



FAIRFAX
COUNTY

FAIRFAX COUNTY
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DIVISION OF
ZONING ADMINISTRATION

OFFICE OF THE CLERK
BOARD OF SUPERVISORS
12000 Government Center Parkway, Suite 533
Fairfax, Virginia 22035-0072

Tel: 703-324-3151 Fax: 703-324-3926

V I R G I N I A

November 16, 1994

Thomas, D. Fleury,
Vice President Development Services
West*Group, Incorporated
1600 Anderson Road
McLean, Virginia 22102

RE: Proffered Condition Amendment
Number PCA 88-D-005
(Concurrent with SE 94-P-040)

Dear Mr. Fleury:

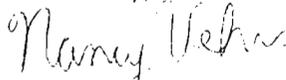
Enclosed you will find a copy of an Ordinance adopted by the Board of Supervisors at a regular meeting held on October 31, 1994, approving Proffered Condition Amendment PCA 88-D-005 in the name of West*Park Associates, Limited Partnership and West*Mac Associates, Et.Al., subject to the proffers dated October 24, 1994, on subject parcels 29-2 ((15)) A4, A5, 4B2; 29-4 ((7)) 1, 1A1, 1A2, A2, A3, A4, A5, 2, 3, 4, 5A, 6, 7B, 7A1, 8, 9, 10, 11A, 12A, C1, C2; and 29-1 ((14)) A, consisting of approximately 193.54 acres in Providence District.

The Board reaffirmed:

- Modification of the transitional screening and waiver of the barrier requirements where the application property is adjacent to residentially zoned land, pursuant to Paragraph 3 of Section 13-304, to that shown on the Generalized Development Plan (GDP), and as proffered; and

- **Waiver of the 75 foot setback requirement from the Dulles Airport Access Road (DAAR), pursuant to Paragraph 3 of Section 2-414, to that shown on the GDP and as proffered.**

Sincerely,



Nancy Vehrs

Clerk to the Board of Supervisors

NV/ns

cc: John M. Yeatman, Director, Real Estate Dvs., Assessments
Melinda M. Artman, Deputy Zoning Administrator
Barbara A. Byron, Director, Zoning Evaluation Dvs., OCP
Robert Moore, Trnsprtn.Planning Dvs., Office of Transportation
Paul Eno, Project Planning Section, Office of Transportation
Department of Environmental Management
Y. Ho Chang, Resident Engineer, VDOT
Land Acq. & Planning Dvs., Park Authority

PROFFERS

PCA 88-D-005

October 24, 1994

Pursuant to 15.1-491(a) of the Code of Virginia, 1950 as amended, and Section 18-203 of the Zoning Ordinance of the County of Fairfax (1978 as amended) ("ZO"), subject to the Board of Supervisors' approval of the requested Proffer Condition Amendment ("PCA"), Applicants West*Mac Associates Limited Partnership, WEST*PARK Associates Limited Partnership, Washington Hall Corporation, The Association for Manufacturing Technology, and their successors and assigns (hereinafter "Applicants") hereby proffer to the following conditions. If this PCA is approved, the proffered conditions described below supersede all previously approved proffered conditions applicable to the property. The property (hereinafter referred to as the "Subject Property") consists of approximately 193.5394 acres. The word "Applicants" shall be used when proffers relate to the Subject Property in its entirety. Any future modification(s) to these proffers which affect only a specific building or land bay may be approved by the Board of Supervisors upon application for a proffered condition amendment by the individual owner of the specific building or land bay without amending this entire proffer statement or Generalized Development Plan. The word "Applicant" shall mean the owner of any specific building or land bay.

I. Generalized Development Plan ("GDP"). The location of buildings shown on the GDP dated September 5, 1990 and revised on October 4, 1994 shall be considered for illustrative purposes only. Specific tabulations for floor area ratios, open space, parking, and final location of proposed buildings and parking structures shall be determined at the time of site plan review and approval. At the time of each site plan submission, a copy of the site plan shall be submitted to the Fairfax County Planning Commission for review for conformance with these proffers. The GDP is not proffered in its entirety, but certain elements of the GDP as specifically defined and described below are proffered.

A. Floor Area Ratios ("FAR"). The total FAR on the 199.4813 acre Gross Tract Area (as defined below) for all uses permitted in the C-3 Zoning District by right shall not exceed 0.54 FAR. However, individual Building Sites (as defined below) within each Land Bay may exceed a 1.0 FAR.

Definitions:

Gross Tract Area shall be defined as the total FAR on the 189.4852 acres of land plus the 5.7961 acres of land previously dedicated to public use or right-of-way, plus the 4.2 acres of land dedicated for the Destination Station, totalling 199.4813 acres for density computation purposes.

