



APPLICATION ACCEPTED: August 30, 2011
DATE OF PUBLIC HEARING: November 16, 2011
TIME: 9:00 a.m.

County of Fairfax, Virginia

November 9, 2011

STAFF REPORT

SPECIAL PERMIT APPLICATION NO. SP 2011-PR-079

PROVIDENCE DISTRICT

APPLICANT: Robert H. Allred, Trustee

OWNERS: Robert H. Allred, Trustee and Beneficiary of the Robert H. Allred Revocable Trust; Molly R. Allred Co-Trustee

Molly R. Allred, Trustee and Beneficiary of the Molly R. Allred Revocable Trust; Robert H. Allred Co-Trustee

LOCATION: 8423 Hunt Valley Drive
Vienna 22182

SUBDIVISION: Westwood Estates

TAX MAP: 39-1 ((22)) 4

LOT SIZE: 10,540 square feet

ZONING: R-3 (Cluster)

ZONING ORDINANCE PROVISIONS: 8-914 and 8-923

SPECIAL PERMIT PROPOSALS: To permit reduction to minimum yard requirements based on error in building location to permit an addition to remain 5.7 feet from a side lot line and to permit a fence greater than 4.0 feet in height to remain in the front yard of a through lot.

O:\gumk2\SP Cases\SP 2011-PR-079

Laura Gumkowski

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

A copy of the BZA's Resolution setting forth this decision will be mailed within five (5) days after the decision becomes final.

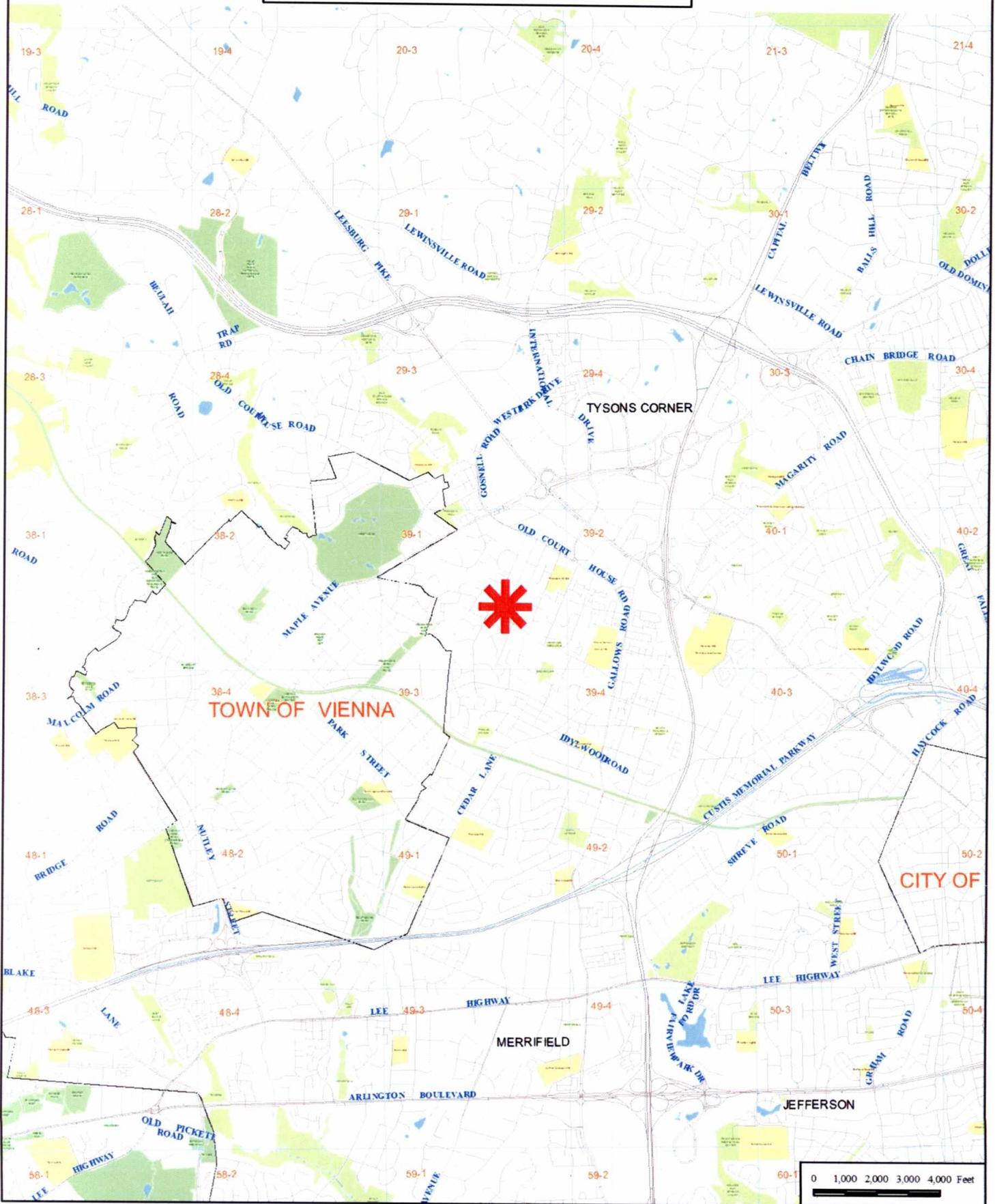
The approval of this special permit does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

For additional information, call Zoning Evaluation Division, Department of Planning and Zoning at 324-1280, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035. **Board of Zoning Appeals' meetings are held in the Board Room, Ground Level, Government Center Building, 12000 Government Center Parkway, Fairfax, Virginia 22035-5505.**

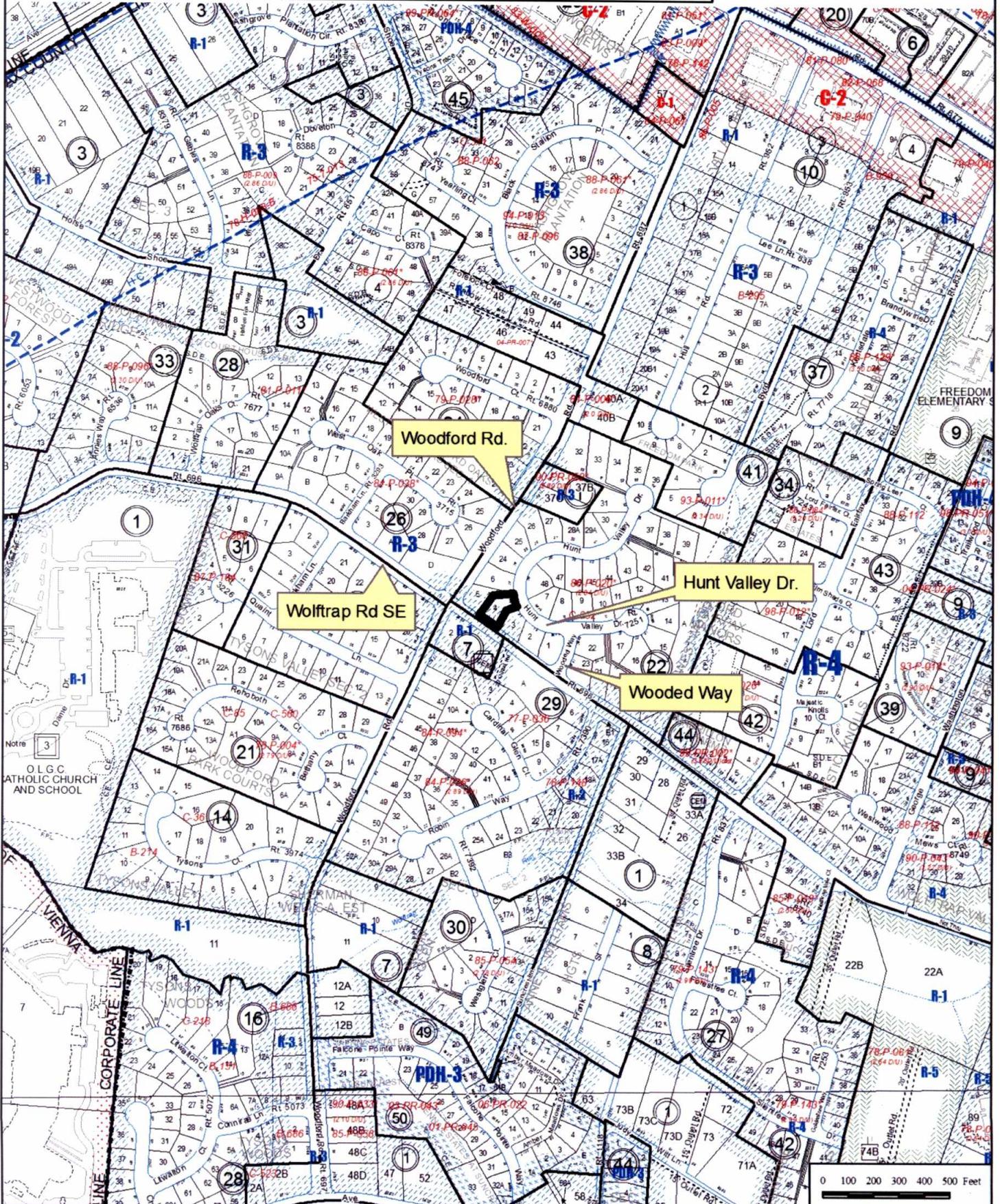


Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 7 days advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

Special Permit
SP 2011-PR-079
ROBERT H. ALLRED, TRUSTEE



Special Permit
SP 2011-PR-079
ROBERT H. ALLRED, TRUSTEE



Woodford Rd.

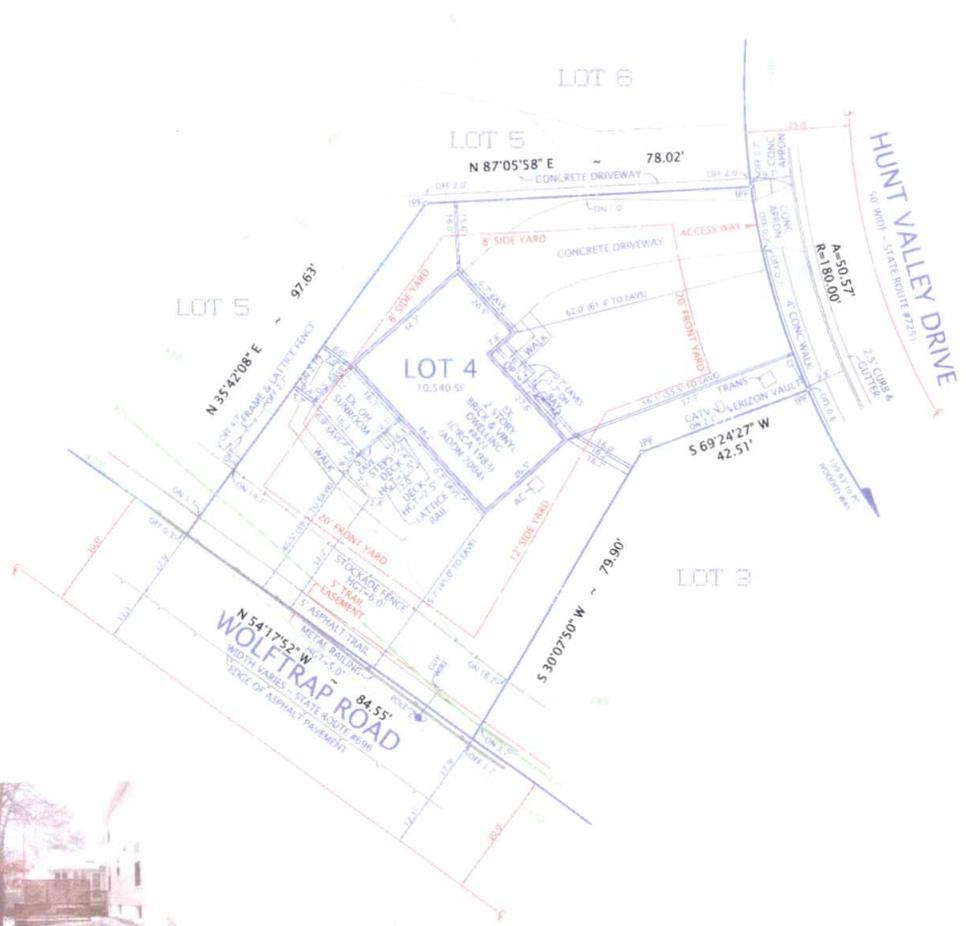
Hunt Valley Dr.

Wolfrap Rd SE

Wooded Way

0 100 200 300 400 500 Feet

COPYRIGHT © DOMINION SURVEYORS, INC. THE INFORMATION CONTAINED ON THIS DOCUMENT MAY NOT BE COPIED, REPRODUCED OR ALTERED IN ANY MANNER WITHOUT PERMISSION IN WRITING FROM THE COPYRIGHT OWNER.



NOTES:

1. TAX MAP 39122-0004
2. ZONE R 3 (CLUSTER)
3. LOT AREA 10,540 SF
4. REQUIRED YARDS
FRONT = 20.0 FEET
SIDE = MIN. 8' TOTAL 20.0 FEET
5. HEIGHTS
DWELLING = 23.8 FEET
OH SUNROOM = 13.4 FEET
DECKS = AS NOTED
FENCES = AS NOTED
LATTICE = 9' 9" (TOTAL)
6. THIS PROPERTY IS SERVED BY PUBLIC WATER AND SEWER
7. THERE IS NO OBSERVABLE EVIDENCE OF GRAVE SITES OR BURIAL GROUNDS ON THIS PROPERTY.
8. ALL IMPROVEMENTS SHOWN ON THIS PLAT ARE EXISTING.
9. THE SURVEYOR IS NOT AWARE OF ANY UTILITY EASEMENTS 25 FEET IN WIDTH OR GREATER AFFECTING THIS PROPERTY
10. TOPOGRAPHY DELINEATED HEREON WAS TAKEN FROM AVAILABLE RECORDS, IS SHOWN AT 5' INTERVALS, AND IS AERIAL.
11. THERE ARE NO FLOODPLAINS OR RESOURCE PROTECTION AREAS ON THIS PROPERTY
12. AREAS
BASEMENT = 731 SF
1ST FLOOR = 1,633 SF
2ND FLOOR = 1,082 SF
GROSS FLOOR AREA = 3,446 SF

FLOOR AREA RATIO: GFA (3446) / LOT AREA (10540) = 0.33



REAR OF DWELLING AND DECK



FRONT OF DWELLING



RIGHT SIDE OF DWELLING



OH SUNROOM



LEFT SIDE OF DWELLING

PLAT
SHOWING THE IMPROVEMENTS ON
LOT 4, SECTION ONE
WESTWOOD ESTATES

(DEED BOOK 1690, PAGE 1831)
FAIRFAX COUNTY, VIRGINIA
PROVIDENCE DISTRICT
SCALE: 1" = 20' JUNE 07, 2011
JULY 25, 2011 (R 3 CLUSTER)

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE.

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD
A TITLE REPORT WAS NOT FURNISHED
NO CORNER MARKED SET

06/07/2011

GEORGE M. O'QUINN

LICENSE NO. 2069

George M. O'Quinn

ORDERED BY: ALLRED, TR BRENDA SABATER
8808 H PEAR TREE VILLAGE COURT ALEXANDRIA, VIRGINIA 22309 703-619-6555 FAX: 703-799-6412

RECEIVED
Department of Planning & Zoning

APR 01 2011

Zoning Evaluation Division

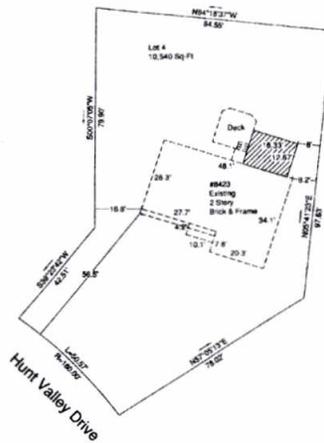


12/79/10



EXISTING CONDITIONS

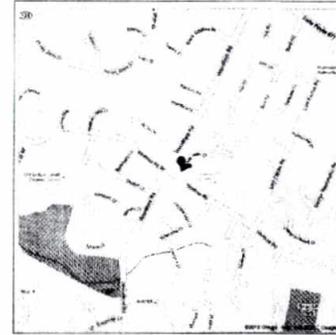
Scale: 1"=20'



PROPOSED CONDITIONS

Scale: 1"=20'

- Existing Structure
- Proposed Structure



VICINITY MAP

General Notes

1. Property Data
Legal References (deed and/or subdivision record reference):
Lot 4, Section 1
Providence District
Fairfax County, Virginia
Parcel Area 10,540 Square Feet
Water and Sewer Category Public Water and Sewer
2. Existing Site Data
Property lines shown hereon were taken from field observation and available records.
This plan has been prepared without the benefit of a title examination. Topography and existing features shown hereon has been compiled from filed observation and available records.
3. Utility Data
Utility locations shown hereon are from available plans and field observations were surface indications exist.
Digging of test pits at all future utility crossing is recommended.
Contact "Miss Utility" at 1-800-257-7777, 48 hours prior to any excavation or construction
4. Proposed Site Data
Building Restrictions Lines shown hereon were obtained from the Montgomery County Code, unless otherwise noted.
Front 56.5 feet
Side 16.8 feet and 8 feet
Area of disturbance: 200 Square Feet
ASPE provided the building footprint shown.

ASPE
Consulting Engineer

11205 Roundtable Ct.
North Bethesda, MD 20852
Tel: 301-717-6682, 301-530-1710
e-mail: ashakeri@verizon.net

PROJECT

Mr. Allred Residence
8423 Hunt Valley Drive
Vienna, Virginia 22182

SYMBOL	DATE	ISSUED FOR

SCALE	NORTH

SHEET TITLE

Site Plan

SHEET NO.

C-01

DIVISION 1: GENERAL REQUIREMENTS

- 1.) Work performed shall comply with the following:
- a. These general notes unless otherwise noted on plans or specifications
 - b. Building Code IRC 2006.
 - c. All applicable local and state codes, ordinances and regulations.
- 2.) On-site verification of all dimensions and conditions shall be the responsibility of the general contractor and his subcontractors.
- 3.) Soil conditions shall conform to or exceed the following conditions:
 Bearing Capacity: Min. 2000 psf, field verify by a licensed soil engineer, under all footings and slabs on grade.
 Water Table: Min. 2'-0" below bottom of all concrete slabs and footings. Footings, foundations, walls, and slabs shall not be placed on or in Marine Clay, Peat and other organic materials.

- 4.) Live loads:
- Roof: 30 psf
 - Floors: 40 psf (except sleeping rooms: 30 psf)
 - Balconies: 60 psf
 - Decks: 40 psf
 - Stair Landings: 40 psf
 - Wind Load: 90 mph
 - Garage: 50 psf
 - Max. foundation lateral pressure: 45 psf
 - Dead Loads: floors: 10 psf roof: 15 psf

- 5.) Bottom of all footings shall extend below frost line of the locality and minimum 2'-6" below finished grade to undisturbed soil of soil compacted to 95% dry density having a load carrying capacity as specified in Note 13, as verified by a soils engineer licensed in the locality where project is being built.

- 6.) All foundation wall backfill under slabs where distance from edge of wall to edge of undisturbed soil exceeds 16", but less than 4'-0", shall consist of clean, porous, soil compacted in 6" layers to 95% dry density or provide #4 rebar at 2'-0" o.c., 1'-0" beyond edge of undisturbed soil and 1'-0" into foundation wall.

- 7.) Free draining granular backfill (SM or better) shall be used against foundation walls consistent with the architectural plans and related details. Equivalent fluid pressure of backfill not to exceed 45 pcf (pounds per cubic foot). If backfill pressures 45 pcf, then walls must be designed for actual pressures by a registered Professional Engineer licensed in the locality where project is being built.

- 8.) Unbalanced fill not to exceed 7'-0" unless otherwise noted and substantiated by engineering calculations. Backfill shall not be placed against walls until slab-on-grade and framed floors are in place and have reached their design strength. Proper precautions shall be taken to brace foundation walls when backfilling. Where backfill is required on both sides, backfill both sides simultaneously.

- 9.) All walls are designed as being laterally braced by the floor systems. Contractor shall ensure that walls are adequately braced during construction.

DIVISION 3: CONCRETE

A.) General

- 1.) The concrete properties shall be as follows:

Item	Min. Comp. Strength @ 28 Days (PSI)	Min. Aggregate Size	Slump
Footings	3,000	1/2"-1"	4" (1")
Slab on Grade	3,000	1/2"-1"	4" (1/2")
Walls	3,000	1/2"-1"	4" (1/2")
Garage & Ext. Slabs	3,500	1/2"-1"	4" (3/4")

- 2.) Concrete work shall conform to all requirements of ACI-318, NCMA TR88-A or ACI 530/ASCE/TMS 402 specifications for structural concrete for buildings.

- 3.) All reinforcing, anchor bolts, anchor straps, pipe sleeves and other inserts shall be positively secured in place and located according to the appropriate architectural drawings and details before concrete is placed.

