUCTURE	BUILDING SQ. FT.	PROPOSED STRUCTURE	BUILDING SQ. FT.	PROPOSED BUILDING HEIGHTS
A - N. CAMPUS BUILDING LOWER & MIDDLE SCHOOL (PARTIAL DEMO EX. BLDG. AND RE-BUILD)	122,135 SF	A - ADDITIONAL SF IN REBUILT LOWER SCHOOL	48,485 SF (NET GAIN TO EX. BLDG.)	35 FT.
B - CENTRAL PLANT	4,065 SF	E - FIELD HOUSE AND AQUATIC CENTER	68,250 SF	40 FT.
C - TUNDRA BUILDING & UPPER SCHOOL BLDG	82,209 SF	F - INTERPRETIVE CLASSROOMS - 3 PAVILION STYLE	7,500 SF	25 FT.
D - GYMNASIUM & EAST BUILDING	56,179 SF	J - ADMINISTRATION BUILDING	20,000 SF	35 FT.
G - PERFORMING ARTS CENTER BUILDING	28,700 SF	P - BASEBALL FIELD STRUCTURE	500 SF	12 FT.
H - EX HOUSE (TO BE DEMOLISHED)	4,745 SF	Q - TENNIS COURTS STRUCTURE	1,200 SF	25 FT.
K - EX HOUSE	5,528 SF	S - SECURITY/MAINT./ STORAGE STRUCTURES ADD.	2,989 SF (NET GAIN TO EX. BLDGS.)	35 FT.
L - HEADMASTERS RESIDENCE	4,200 SF	STORAGE UNDER BLEACHER	4,000 SF	
M - FACILITY RESIDENCE	3,400 SF			
N - FACILITY RESIDENCE	3,300 SF			
O - FACILITY RESIDENCE	3,300 SF			
R - MAINTENANCE FACILITY	2,925 SF			
T - MAINTENANCE FACILITY	2,700 SF			
U - POOL AND BATH HOUSE	970 SF			
V - OTHER STORAGE OR OUT-BUILDINGS	2,025 SF			
TOTAL AREA OF ALL EXISTING BUILDINGS	327,381 SF			
TOTAL AREA OF ALL BUILDINGS AND STRUCTURES ASSOCIATED WITH THE S.E. PLAN - 478,315 SF				
		TOTAL AREA OF ALL PROPOSED BUILDINGS	150,934 SF	
		TOTAL SITE AREA - 89.99456 AC. OR 3,920,163 SF		
		EXISTING FLOOR AREA RATIO = 327,381 SF / 3,920,163 SF OR 0.084 F.A.R.		
		PROPOSED FLOOR AREA RATIO = 478,315 SF / 3,920,163 SF OR 0.122 F.A.R.		
		OLD STRUCTURE TO BE DEMOLISHED. NEW STRUCTURE TO BE CONSTRUCTED.		
		100 YEAR FLOOD PLAIN EASEMENT TO BE ESTABLISHED PER PFM. EASEMENT TO BE RECORDED AMONG THE LAND RECORDS OF FAIRFAX COUNTY.		
		NOTE: ANY EX. CONSERVATION EASEMENTS WITHIN THE FLOOD PLAIN SHOWN HEREON SHALL BE VACATED AND REDEDICATED AS FLOOD PLAIN AND STORM DRAIN EASEMENTS AMONG THE LAND RECORDS OF FAIRFAX COUNTY PER THE PFM.		
		THE PROPERTY OWNER RESERVES THE RIGHT TO CONSTRUCT SMALL ANCILLARY STRUCTURES NOT SHOWN HEREON TO SERVE PRINCIPAL STRUCTURES ON THE PROPERTY. TO INCLUDE BUT NOT LIMITED TO PLAY EQUIPMENT, RETAINING WALLS UNDER 2 FT., FOOT BRIDGES, DUGOUTS, BACKSTOPS AND GOAL POST.		