Building Site shall be defined as the land associated with a building(s), parking and/or parking structures, open space and accessory structures as shown on the "site plan."

Land Bays shall be defined as follows (and shown on the GDP):

- o Land Bay A-1, A-2, A-3, A-4 and A-5 (consisting of 108.4447 acres of land and 1.9788 acres of land of previously dedicated right-of-way, for a total of 110.4235 acres of land for density calculation purposes):

- o Land Bay B (consisting of 1.8366 acres):
- o Land Bay C (consisting of 8.7000 acres):
- o Land Bay D-1 and D-2 (consisting of 40.4942 acres of land and 8.0173 acres for land dedicated for public use and right-of-way, for a total of 48.5115 acres of land for density calculation purposes); and
- o Land Bay E (consisting of 30.0097 acres notwithstanding that said total land area may be subdivided into two (2) or more lots of record, with one (1) lot consisting of approximately 5.0 acres containing only a stormwater management facility). It is further understood that the entire amount of gross floor area (1,307,223 square feet attributed to this land bay) may be located on the remaining +/-25 acres of the site, notwithstanding the fact that this may result in an FAR that exceeds 1.0 when calculated only on the +/-25 acres.

B. Bulk Regulations.

1. Height.

a) With the exception of buildings in Land Bays A-5, D-1 and E, the maximum height of buildings shall not exceed 90' except as qualified by paragraph B1(c) below.

b) Buildings within Land Bays A-5, D-1 and E shall not exceed 75' in height except as qualified by paragraph B1(c) below.

c) An increase in height for any building(s) in any Land Bay may be permitted by the Board of Supervisors in accordance with the applicable provisions of the ZO.

2. Minimum Yard Requirements shall meet the provisions of the ZO Requirements for the C-3 Zoning District, unless otherwise modified or waived by the Board of Supervisors.

C. Setbacks from the Dulles Airport Access Road (DAAR). Land Bays A-5, D-1 and E have frontage on the DAAR and are subject to the 75' minimum distance requirements set forth in Section 2-414 of the ZO. The 75' minimum distance requirement shall be provided unless a modification or waiver is approved by the Board of Supervisors.

D. Landscaping. Landscaping shall be provided for all future buildings in accordance with Articles 13 and 17-105, para. 8 of the ZO and the Public Facilities Manual. Unless otherwise modified or waived by the Board of Supervisors, all landscaping shall generally conform to Sheet 6 of 6 of the GDP which represents the species and quantities of existing landscaping within the Gross Tract Area. Unless otherwise modified or waived by the Board of Supervisors and/or the Director of Environmental Management, all deciduous and ornamental trees planted shall be a minimum of 2"-2 1/2" in caliper and all evergreen trees planted shall be a minimum of 6'-8' in height at the time of planting.

E. Transitional Screening and Barrier.

1. Part of Land Bay D-1 (Jones Branch Drive frontage, excluding Outparcel

A). Applicants shall and have provided transitional screening along the north side of Jones Branch Drive from the centerline of Park Run Drive west to the southwest property corner of Land Bay D-1 pursuant to Transitional Screening and Barrier Modification No. 9055 dated November 23, 1987 and its referenced landscape plan dated November 18, 1987 by Huntley, Nyce and Associates. The said modification amends the required transitional yard width to 10'-15' of save area with supplemental planting and waives the barrier requirements.

2. Land Bay D-1 (Dulles Airport Access Road frontage, excluding Outparcel

A). Applicants shall provide an undisturbed save area along the southern side of the DAAR right-of-way line from the northeast property corner of Land Bay D-1, west for approximately 300' to

the eastern point where the existing Storm Drainage and Conservation Easement intersects the DAAR right-of-way as shown on the GDP. The save area shall be 300' in length, average 50' in width, and result in a save area not less than 15,000 square feet in area. However, the averaging of the width dimension shall not result in a width dimension less than 35'. The save area shall be deemed to meet the Transitional Screening and Barrier requirements of the ZO.

3. Land Bay D-2 (along the contiguous property line between Land Bay D-2 and R-30 property to the west). The Private Open Space as defined and as shown on the GDP shall be deemed to meet the Transitional Screening and Barrier requirements of the ZO.

4. Land Bay A-5. Applicants shall and have provided transitional screening along the northern property line pursuant to Transitional Screening and Barrier Modification 8266 dated June 18, 1986 associated with the Fairfax Building Site Plan 6377-SP-01. The said modification amends the required transitional yard width from 35' to 25' of undisturbed area along the DAAR as shown on the approved site plan and waives the barrier.

5. Land Bay E. A 35' transitional screening yard shall be provided along the northern property line as generally shown on page 3 of 6 of the GDP.

