

COUNTY OF FAIRFAX, VIRGINIA

SPECIAL PERMIT RESOLUTION OF THE BOARD OF ZONING APPEALS

RONALD B. SYDNOR, SP 2011-SU-078 Appl. under Sect(s). 8-913 of the Zoning Ordinance to permit modifications to the minimum yard requirements for certain R-C lots to permit construction of deck 11.9 ft. from the southern side lot line. Located at 4345 Silas Hutchinson Dr., Chantilly, 20151, on approx. 11,880 sq. ft. of land zoned R-C, AN and WS. Sully District. Tax Map 33-4 ((2)) 181A. Mr. Byers moved that the Board of Zoning Appeals adopt the following resolution:

WHEREAS, the captioned application has been properly filed in accordance with the requirements of all applicable State and County Codes and with the by-laws of the Fairfax County Board of Zoning Appeals; and

WHEREAS, following proper notice to the public, a public hearing was held by the Board on November 16, 2011; and

WHEREAS, the Board has made the following findings of fact:

1. The applicant is the owner of the property.
2. The property was comprehensively rezoned to the R-C District on July 26, or August 2, 1982.
3. Such modification in the yard shall result in a yard not less than the minimum yard requirements of the zoning district that was applicable to the lot on July 25, 1982.
4. It was R-2 Cluster to make those requirements.
5. The resultant development will be harmonious with existing development in the neighborhood and will not adversely impact the public health, safety, and welfare of the area.

AND WHEREAS, the Board of Zoning Appeals has reached the following conclusions of law:

THAT the applicant has presented testimony indicating compliance Sect 8-006, General Standards for Special Permit Uses, and the additional standards for this use as contained in the Zoning Ordinance.

NOW, THEREFORE, BE IT RESOLVED that the subject application is **APPROVED**, with the following development conditions:

1. This special permit is approved for the location and size (approximately 340 square feet) of the deck, as shown on the plat prepared by NOVA Associates, as revised by T.L. Fitzpatrick, submitted with this application and is not transferable to other land.
2. All applicable permits shall be obtained prior to any construction, and approval of final inspections shall be obtained.
3. The deck shall generally be consistent with the architectural renderings and materials as shown on Attachment 1 to these conditions.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, thirty (30) months after the date of approval unless construction has commenced and

has been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

Mr. Smith seconded the motion, which carried by a vote of 6-0. Mr. Beard was absent from the meeting.

General Notes:

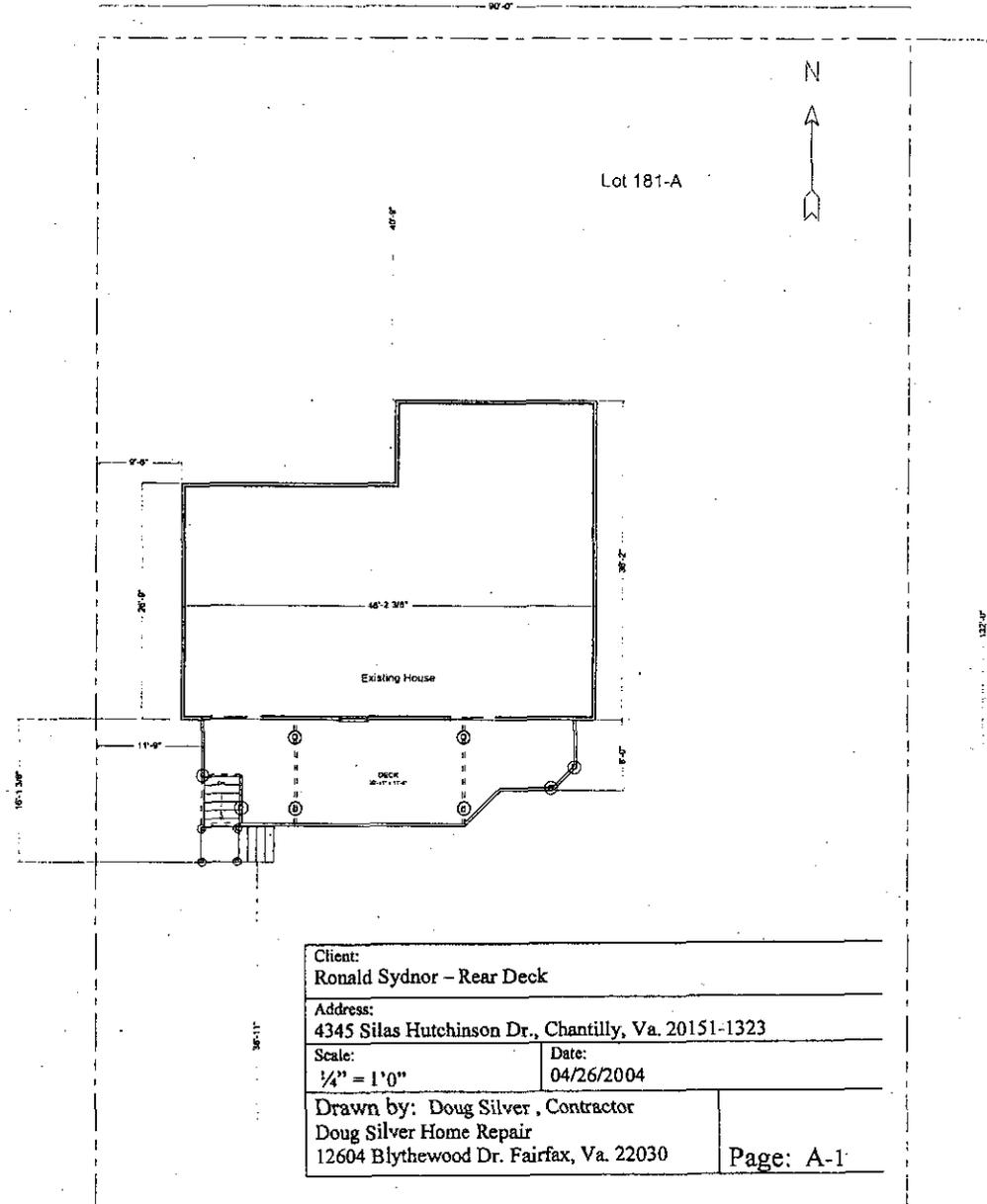
1. During the preparation of this plan every attempt has been taken to avoid errors. However Doug Silver Home repair cannot guarantee against the possibility of human errors. It is the responsibility of the onsite builder or contractor to check and verify all details and dimensions and be responsible for them. It is the homeowners responsibility to notify the builder of any variances in the specifications.
2. Written Dimensions shall always take precedence over any scaled dimensions on this plan.

Foundation Notes:

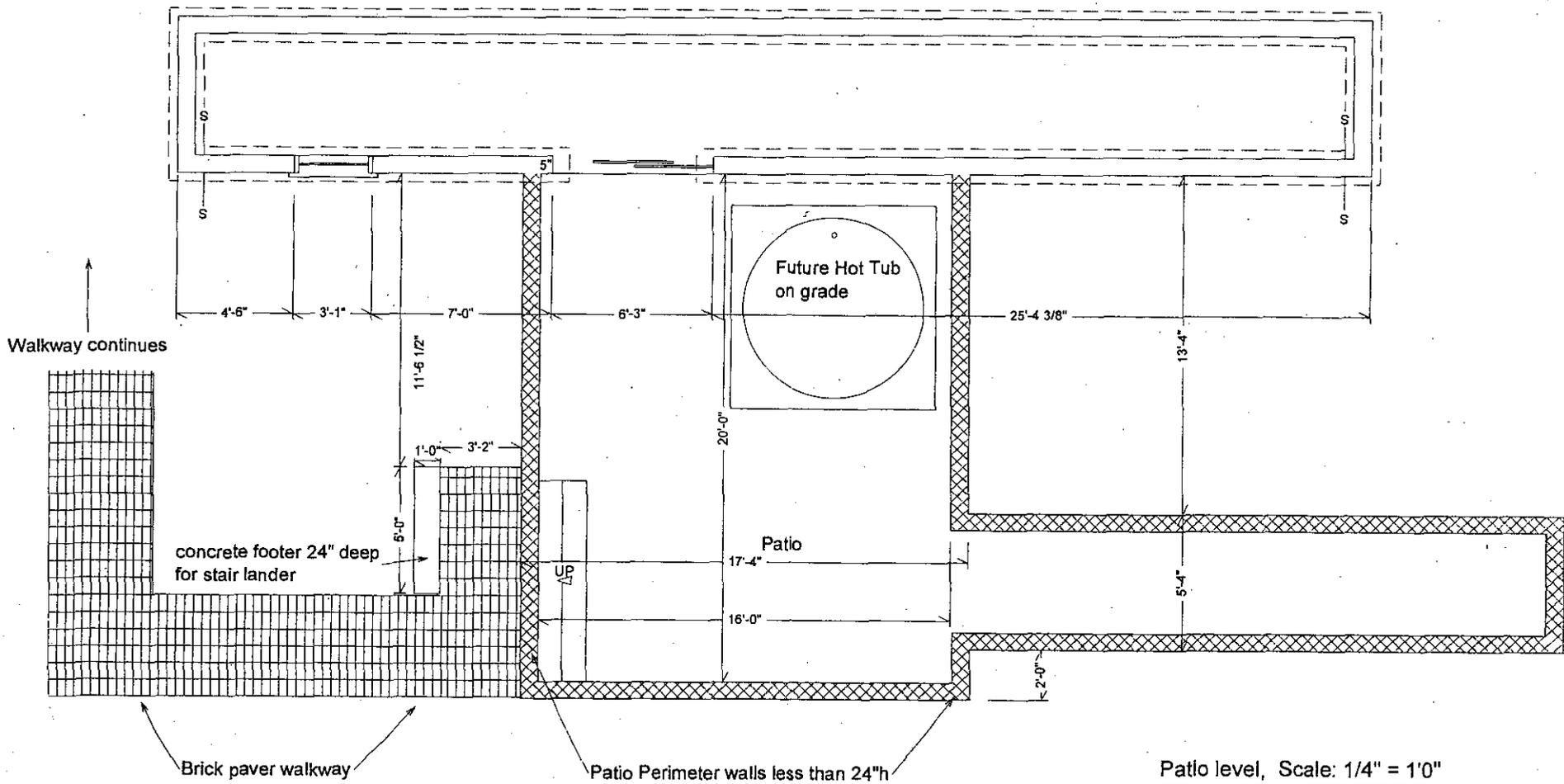
1. Conformity with all local building codes and regulations as they pertain in size, reinforcing, and frost depth of foundation footings, thickness, reinforcing, waterproofing and ventilation of foundation walls, must take precedence over all dimensional or noted references on this plan
2. All footings must bear on undisturbed soil having a minimum soil bearing content of 2,000 P.S.F.

Framing Notes:

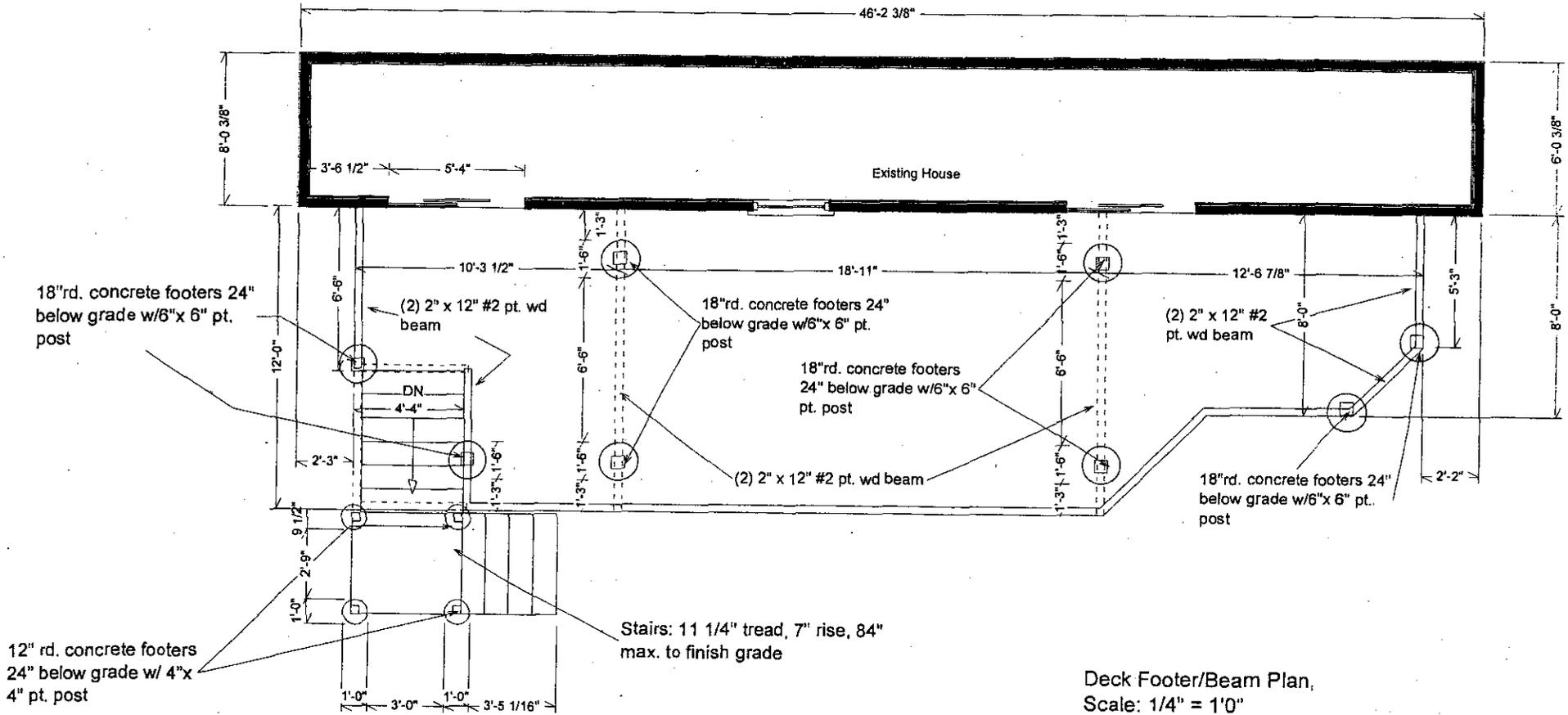
- All exterior dimensions are shown from face to face of sheathed exterior walls. Dimensions locating an interior wall partition are shown as a surface to surface measurement.
2. All structural framing lumber shall be Pressure treated, stamped CCA, ACQ, or CB-A, Ca, except for Trex Lumber and it shall conform to industry standards.
 3. All framing hardware and fasteners shall be Hot-dipped zinc galvanized or stainless steel. Teco brand or Simpson strong tie hangers and angle brackets.
 4. All decking boards shall be screwed or nailed down with two fastners every 16".
 5. All structural framing is 16"oc. unless otherwise indicated.
 6. All structural framing lumber is grade stamped #2 syp. or better.
 7. All beams shall be constructed of (2) 2"x 12"#2 syp pt. members or larger.
 8. All joist shall have joist hangers or angles applied.