### VIKA REVISION

- FEB. 14, 2007
- APR. 20, 2007
- MAY 07, 2007
- JUNE 08, 2007
- JUNE 25, 2007
- JULY 07, 2007
- JULY 18, 2007

DATE: NOV. 1, 2006

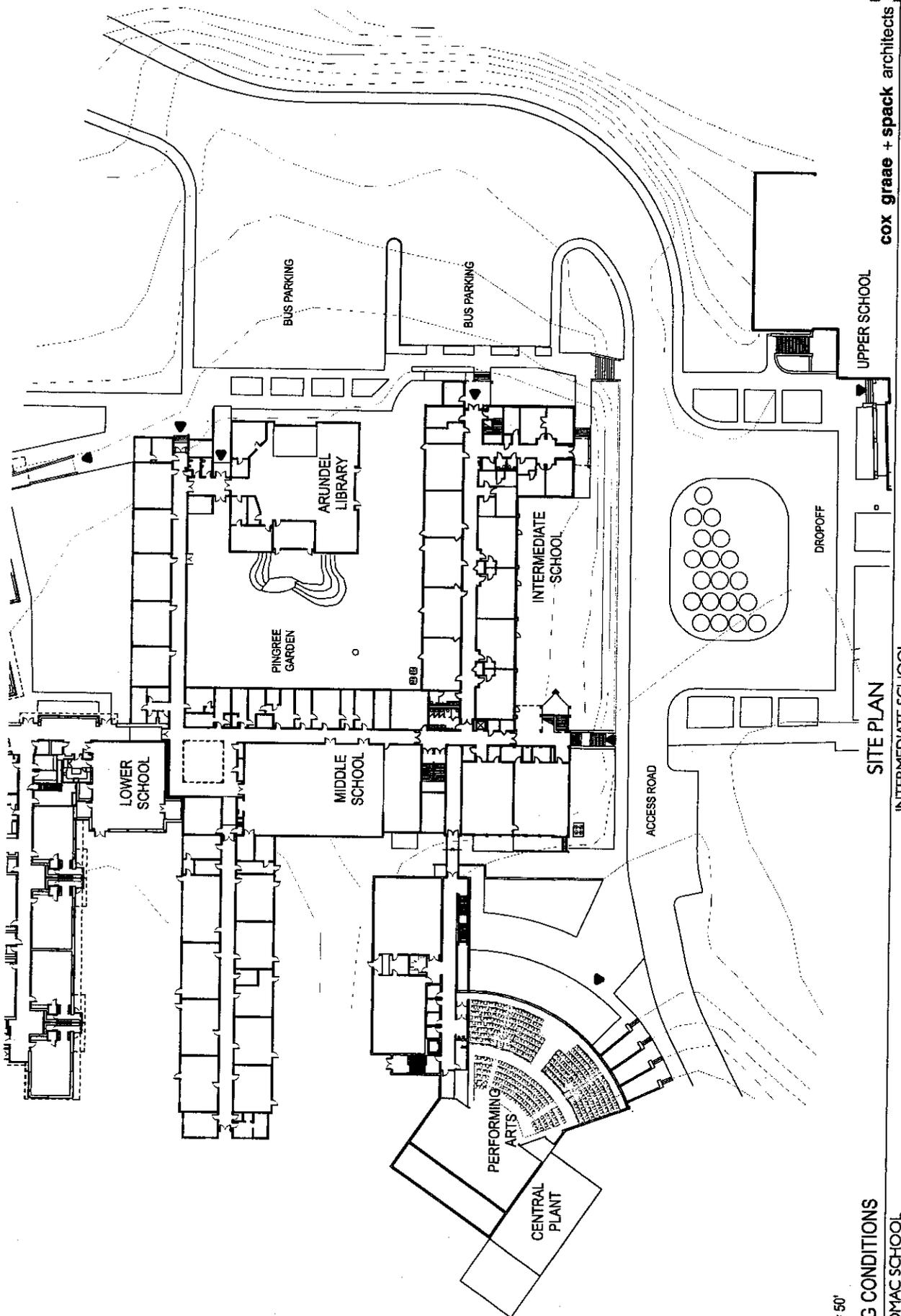
DES.	DWN.
DWG	RJB

SCALE: 1" = 100'

PROJECT/FILE NO. 6577-SE

SHEET NO. 2 OF 14





SCALE: 1" = 50'