F. Trail Systems. In lieu of the trail system as shown on the County-wide trails plan, continuous four-foot wide concrete sidewalks along all public street frontages shall be provided with each site plan submittal and installed prior to issuance of the first non-residential use permit for any building subject to an approved site plan showing sidewalk within the Subject Property. Applicants shall coordinate sidewalk connections with adjacent properties in the locations as shown on the GDP.

G. Storm Water Management.

1. Land Bays D-1 and D-2, Part of Land Bay A-1 (Building Site 19). Storm

Water Management (SWM) and Best Management Practices (BMP) have been reviewed, approved and constructed for this area pursuant to a Plan entitled West*Mac Storm Drainage Study 6796-D-01-1 approved by DEM on March 25, 1988. Other requirements, if any, shall be in accordance with applicable County ordinances as approved by the Department of Environmental Management (DEM).

2. Land Bay E. Stormwater Management (SWM) and Best Management Practices (BMPs) shall be provided in accordance with applicable County ordinances as approved or modified by DEM and/or the Board of Supervisors. The exact shape and size of existing Pond C (the "Pond") and associated area as shown on the GDP is subject to change with final engineering. The applicant shall endeavor to preserve existing vegetation between the SWM/BMP facility and the DAAR. Landscaping, utilizing native vegetation to the maximum extent possible shall be provided around the edge of the facility, as approved by DEM and the Urban Forester. The Resource Protection Area (the "RPA"), as approved by DEM, shall be preserved on the site. No clearing and grading shall be permitted within the RPA except for that necessary to construct and maintain the SWM/BMP facility.

3. Land Bays A-1 (Part) through A-5 inclusive, B and C. Stormwater Management (SWM) and Best Management Practices (BMPs) shall be provided in accordance with all applicable County Ordinances as may be approved or modified by the Director of Environmental Management. SWM/BMP facilities may be provided on a site-by-site basis at the time of individual site plan submittals, or SWM/BMP facilities may be provided as a "composite system", consisting of Ponds A, B, D, and Pond C (as referenced above), to provide SWM and BMP's for the currently undeveloped portion of the drainage area.

H. Conservation/Storm Drainage Easement. The area in Land Bay D-1 between

Building 26 and Building 28 is defined by the Conservation Storm Drainage Easement recorded at Deed Book 6927 at page 249 as generally shown on the GDP. The area shall be preserved in an undisturbed state, except minor construction as provided for in the easement document (utility crossing, trails, maintenance, etc.) which shall be installed so as to minimize disturbance. Applicants agree to identify and mark archaeological site 44FX1348 contained within the Conservation Easement. If site is to be impacted by any future construction, Applicants shall contact the Environmental and Heritage Resources Branch of the Office of Comprehensive Planning 30 days prior to commencement of construction activity to determine whether a Phase II archaeological study is necessary.

I. Limits of Clearing and Grading, Private Open Space, Storm Drainage, Conservation Easements and/or Minor Flood Plain Easements. Applicants shall use best efforts to adhere to the delineation of land area for Limits of Clearing and Grading, Private Open Space, and Storm Drainage, Conservation and/or Minor Flood Plain Easements, all as generally shown on the GDP. The actual delineation of these land areas shall be established at time of final engineering and site plan approval. DEM may approve minor deviations from the limits of these land areas as shown on the GDP provided the Applicants provide on the building site or within the land bay and as adjacent or contiguous to the area of disturbance as possible. Applicants' choice of one of the following:

1. an area equal to the disturbed area; or
2. an area equal to 125% of the difference between the area shown on the GDP

and the actual disturbed area, planted with deciduous trees 2" - 2 1/2" in caliper at time of planting, evergreens 4' - 6' in height at time of planting, ground cover and foundation plants in quantities and species approved by DEM or other re-vegetation or methods acceptable to DEM:

or

3. a combination of 1 and 2 above.

J. Private Open Space. The GDP shows certain areas designated as Private Open Space within Land Bays A-1, A-2, A-3, D-1 and D-2. This Private Open Space is generally consistent with Private Open Space indicated in the Tysons Corner Master Plan as adopted by the Board of Supervisors on June 27, 1994. The Private Open Space shall be kept in a natural state and may include passive and active recreational uses, undisturbed natural areas, wooded areas, water bodies, water courses, including SWM and BMP facilities, lawn and landscaped areas and other similar or natural features designed and arranged to produce an aesthetically pleasing effect within the Land Bay(s). The Private Open Space shall be set aside for the use and enjoyment of the Applicants. The Private Open Space shall not be dedicated as public lands and shall remain in the ownership of the Applicants. Where Private Open Space and Transitional Screening and Barrier yards coincide, the Private Open Space shall be deemed as meeting the Transitional Screening and Barrier requirements. Any area disturbed in the Private Open Space shall be replaced pursuant to Proffer I.1, except in the case where SWM/BMP's are constructed within the Private Open Space. Where SWM/BMP construction occurs, Proffer I.1 or 2 shall not be required.