B.) Reinforcing Steel:

- 1.) Reinforcing steel shall be intermediate grade new billet deformed bars grade 60 conforming to ASTM A 615, A616, A 617 & A 706. Welded wire fabric shall conform to ASTM A-185-97. See architectural drawings for sizes and locations.
- 2.) Detailing, fabricating and placing of reinforcement shall be in accordance with ACI-315 Manual of Standard Practice for Detailing Reinforced Concrete Structures. Furnish support bars and all required accessories in accordance with CRSI standards.
- 3.) All reinforcing bars which intersect perpendicular elements shall terminate in hooks, placed two (2) inches clear from outer face of elements.

- 4.) The contractor shall notify the building official at least forty-eight (48) hours prior to each concrete pour. No concrete shall be poured into footings containing standing water or mud. Footings shall be dewatered prior to placement of concrete. No concrete shall be placed until all reinforcing has been installed by the contractor and inspected by the building official.

- 5.) Minimum protective cover for reinforcing steel shall be as follows:

a. Footings:	3"
b. Beams & columns:	2"
c. Slabs:	3/4" (Wire mesh to be placed at mid-depth of slab)
d. Walls:	1" at interior face 3" at exterior face

C.) Foundation:

- 1.) Footing depths are shown on the architectural drawings. Footings shall bear a minimum of 1'-0" into original undisturbed soil and a minimum of 2'-6" below finished grade. Where required, step footings to ratio of 2 horizontal to 1 vertical.

- 2.) All footing excavations shall be inspected by the building official prior to the placement of any concrete. The building official shall be given forty-eight (48) hours notice for this observation.

- 3.) Soil investigation and report: All earth work, compaction and supervisions shall be done according to the recommendations of the soil investigation report prepared by a licensed geotechnical engineer. Concrete slab and footing calculations are based on a 2,000 psf value. If on-site test borings indicate lesser values, notify Architect, in writing, so that necessary structural modifications can be made.

- 4.) Slab-on-grade shall be 4" thick reinforced with 6x6 W1.4 x W1.4 WWF and shall be placed on 6 mil. vapor barrier on 4" crushed stone.

- 5.) Slab-on-grade at porches shall be 4" thick unless otherwise noted.

- 6.) Install anchor straps as per mfg. recommendations; 12" from corners, 12" from mudsill joints and intervals of not more than 4'-0". Minimum embedment for anchors shall be as specified by manufacturer.

- 7.) Beam pockets shall be formed into concrete walls to provide a continuous level flat solid bearing surface for all beams.

DIVISION 4: MASONRY

A.) General

1.) Materials

- a.) Mortar shall be type "S" ASTM C-270-99
- b.) Hollow CMU shall meet ASTM C-90-99
- c.) Face brick shall meet ASTM C-216-88

- 2.) All masonry shall be protected from freezing for not less than 48 hours after installation and shall not be constructed below 35 degrees Fahrenheit without precautions necessary to prevent freezing. No antifreeze admixtures shall be added to mortar.

- 3.) Brick veneer shall be attached to wood frame with minimum #22 galvanized sheet gauge corrosion-resistant non-corrugated metal ties min. 7/8" wide at 16" vertical intervals min. and 16" horizontal intervals. Provide 15# asphalt felt over sheathing as a moisture barrier. Provide drainage for one open vertical brick joint @ 2'-0" o.c. at lowest course above finished grade.

- 4.) All masonry work shall conform to the applicable requirements of (ACI 530/ASCE 5/TMS 402)

DIVISION 5: METALS

A.) General:

- 1.) Structural steel shall conform to the requirements of the A.I.S.C. Manual of Steel Construction, latest edition. Structural Steel shall conform to ASTM A-36-97A. Steel for pipe columns shall be of equivalent capacity and weldability to ASTM A-500. All welding shall be in accordance to the American Welding Society Code and be performed by welders qualified in accordance with AWS procedures.

- 2.) Provide base plate for all structural steel beams bearing on concrete or masonry. Provide standard angle anchors and inserts, ties, clips, anchors, straps, hangers, bolts, bearing plates and other hardware and fastening devices as may be required or indicated on the architectural drawings.

- 3.) All connections shall be AISC standard.

DIVISION 6: WOOD

A.) Lumber Grade:

- 1.) All lumber shall be, unless otherwise noted, No. 2 grade SPF Northern with the following minimum structural values. Grading shall comply with PS 20-70 "American Softwood Lumber Standard" and applicable Western Wood Products Association standards.

- a.) Extreme fiber bending stress: Fb=850 (single member use)
- b.) Extreme fiber bending stress: Fb=975 (repetitive member use)
- c.) Horizontal shear: 70 PSI
- d.) Compression perpendicular to grain: Fc = 425 PSI
- e.) Compression parallel to grain: Fc = 1100 PSI
- f.) Modulus of elasticity: E = 1,300,000 PSI
- g.) Moisture content: 19% maximum

- 2.) Other species may be used provided substitute species shall meet or exceed requirements noted above.

- 3.) Moisture content: All lumber 4" and deeper shall have a moisture content not greater than 19%, air dried lumber is desired but not necessary. Lumber may be kiln dried, however drying process must be slow and regulated to cause a minimum amount of checking, comparable with air dried stock.

- 4.) All exterior lumber and lumber in contact with masonry or concrete shall be pressure preservative treated in accordance with AWPA standards and stamped "Ground Contact 0.40 lb/cubic foot".

- 5.) Grade stamps shall appear on all lumber.

- 6.) Store all lumber above grade and protect from exposure to weather.

B.) Flitch Beams:

- 1.) Flitch beams shall have a minimum Fb = 1500, E = 1.4 with min. 1/2" bolts located not closer than 2" from top and bottom edge unless otherwise noted. There shall be a bolt top and bottom 2" from each end (see typical flitch plate bolt pattern detail).

C.) Joist Hangers:

- 1.) All purlins, joists and beams not framed over supporting members shall be supported by means of metal hangers.
- 2.) Joist hangers shall be prime quality steel which conforms to ASTM-A152M-95, min. 22 gauge. Products acceptable shall be Simpson, Kant-Sag, or equivalent.

D.) Bolts in Wood Framing:

- 1.) All bolts in wood framing shall be standard machine bolts with standard malleable iron washers or steel plate washers.
- 2.) Steel plate washer sizes shall be as follows:
- a.) 1/2" and 5/8" Dia. bolts - 2-1/4" sq. x 5/16"
 - b.) 1/4" dia. bolts - 2-5/8" sq. x 5/16"
- 3.) Each bolt hole in wood shall be drilled 1/16" larger than diameter of bolt.
- 4.) For all anchors, see typical details on architectural drawings.

E.) Lag Bolts:

- 1.) Shall be square or hex headed and of structural grade steel.
- 2.) Washer shall be placed under the head of lag bolts bearing on wood. Length of lag bolts shall be minimum 2/3 depth of members being bolted together.

**ASPE
Consulting Engineer**

11005 Roundtable Ct.
North Bethesda, MD 20852
Tel:301-717-6982, 301-530-1710
e-mail: ashaker@verizon.net



Mr. Alfred Residence
8423 Hunt Valley Drive
Vienna, Virginia 22182

PROJECT

SYMBOL	DATE	ISSUED FOR

SCALE	NORTH

SHEET TITLE
Notes
SHEET NO.
N-01

F.) Altering Structural Members:

- 1.) No structural member shall be omitted, notched, cut, blocked out or relocated without prior approval by the Architect. Do not alter sizes of members noted without approval of Architect.

G.) Built-up Beams:

- 1.) Built-up beams or joists formed by a multiple of 2 x ... members shall be interconnected as follows:
 - a.) Members 9 1/4" and less in depth: glue and internal w/2 rows 16d at 24" o.c. staggered.
 - b.) Members greater than 9 1/4" in depth or multiple 3 x 6: glue and internal w/3 rows of 16d at 24" o.c. staggered.

H.) Cutting of Beams, Joists and Rafters:

- 1.) Notches in the top or bottom of joists shall not exceed 1/6 the depth of the joist and shall not be located in the middle third of the span. Where joists are notched on the ends, the notch shall not exceed 1/4 the joist depth. Cantilevered portions less than 4 inches wide shall not be notched unless the reduced section properties and lumber defects are considered in the design. Holes bored in joists shall not be within 2" of the top and bottom of joists and their diameter shall not exceed 1/3 the depth of the joist.

I.) Pipes in Stud Bearing Walls or Shear Walls:

- 1.) Notches or bored holes in studs of bearing walls or partitions shall not be more than 1/4 (25%) the depth of the stud.

J.) Bridging and Blocking:

- 1.) Joists shall be supported laterally at the ends at each support by full-depth solid blocking except where the ends of joists are nailed or bolted to a header, band or rim joist or to an adjoining stud. Solid blocking shall be not less than 2 inches in thickness.
- 2.) Joists having a depth-to-thickness ratio exceeding 6 to 1 based on nominal dimensions shall be supported laterally by solid blocking, diagonal bridging (wood or metal) or a 1x3 bridging nailed to the bottom of the joist at intervals not exceeding 10 feet.
- 3.) Provide double trimmers under all headers 4 x 6 or larger. All such members shall be glued and spiked together.

K.) Lintel Schedule:

- 1.) Unless otherwise shown, provide 1 lintel with 6" minimum bearing for each 4" of wall thickness.
- 2.) Lintel Sizes (Assume One Story Above):

Span:	Size of Member:
Up to 4'-0"	3 1/2" x 3 1/2" x 1/4"
4'-1" to 5'-0"	4" x 3 1/2" x 5/16"
5'-1" to 6'-0"	5" x 3 1/2" x 5/16"
6'-1" to 6'-0"	6" x 3 1/2" x 3/8"

L.) Plywood:

- 1.) All plywood shall be Douglas Fir or SYP and shall be manufactured and graded in accordance with U.S. Product Standard PS 1-83 for Construction and Industrial Plywood.
- 2.) Each plywood sheet shall bear the "APA" grade trademark.
- 3.) All end joints shall be staggered and shall butt along the center lines of framing members.
- 4.) The face grain of the plywood shall be laid at right angles to the joists and trusses and parallel to the studs.
- 5.) Nails shall be placed 3/8" minimum from edge of the sheets. The minimum nail penetration into framing members shall be 1 1/2" for 8d nails and 1 3/8" for 10d nails.
- 6.) All floors shall be glued and nailed with APA approved elastomeric structural adhesive and 8d common, smooth, or ring shank nails spaced @ 6" o.c. at panel edges and 10" o.c. at intermediate supports.

M.) Corner Bracing:

- 1.) Unless otherwise noted, brace exterior corners of building with 1x4 diagonals, let into studs, OSB or 4x8 plywood sheet of thickness to match that of sheathing, structural thermopy or with metal strap devices installed in accordance with manufacturer's instructions (16 Ga. Compression tension) or comparable approved structural sheathing installed according to mfg. specs.
- 2.) Lintel blocking at all 20' @ must be constructed by 2x6 studs @ 16" o.c.

N.) Nailing:

- 1.) All nailing, U.N.O., shall comply with nailing schedules in IBC and IRC (as applicable), latest edition and all state and local building codes, or manufacturer's recommendations.

O.) Fire Stopping:

- 1.) Fire stopping shall be provided to cut off all concealed draft openings (both vertical and horizontal) with 2" nominal lumber or 2 thicknesses of 1" nominal lumber with broken lap joints or other approved material.

P.) Alignment:

- 1.) All rafters and joists framing from opposite sides shall lap at least six (6) inches and be spiked together.
- 2.) When framing end to end joists shall be secured together by metal straps.

Q.) Partitions:

- 1.) General:
 - a.) Double joists centered under all parallel partitions. For floor trusses follow manufacturer's instruction.
 - b.) Provide solid blocking at 4'-0" o.c. between the joist and first interior parallel joist.
 - c.) Splices on the top and bottom portion of double top plates must be staggered a minimum of 4'-0".
 - d.) Splices shall occur only directly over studs.
 - e.) Structural variations are allowed if substantiated by engineering calculations stamped by a professional engineer licensed to practice in the jurisdiction where construction is taking place. One set of calculations to be provided to Architect for approval prior to construction.
 - f.) Lap top plates at corners and intersections.

2.) Bearing Walls Supporting One Floor or More:

- a.) Partitions must be constructed of minimum 2x4 studs spaced 16" o.c. of type lumber specified.
- b.) If a double top plate of less than 2-2x6's or 2-2x4's is used, floor joists shall be centered directly over and below bearing wall studs with a tolerance of no more than 5" unless substantiated by engineering calculations.
- c.) Bearing stud walls must be sheathed with a minimum 1/2" gypsum board fastened according to drywall manufacturer recommendation.
- d.) Walls 8'-0" to 10'-0" must be constructed by 2x6 studs @ 16" o.c.
- e.) Walls 10'-0" to 12'-0" must be constructed by 2x6 studs @ 12" o.c.

R.) Wood Roof Trusses:

- 1.) Timber trusses shall be designed in accordance with N.F.P.A. standards. Calculations, joint strength information (allowable load per square inch or per nail, allowable edge distance, allowable end distances) load test data and other information as necessary shall be submitted to local authorities for approval prior to fabrication. Each truss shall be secured at bearing with one "rafter tie" metal type anchor at each end.
- 2.) Scissor trusses: Manufacturer to calculate horizontal thrust of trusses subjected to design loads and to include this information with shop drawings. Each truss to be secured at one end with a metal "rafter tie" type anchor and a scissor truss connector, "Cleveland" or approved equal, at the other end to tie down the truss while permitting the truss to move outward without deflecting the wall.
- 3.) Truss diagrams and truss layout plan show design intent only. Truss manufacturer shall verify all spans, dimensions, heel heights, pitches, etc. Fabricator must submit two sets of component shop drawings and truss layout plan, each sealed by a professional engineer registered in the jurisdiction where the construction is taking place, to Architect prior to fabrication, one for the Architect's records and one to be returned to the Contractor after review.
- 4.) Truss shop drawings indicating calculations, loading, load test data, horizontal thrust and any other information required shall be sealed by a professional engineer registered in the jurisdiction where construction is taking place and be submitted to building officials prior to fabrication.
- 5.) Store trusses above grade on wood sticking in such a way as to prevent bending, warping or deflection of trusses.

- 6.) Roof Truss Bracing: Install permanent bracing for all wood roof trusses as specified below, following all recommendations specified in Bracing Wood Trusses: Commentary and Recommendations BWT-76 published by the Truss Plate Institute, Inc.
 - a.) Top Chord Plane: Properly installed plywood sheathing with staggered joints and correct nailing should adequately brace the top chord plane. However, when gable end trusses are used, continuous 2x4 braces should be installed at a 45° angle to the truss framing. These braces should occur at 3 points on each gable end; midspan between roof center-line and wall on each side of center-line and at center-line of roof.
 - b.) Web Member Plane: Provide continuous 2x4 braces at 45° angle from the bottom chord of the truss. This brace should cross at least 4 adjacent trusses and terminate at the truss ridge. Securely nail this brace to all members it crosses. Install this bracing at all gable or end wall conditions and at 14 foot minimum intervals throughout the truss system.
 - c.) Bottom Chord Plane: Provide continuous 2x4 braces on top of the bottom chord of all roof trusses. Three rows minimum are required located at the 1/4 points of the truss span. Securely nail these braces to all members that it crosses.

S.) LVL:

- 1.) All LVL's shall be, unless otherwise noted, with the following minimum structural values:
 - a.) Extreme fiber bending stress: Fb=2,600 PSI
 - b.) Horizontal shear: 285 PSI
 - c.) Compression perpendicular to grain: Fc = 750 PSI
 - d.) Compression parallel to grain: Fc = 2,510 PSI
 - e.) Modulus of elasticity: E = 1,900,000 PSI

T.) Handrails:

- 1.) Handrails having minimum and maximum heights of 34 inches and 38 inches respectively, measured vertically from the nosing of the treads, shall be provided on at least one side of stairways. All required handrails shall be continuous the full length of the stairs with two or more risers from a point directly above the lower riser of the flight. Ends shall be returned or shall terminate in newel posts or safety terminals.
- 2.) The handrail portion of handrails shall have a circular cross section of 1 1/4 inches minimum to 2 5/8 inches maximum. Other handrail shapes that provide an equivalent grasping surface are permissible. Edges shall have a minimum radius of 1/8 inch.

DIVISION 7: THERMAL AND MOISTURE PROTECTION

A.) Roofing:

- 1.) Fiberglass Shingles: Twenty (20) year self sealing shingles over 1 layer of 15# asphalt saturated felt underlayment unless otherwise noted. Install according to manufacturer's instruction.
- 2.) Cedar Shakes: #2 grade red-label cedar shakes (18" x 45" T) over one layer 15# A.S.F. underlayment. Install with 4 1/2" weather exposure. Apply an 18" wide strip of 15# A.S.F. over each course of shakes, 9" from bottom edge of shake extending over top of shake and onto sheathing.
- 3.) Eave Flashing: See Note B-4 below.
- 4.) For roof slopes from two units vertical in 12 units horizontal, up to four units vertical in 12 units horizontal, underlayment shall be two layers applied in the following manner. Apply a 19-inch strip of underlayment felt parallel with and starting at the eaves, fastened sufficiently to hold in place. Starting at the eave, apply 36-inch wide sheets of underlayment, overlapping successive sheets 19 inches, and fastened sufficiently to hold in place. For roof slopes of four units vertical in 12 units horizontal or greater, underlayment shall be one layer applied in the following manner. Underlayment shall be applied shingle fashion, parallel to and starting from the eave and lapping 2 inches, fastened sufficiently to hold in place. End laps shall be offset by 6 feet.

ASPE
Consulting Engineer

11005 Roundtable Ct.
North Bethesda, MD 20852
Tel: 301-717-0982, 301-530-1710
e-mail: ashaker@verizon.net



Mr. Alired Residence
8423 Hunt Valley Drive
Vienna, Virginia 22182

PROJECT

SYMBOL	DATE	ISSUED FOR

SCALE	NORTH

SHEET TITLE

Notes

SHEET NO.

N-02

INSULATION, CAULKING.

- INSULATION SHALL BE PAPER FACED FIBER GLASS BATT INSULATION, R-19 IN WALLS BETWEEN THE WINDOWS, R-38 IN NEW ROOF AND EXISTING ATTIC.

- CAULK ALL JOINTS IN THE EXTERIOR OF THE BUILDING INCLUDING JOINTS BETWEEN WINDOWS, SLIDING GLASS DOORS, SKYLIGHTS, AND OTHER UNIT FRAMES AND EXTERIOR WALLS BY PRC OR DAP.

- CONTRACTOR TO WRAP ALL SHEATHING IN VAPOR BARRIER ONCE SHEATHING IS INSTALLED.

WINDOWS

EXTERIOR WINDOWS TO BE MANUFACTURED BY WEATHER SHIELD.

NOTE:

PROVIDE SAFETY GLAZING TO THE FOLLOWING LOCATIONS AND AS REQUIRED BY CODE:
1. IN EGRESS AND INGRESS DOORS.
2. IN DOORS AND ENCLOSURES OF BATHTUBS AND SHOWERS
3. IN FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN CLOSED POSITION WITH A BOTTOM EDGE LESS THAN 60" FROM THE FLOOR.

4. GLAZING IN A FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
a. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.
b. BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
c. TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
d. STAIR RAILINGS

ALL OF THE FOLLOWING CONDITIONS:

- a. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.
- b. BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
- c. TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
- d. STAIR RAILINGS

DRYWALL WORK

- GYPSUM WALLBOARD SHALL BE U.S. GYPSUM CO. OR NATIONAL GYPSUM CO. ROUNDED TAPERED EDGE TYPE SW 1/2" THICK (UNLESS OTHERWISE NOTED).

PAINT, WOOD TRIM, WOOD, HARDWOOD FLOR

- ALL INTERIOR WALL PAINT TO BE PREMIUM LATEX DURON. COLORS TO BE DETERMINED BY ARCHITECT/HOMEOWNER ONCE ALL FINISHES ARE SELECTED. CONTRACTOR TO INCLUDE WHITE TRIM WITH MULTIPLE COLORS OF PAINT BETWEEN DIFFERENT ROOMS AND THE COATS REQUIRED FOR FULL COVERAGE.

- ALL INTERIOR WALL PAINT TO BE PREMIUM LATEX DURON. COLORS TO BE DETERMINED BY ARCHITECT/HOMEOWNER ONCE ALL FINISHES ARE SELECTED. CONTRACTOR TO INCLUDE WHITE TRIM WITH MULTIPLE COLORS OF PAINT BETWEEN DIFFERENT ROOMS AND THE COATS REQUIRED FOR FULL COVERAGE.

- CONTRACTOR SHALL BE RESPONSIBLE FOR PAINTING ENTIRE EXISTING AND NEW BUILDING, TRIM, CEILING, AND WALLS. PRIME, CAULK AND MINIMUM 2 COATS.

- BASE AND WINDOW TRIM TO MATCH EXISTING. PRIME, CAULK AND MINIMUM 2 COATS.

- CONTRACTOR INSTALL NEW PRE-FINISHED HARDWOOD FLOOR. SUBMIT SAMPLES TO HOMEOWNER AND ARCHITECT FOR SELECTION.

FINISHED MATERIALS

- ALL CERAMIC TILES, STONE TILES, CARPETS AND RUBBER FLOORING SHALL BE SPECIFIED BY ARCHITECT/HOMEOWNER AND SHALL BE INSTALLED BY CONTRACTOR.