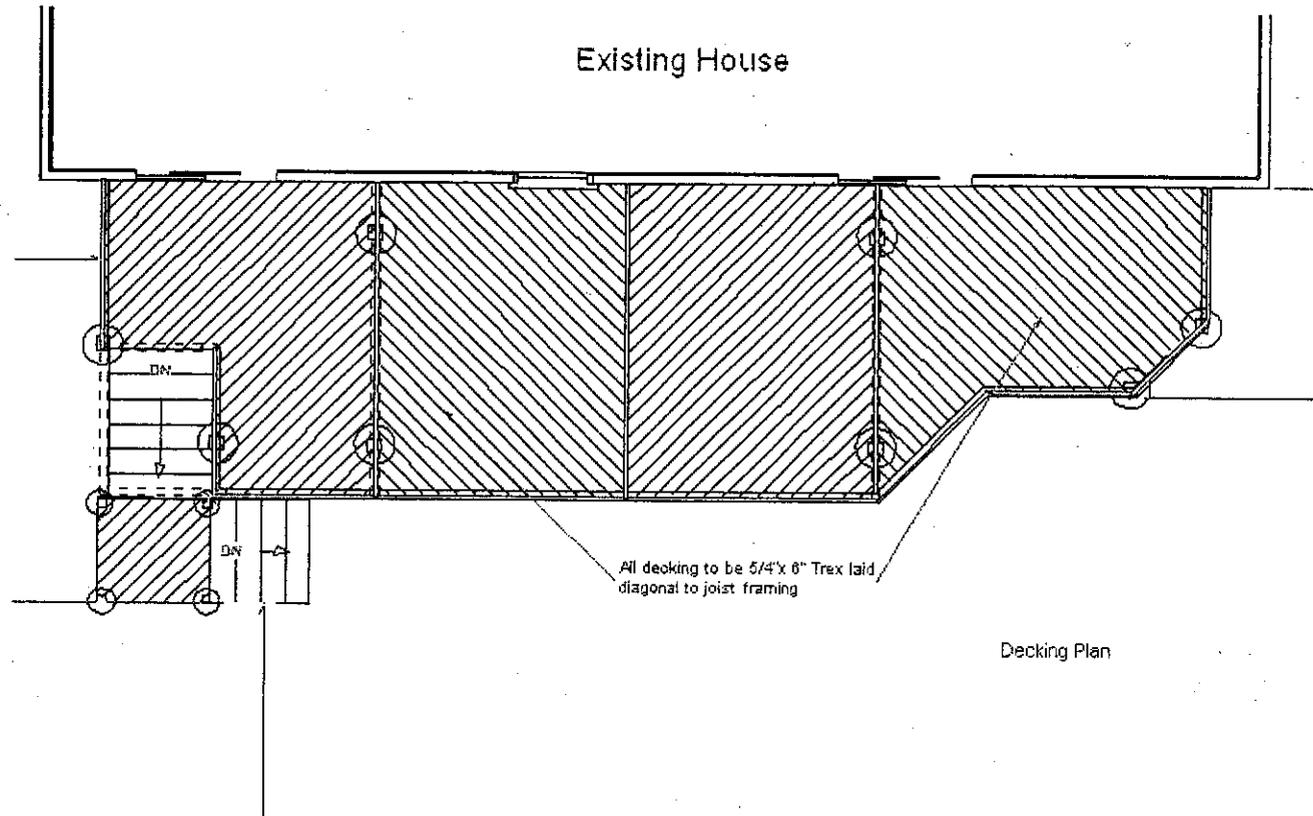
Client: Ronald Sydnor - Rear Deck	
Address: 4345 Silas Hutchinson Dr., Chantilly, Va. 20151-1323	
Scale: 1/4" = 1'-0"	Date: 04/26/2004
Drawn by: Doug Silver, Contractor Doug Silver Home Repair 12604 Blythewood Dr. Fairfax, Va. 22030	
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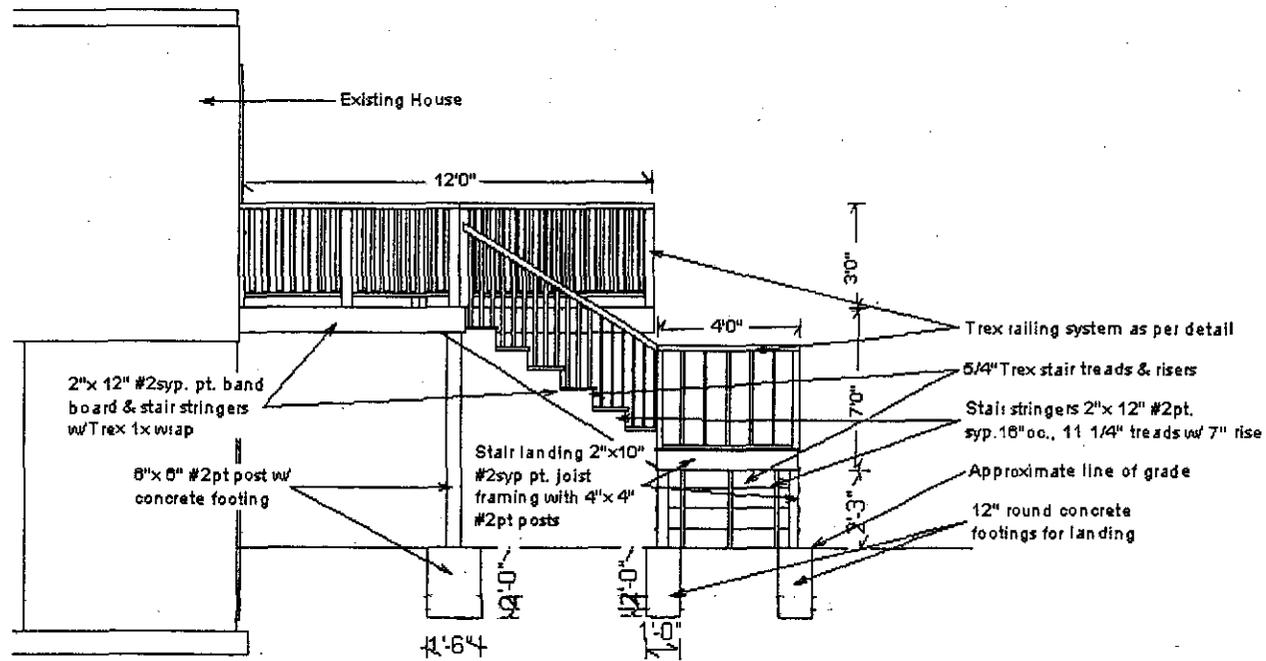
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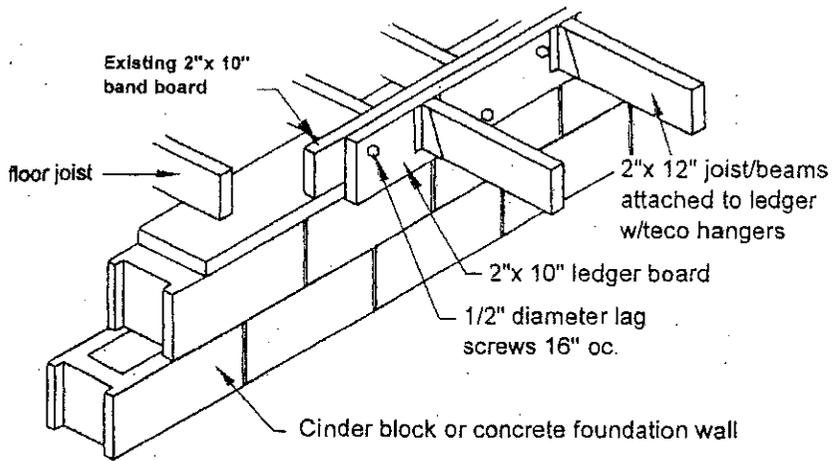