II. Treatment of Cellar Space. Cellars, as defined in Article 20 of the Zoning Ordinance, may be used for any permitted use listed in Sect. 4-302 of the Ordinance; however, office use shall be limited to a maximum of 50 percent of the cellar space. The term "office" as defined herein shall not include "data processing centers", thus the 50 percent limitation on "office use" shall exclude any limitation on data processing center areas. Under no circumstances shall cellar space be computed as Floor Area, Gross, as defined in the Ordinance, for floor area ratio (FAR)

computations, regardless of use. Cellar space shall be calculated for off-street parking requirements in accordance with the provisions set forth in Article 11, Sect. 11-102 of the Ordinance.

III. Noise Attenuation. Applicants agree to provide materials and construction methods which have characteristics that limit interior noise level to 50 DBA Ldn in all future buildings located north and east of Jones Branch Drive if those areas have highway noise levels greater than 70 DBA Ldn. Principal buildings constructed within the affected area may be treated with the following acoustical attributes to mitigate noise levels:

- o Exterior walls shall have a laboratory sound transmission class (STC) of at least 39.
- o Doors and windows shall have an STC rating of at least 28.
- o Adequate measures to seal and caulk surfaces will be provided.

IV. Transportation Proffers.

A. Destination Station. On January 11, 1991, Applicants dedicated and conveyed in fee simple to the Board of Supervisors a 4.2 acre parcel of land (hereinafter referred to as "Outparcel A") as depicted on the GDP subject to the following conditions:

1. Recordation of a restrictive covenant, which was incorporated into the Deed for Outparcel A. Said covenant limits the use of Outparcel A to a bus destination station, kiss and ride lot, or mass transit facility. Further, the covenant specifically precludes the use of the site as a general or commercial parking lot.

2. The Applicants shall provide post-development storm water detention for

Outparcel A up to but not exceeding the volume of the original design computation level as indicated on 6796-DS-01-1 as approved on March 25, 1988 associated with Outparcel A.

3. As a result of the conveyance of Outparcel A to the Board of Supervisors, any necessary approvals for Outparcel A for uses described in 1.1 above shall not require Applicants to file a special exception or proffered condition amendment on Subject Property.

4. Dedication of Outparcel A is be deemed to be subject to an advanced dedication and reservation of density pursuant to Paragraph 5 of Article 2-308 for 128,065 square feet (4.2 acres x 43.560 x 0.69 FAR) and such density credit is included and may be used in FAR calculations for any buildings or sites within the 199.48 acre application.

5. Provision of a 25-foot wide transitional screening yard and barrier situated entirely upon Outparcel A along the eastern side of Outparcel A to buffer the Destination Station from Land Bay D-1.

6. The extent of this obligation extends solely to the 4.2 acre site shown on the GDP inclusive of any future right-of-way or easement dedications.

7. Upon conveyance of Outparcel A, Applicant provided to Fairfax County \$100,000.00 for an architectural and engineering design of the Destination Station.

B. Tysons Corner Area Wide Transportation Contribution.

1. Applicants shall contribute to Fairfax County \$2.85 per FAR square foot (gross floor area, excluding cellar) with the following exceptions:

- o All existing buildings shall be exempt from \$2.85 payment to the extent that there is no increase in FAR square feet (gross floor area, excluding cellar) above the area shown in "Floor Area Computation" Table appearing on sheet 5 of 6 in the GDP dated September 5, 1990.

- o Building 18 as shown on the GDP, which is 139,474 FAR square feet.
- o Buildings 26, 27, 28, 29, and 30 inclusive comprising 1,460,194 gross square feet on 48.5115 acres of land area.

2. The \$2.85 per square foot, as increased by escalations to the Engineering News Record, Construction Cost Index from the date of rezoning approval, October 3, 1990, shall be paid directly to the County of Fairfax at issuance of building permits for the applicable building area and shall be used for Tysons Corner Area Wide Transportation Improvements in order of the following priorities as determined by the Board of Supervisors:

- o Destination Station on Outparcel A.
- o Additional toll lanes and toll booths on the Dulles Access Road.
- o Metrorail or Dartrail design and development.

3. Applicants shall contribute \$7,500.00 per acre in lieu of \$2.85 square feet described in III.B.1 above for Tysons Corner Area Wide Transportation Fund improvements upon issuance of building permit for Building 30 or within five (5) years of the date of the Board's approval of this rezoning application, whichever first occurs. Said contribution shall not exceed \$101,625.00 ($\$7,500.00 \times 13.5$ acres).