ELECTRICAL

- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND THE N.E.C.

- CONTRACTOR SHALL HIRE A LICENSED ELECTRICAL ENGINEER WHO WILL BE FILING FOR THE ELECTRICAL PERMIT AND DOING ALL ELECTRICAL WORK.

- ALL LIGHTING FIXTURES SHALL BE SPECIFIED BY ARCHITECT/HOMEOWNER AND SHALL BE INSTALLED BY THE CONTRACTOR.

- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ELECTRICIAN DURING THE ROUGH-IN AND FINISH PHASE OF THE ELECTRICAL WORK.

PLUMBING

- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.

- CONTRACTOR SHALL FINISH AND INSTALL ALL PLUMBING FIXTURES, VENTS, FITTINGS, AND ACCESSORY EQUIPMENT TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM. CONTRACTOR TO VERIFY VENT ROUTES AND LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO INSTALL SELF-FLASHING VENT COVERS ON ROOF.

- CONTRACTOR TO OBTAIN ALL APPLIANCE CUT SHEETS AND SHALL BE HELD RESPONSIBLE FOR COST OF ROUGH-IN AND INSTALLATION OF ALL APPLIANCES.

- ALL KITCHEN APPLIANCES AND BATH ROOM ACCESSORIES SHALL BE SPECIFIED BY ARCHITECT/HOMEOWNER.



ASPE
Consulting Engineer

11005 Roundtable Ct.
North Bethesda, MD 20852
Tel: 301-717-6982, 301-530-1710
e-mail: ashakeri@verizon.net

PROJECT

Mr. Alired Residence
8423 Hunt Valley Drive
Vienna, Virginia 22182

SYMBOL	DATE	ISSUED FOR

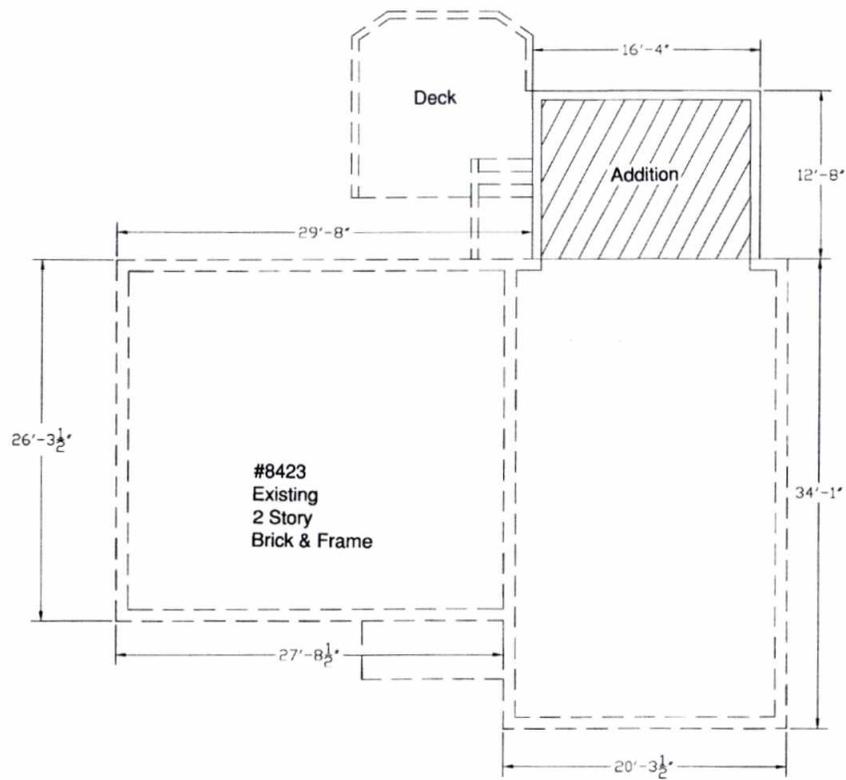
SCALE	NORTH

SHEET TITLE

Notes

SHEET NO.

N-03



Plan

Scale: 1/4"=1'-0"



**ASPE
Consulting Engineer**

11005 Roundtable Ct
North Bethesda, MD 20852
Tel: 301-717-6982, 301-530-1710
e-mail: ashakeri@verizon.net

PROJECT

Mr. Allred Residence
8423 Hunt Valley Drive
Vienna, Virginia 22182

SYMBOL	DATE	ISSUED FOR

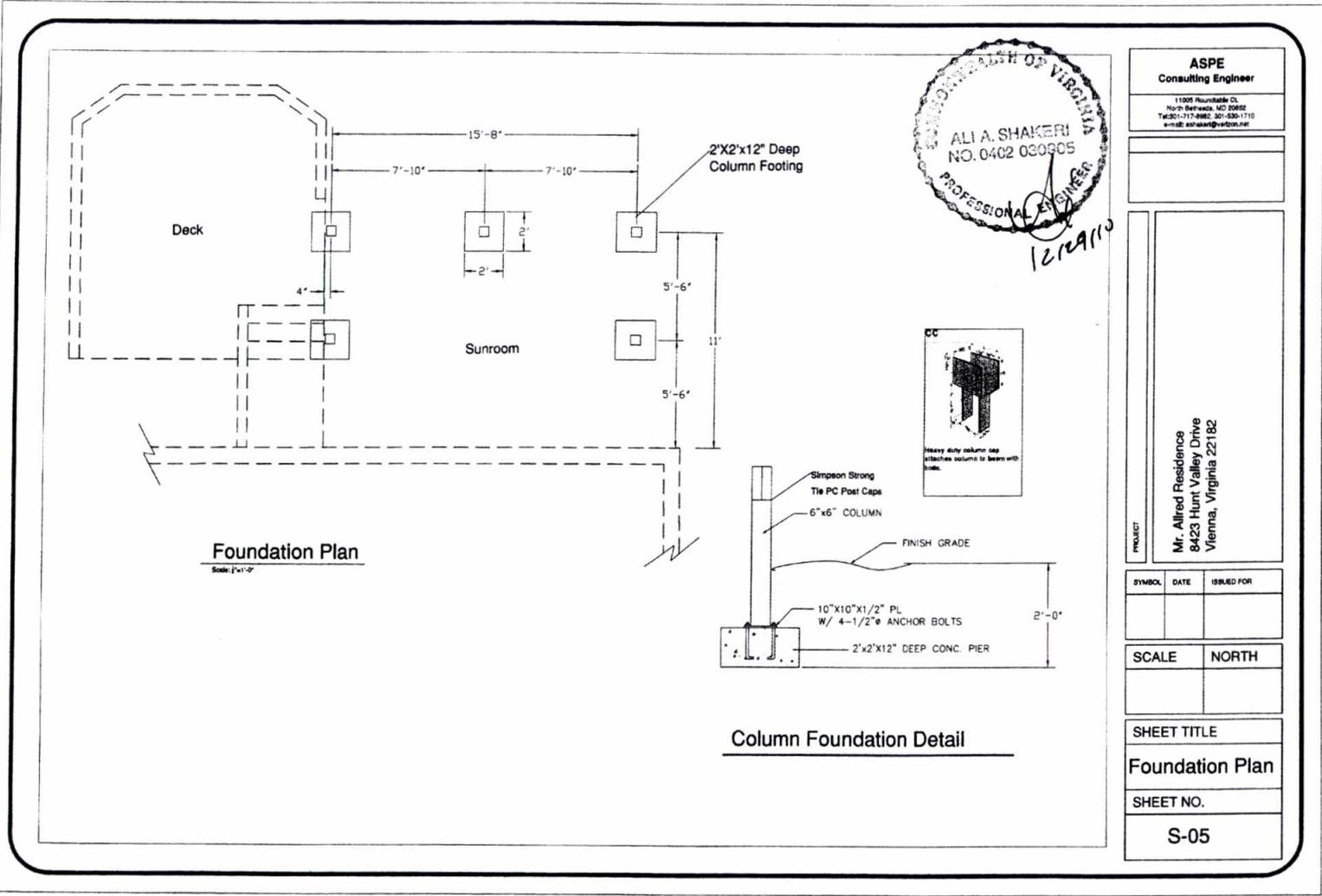
SCALE	NORTH

SHEET TITLE

Plan

SHEET NO.

S-01



ASPE
 Consulting Engineer
 11005 Roundtable Ct.
 North Bethesda, MD 20852
 Tel:301-717-8982, 301-530-1710
 e-mail: ashakeri@verizon.net

PROJECT
 Mr. Alfred Residence
 8423 Hunt Valley Drive
 Vienna, Virginia 22182

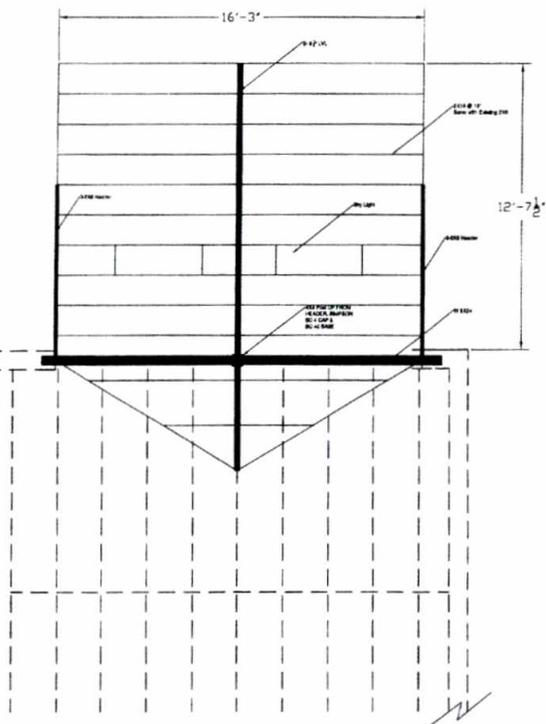
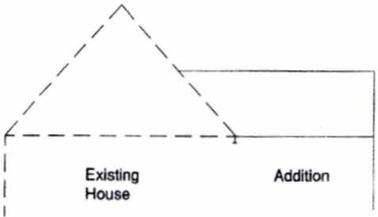
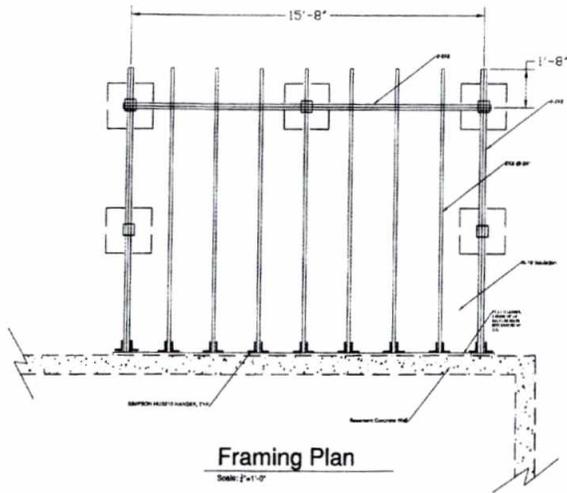
SYMBOL	DATE	ISSUED FOR

SHEET TITLE

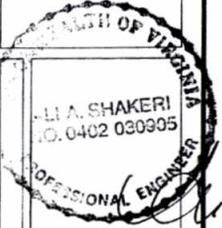
Foundation Plan

SHEET NO.

S-05



ASPE
Consulting Engineer
11305 Four Seasons Ct.
North Bethesda, MD 20852
Tel: 301-717-8982, 301-430-1710
e-mail: ashakeri@verizon.net



10/19/10

PROJECT
Mr. Alfred Residence
8423 Hunt Valley Drive
Vienna, Virginia 22182

SYMBOL	DATE	ISSUED FOR

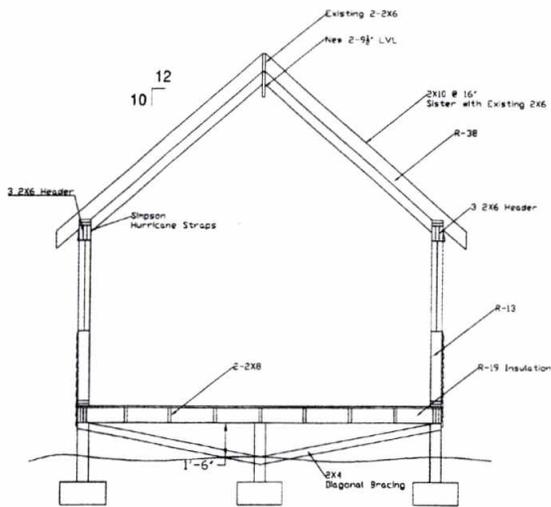
SCALE	NORTH

SHEET TITLE

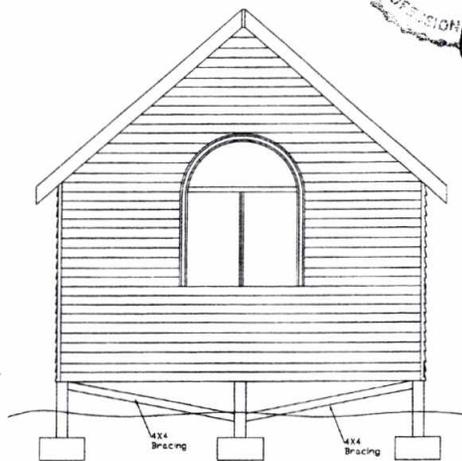
Framing Plan

SHEET NO.

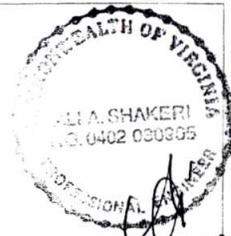
S-06



Section



Back Elevation



1-12-11

ASPE
Consulting Engineer
11005 Roundtable Ct.
North Bethesda, MD 20862
Tel: 301-717-8862, 301-536-1110
e-mail: ashakeri@vetcon.net

PROJECT
Mr. Alfred Residence
8423 Hunt Valley Drive
Vienna, Virginia 22182

SYMBOL	DATE	ISSUED FOR

SCALE	NORTH

SHEET TITLE

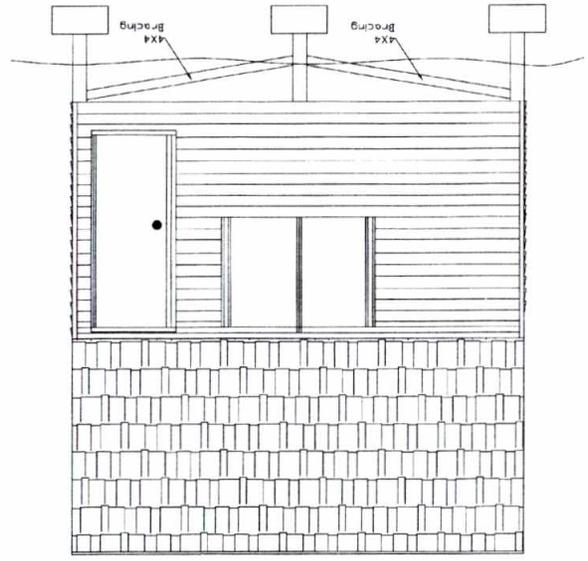
Section-Eleva.

SHEET NO.

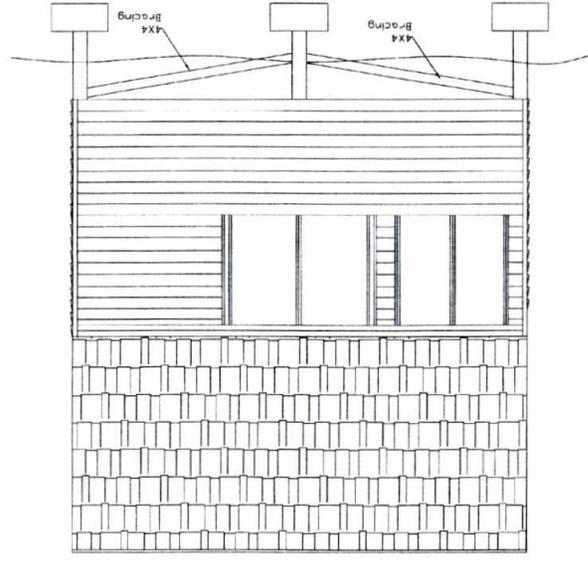
S-07



Side Elevation
Scale: 1/4"=1'-0"



Side Elevation
Scale: 1/4"=1'-0"



S-08

SHEET NO.

Elevations

SHEET TITLE

SCALE NORTH

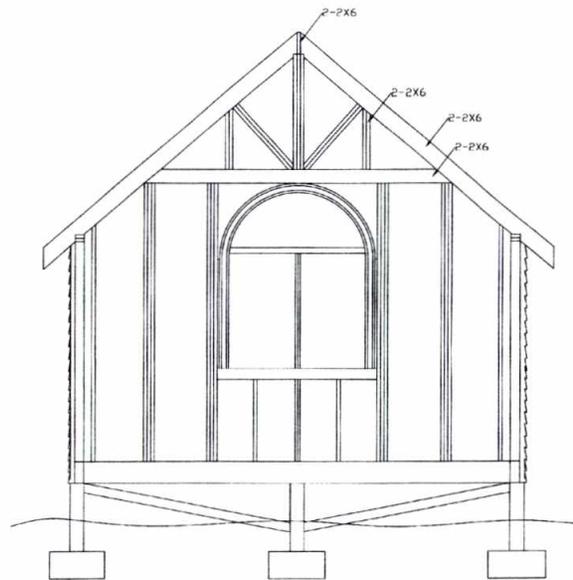
SYMBOL DATE ISSUED FOR

PROJECT

Mr. Alfred Residence
8423 Hunt Valley Drive
Vienna, Virginia 22182

11055 Fourmile Ct
North Bethesda, MD 20852
Tel: 301-717-6962, 301-530-1710
e-mail: ashakeri@verizon.net

ASPE
Consulting Engineer



End Wall Section



ASPE
Consulting Engineer

11005 Roundtable Ct.
North Bethesda, MD 20852
Tel: 301-717-0982, 301-530-1710
e-mail: ashakeri@verizon.net

PROJECT

Mr. Alfred Residence
8423 Hunt Valley Drive
Vienna, Virginia 22182

SYMBOL	DATE	ISSUED FOR

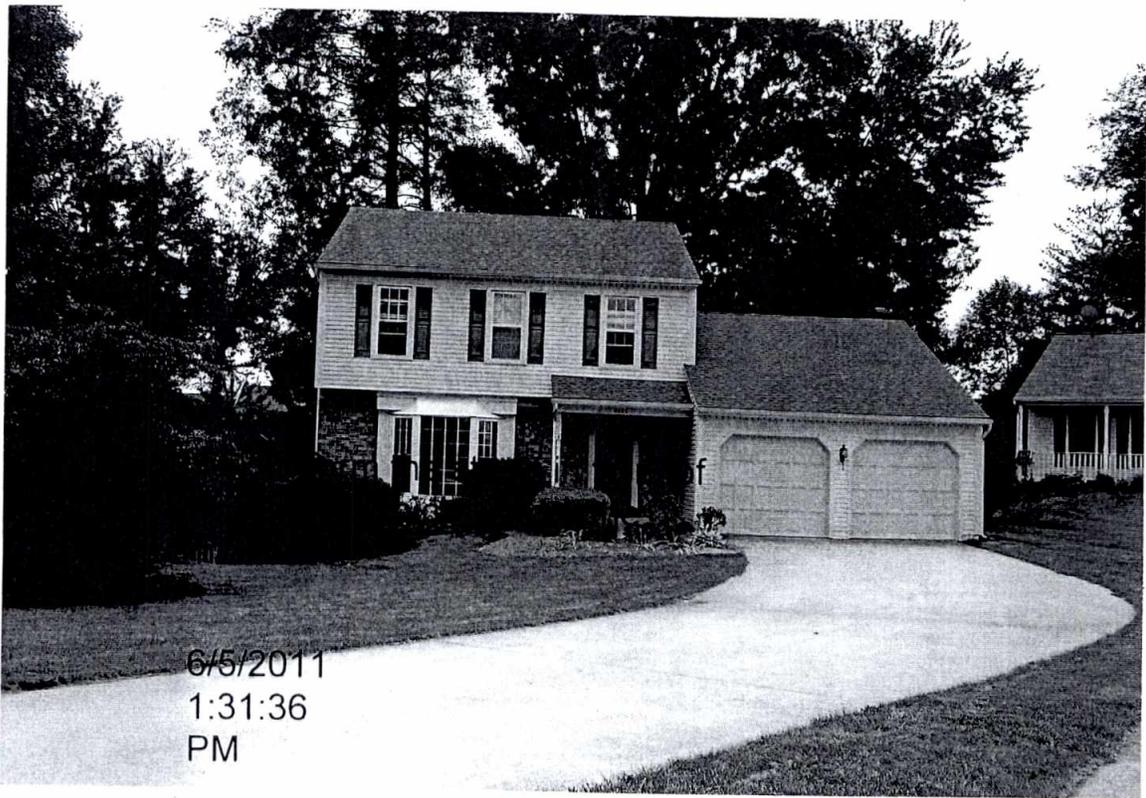
SCALE	NORTH

SHEET TITLE

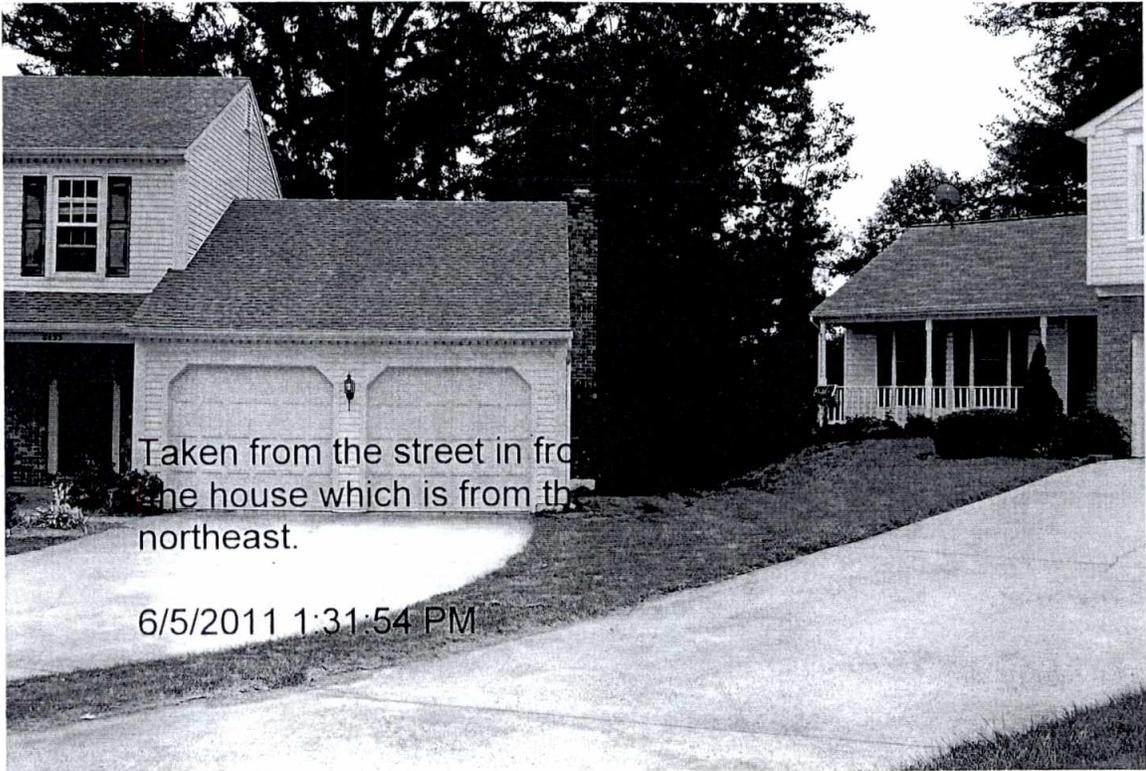
End Wall Section

SHEET NO.