EXISTING CONDITIONS  
THE POTOMAC SCHOOL

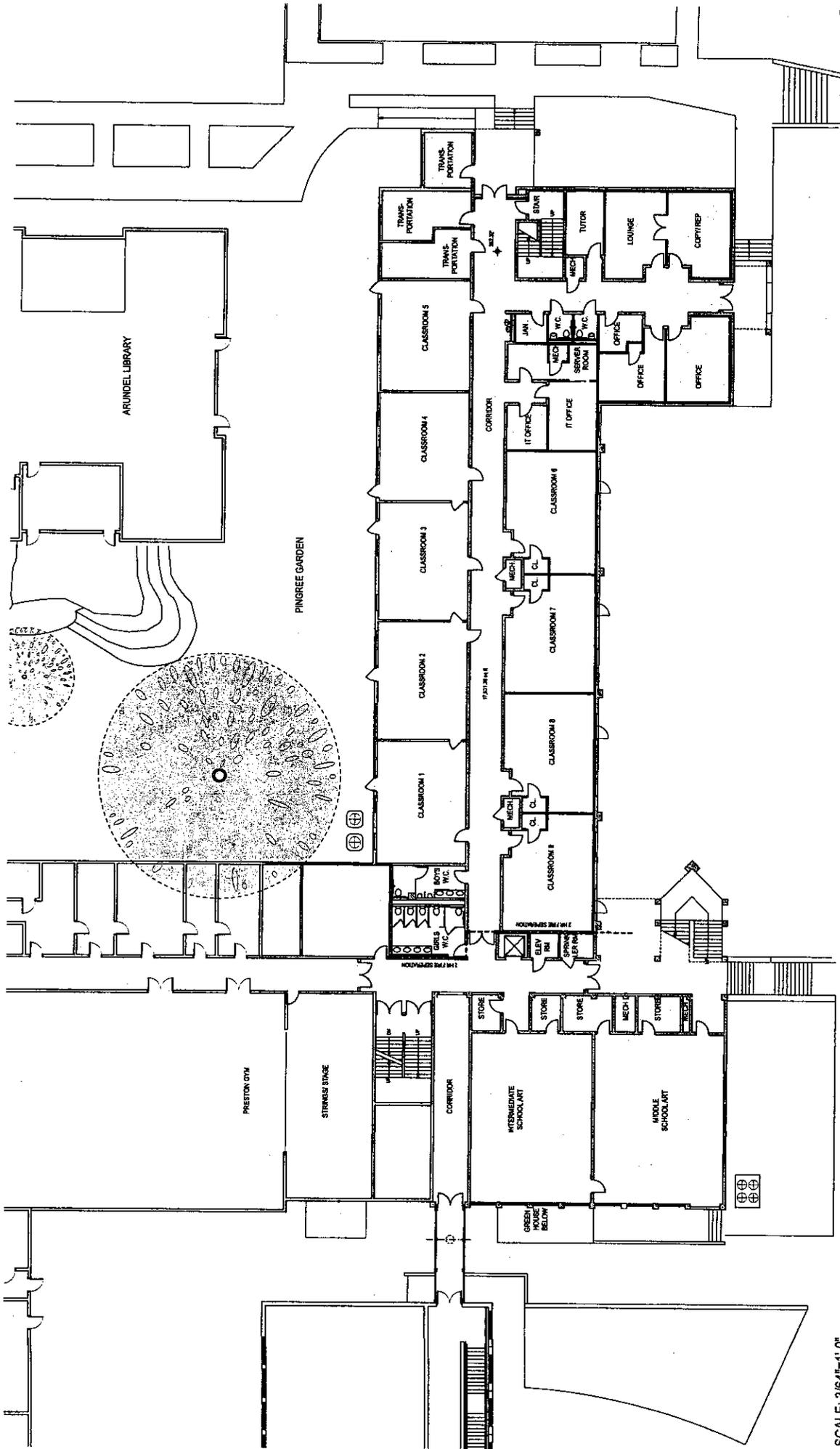
SITE PLAN

INTERMEDIATE SCHOOL

UPPER SCHOOL

cox graae + spack architects

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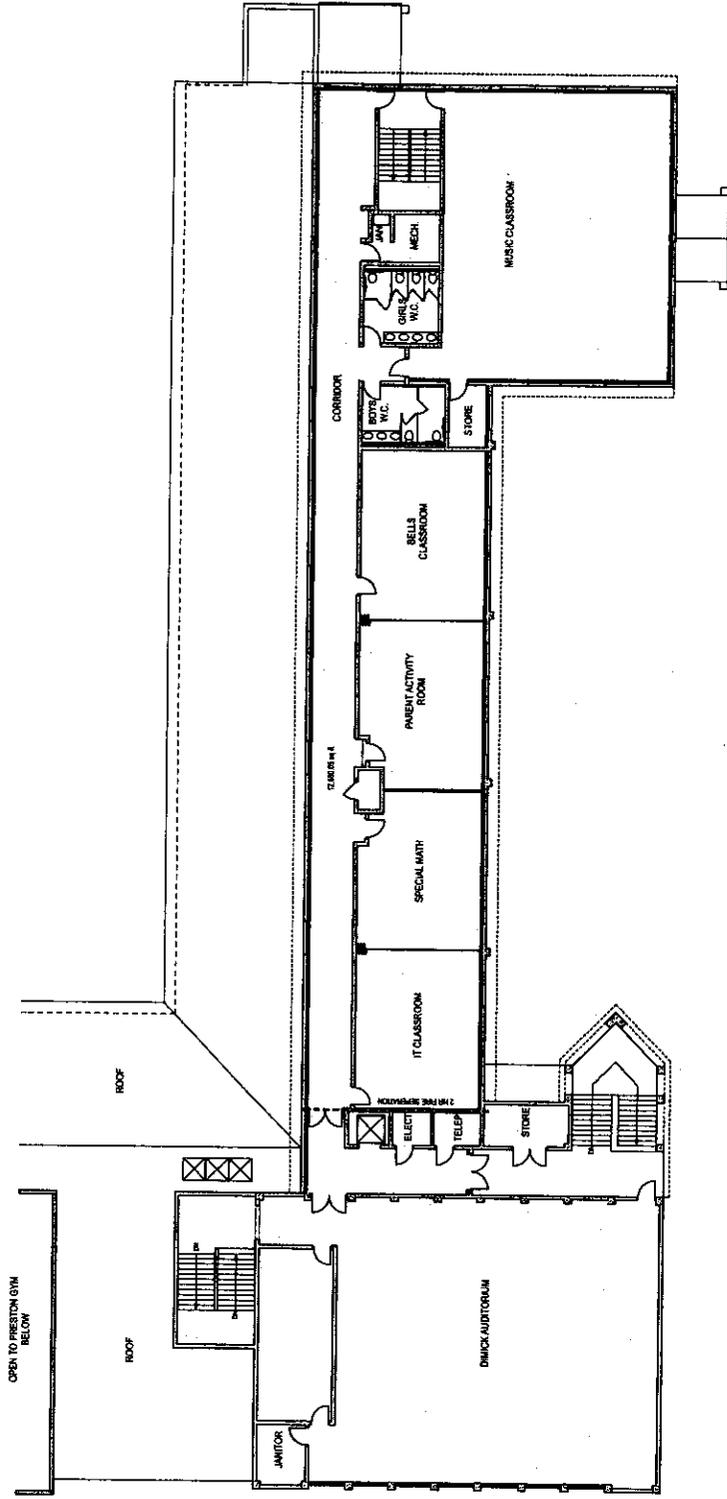
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EXISTING CONDITIONS  
THE POTOMAC SCHOOL