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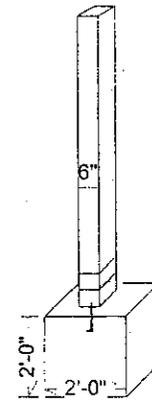


Side/Stair Elevation

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Ledger Board Attachment

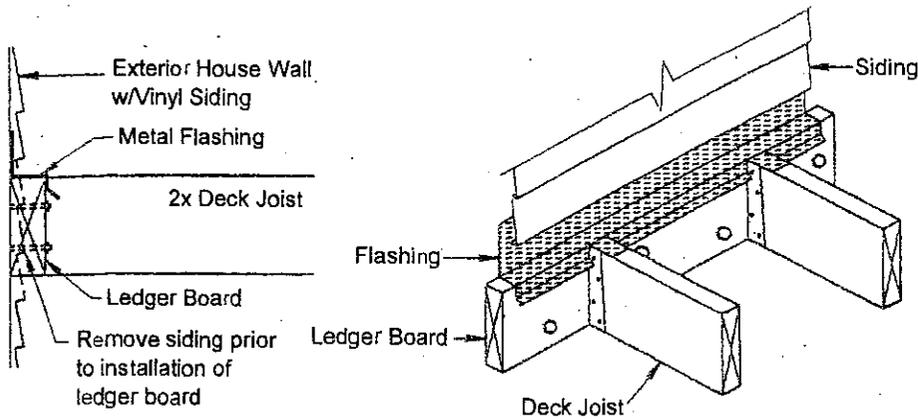


6"x 6" pt. post

Teco post base w/ 1/2" (J) bolt.