S-09

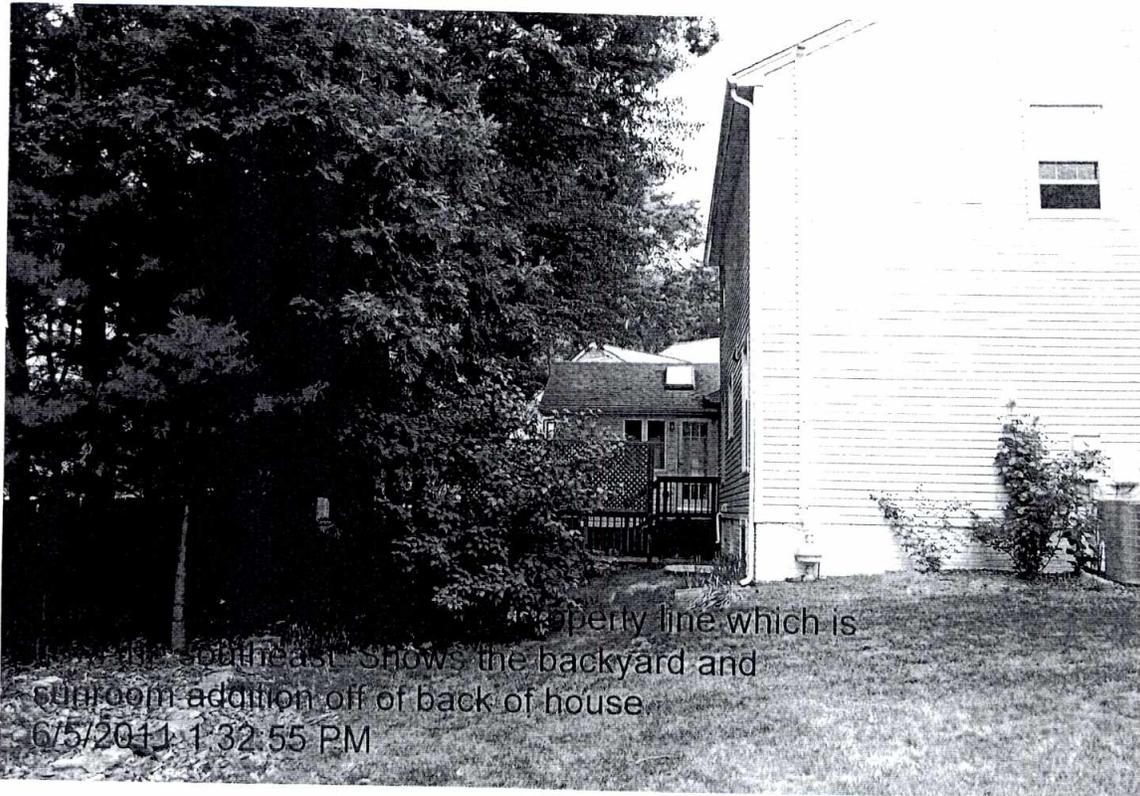


6/5/2011
1:31:36
PM

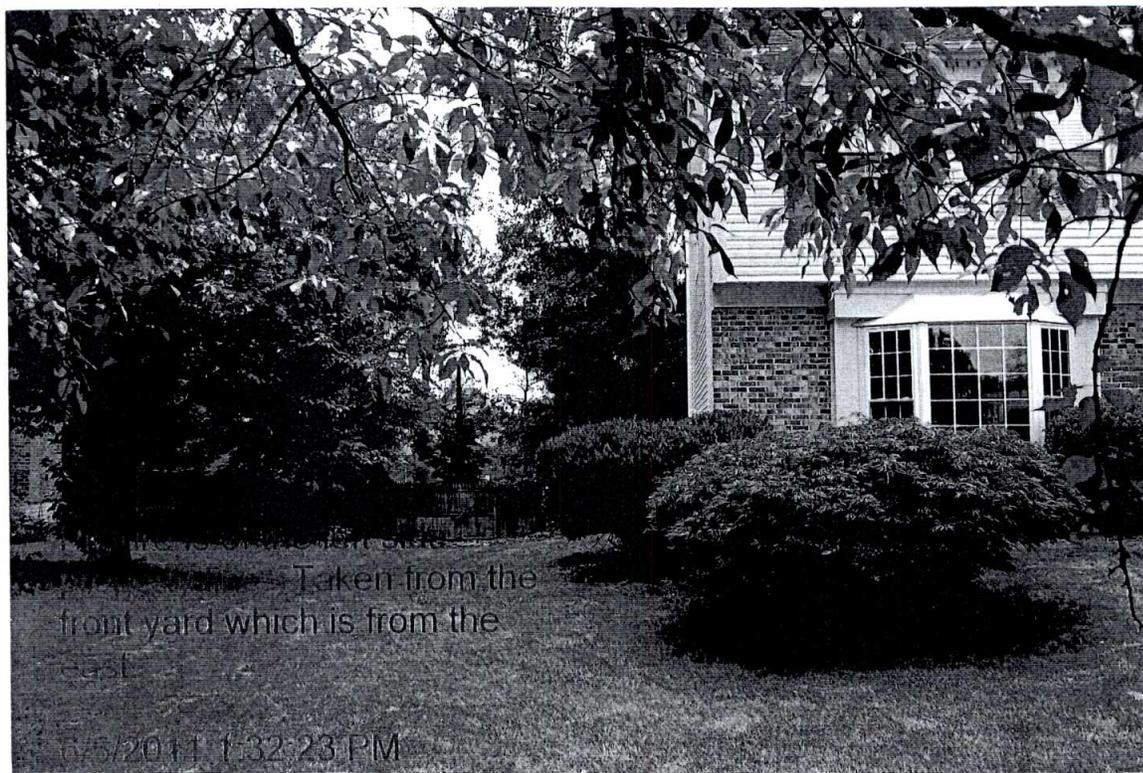


Taken from the street in front of
the house which is from the
northeast.

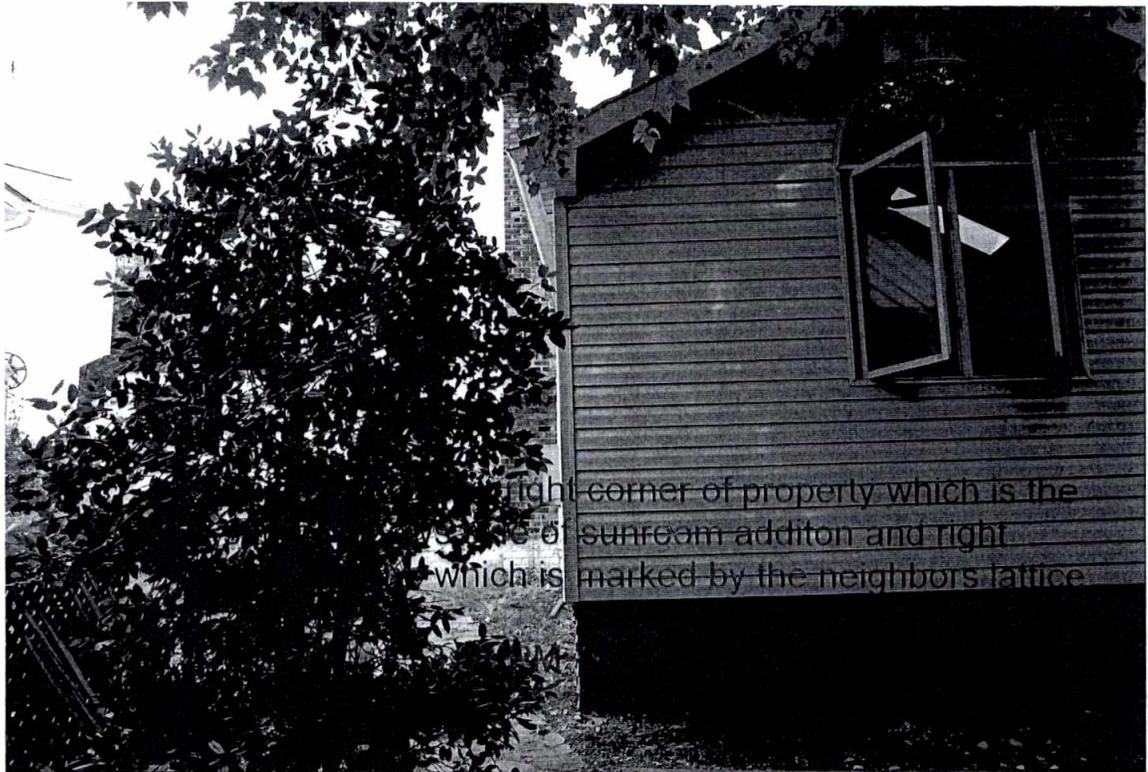
6/5/2011 1:31:54 PM

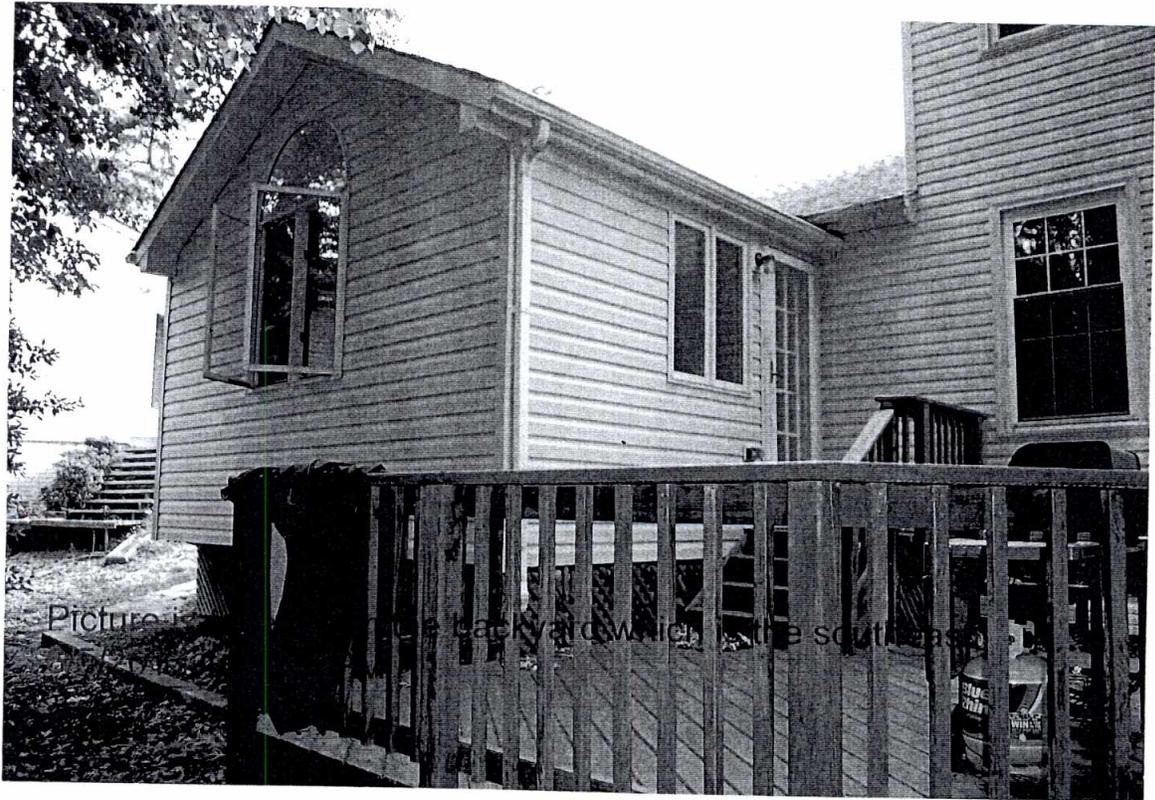


Property line which is
shown in the southeast shows the backyard and
sunroom addition off of back of house.
6/5/2011 1:32:55 PM

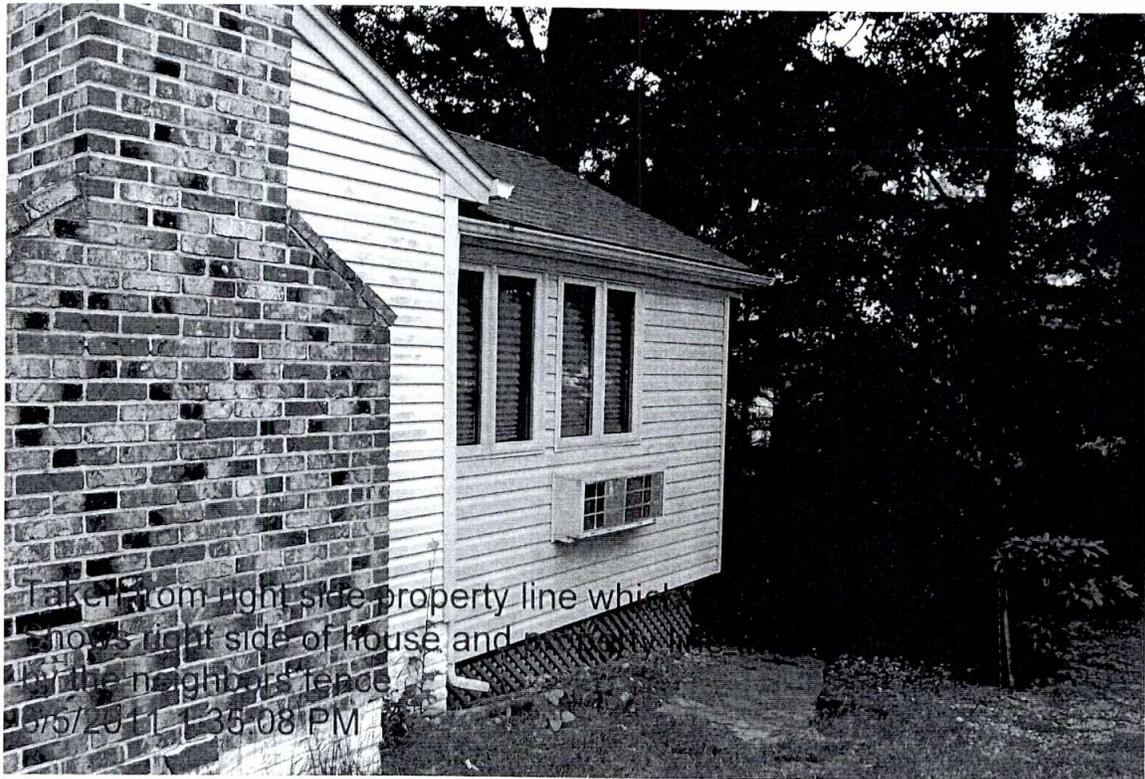


Taken from the
front yard which is from the
east.
6/5/2011 1:32:23 PM

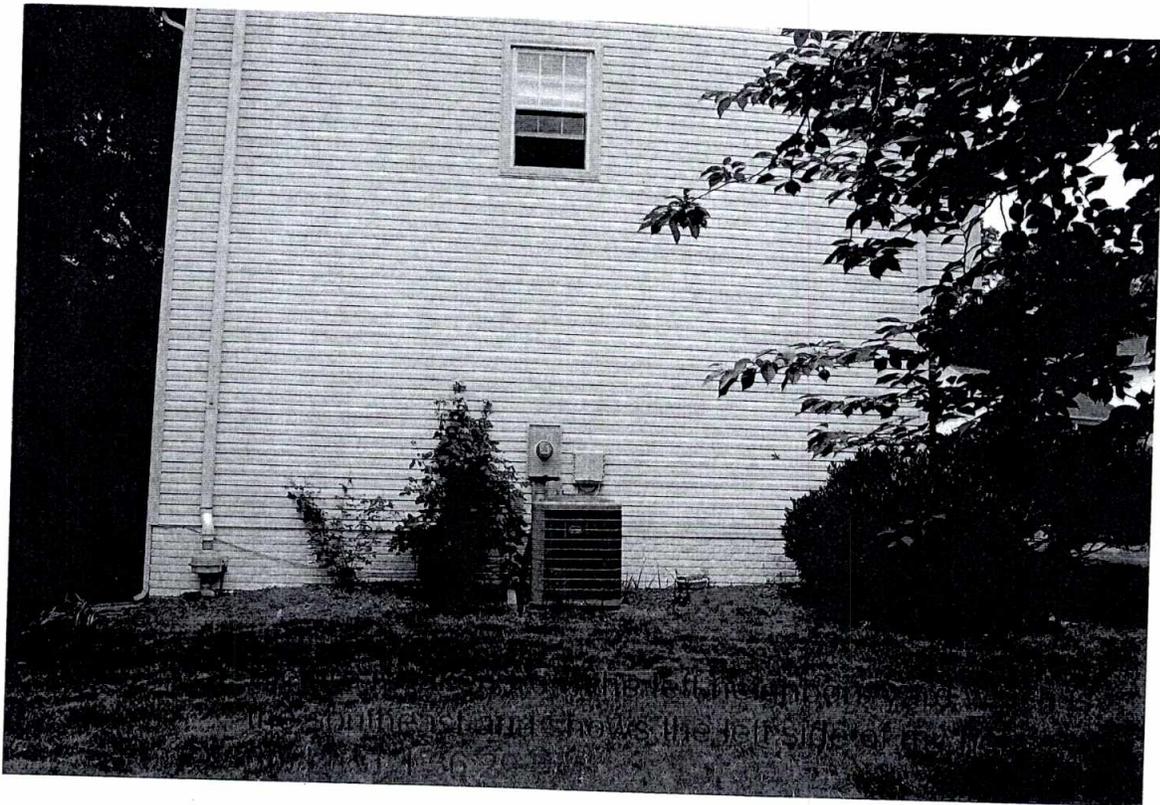
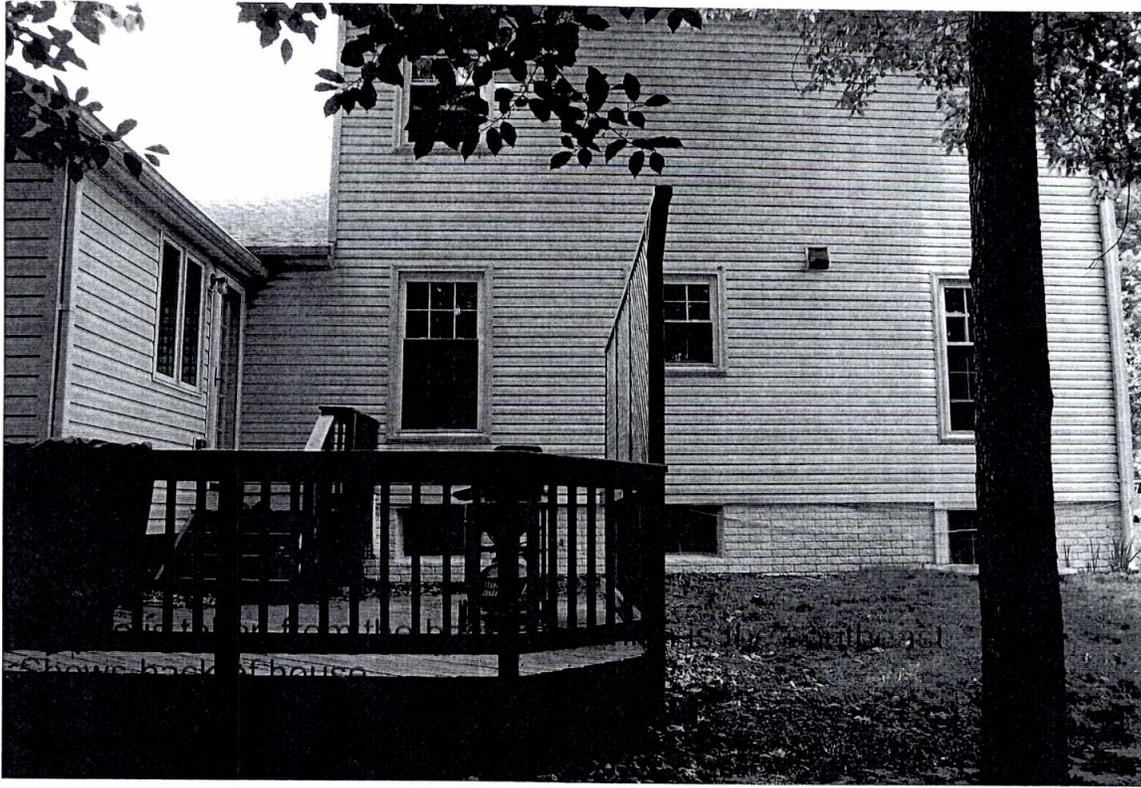