FIRST FLOOR PLAN  
INTERMEDIATE SCHOOL

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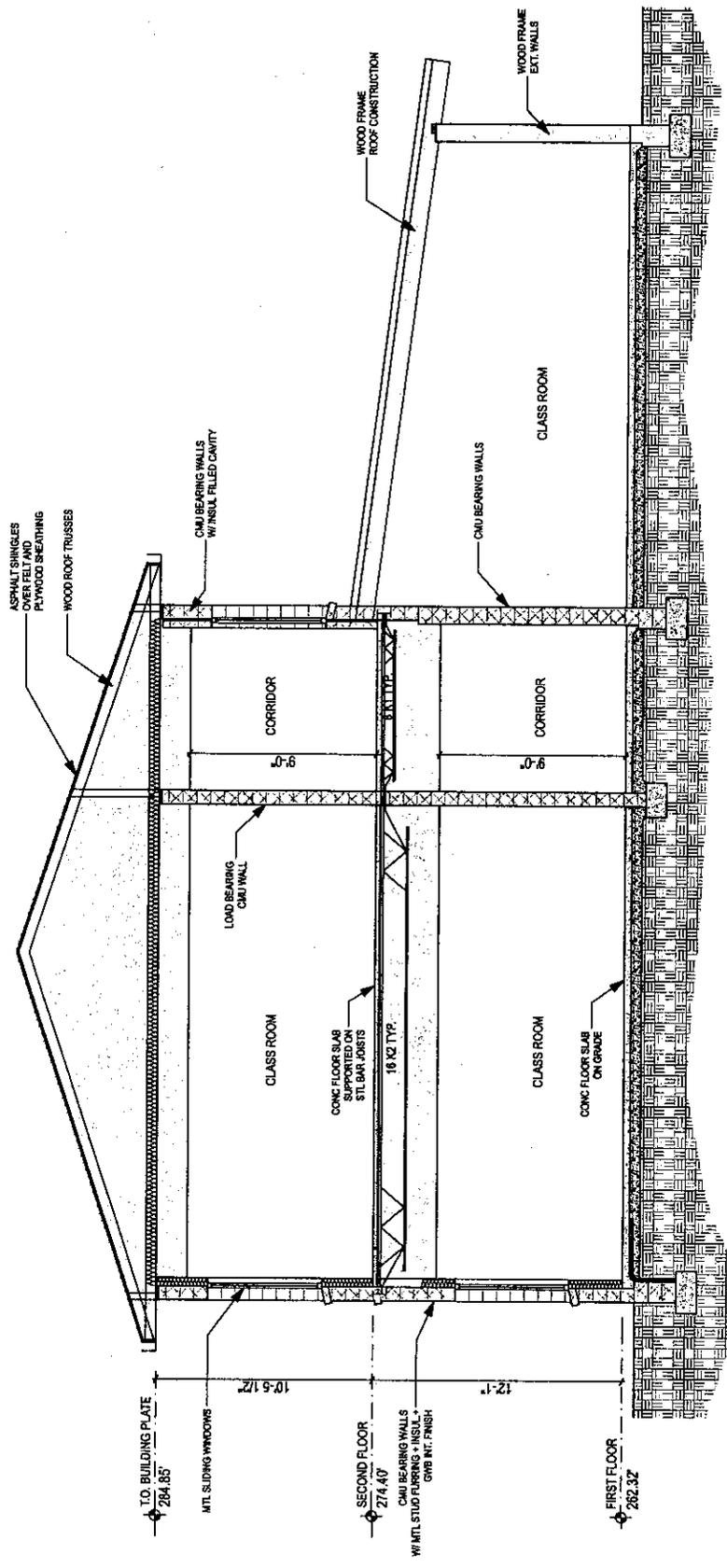
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SCALE: 3/64"=1'-0"

EXISTING CONDITIONS  
THE POTOMAC SCHOOL

SECOND FLOOR PLAN  
INTERMEDIATE SCHOOL



SCALE: 3/16"=1'-0"

EXISTING CONDITIONS  
THE POTOMAC SCHOOL

TYPICAL SECTION  
INTERMEDIATE SCHOOL

**GENERAL NOTES**  
 ASSUME TYPE VB CONSTRUCTION  
 FULLY SPRINKLERED  
 THE FOLLOWING ASSUMPTIONS HAVE BEEN MADE  
 PER THE IBC AND LOCAL CODES:  
 - THE EXISTING FIRE STAR IN THE INTERMEDIATE SCHOOL IS ACCEPTABLE DESPITE THE AID LANDING BEING NARROWER THAN THE TREAD WIDTH  
 - THE EXISTING FIRE STAR IN THE INTERMEDIATE SCHOOL IS ACCEPTABLE DESPITE THE AID LANDING BEING NARROWER THAN THE TREAD WIDTH

- KEY NOTES**
1. MECH UNITS TO REMAIN
  2. EXISTING EXHAUST DUCT TO REMAIN ON SIDE OF BUILDING
  3. EXISTING WINDOW OPENING ENLARGED
  4. ENTRANCE AREA TO ART CLASSROOM TO BE ENLARGED
  5. NEW ENTRANCE AREA TO ART CLASSROOM
  6. LINE OF BALCONY ADV.
  7. LINE OF TURNING ROOM ADV.
  8. LINE OF CANOPY ADV.
  9. LINE OF NEW WALKWAY
  10. STL COL. REF. STRUCT.
  11. FIELD STONE FIRE PLACE
  12. RECEPTION WINDOW
  13. NEW ALUM. WINDOW IN EXISTING WALL
  14. NEW BAY WINDOW IN EXISTING OPENING
  15. NEW STL STAIR IN EXISTING STAIR WELL
  16. MECH. CLOSET TO BE REMOVED
  17. ENLARGED OPENING, REF. STRUCT.
  18. EXISTING WALL TO REMAIN
  20. ALUM. PUNCHED WINDOW
  21. ROOF EAVES ADV.
  22. DOOR MOVED TO COMPLY WITH ADA GUIDELINES
  23. ORNAMENTAL STL STAIR
  24. LINE UP WALL TO DIVIDE CLASSROOMS
  25. STL GUARD RAIL TO REMAIN
  26. STL GUARD RAIL TO REMAIN
  27. NEW CURTAIN WALL
  28. NEW CURTAIN WALL
  29. EXTEND CMU WALL UP TO UNDERSIDE OF ROOF ON 3 SIDES AROUND EGRESS STAIR
  30. PUSH BACK LAVATORY IN BATHROOMS TO EXISTING WALL
  31. NEW WALKWAY FROM EXISTING WALL INDEPENDENT FROM ADJACENT WALL
  32. 1 HR RATED WALL
  33. NEW PARAPET BELOW .30' ADV ADJACENT ROOF
  34. PROJECT EAVES TO BE FIRE RATED 4' EITHER SIDE OF FIRE WALL
  35. ROOF REBUILT AT REQUIRED
  36. SECURITY GRILL STL ORNAMENTAL GRILL W/ FIELD STONE (W/ PARAPET)
  37. NEW CONC. SIDEWALK
  38. PRECAST CONC. PAVERS
  39. NEW LANDSCAPING
  40. EXISTING TREE TO REMAIN
  41. EXISTING STONE AMPHITHEATER TO REMAIN
  42. NEW DOORS TO SWING INWARD W/ PMDC
  43. NEW CONC. STEPS
  44. REBUILD CONC STAIR W/ FIELD STONE SITE WALLS
  45. NEW 3/4R FIRE DOORS

