



FAIRFAX COUNTY

OFFICE OF THE CLERK
BOARD OF SUPERVISORS
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V I R G I N I A

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August 25, 2004

Gregory A. Riegle, Esquire
McGuire, Woods, LLC
1750 Tysons Boulevard, Suite 1800
McLean, Virginia 22102-4215

RE: Rezoning Application
Number RZ 2003-MV-033

Dear Mr. Riegle:

Enclosed you will find a copy of an Ordinance adopted by the Board of Supervisors at a regular meeting held on July 26, 2004, granting Rezoning Application Number RZ 2003-MV-033 in the name of Lorton Arts Foundation, Incorporated to rezone certain property in the Mount Vernon District from the R-C District to the PDC District, to permit mixed use development on a portion of the former District of Columbia Department of Corrections Facility known as the Occoquan Workhouse, as an Art Center consisting of theaters, cultural center, museums and similar facilities; eating establishments; commercial recreation (Events Center) and multi-family dwellings for resident artists, performers, etc., at a Floor Area Ratio (FAR) of 0.08, located on the east side of Ox Road south of its intersection with Lorton Road, Tax Map 106-4 ((1)) 54 pt. (also know as "Subparcel G"), subject to the proffers dated July 14, 2004, consisting of approximately 56.04 acres.

The Board also approved the Conceptual Development Plan; the Planning Commission having previously approved Final Development Plan Application FDP 2003-MV-033 on July 14, 2004, subject to the development conditions dated July 1, 2004, and subject to the Board's approval of RZ 2003-MV-033, and proffers dated July 14, 2004.

In addition, the Board:

- Modified the transitional screening yard requirement along the northern boundary; waived the barrier requirement along the northern boundary;
- Modified the transitional screening requirement, and waived the barrier requirement between the artist residences and the work house;

in favor of that shown on the combined Conceptual/Final Development Plan, as referenced in the proffers.

Further, the Board approved the demolition of the following five buildings as recommended by the Architectural Review Board:

- W-21, Control Building Historical Hospital
- W-21A, Administrative Building Historic Hospital Wing
- W-40, OFACM Shops Heating Plant
- H-42, Medical Services Historic Residence
- H-43, Psychology Historic Residence

and:

- Deferred decision on approval of the demolition of the smokestack at Building W-29 until September 13, 2004, at 3 p.m.

Sincerely,



Patti M. Hicks
Deputy Clerk to the Board of Supervisors

PMH/ns

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cc: Chairman Gerald E. Connolly
Supervisor Gerald W. Hyland, Mount Vernon District
Janet Coldsmith, Director, Real Estate Div., Dept. of Tax Administration
Barbara A. Byron, Director, Zoning Evaluation Div., DPZ
Michael R. Congleton, Deputy Zoning Enforcement Branch
Leslie B. Johnson, Deputy Zoning Administrator for Zoning Permit Review Branch
Thomas Conry, Dept. Mgr. - GIS - Mapping/Overlay
Angela K. Rodeheaver, Section Chief, Trnsprt'n. Planning Div.,
Charles Strunk, Project Planning Section, Dept. of Transportation
Michelle Brickner, Deputy Director, DPWES
Kenny King, Proffer Administrator, Plans & Document Control, OSDS, DPWES
Department of Highways - VDOT
Irish Granfield, Land Acqu. & Planning Div., Park Authority
District Planning Commissioner
James Patteson, Director, Facilities Mgmt. Div., DPWES
Barbara J. Lippa, Executive Director, Planning Commission
Gary Chevalier, Office of Capital Facilities, Fairfax County Public Schools

RECEIVED
Department of Planning & Zoning
SEP 01 2004
Zoning Evaluation Division

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium in the Government Center at Fairfax, Virginia, on the 26th day of July, 2004, the following ordinance was adopted:

AN ORDINANCE AMENDING THE ZONING ORDINANCE
PROPOSAL NUMBER RZ 2003-MV-033

WHEREAS, Lorton Arts Foundation, Incorporated filed in the proper form an application requesting the zoning of a certain parcel of land herein after described, from the R-C District to the PDC District, and

WHEREAS, at a duly called public hearing the Planning Commission considered the application and the propriety of amending the Zoning Ordinance in accordance therewith, and thereafter did submit to this Board its recommendation, and

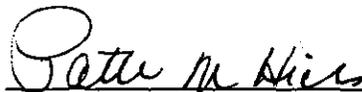
WHEREAS, this Board has today held a duly called public hearing and after due consideration of the reports, recommendation, testimony and facts pertinent to the proposed amendment, the Board is of the opinion that the Ordinance should be amended,

NOW, THEREFORE, BE IT ORDAINED, that that certain parcel of land situated in the Mount Vernon District, and more particularly described as follows (see attached legal description):

Be, and hereby is, zoned to the PDC District, and said property is subject to the use regulations of said PDC District, and further restricted by the conditions proffered and accepted pursuant to Va. Code Ann., §15.2-2303(a), which conditions are in addition to the Zoning Ordinance regulations applicable to said parcel, and

BE IT FURTHER ENACTED, that the boundaries of the Zoning Map heretofore adopted as a part of the Zoning Ordinance be, and they hereby are, amended in accordance with this enactment, and that said zoning map shall annotate and incorporate by reference the additional conditions governing said parcel.

GIVEN under my hand this 26th day of July, 2004.



Patti M. Hicks

Deputy Clerk to the Board of Supervisors