Applicants have previously paid \$232,500.00 ($\$7,500.00 \times 31$ acres) for Buildings 26, 27, 28, 29 and Outparcel A. Therefore, Buildings 26, 27, 28, 29 and any density credit for Outparcel A (Destination Station 4.2 acres) shall be exempt from \$2.85 per square foot contribution as outlined in paragraph III.B.1 above.

C. Signalization. Applicants shall design and escrow funds, as determined by Virginia Department of Transportation ("VDOT"), for traffic signal equipment and installation at the intersection of Park Run Drive and Jones Branch Drive and at the intersection of Park Run Drive

and Westpark Drive, subject to the approval of VDOT. The traffic signal design and installation at the intersection of Park Run Drive and Jones Branch Drive was completed as of June 27, 1994. The traffic signal design and escrow at the intersection of Park Run Drive and Westpark Drive shall be provided when necessary warrants are met as determined by VDOT or at time of issuance of non-residential use permit for Building 30, or December 31, 1995, whichever is earlier.

D. Jones Branch Drive Improvements. On March 4, 1992, the Applicants dedicated 6351 square feet or 0.1458 acres of right-of-way along the property's Jones Branch Drive frontage of a sufficient width to provide an additional lane on the north side of the westbound approach of existing Jones Branch Drive from Park Run Drive to the east side of Springhill Road/International Drive intersection. The dedication of land associated with this proffer shall be deemed to constitute an advance dedication with reservation of density pursuant to Article 2-308, Paragraph 5 of the ZO. Applicants constructed the additional lane within the dedicated right-of-way as above described and the VDOT Bond was released on September 24, 1992.

E. Transportation System Management.

1. Applicant agrees solely to provide \$30,000.00 a year for nine (9) consecutive years to partially fund a Tysons Transportation Association (TYTRAN) employed Transportation Coordinator commencing January 20, 1994 (the date of first payment) in accordance with a Final TSM Program dated October 15, 1993, and as approved by the Director of the Office of Transportation, the Applicants, and TYTRAN.

V. Contract Purchaser. Pursuant to 15.1-491(a) of the Code of Virginia, 1950 as amended, and Section 18-203 of the Zoning Ordinance of the County of Fairfax (1978 as amended), the Contract Purchaser of Land Bay E, for itself and its successors and assigns, shall be bound by these proffers if, and only if, it acquires any portion of the property.

WEST*PARK Associates Limited Partnership (Owners of Land Bays A-1, A-2, A-3, A-4, A-5, and E)

By: Eagle Management Corporation
General Partner

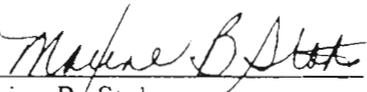
By: 
G. T. Halpin
President

The Association for Manufacturing Technology (AMT) (Owner of Land Bay B)

By: 
Albert W. Moore
President

West*Mac Associates Limited Partnership (Owners of Land Bays D-1 and D-2)

By: Federal Home Loan Mortgage Corporation
General Partner

By: 
Maxine B. Stokes
Vice President, Administration
and Corporate Properties

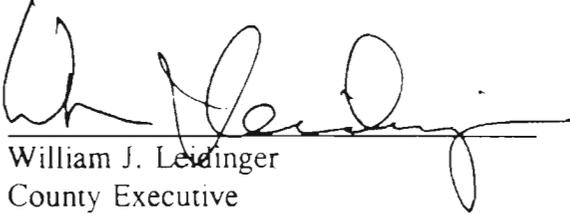
Washington Hall Corporation (Owner of Land Bay C)

By: Anthony B. Kuklin, Inc.
Anthony B. Kuklin
Vice President

Gannett Co., Inc. (Contract Purchaser of Land Bay E)