**HATCH KEY**

- EXISTING TO REMAIN
- NEW CONSTRUCTION
- ALTERATIONS TO EXISTING

SCALE: 3/64"=1'-0"

OPTION 1

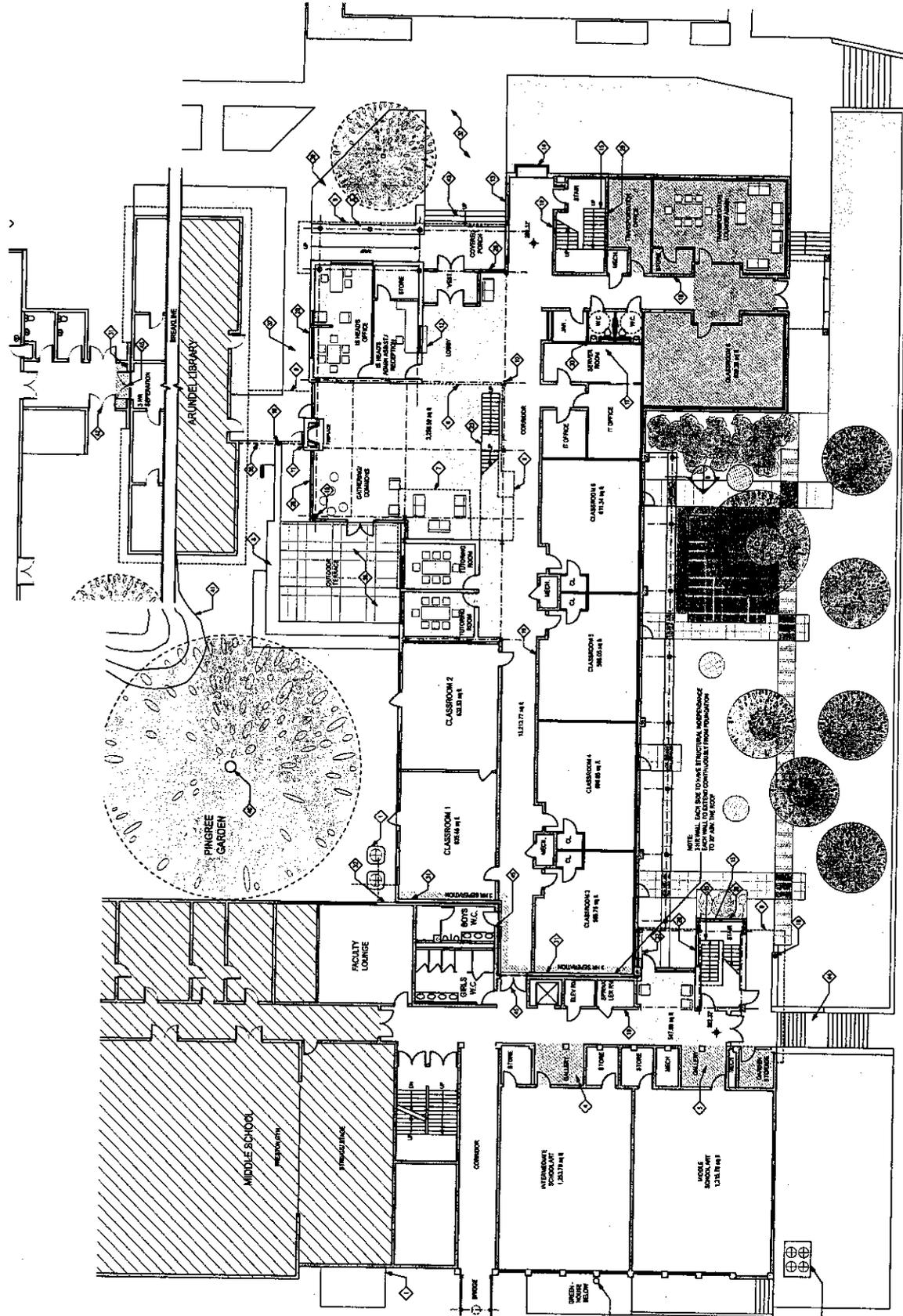
THE POTOMAC SCHOOL

PROPOSED FIRST FLOOR PLAN  
 INTERMEDIATE SCHOOL

cox graee + spack architects

JUNE 13, 2011

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**GENERAL NOTES**

ASSUME TYPE VB CONSTRUCTION FULLY SPRINKLERED THE FOLLOWING ASSUMPTIONS HAVE BEEN MADE PER LOCAL COUNTY CODES: ALL PERMITS WILL NOT BE REPLACED BY THE EXISTING FIRE STAIR IN THE INTERMEDIATE SCHOOL IS ACCEPTABLE DESPITE THE M.O. LANDING BEING NARROWER THAN THE TREAD WIDTH