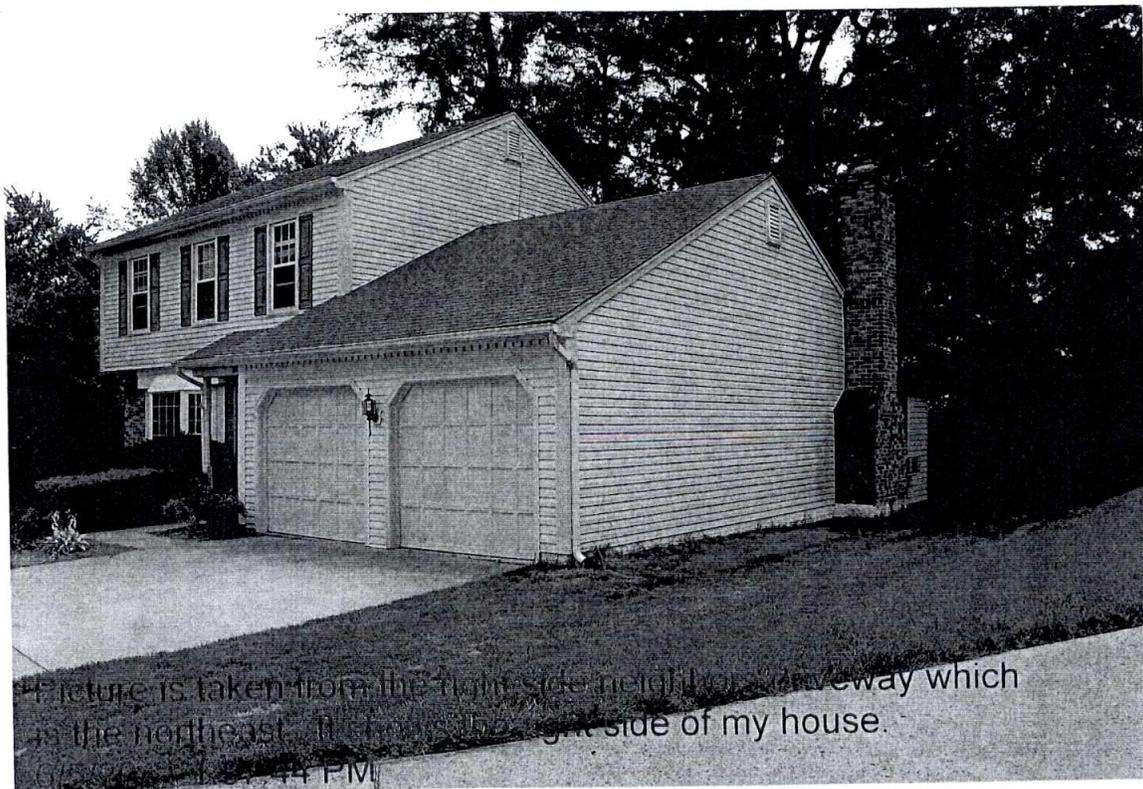


Picture taken from the backyard which is the southeast



Take from right side property line which shows right side of house and neighbor's fence.
5/5/2011 1:35:08 PM





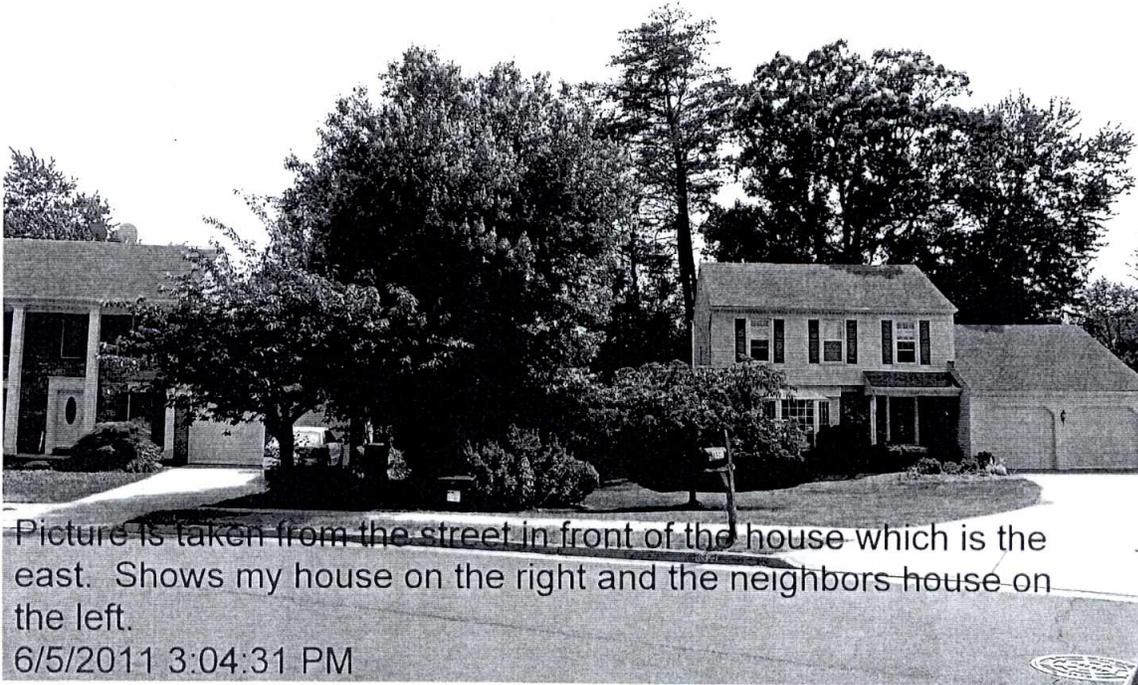
Picture is taken from the front side neighbor driveway which is the northeast. It shows the right side of my house.

44 P.M.



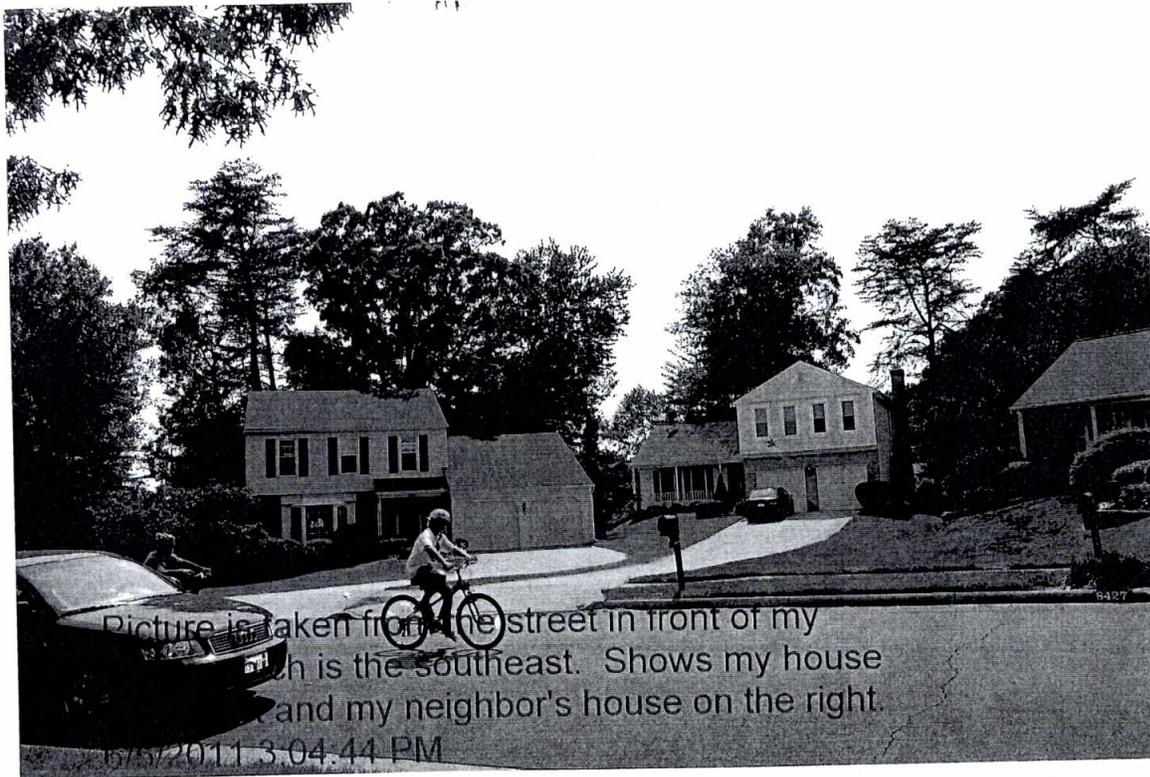
Picture is taken from the back property line which is southeast and shows back fence and back yard.

5 P.M.



Picture is taken from the street in front of the house which is the east. Shows my house on the right and the neighbors house on the left.

6/5/2011 3:04:31 PM



Picture is taken from the street in front of my house which is the southeast. Shows my house on the left and my neighbor's house on the right.

6/5/2011 3:04:44 PM

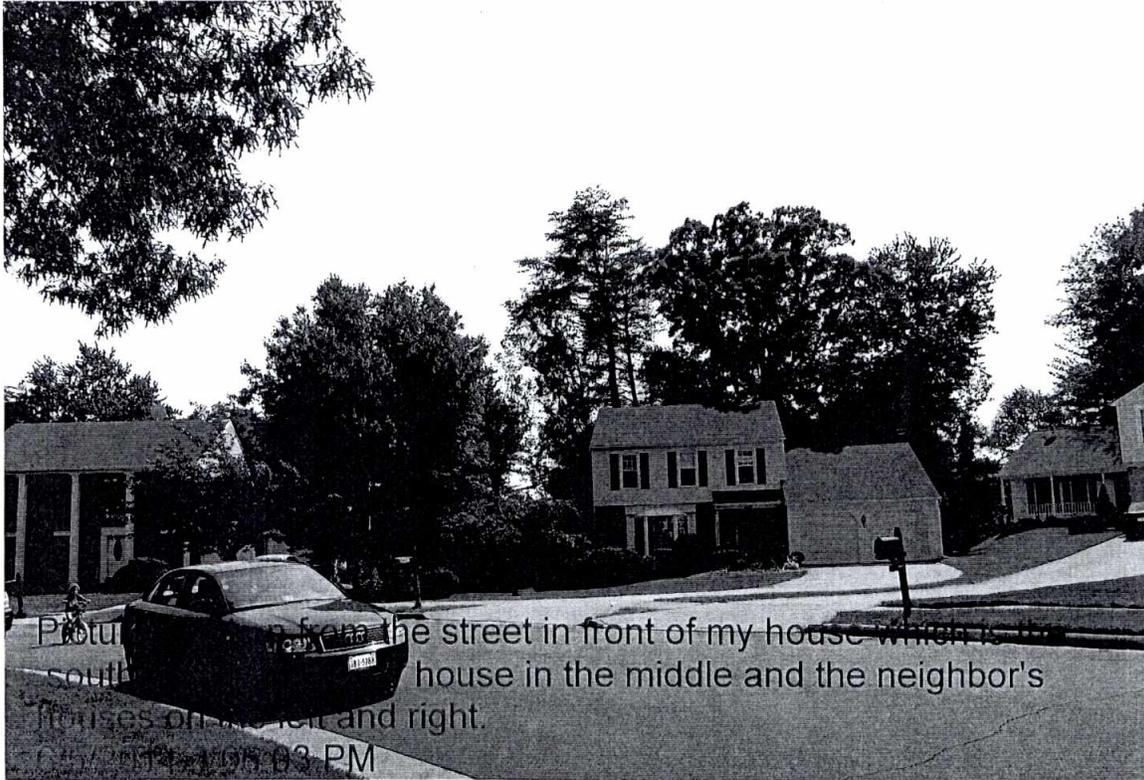


Photo taken from the street in front of my house which is the
south house in the middle and the neighbor's
houses on the left and right.

6/5/2014 1:05:03 PM

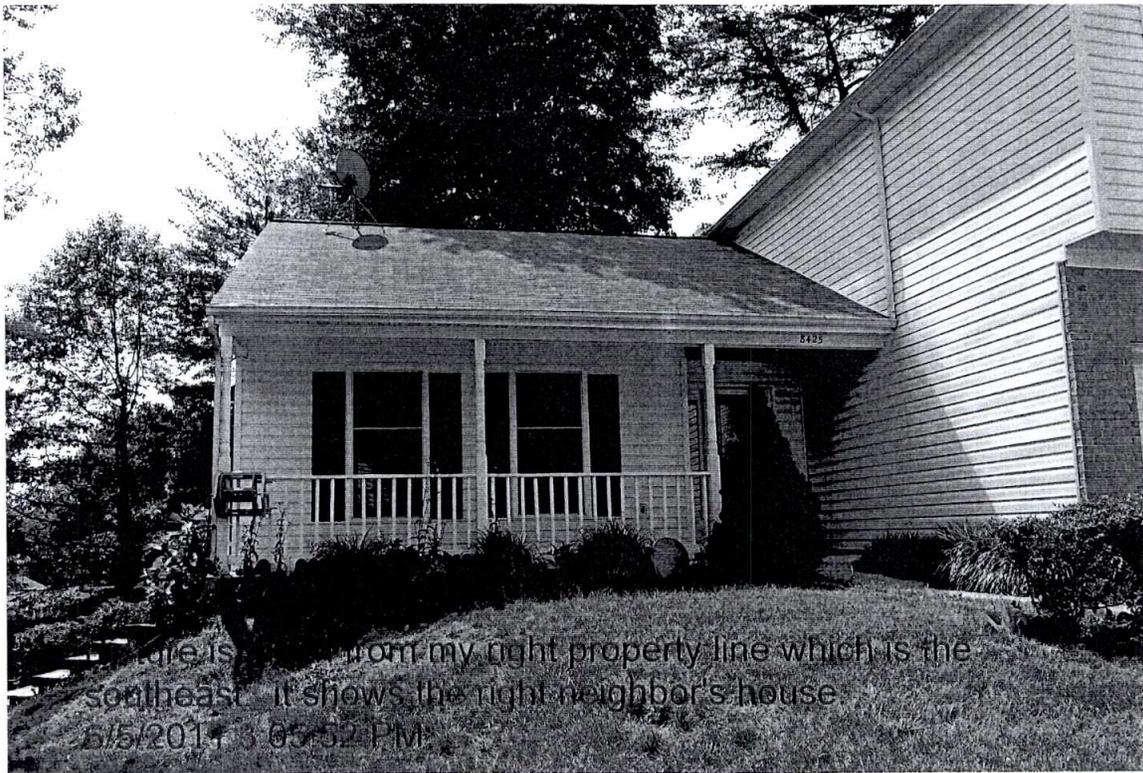
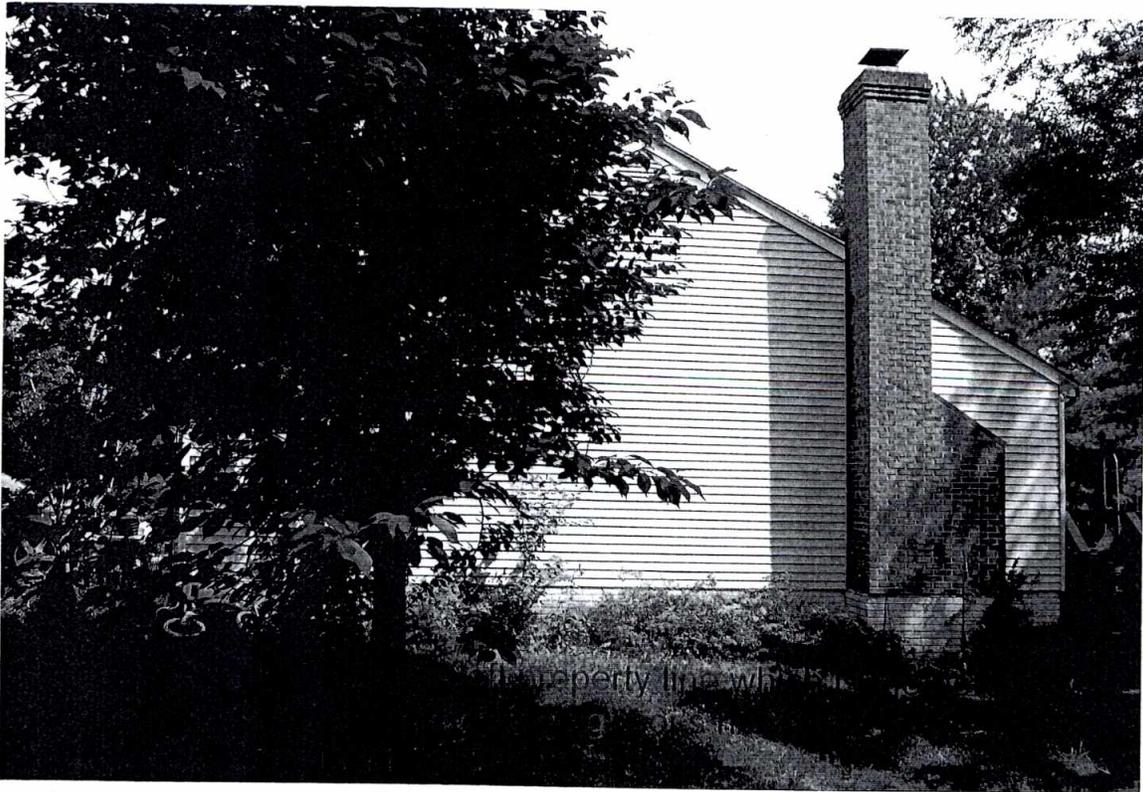


Photo taken from my right property line which is the
southeast. It shows the right neighbor's house.