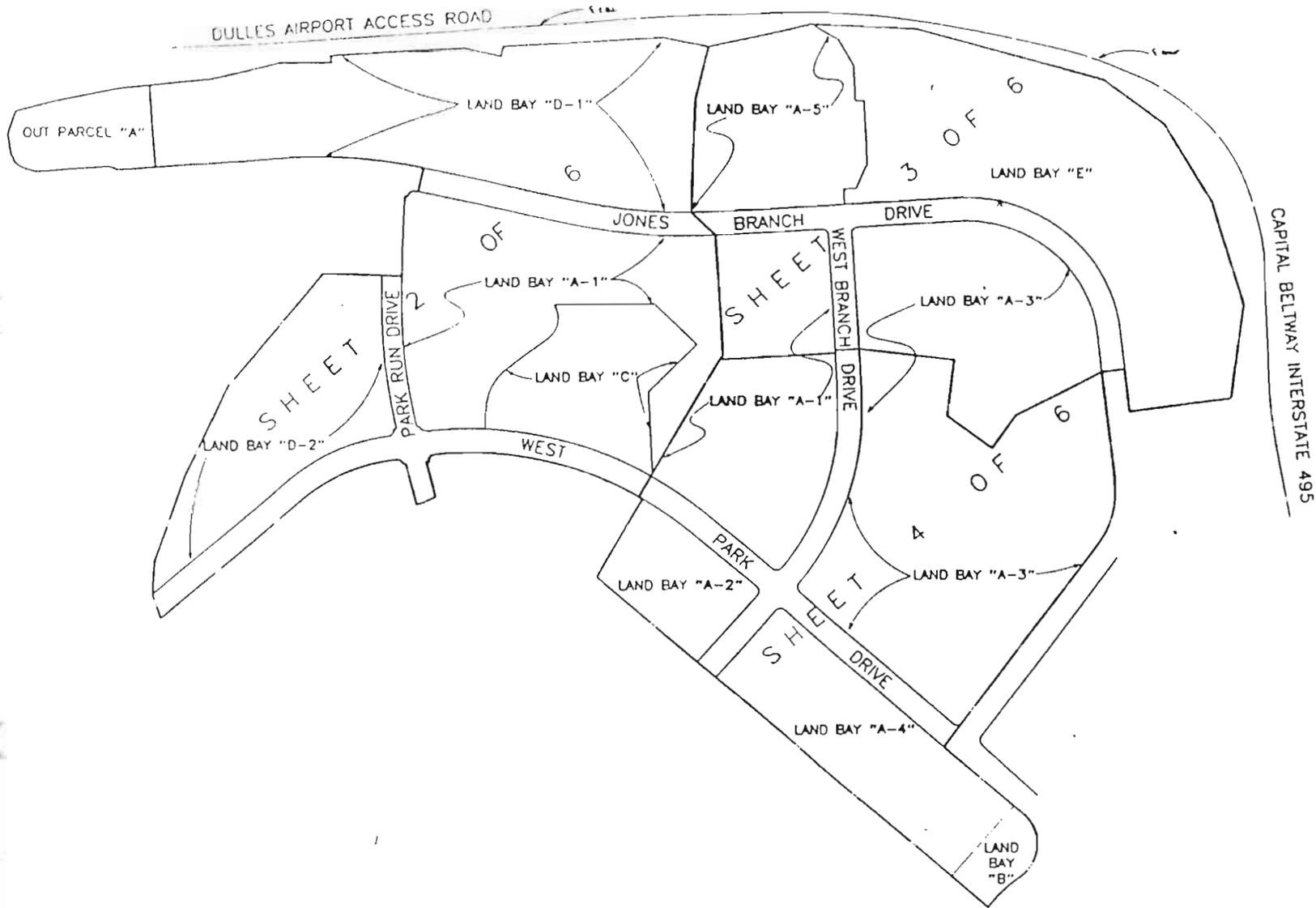
By: 
Jimmy L. Thomas
Senior Vice President

Fairfax County Board of Supervisors (Owner of Outparcel A)

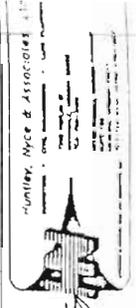
By: 
William J. Lewinger
County Executive



*Generalized Development Plan for the Properties of
West*Park Associates, West*Mac Associates, Washington
Hall Corporation and the Association for Manufacturing
Technology*