**KEY NOTES**

1. MESH UNITS TO REMAIN
2. SCIENCE ROOM REPAIR DUCT TO REMAIN ON SIDE OF BUILDING
3. EXISTING WINDOW OPENING ENLARGED
4. NEW ENTRANCE AREA TO ART CLASSROOM
5. LINE OF BALCONY ASB.V
6. LINE OF TUTORING ROOM ASB.V
7. LINE OF CANOPY ASB.V
8. LINE OF CANOPY ASB.V
9. LINE OF CANOPY ASB.V
10. STIL COL REF STRUCT.
11. FIELD STONE FIRE PLACE
12. RECEPTION WINDOW
13. NEW ALUM. WINDOW IN EXISTING WALL
14. NEW BAY WINDOW IN EXISTING OPENING
15. NEW STIL STAIR IN EXISTING STAIR WELL
16. MECH CLOSET TO BE REMOVED
17. ENLARGED OPENING, REF. STRUCT.
18. EXISTING WINDOW TO REMAIN
19. ALUM PUNCHED WINDOW
20. ROOF EAVES ASB.V
21. DOOR MOVED TO COMPLY WITH ADA GUIDELINES
22. ORNAMENTAL STIL STAIR
23. LINE OF STAIR TO DIVIDE CLASSROOMS
24. LINE OF STAIR TO OPENING ASB.V
25. STIL GUARD RAIL
26. NEW CURTAIN WALL