Concrete footer 24" below grade 2' square or 18" round

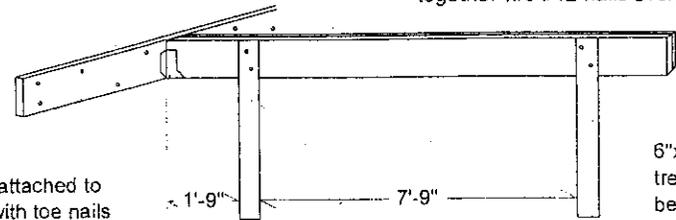
Footer Detail



Flashing Detail

2"x 10" #2 pressure treated ledger board bolted to 2x band board w/ 1/2" lag bolts 16" oc.

(2) 2"x 12" #2sy. pressure treated nailed together w/5 #12 nails every 16" oc.

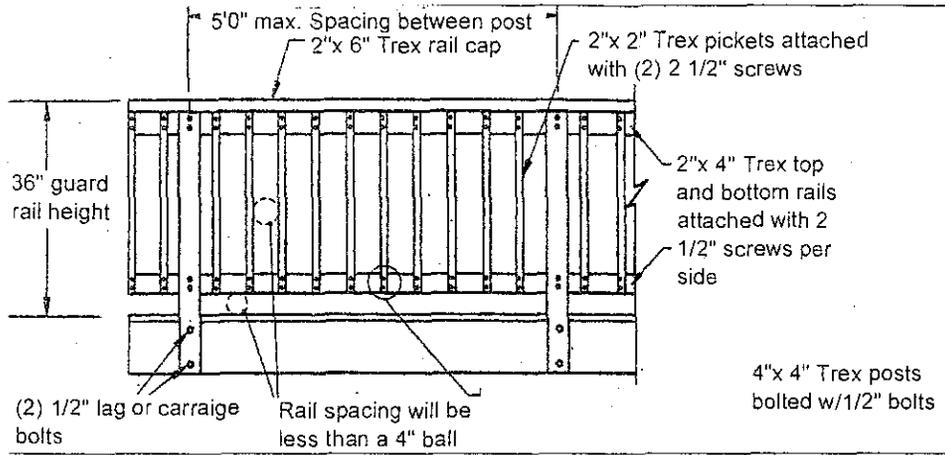


Beams attached to ledger with toe nails and Teco hangers

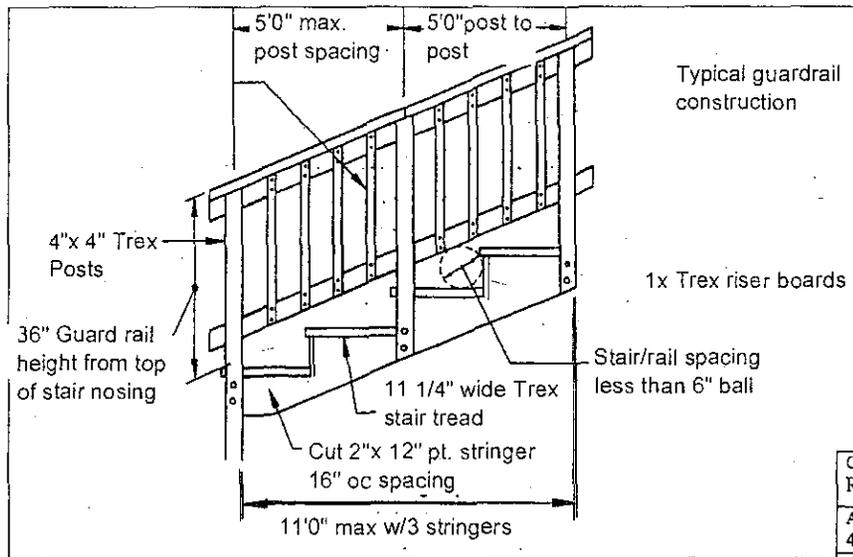
6"x 6" #2sy. pressure treated posts bolted to beam with (2) 1/2" carriage bolts

Post - Beam - Ledger Detail

Client: Ronald Sydnor - Rear Deck	
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Guard Rail Detail



Stair Rail Detail

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