6/5/2014 3:05:52 PM

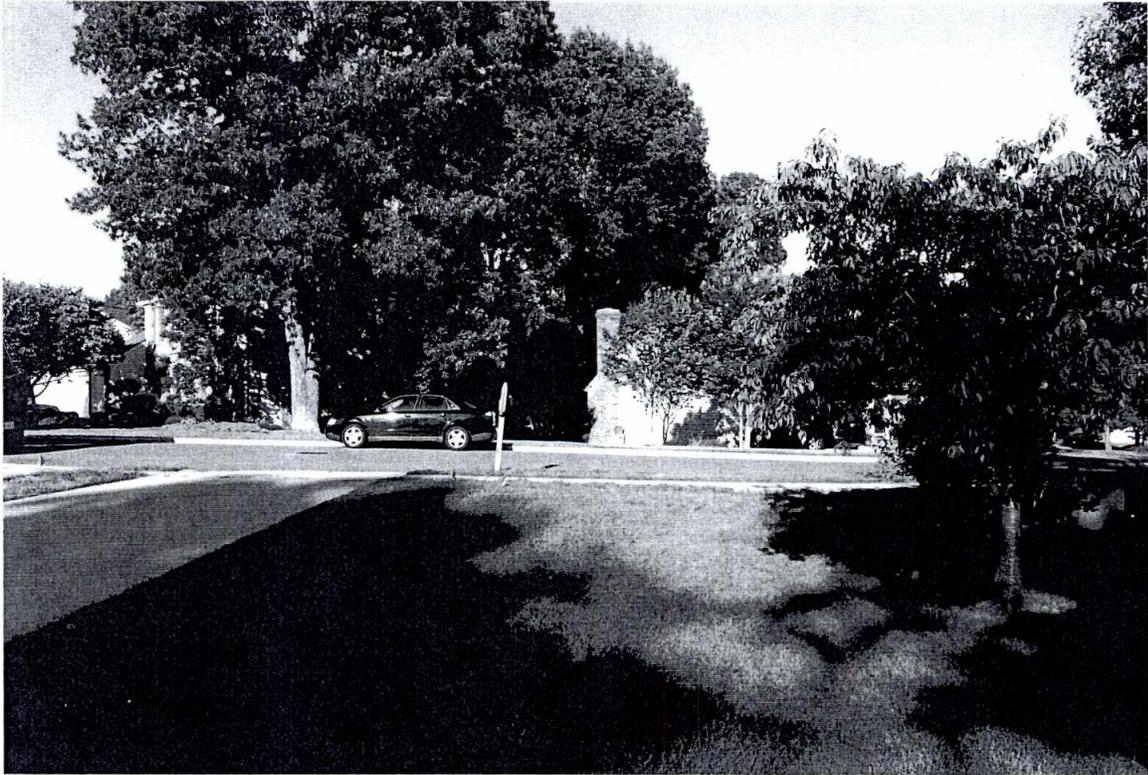


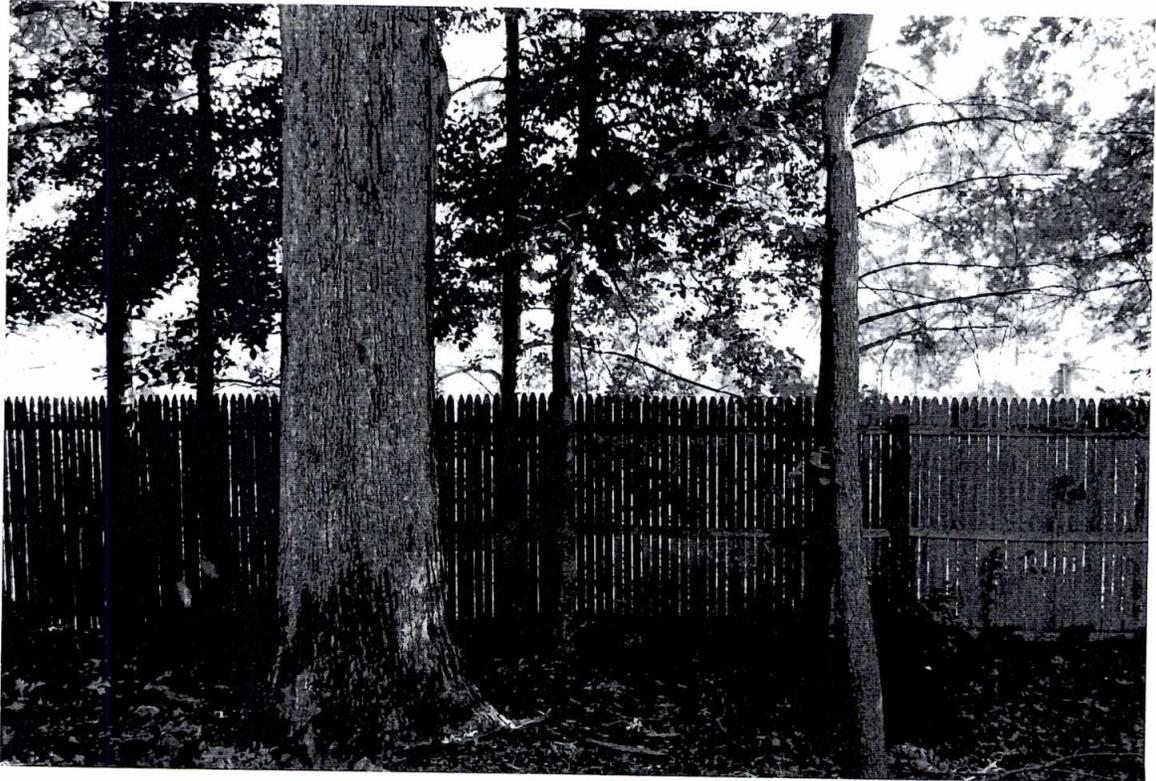
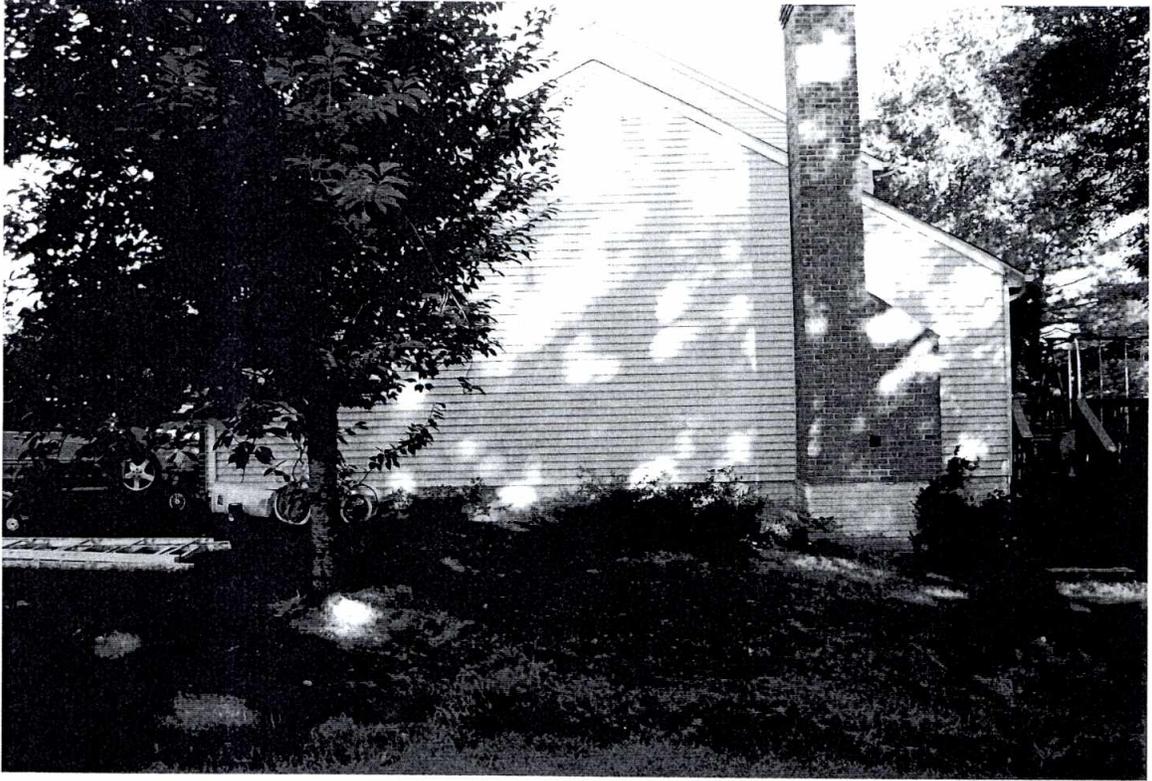
picture is taken from the street in front of my house which is the northeast. It shows my house in the middle the the neighbor's houses on the left and right
6/5/2011 3:07:47

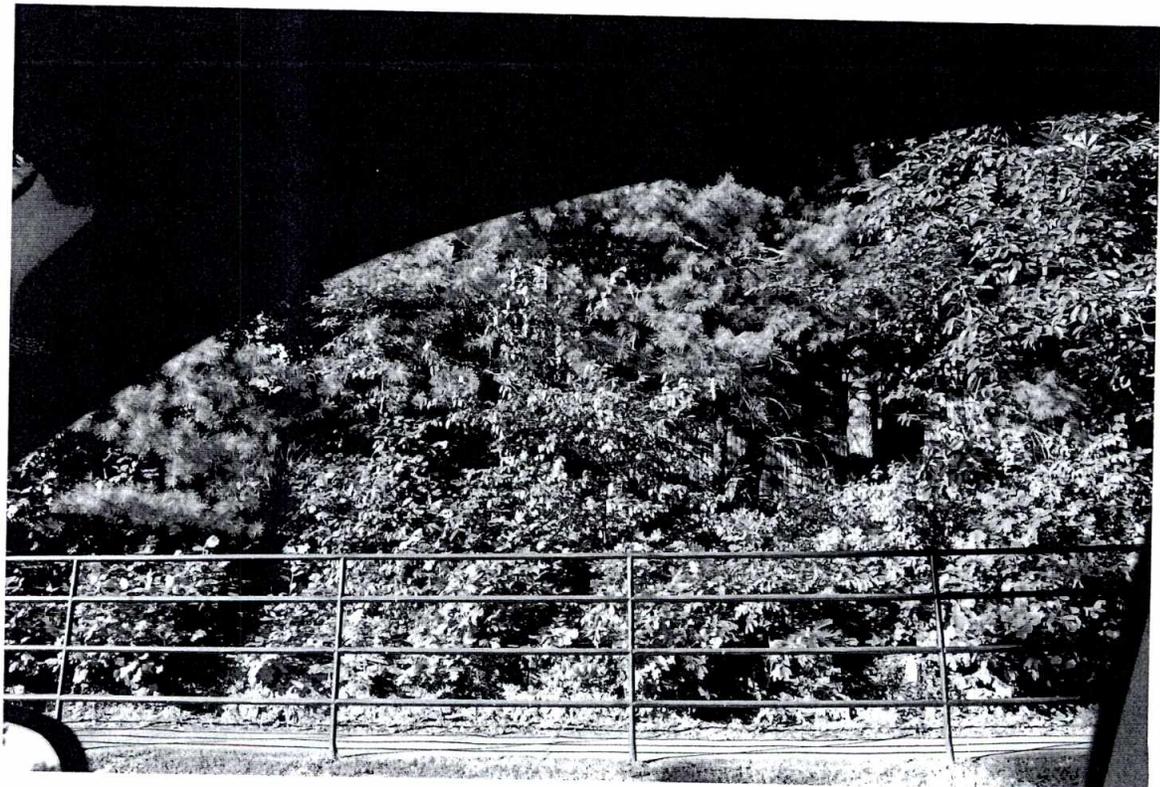
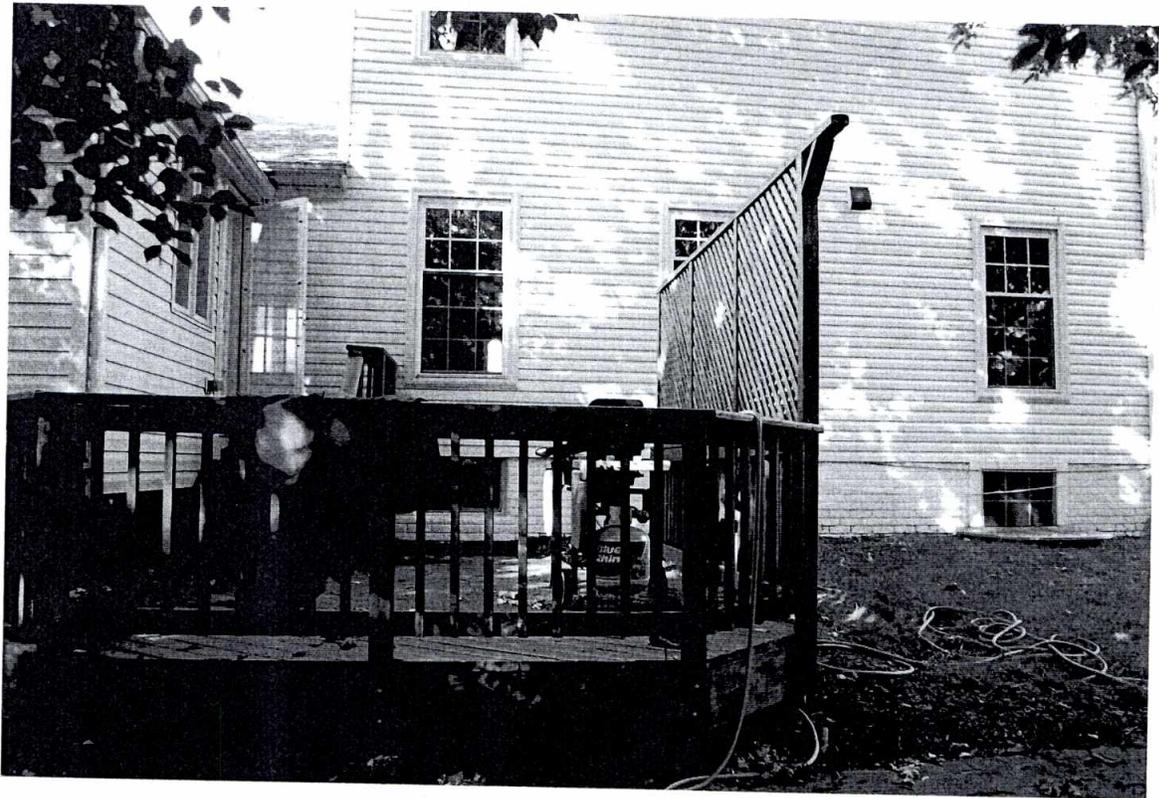


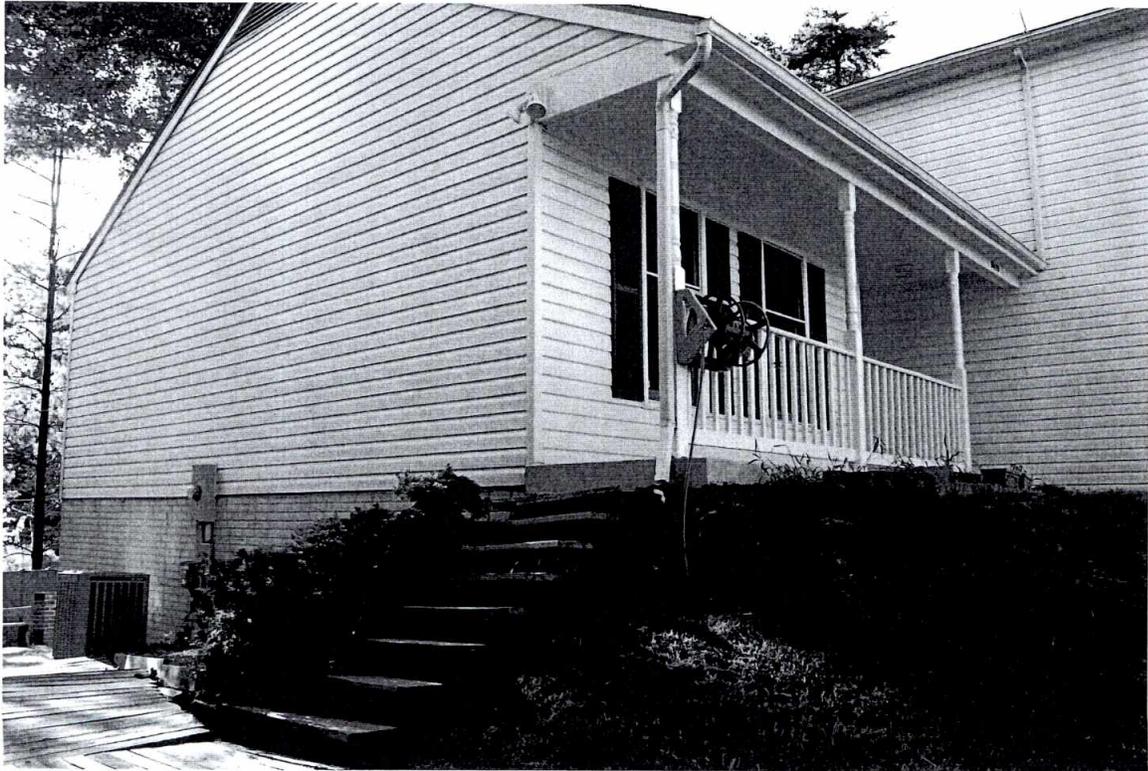
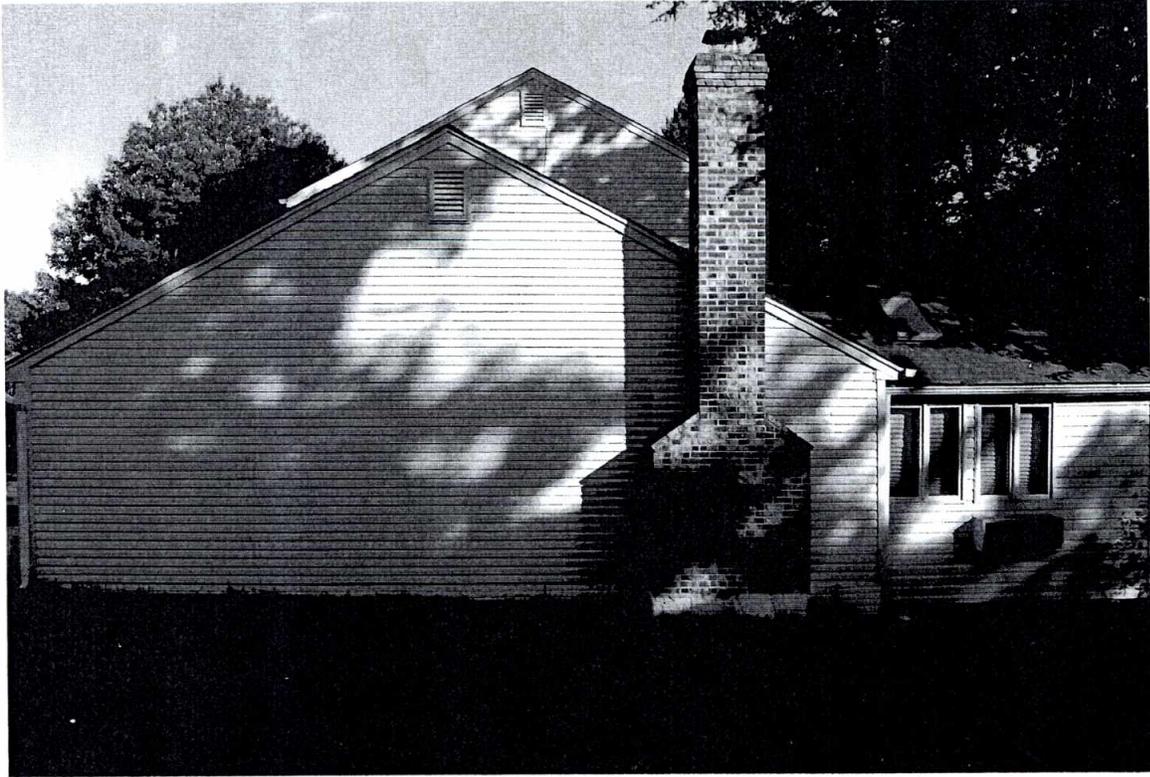
Picture is taken from the street in front of my house which is the
one on the left. It shows my house on the left and my neighbor's house
on the right.
3/5/2011 3:04 PM