27. NEW CURTAIN WALL
28. EXTEND CMU WALL UP TO UNDERSIDE OF ROOF
29. PUSH BACK LAVATORY IN BATHROOMS TO INDEPENDANT FROM ADJACENT WALL
30. 1 HR RATED WALL
31. NEW PARAPET BELOW, 30" ABV ADJACENT ROOF
32. PROJECT EAVES TO BE FIRE RATED 4" EITHER SIDE OF FIRE WALL
33. 2" HIGH GULF EST. CORNIMENTAL GRILL W/ SECURITY GATE (ON PANIC HATCHWARE)
34. NEW CONC. SIDEWALK
35. PRECAST CONC. PAVERS
36. NEW LANDSCAPING
37. EXISTING STONE AMPHITHEATER TO REMAIN
38. NEW DOORS TO SWING INWARD W/ PANIC
39. NEW CONC. STEPS
40. REBUILD CONC STAIR W/ FIELD STONE SITE WALLS
41. NEW 3HR FIRE DOORS

**HATCH KEY**

- EXISTING TO REMAIN
- NEW CONSTRUCTION
- ALTERATIONS TO EXISTING

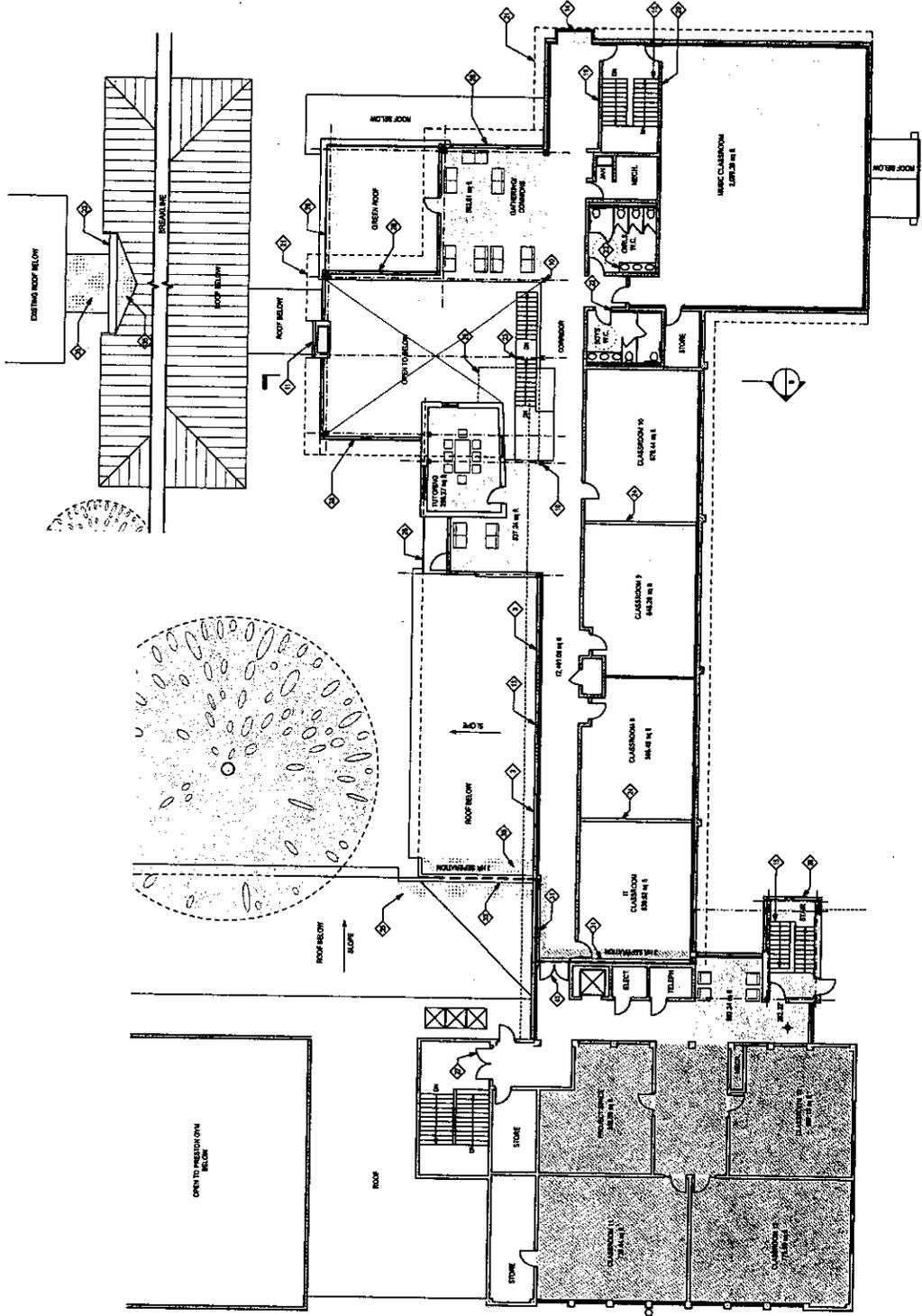
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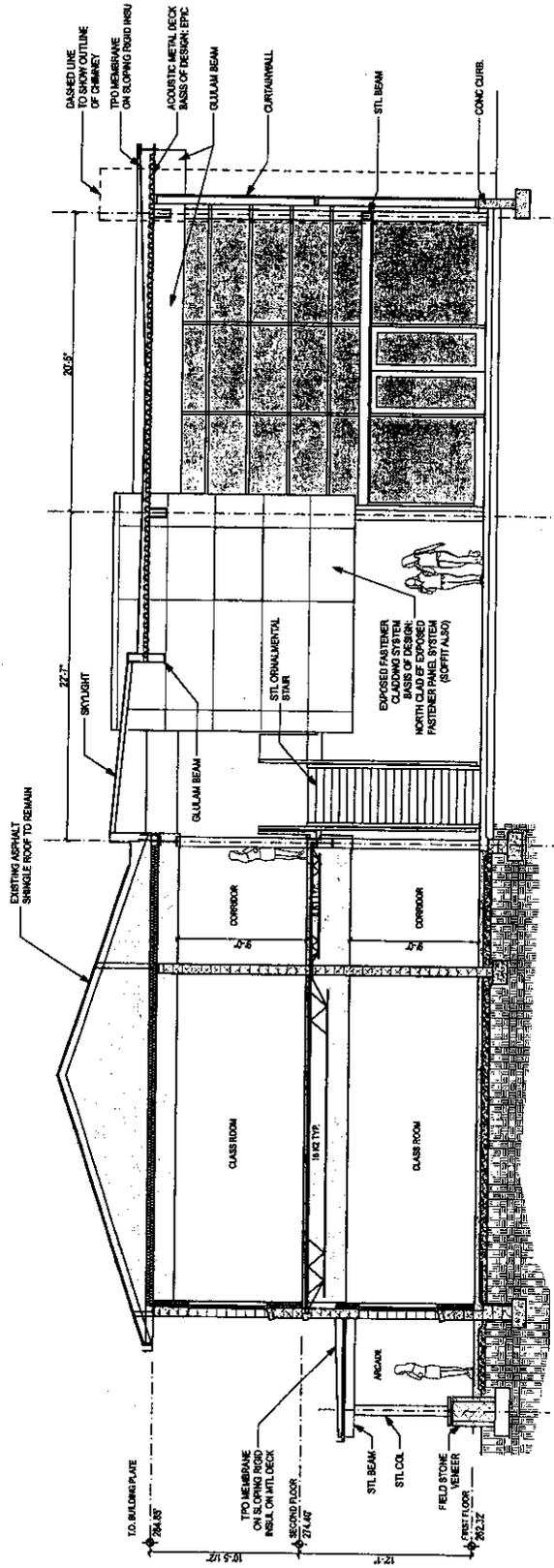
**OPTION 1**

**THE POTOMAC SCHOOL**

**PROPOSED SECOND FLOOR PLAN**

**INTERMEDIATE SCHOOL**





SCALE: 1/8"=1'-0"

OPTION 1

THE POTOMAC SCHOOL

PROPOSED TYPICAL SECTION

INTERMEDIATE SCHOOL

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PROPOSED PERSPECTIVE VIEW  
INTERMEDIATE SCHOOL

THE POTOMAC SCHOOL



PROPOSED PERSPECTIVE VIEW  
INTERMEDIATE SCHOOL

THE POTOMAC SCHOOL



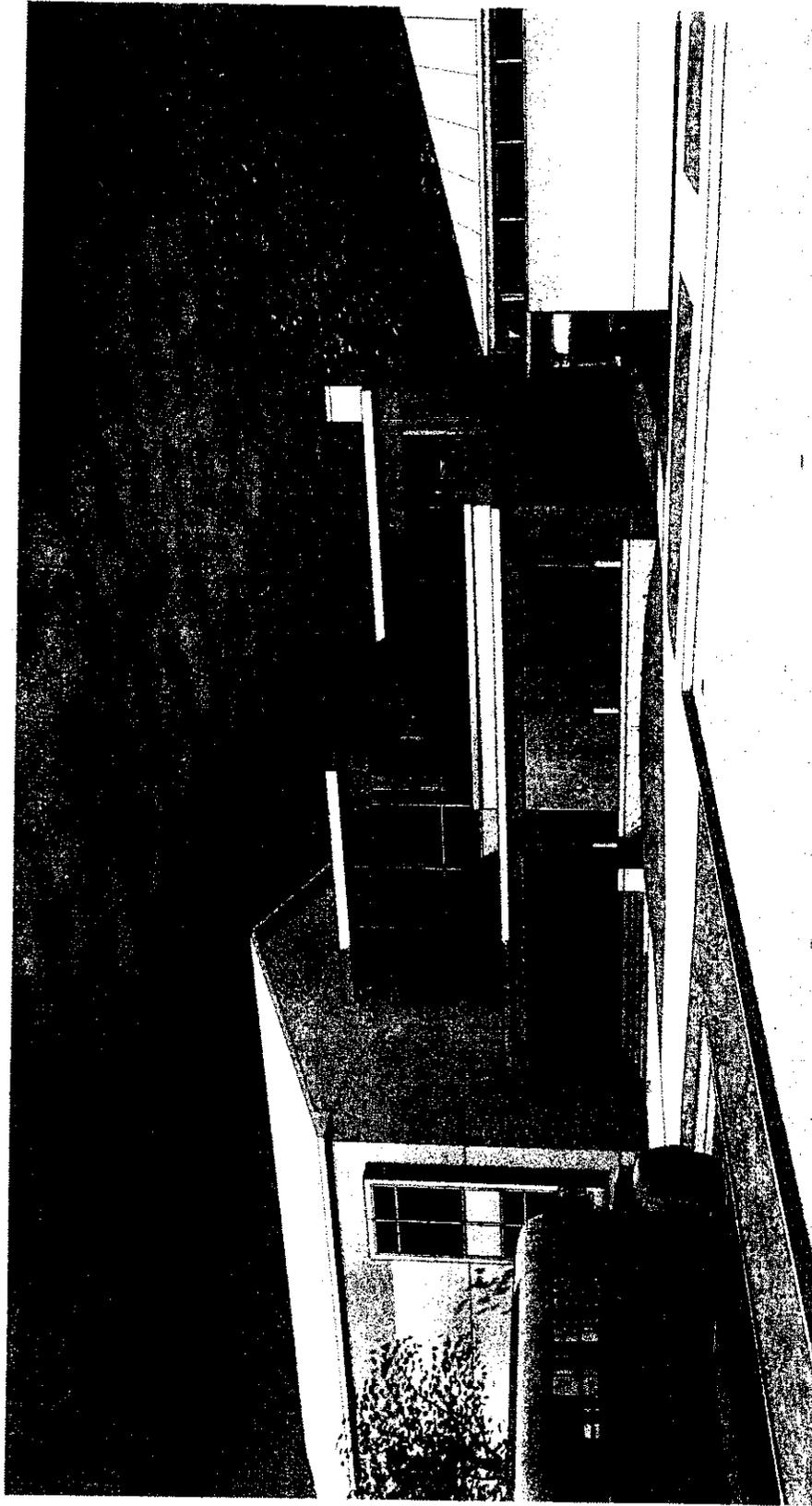
THE POTOMAC SCHOOL

PROPOSED PERSPECTIVE VIEW  
INTERMEDIATE SCHOOL

cox graae + spack architects

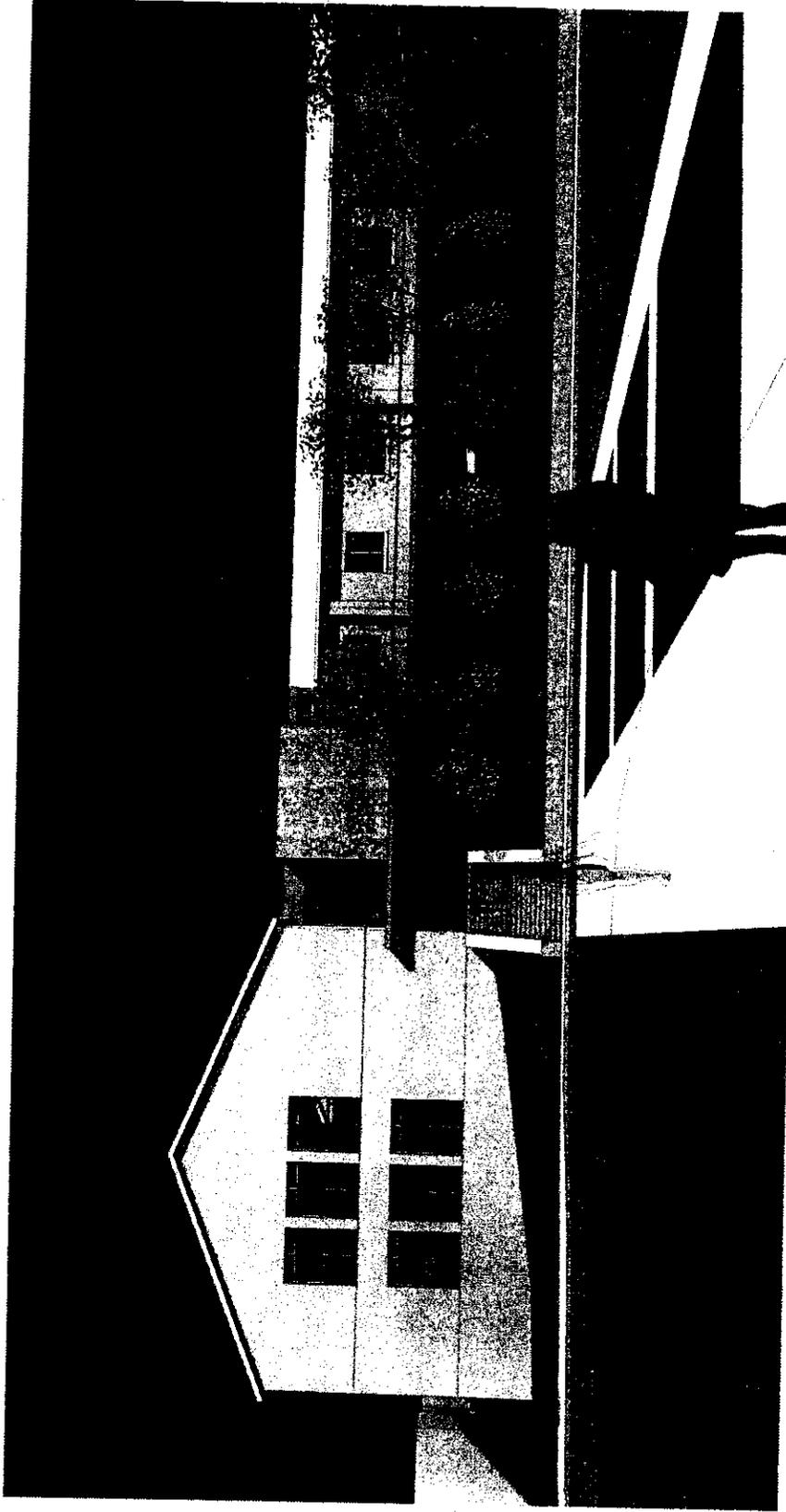
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THE POTOMAC SCHOOL

PROPOSED PERSPECTIVE VIEW  
INTERMEDIATE SCHOOL



PROPOSED PERSPECTIVE VIEW  
INTERMEDIATE SCHOOL

THE POTOMAC SCHOOL

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