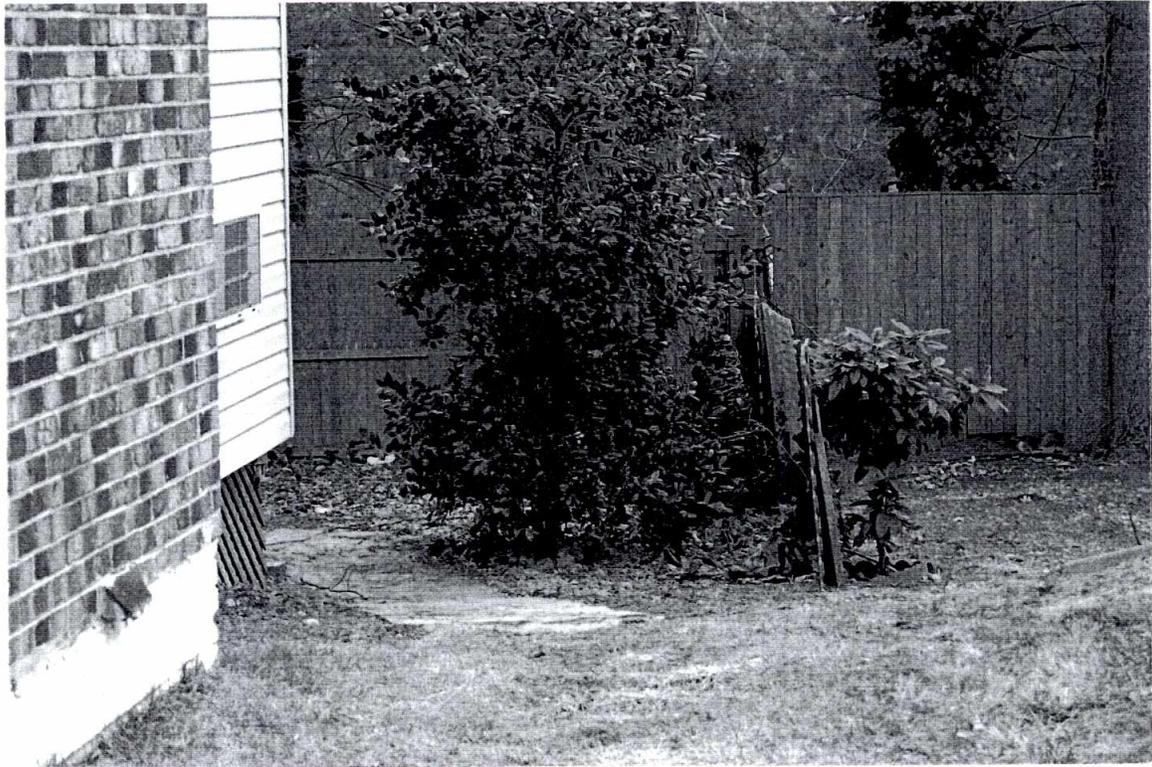
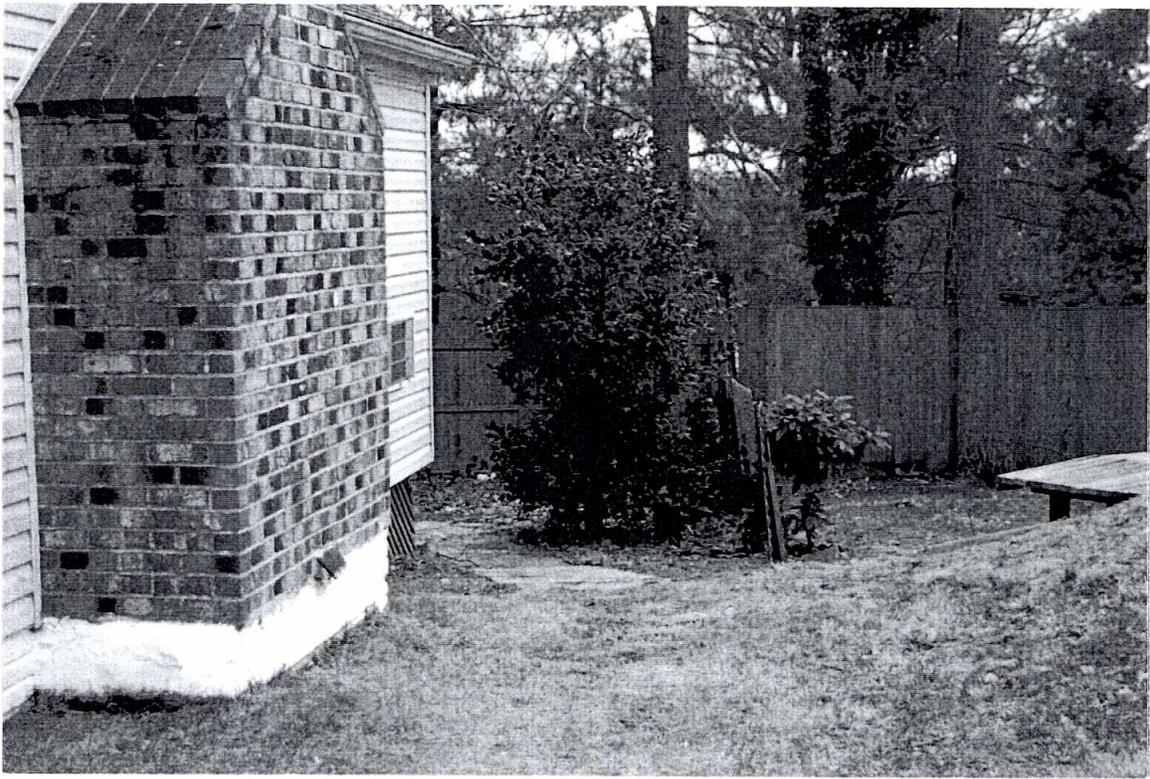


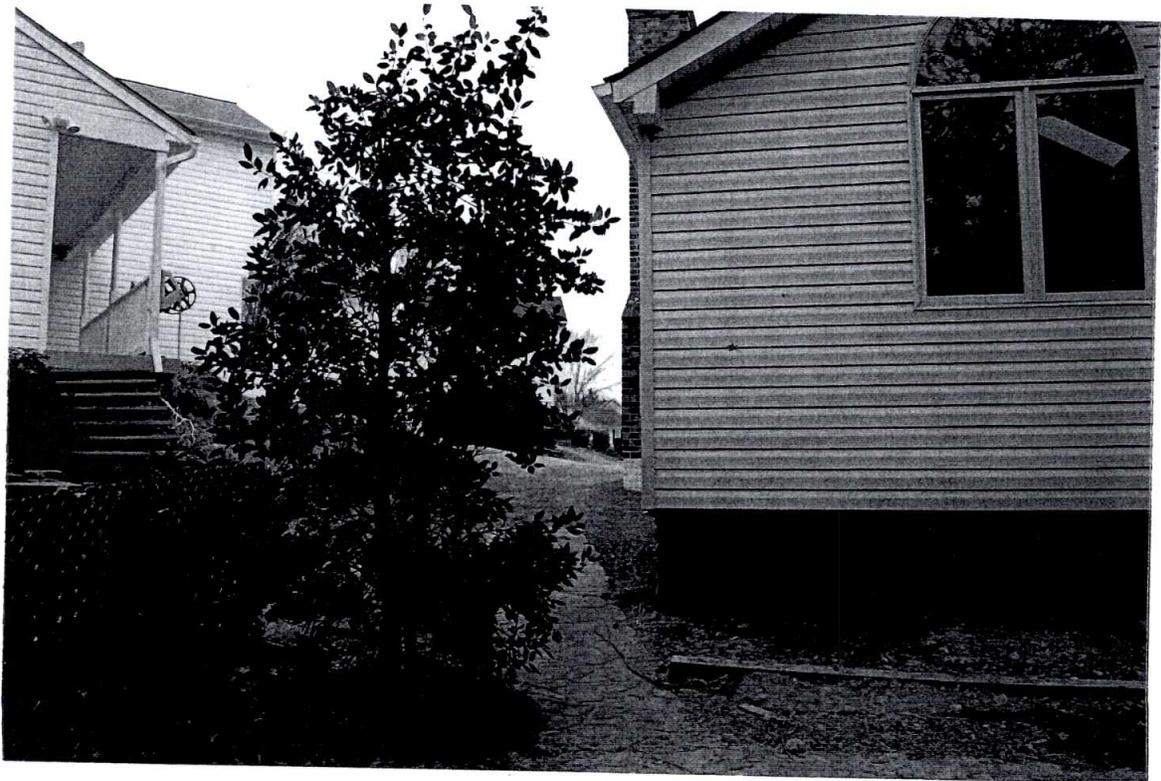
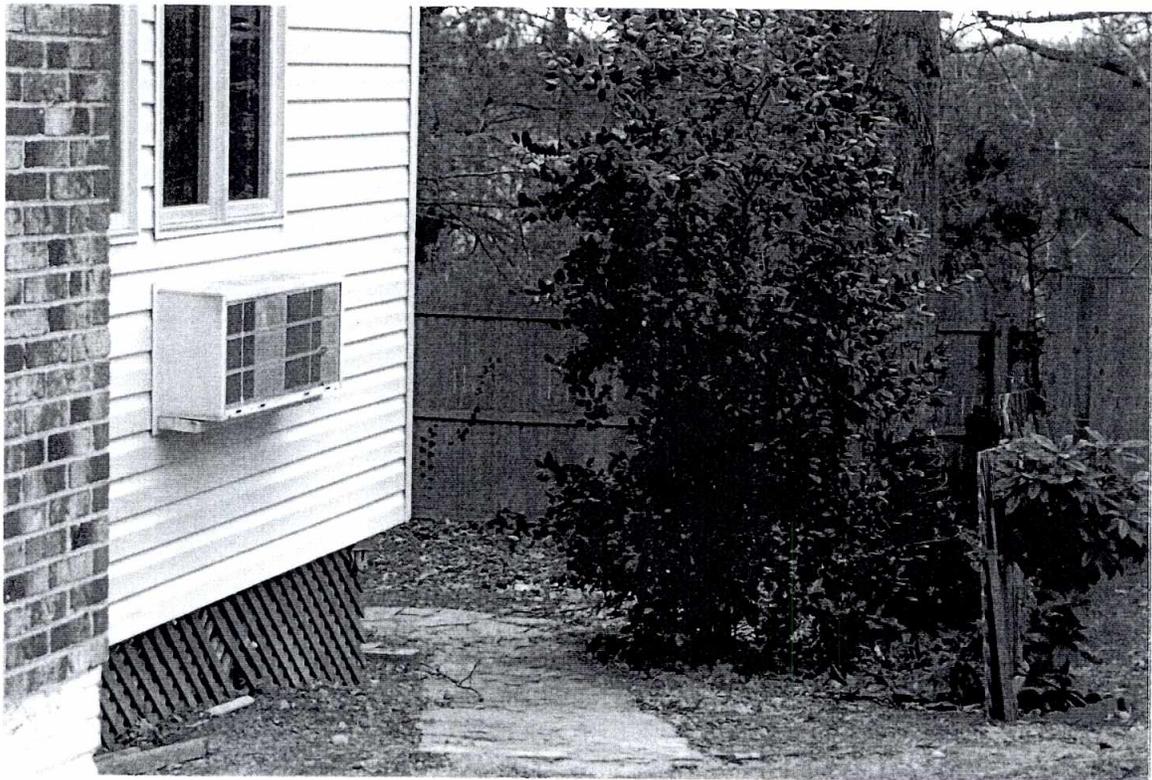


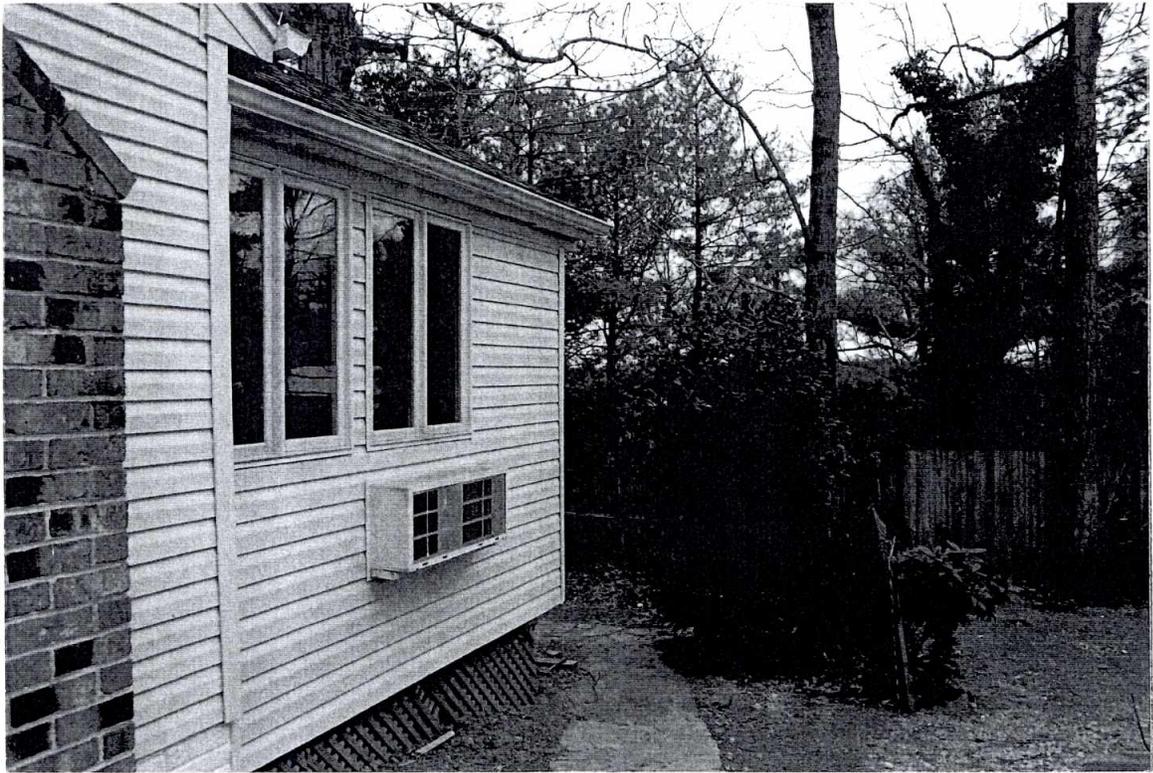












DESCRIPTION OF THE APPLICATIONS

The applicant is requesting approval of two separate special permits. The first request is to allow a reduction to the minimum yard requirements based on an error in building location to permit an addition, which measures 197.23 feet in area and 13.4 feet in height, to remain 5.7 feet to its eave from the northwest side lot line.

Special Permit Request #1

	Structure	Yard	Minimum Distance or Yard*	Structure Location	Amount of Error	Percent of Error
Special Permit Request #1	Addition	Side	8.0 feet	5.7 feet	2.3 feet	29%

*Minimum yard requirement per Section 3-307

The second special permit request is to allow an existing fence greater than 4.0 feet in height to remain in the front yard of a through lot. The wood framed stockade fence is located in the front yard facing Wolfrap Road and is 6.0 feet in height. The Zoning Ordinance currently permits fences 4.0 feet in height by-right; however, through a special permit, an applicant can request a fence in the front yard up to 6.0 feet in height.

Special Permit Request #2

	Structure	Yards	Height Permitted By right	Maximum Height Requested	Modification Requested
Special Permit Request #2	Fence	Front	4.0 feet	6.0 feet	2.0 feet

EXISTING SITE DESCRIPTION

The subject site measures 10,540 square feet in area and is zoned R-3 and developed under the cluster regulation. The site is developed with a two story frame house which was originally constructed in 1983. The applicant obtained permits for a sunroom addition in 2010, and a previous owner obtained permits for a screened in porch in 1988 and a deck landing in 2004. The front yard is landscaped with ornamental trees, shrubs and grass. There is a concrete driveway in the front of the house, and a narrow concrete walkway leads from the driveway to the front door of the house. A stone-paved pathway leads around the sunroom addition to the rear of the house. Along the periphery of the rear yard, there is a wood fence. The rear yard is planted with grass and there are a number of large, mature trees. A wooden deck is built to the southeast side of the sunroom and to the west of the main house. Wooden stairs lead down from the sunroom to the deck. A lattice work privacy screen is located on the west side of the deck and is 10.2 feet at its peak height.

CHARACTER OF THE AREA

	Zoning	Use
North	R-3 Cluster	Single Family Detached Dwelling
South	R-1	Single Family Detached Dwelling
East	R-3 Cluster	Single Family Detached Dwelling
West	R-3 Cluster	Single Family Detached Dwelling

BACKGROUND

The applicant purchased the property in 2005 and transferred ownership to a separate trust in the same year. According to the applicant the addition was already constructed when they purchased the house. This can be confirmed through a picture of a 1997 County Aerial map included as Appendix 4. When the applicant placed the property on the market was discovered that no permit was filed to build the sunroom. The applicant then filed a permit to bring the sunroom addition up to building code.

A building permit, dated December 3, 2010, was issued for a one-story addition. A copy of the permit is included in Appendix 5. The building permit noted that there is an eight (8) foot side yard requirement on the left (northwest) side of the dwelling. As part of the permit’s issuance, a setback certification was required prior to the Residential Use Permit (RUP) issuance or final inspection.

On February 2, 2011, a setback certification denial letter was issued, which noted that the certification failed due to the lack of compliance with the minimum side yard requirement. A special permit application was recommended to bring the addition into zoning compliance. A copy of the letter is included as Appendix 6.

Records indicate that no other applications have been heard by the Board of Zoning Appeals (BZA) in the surrounding area. A copy of the special permit plat depicting the structures on site, titled “Plat Showing the Improvements on Lot 4, Section One, Westwood Estates”, prepared by Dominion, dated June 7, 2011, as revised through July 25, 2011, is included at the front of the staff report.

ZONING ORDINANCE REQUIREMENTS

- General Special Permit Standards (Sect. 8-006)
- Group 9 Standards (Sect. 8-903)
- Provisions for Approval of Reduction of the Minimum Yard Requirements Based on an Error in Building Location (Sect. 8-914)

- Sect. 8-923 Provisions for Increase in Fence and/or Wall Height in Any Front Yard

This special permit is subject to Sects. 8-006, 8-903 and 8-914 of the Zoning Ordinance as referenced above, a copy of which is included in Appendix 7. Subject to development conditions, this special permit must meet these standards.

CONCLUSION

If it is the intent of the BZA to approve this application, staff suggests the BZA condition its approval by requiring conformance with the conditions set forth in Appendix 1 of this report, Proposed Development Conditions.

The approval of this special permit does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

APPENDICES

1. Proposed Development Conditions
2. Applicant's Affidavit
3. Applicant's Statement of Justification
4. 1997 Aerial County Map of Property
5. Building Permit
6. Notices of Violation for Setback Certification dated February 2, 2011
7. Zoning Ordinance Provisions

PROPOSED DEVELOPMENT CONDITIONS

SP 2011-PR-079

November 9, 2011

1. This special permit is approved for the location and size of the addition and fence, as shown on the plat prepared by Dominion, dated June 7, 2011, as revised through July 25, 2011, as submitted with this application and is not transferable to other land.
2. Appropriate permits and final inspections for the addition shall be diligently pursued and obtained within six months of final approval of this application.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Application No.(s): SP 2011-PR-079
 (county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 4/19/2011
 (enter date affidavit is notarized)

I, Robert H. Allred, Trustee, do hereby state that I am an
 (enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below 111591a

and that, to the best of my knowledge and belief, the following is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,* and, if any of the foregoing is a **TRUSTEE,**** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
Robert H. Allred, Trustee & Beneficiary of the Robert H. Allred Revocable Trust; Molly R. Allred Co-Trustee	104 Battle St. SE Vienna, VA 22180	Applicant / Title Owner
Molly R. Allred, Trustee & Beneficiary of the Molly R. Allred Revocable Trust; Robert H. Allred Co-Trustee	104 Battle St. SE Vienna, VA 22180	Title Owner

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Special Permit/Variance Attachment to Par. 1(a)" form.

* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.
 ** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Application No.(s): SP 2011-PR-079
(county-assigned application number(s), to be entered by County Staff)

Page Two

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 4/17/2011
(enter date affidavit is notarized)

111591a

1(b). The following constitutes a listing*** of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

(NOTE: Include **SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS** herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below

NAMES OF SHAREHOLDERS: (enter first name, middle initial, and last name)

(check if applicable) There is more corporation information and Par. 1(b) is continued on a "Special Permit/Variance Attachment 1(b)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s):

SP 2011 - PR-079

(county-assigned application number(s), to be entered by County Staff)

Page Three

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 4/19/2011
(enter date affidavit is notarized)

111591a

1(c). The following constitutes a listing*** of all of the **PARTNERS**, both **GENERAL** and **LIMITED**, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state, and zip code)

(check if applicable) The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. **General Partner, Limited Partner, or General and Limited Partner**)

(check if applicable) There is more partnership information and Par. 1(c) is continued on a "Special Permit/Variance Attachment to Par. 1(c)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): SP 2011-PR-079
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 4/19/2011
(enter date affidavit is notarized)

111591a

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land.

2. That no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on the line below.)

NONE

(check if applicable) There are more interests to be listed and Par. 2 is continued on a "Special Permit/Variance Attachment to Par. 2" form.

Application No.(s):

SP 2011-PR-079

(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 4/19/2011 (enter date affidavit is notarized)

11591a

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

NONE

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [] There are more disclosures to be listed and Par. 3 is continued on a "Special Permit/Variance Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature: Robert H. Allred, Trustee
Robert H. Allred, Trustee
(check one) [X] Applicant [] Applicant's Authorized Agent

Robert H. Allred, Trustee
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 19th day of April 2011, in the State/Comm. of WASHINGTON, County/City of A.C.

[Signature]
Notary Public

My commission expires: 1/1/2015

RECEIVED
Department of Planning & Zoning
APR 01 2011
Zoning Evaluation Division

March 27, 2011

Department of Planning and Zoning

12055 Government Center Parkway, Suite 801

Fairfax, VA 22035-5505

Re: Statement of Justification

Department of Planning and Zoning:

The purpose of this letter and application is to request a special permit for the approval of a reduction to the minimum yard requirements based on error in building location, section 8-914 of the Special Permits book. The back right corner of the sunroom addition is 6 feet 4 inches from my property line.

My wife, Molly, and I purchased the house at 8423 Hunt Valley Drive Vienna, VA 22182 in 2005 and the sunroom addition on the back of the house was already constructed. At the time of purchase the seller did not reveal to us that there were any issues or problems with the coding, permitting or setback requirements of the sunroom addition that she had done in approximately 1995. We also had a home inspection done at the time of purchase and again there were no red flags raised about the coding, permitting or setback requirements of the sunroom addition. We had absolutely no idea that there were any issues with the sunroom addition that was previously constructed and unknowingly walked into the biggest nightmare of our lives.

In 2010, we decided to sell the house because we were expecting our third child and needed an additional bedroom and more living space. During the sale process it was discovered that the contractor for the previous owner had opened a permit to have the sunroom added, but that the permits had never been properly completed and closed. After discovering this, I contacted Fairfax County to find out what I needed to do to become compliant. I wanted to get everything permitted so that going forward I wouldn't have any issues with compliance of Fairfax County's regulations or with selling my home. I wanted everything to be legitimate and to conform to all county requirements. Needless to say, I would never want to put a potential buyer in the position that we are now facing.

It was explained to me by Fairfax County's Building Plan Review Department that despite the fact that the structure was built approximately 15 years ago, in order to get it properly permitted now, the structure must comply with today's building codes and requirements which are completely different

than they were 15 years ago. For example, 15 years ago there were no wind bracing requirements for this type of structure, but today the structure has to be able to withstand 60 mile per hour winds. We basically had to reconstruct an addition that was already existing and in perfectly good condition. It was a beautiful part of our house and in great condition, but in order to bring the sunroom addition up to today's codes, we had to hire an architect to design a wind bracing system and building structure that would conform to current county requirements. This included removing all of the drywall from the walls and ceilings, rewiring portions of the addition, installing new support beams in the ceiling and floor and removes some of the windows. A detailed description of the requirements and work are listed below:

Work Description

Sunroom Additional

Division 2 Site work

Complete demolition and removal of existing materials per architectural Plans

Division 6 Wood

Install proper support beams, rafters and LVL's as stated in Architectural plans

Install proper sheathing at openings where windows will be removed

Install additional bracing system per architectural plans.

Install additional beams at floor framing

Division 7 Thermal and Moisture

Install tyvek wrapping paper to new sheathing

Install additional R13 insulation at walls

Division 9 Finishes

Install new siding at openings where windows were removed

Replace all drywall removed during demo of walls

Prime / paint drywall after finishing

Install new window trims and base boards

Prime / paint base boards trims

Sunroom Additional

Install insulation at crawl space

Remove existing ceiling drywall to install R-38 fiberglass insulation per County requirement. (Quote includes install, plaster, sand finish, and

Paint new drywall after insulation is installed). Paint to be ceiling white.

Install wind bracing per building code requirements

Beyond the above expenses we also had to pay architectural fees. The total expense to bring the existing sunroom addition up to code has been in excess of \$13,000.00. All of the permits have been closed and we have passed all of the final inspections. The parent permit number is 103400077.

During the sunroom addition permitting process we had a certified plat drawn by a Commonwealth of Virginia certified land surveyor, George M. O'Queen (License Number 2069). Twenty three copies of the certified survey are attached. It was determined that the back right side of the sunroom addition is 6 feet 4 inches from my property line and I was told by the Department of Zoning and Planning that the setback requirement is 8 feet. My neighbor on the right side has a fence that separates our yards and the addition. Please see this in the attached pictures.

Attaining the permit for the approval of a reduction to the minimum yard requirements based on error in building location is the final step in completing conformance with Fairfax County's zoning and building requirements, as well as this 18 month nightmare for me and my family.

Below are answers to the eight specific requirements that are needed to meet the General and Additional Standards for a Special Permit as outlined in Article 8 of the Zoning Ordinance:

1. The sunroom addition is being used for additional living space and is on accordance with the architectural plans for construction and has received all necessary permits by Fairfax County.
2. The sunroom addition is in harmony with the general purpose and intent of the applicable zoning district because it is an addition to a single family home and will continue to be used as a single family home.
3. The sunroom addition is harmonious and does not adversely affect the use or development of neighboring properties because the side of the addition overhang is 5 feet 7 inches inside of my neighbor's fence and therefore 5 feet 7 inches inside of my property line. The back of the sunroom addition is not an issue because it extends towards our back property line which is 39 feet 6 inches from the road and separated by a six foot fence.
4. The sunroom addition is not hazardous and does not conflict with pedestrian or vehicular traffic in the neighborhood because it is located within our fenced back yard.
5. The sunroom addition meets the Board of Zoning's landscaping and screening requirements because it is attractive and harmonious with our house as well as the other houses in the neighborhood. Please see attached pictures. The sunroom addition adds value to our home as well as the others in the neighborhood.
6. The dimensions of the sunroom addition and open space are equivalent to the plat and architectural drawings that are provided with this application to the Department of Zoning and Planning.
7. There is adequate utility, drainage, parking and loading for the sunroom addition. The sunroom has passed all Fairfax County inspections including the electrical inspection. The electrical permit # is 110120094 and the parent # is 103400077. The sunroom addition has downspouts that allow for proper drainage into the property's back yard. The sunroom addition does not need additional parking or loading so these are not applicable.
8. The sunroom addition does not have any signs so this is not applicable.

I believe that all of the requirements are met and I ask you to please grant my family and me a permit.

Please note that it was also discovered that the previous owner had finished the basement without the proper permits. Upon finding this out my wife and I immediately took the necessary actions to have it permitted and it now complies with Fairfax County's codes and requirements. The parent permit # is 103550164. I will not go into the details of the work that was required because it is irreverent to the sunroom permit, but I will note that the expenses required in order to comply with today's codes exceeded \$12,000.00.

Thank you for your time and consideration and please feel free to contact me with any questions. Because of this ordeal we were unable to sell our house so we are now renting it. Please mail any correspondence to our new home at 104 Battle St. SE, Vienna, VA 22180. I can also be reached at (H) 703-281-0217, (W) 202-585-5425 or C (703) 868-7063.

Sincerely,

A handwritten signature in cursive script that reads "Robert H. Allred". The signature is written in dark ink and is positioned above the printed name.

Robert H. Allred



BUILDING PERMIT APPLICATION

FAIRFAX COUNTY GOVERNMENT
 PERMIT APPLICATION CENTER
 12055 Government Center Parkway, 2nd Floor
 Fairfax, Virginia 22035-5504
 Telephone: 703-222-0801
 Web site: <http://www.fairfaxcounty.gov/dpws>

PERMIT # 103400077
 FOR INSPECTIONS CALL 703-222-0455 (see back for more information)
 OR VISIT US ON THE WEB AT
http://www.fairfaxcounty.gov/isisnet/inspection_sched.asp

FILL IN ALL APPROPRIATE INFORMATION IN THIS COLUMN
 (PLEASE PRINT OR TYPE)

JOB LOCATION
 ADDRESS 8423 Hunt Valley Dr
 LOT # 4 BUILDING _____
 FLOOR _____ SUITE Sec. 1
 SUBDIVISION Westwood Estates
 TENANT'S NAME _____
 EMAIL _____
 CONTACT ID _____

OWNER INFORMATION OWNER TENANT
 NAME Robert Allred
 ADDRESS 8423 Hunt Valley Dr
 CITY Manassas STATE VA ZIP 22182
 TELEPHONE 703-263-7093
 EMAIL rob.allred@ubs.com
 CONTACT ID _____

CONTRACTOR INFORMATION SAME AS OWNER
 CONTRACTORS MUST PROVIDE THE FOLLOWING:
 COMPANY NAME _____
 ADDRESS _____
 CITY _____ STATE _____ ZIP _____
 TELEPHONE _____
 EMAIL _____
 STATE CONTRACTORS LICENSE # _____
 COUNTY BPOL # _____
 CONTACT ID _____

APPLICANT
 NAME Michael L. ...
 ADDRESS 51115 Belkville Dr
 CITY Belkville STATE VA ZIP 20105
 TELEPHONE 703 475-1336
 EMAIL ...
 CONTACT ID _____

DESCRIPTION OF WORK
~~Construction of foundation & walls~~
~~Screening of ...~~
~~Construction of ...~~
~~Construction of ...~~
~~Construction of ...~~
 HOUSE TYPE Single Family Residence
 ESTIMATED COST OF CONSTRUCTION \$ 800.00
 USE GROUP OF BUILDING _____
 TYPE OF CONSTRUCTION _____

DESIGNATED MECHANICS' LIEN AGENT
 (Residential Construction Only)
 NAME _____
 ADDRESS _____
 NONE DESIGNATED PHONE _____

DO NOT WRITE IN GRAY SPACES - COUNTY USE ONLY
 PLAN # _____
 TAX MAP # _____

ROUTING	DATE	APPROVED BY
PLANNING		
ZONING	12-1-10	
SITE PERMITS	12-6-10	
HEALTH DEPT		
BUILDING REVIEW	1-10-11	
SANITATION		
FIRE MARSHAL		
ASBESTOS		
PROFFERS		

FEE \$ _____
 FILING FEE \$ _____
 AMOUNT DUE = \$ _____

BUILDING PLAN REVIEW
 REVIEWER _____ # OF HOURS _____
 REVISION FEES \$ _____
 FIRE MARSHAL FEES \$ _____
 FIXTURE UNITS _____ PLAN LOC. J R

APPROVED FOR ISSUANCE OF BUILDING PERMIT
 (LOG OUT)
 BY _____ DATE _____

ZONING REVIEW
 USE SFD
 ZONING DISTRICT R-3C HISTORICAL DISTRICT _____
 ZONING CASE # _____
 GROSS FLOOR AREA OF TENANT SPACE _____

YARDS: GARAGE 1 2 3
 FRONT OPTIONS YES NO
 FRONT 41' REMARKS _____
 L SIDE _____
 R SIDE 9'
 REAR 40'

REMARKS 14' lot;
Description
(Build one story addition
NO basement)
A SETBACK CERTIFICATION BASED ON FIELD SURVEY IS REQUIRED PRIOR TO RUP ISSUANCE OR FINAL INSPECTION

Existing deck 04092B0140
Through Lot *
NO TO

Any and all information and/or stamps on the reverse side of this form are a part of this application and must be complied with. I hereby certify that I have authority of the owner to make this application, that the information is complete and correct, and that the construction and/or use will conform to the building code, the zoning ordinance and other applicable laws and regulations which relate to the property.

Signature of Owner or Agent _____ Date 12/12/10
 Printed Name and Title Michael L. ... Representative
 (Notarization of signature is required if owner is listed as the contractor and is not present at time of application)

NOTARIZATION (if required)
 State (or territory or district) of _____
 County (or city) of _____, to wit: I, _____
 Notary Public in the State and County aforesaid, do certify that _____
 whose name is signed to this application, appeared before me in the State and County aforesaid and executed this affidavit.
 Given under my hand this _____ day of _____, 20____
 My commission expires the _____ day of _____, 20____
 (Notary Signature)

12-11-10 (MJK)

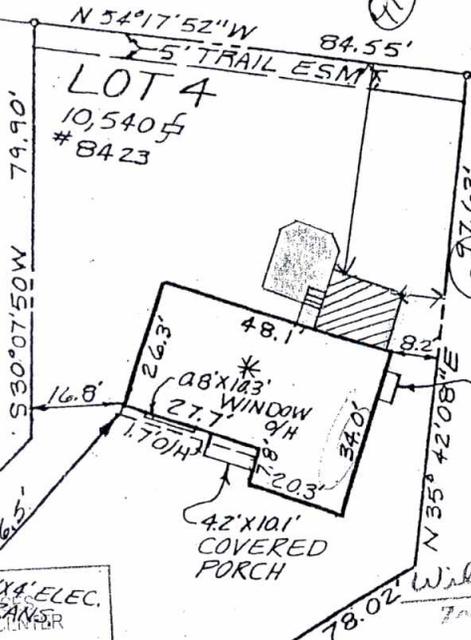
WOLFTRAP ROAD RTE. #670

FOOTINGS AND PIERS MUST BE PLACED ON COMPETENT MATERIAL

DPW&ES
Office of Building
Code Services
Approved for

By Open Book
Date 4/7/04

LOT 4
10,540 sq ft
#8423



APPROVED

William E. Thompson
Zoning Administrator

FINAL APPROVAL

JUN 7, 2003

[Signature]
Zoning Administrator

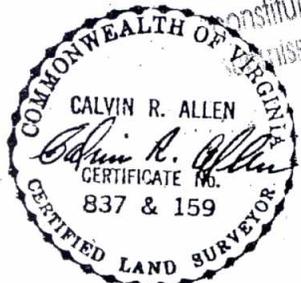
* DENOTES TWO-STORY BRICK & FRAME DWELLING

Sunroom
BY: SS
DATE: 12-21-03

NOTE:
NO Construction Shall Encroach Into County Easements (Ground or Air Space)

FOOTINGS AND PIERS MUST BE PLACED ON COMPETENT MATERIAL.
Total earth disturbance on this lot shall not exceed 2500 sq. ft. - Earth disturbance in excess of 2500 shall constitute a violation and require the submission of a grading plan.

APPROVED
[Signature]
Zoning Administrator



HOUSE LOCATION SURVEY
LOT 4 SECTION 1
WESTWOOD ESTATES

PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

SCALE 1/4"=30'
MAY 24, 1983
RINKER-DETWILER AND ASSOCIATES, P.C.
ENGINEERS • SURVEYORS • LAND PLANNING
FAIRFAX, VIRGINIA

I hereby certify the location of the existing building shown hereon is correct as made by a transit-tape survey. There are no encroachments either way across the property line (except as shown). The information shown hereon is correct to the best of my professional knowledge and experience. No title report furnished.

Drafted by: TH

Checked by: CH 2-25-83
CA 5-25-83



To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

February 2, 2011

Mr. Miguel Valentino
11995 Beltsville Drive
Beltsville, MD 20705



Re: Setback Certification
Building Permit # 103400077
8423 Hunt Valley Drive
Westwood Estates Subdivision
Section 1, Lot 4
Tax Map Ref.: 39-1 ((22)) 4
Zoning District: R-3

Dear Mr. Valentino:

This is in response to your January 27, 2011 request for a setback certification for a 1-story addition to the rear of the single family dwelling at 8423 Hunt Valley Drive. The referenced property is zoned R-3 and is located in a cluster subdivision. The minimum required yard (or setback) requirements are 20 feet for the front yard, 8 feet with a total required minimum of 20 feet for the side yard, and 25 feet for the rear yard. The setback certification has failed and is being returned to you as the addition does not conform to the minimum side yard requirement. Although the house location survey submitted with Building Permit # 103400077 showed the northwest corner of the addition to be 8.2 feet from the side lot line, the house location plat for the setback certification shows the addition to be only 6.4 feet from the side lot line, which does not meet the 8 foot minimum required side yard.

To bring the property into compliance with the Zoning Ordinance, you may reduce the addition to conform to the minimum yard requirements of the R-3 District for a home located in a cluster subdivision, or you may apply for a special permit for an error in building location from the Board of Zoning Appeals. A special permit requires the filing of an application, submission of a plat, a fee, notices and a public hearing before and action by the Board of Zoning Appeals. For more information on special permits, please contact the Zoning Evaluation Division at (703) 324-1290.

A new setback certification with the requested information is required to be submitted. Please be advised that an inspection hold has been placed on the Building Permit. Your cooperation in this matter is greatly appreciated.

Department of Planning and Zoning

Zoning Administration Division

Ordinance Administration Branch

12055 Government Center Parkway, Suite 807

Fairfax, Virginia 22035-5505

Phone 703-324-1314 FAX 703-803-6372

www.fairfaxcounty.gov/dpz/



Mr. Miguel Valentino
February 2, 2011
Page 2

I know this is not the answer you were expecting, but I trust the reasons given adequately explain my decision. If you have any questions, please feel free to contact me at (703) 324-1314.

Sincerely,

A handwritten signature in black ink, appearing to read "Douglas W. Hansen", with a long horizontal flourish extending to the right.

Douglas W. Hansen
Senior Assistant to the Zoning Administrator

Enclosure

cc: Linda Q. Smyth, Supervisor, Providence District
Eileen McLane, Zoning Administrator
Michelle O'Hare, Deputy Zoning Administrator for Ordinance Administration Branch
Diane Johnson-Quinn, Deputy Zoning Administrator for Zoning Permit Review Branch
Charles "Chuck" O'Donnell, Residential Inspections Division, DPWES

8-006 General Standards

In addition to the specific standards set forth hereinafter with regard to particular special permit uses, all special permit uses shall satisfy the following general standards:

1. The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.
2. The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations.
3. The proposed use shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.
4. The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.
5. In addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13.
6. Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.
7. Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11.
8. Signs shall be regulated by the provisions of Article 12; however, the BZA, under the authority presented in Sect. 007 below, may impose more strict requirements for a given use than those set forth in this Ordinance.

8-903 Standards For All Group 9 Uses

In addition to the general standards set forth in Sect. 006 above, all Group 9 special permit uses shall satisfy the following standards:

1. All uses shall comply with the lot size and bulk regulations of the zoning district in which located, except as may be qualified below.
2. All uses shall comply with the performance standards specified for the zoning district in which located.
3. Before establishment, all uses, including modifications or alterations to existing uses, shall be subject to the provisions of Article 17, Site Plans, or other appropriate submission as determined by the Director.

8-914 Provisions for Approval of Reduction to the Minimum Yard Requirements Based on Error in Building Location

The BZA may approve a special permit to allow a reduction to the minimum yard requirements for any building existing or partially constructed which does not comply with such requirements applicable at the time such building was erected, but only in accordance with the following provisions:

1. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by ten (10) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia and such plat shall contain the following information:
 - A. Boundaries of entire property, with bearings and distances of the perimeter property lines and of each zoning district.
 - B. Total area of the property and of each zoning district in square feet or acres.
 - C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
 - D. Location of all existing structures, with dimensions, including height of any structure and penthouse, and if known, the construction date(s) of all existing structures.
 - E. All required minimum yards to include front, side and rear, and a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing structures to lot lines.
 - F. Means of ingress and egress to the property from a public street(s).
 - G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).
 - H. If applicable, the location of well and/or septic field.
 - I. For nonresidential uses, a statement setting forth the maximum gross floor area and FAR for all uses.

- J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.
- K. Seal and signature of professional person certifying the plat.

In addition, the application shall contain a statement of justification explaining how the error in building location occurred and any supportive material such as aerial photographs, Building Permit applications, County assessments records, a copy of the contract to build the structure which is in error, or a statement from a previous owner indicating how the error in building location occurred.

- 2. The BZA determines that:
 - A. The error exceeds ten (10) percent of the measurement involved, and
 - B. The noncompliance was done in good faith, or through no fault of the property owner, or was the result of an error in the relocation of the building subsequent to the issuance of a Building Permit, if such was required, and
 - C. Such reduction will not impair the purpose and intent of this Ordinance, and
 - D. It will not be detrimental to the use and enjoyment of other property in the immediate vicinity, and
 - E. It will not create an unsafe condition with respect to both other property and public streets, and
 - F. To force compliance with the minimum yard requirements would cause unreasonable hardship upon the owner.
 - G. The reduction will not result in an increase in density or floor area ratio from that permitted by the applicable zoning district regulations.
- 3. In granting such a reduction under the provisions of this Section, the BZA shall allow only a reduction necessary to provide reasonable relief and may, as deemed advisable, prescribe such conditions, to include landscaping and screening measures, to assure compliance with the intent of this Ordinance.

4. Upon the granting of a reduction for a particular building in accordance with the provisions of this Section, the same shall be deemed to be a lawful building.
5. The BZA shall have no power to waive or modify the standards necessary for approval as specified in this Section.

8-923 Provisions for Increase in Fence and/or Wall Height in Any Front Yard

The BZA may approve a special permit to allow an increase in fence and/or wall height in any front yard subject to all of the following:

1. The maximum fence and/or wall height shall not exceed six (6) feet and such fence and/or wall shall not be eligible for an increase in fence and/or wall height pursuant to Par. 3l of Sect. 10-104.
2. The fence and/or wall shall meet the sight distance requirements contained in Sect. 2-505.
3. The BZA shall determine that the proposed fence and/or wall height increase is warranted based upon such factors to include, but not limited to, the orientation and location of the principal structure on the lot, the orientation and location of nearby off-site structures, topography of the lot, presence of multiple front yards, and concerns related to safety and/or noise.
4. The BZA shall determine that the proposed fence and/or wall height increase will be in character with the existing on-site development and will be harmonious with the surrounding off-site uses and structures in terms of location, height, bulk, scale and any historic designations.
5. The BZA shall determine that the proposed fence and/or wall height increase shall not adversely impact the use and/or enjoyment of other properties in the immediate vicinity.
6. The BZA may impose such conditions as it deems necessary to satisfy these criteria, including but not limited to imposition of landscaping or fence and/or wall design requirements.
7. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by fifteen (15) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia. Such plat shall contain the following information:
 - A. Boundaries of entire property, with bearings and distances of the perimeter property lines, and of each zoning district.

- B. Total area of the property and of each zoning district in square feet or acres.
 - C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
 - D. The location, dimension and height of any building or structure, to include existing or proposed fences and/or walls.
 - E. All required minimum yards to include front, side and rear, a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing structures to lot lines.
 - F. Means of ingress and egress to the property from a public street(s).
 - G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).
 - H. If applicable, the location of a well and/or septic field.
 - I. If applicable, existing gross floor area and floor area ratio.
 - J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.
 - K. The location, type and height of any existing and proposed landscaping and screening.
 - L. Approximate delineation of any floodplain designated by the Federal Insurance Administration, United States Geological Survey, or Fairfax County, the delineation of any Resource Protection Area and Resource Management Area, and the approximate delineation of any environmental quality corridor as defined in the adopted comprehensive plan, and, if applicable, the distance of any existing and proposed structures from the floodplain, Resource Protection Area and Resource Management Area, or environmental quality corridor.
 - M. Seal and signature of professional person certifying the plat.
8. Architectural depictions of the proposed fence and/or wall to include height, building materials and any associated landscaping shall be provided.