PCA-880-005



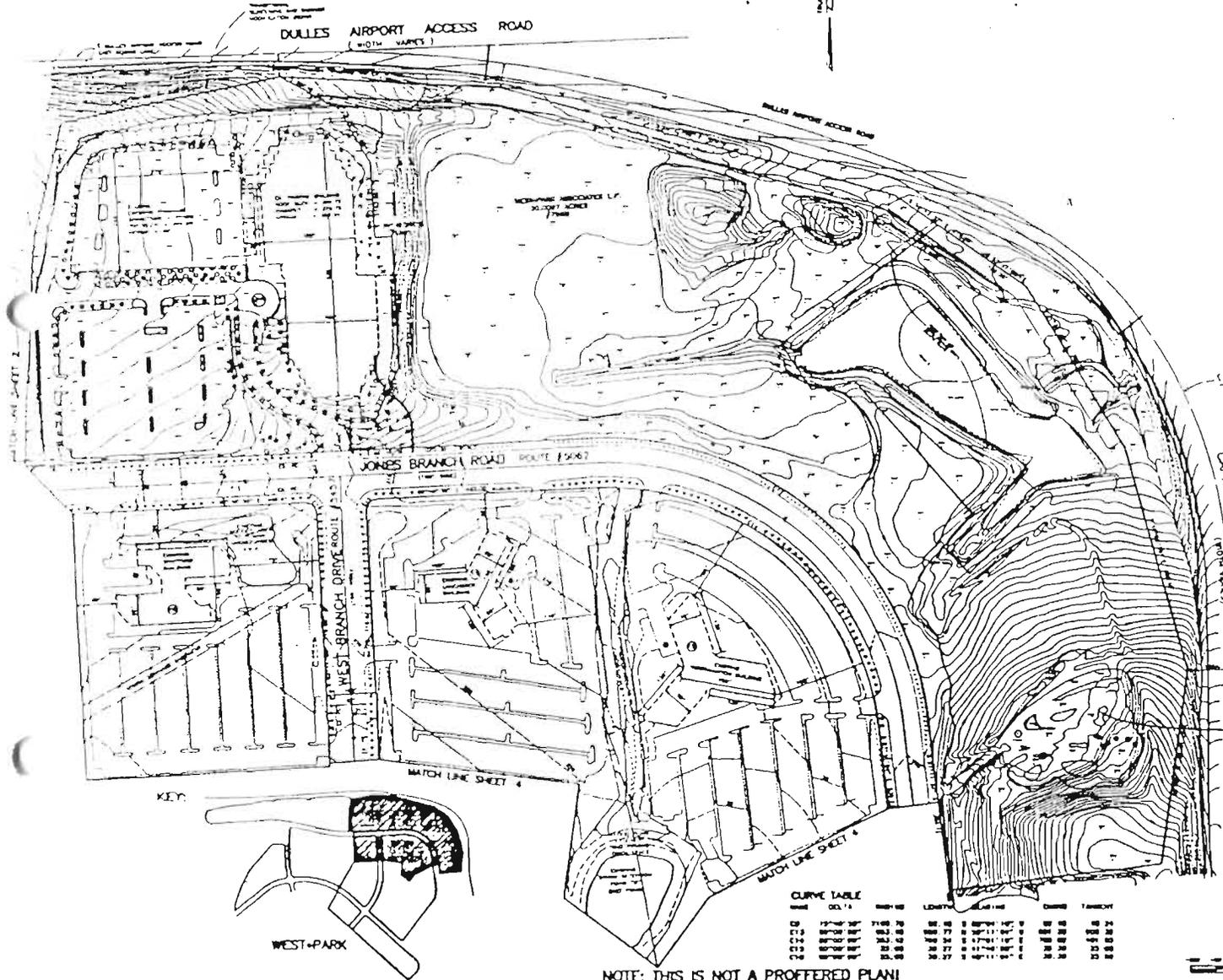
GENERALIZED DEVELOPMENT PLAN FOR THE PROPERTIES OF
WEST * PARK ASSOCIATES, WEST * MAC ASSOCIATES, WASHINGTON
HALL CORPORATION AND THE ASSOCIATION FOR MANUFACTURING
TECHNOLOGY
FARMERS COUNTY
ANNAPOLIS, MARYLAND

SCALE	1" = 300'
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PROJECT	
CLIENT	
DESIGNER	
CHECKER	
DATE	
NO.	1 of 6
PAGE	1 of 180

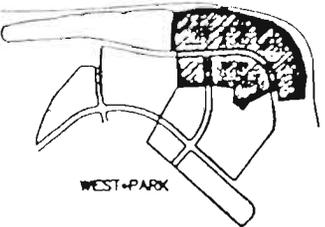
NOTE:
EXISTING WOODED AREAS TO REMAIN
UNDEVELOPED OR ADAPTED AND
REDEVELOPED.

LEGEND:

- PROLAPSE CLIPPING & CHANGING LIMITS
(ACTUAL LIMITS TO BE DETERMINED AT TIME OF SITE PLAN)
- EXISTING WIDE LANE
- BOUNDARY LINES
- PARCEL LINES
- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- PROPOSED PARKING LAYOUT
- 1' CONTOUR INTERVAL
- 5' CONTOUR INTERVAL
- STONE WATER INFILTRATION POND
- 100 YEAR FLOOD PLAIN AND
FLOOD CATCH BASIN
- 75' AND WIDER EASEMENTS
- EXISTING FINISHED GROUND SURFACE
- LOOKING AREA
- PROPOSED
RETAINING WALL
- EXISTING
SECTION



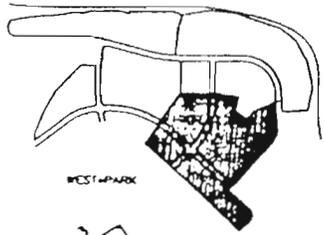
KEY:



CURVE TABLE

Station	Curve Data	Station	Curve Data
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0+75	100' R	1+75	100' R
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1+50	100' R	2+50	100' R
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19+00	100' R	26+00	100' R
19+25	100' R	26+25	100' R
19+50	100' R	26+50	100' R
19+75	100' R	27+00	100' R
20+00	100' R	27+25	100' R
20+25	100' R	27+50	100' R
20+50	100' R	28+00	100' R
20+75	100' R	28+25	100' R
21+00	100' R	28+50	100' R
21+25	100' R	29+00	100' R
21+50	100' R	29+25	100' R
21+75	100' R	29+50	100' R
22+00	100' R	30+00	100' R
22+25	100' R	30+25	100' R
22+50	100' R	30+50	100' R
22+75	100' R	31+00	100' R
23+00	100' R	31+25	100' R
23+25	100' R	31+50	100' R
23+50	100' R	32+00	100' R
23+75	100' R	32+25	100' R
24+00	100' R	32+50	100' R
24+25	100' R	33+00	100' R
24+50	100' R	33+25	100' R
24+75	100' R	33+50	100' R
25+00	100' R	34+00	100' R
25+25	100' R	34+25	100' R
25+50	100' R	34+50	100' R
25+75	100' R	35+00	100' R
26+00	100' R	35+25	100' R
26+25	100' R	35+50	100' R
26+50	100' R	36+00	100' R
26+75	100' R	36+25	100' R
27+00	100' R	36+50	100' R
27+25	100' R	37+00	100' R
27+50	100' R	37+25	100' R
27+75	100' R	37+50	100' R
28+00	100' R	38+00	100' R
28+25	100' R	38+25	100' R
28+50	100' R	38+50	100' R
28+75	100' R	39+00	100' R
29+00	100' R	39+25	100' R
29+25	100' R	39+50	100' R
29+50	100' R	40+00	100' R
29+75	100' R	40+25	100' R
30+00	100' R	40+50	100' R
30+25	100' R	41+00	100' R
30+50	100' R	41+25	100' R
30+75	100' R	41+50	100' R
31+00	100' R	42+00	100' R
31+25	100' R	42+25	100' R
31+50	100' R	42+50	100' R
31+75	100' R	43+00	100' R
32+00	100' R	43+25	100' R
32+25	100' R	43+50	100' R
32+50	100' R	44+00	100' R
32+75	100' R	44+25	100' R
33+00	100' R	44+50	100' R
33+25	100' R	45+00	100' R
33+50	100' R	45+25	100' R
33+75	100' R	45+50	100' R
34+00	100' R	46+00	100' R
34+25	100' R	46+25	100' R
34+50	100' R	46+50	100' R
34+75	100' R	47+00	100' R
35+00	100' R	47+25	100' R
35+25	100' R	47+50	100' R
35+50	100' R	48+00	100' R
35+75	100' R	48+25	100' R
36+00	100' R	48+50	100' R
36+25	100' R	49+00	100' R
36+50	100' R	49+25	100' R
36+75	100' R	49+50	100' R
37+00	100' R	50+00	100' R
37+25	100' R	50+25	100' R
37+50	100' R	50+50	100' R
37+75	100' R	51+00	100' R
38+00	100' R	51+25	100' R
38+25	100' R	51+50	100' R
38+50	100' R	52+00	100' R
38+75	100' R	52+25	100' R
39+00	100' R	52+50	100' R
39+25	100' R	53+00	100' R
39+50	100' R	53+25	100' R
39+75	100' R	53+50	100' R
40+00	100' R	54+00	100' R
40+25	100' R	54+25	100' R
40+50	100' R	54+50	100' R
40+75	100' R	55+00	100' R
41+00	100' R	55+25	100' R
41+25	100' R	55+50	100' R
41+50	100' R	56+00	100' R
41+75	100' R	56+25	100' R
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42+25	100' R	57+00	100' R
42+50	100' R	57+25	100' R
42+75	100' R	57+50	100' R
43+00	100' R	58+00	100' R
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43+50	100' R	58+50	100' R
43+75	100' R	59+00	100' R
44+00	100' R	59+25	100' R
44+25	100' R	59+50	100' R
44+50	100' R	60+00	100' R
44+75	100' R	60+25	100' R
45+00	100' R	60+50	100' R
45+25	100' R	61+00	100' R
45+50	100' R	61+25	100' R
45+75	100' R	61+50	100' R
46+00	100' R	62+00	100' R
46+25	100' R	62+25	100' R
46+50	100' R	62+50	100' R
46+75	100' R	63+00	100' R
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47+25	100' R	63+50	100' R
47+50	100' R	64+00	100' R
47+75	100' R	64+25	100' R
48+00	100' R	64+50	100' R
48+25	100' R	65+00	100' R
48+50	100' R	65+25	100' R
48+75	100' R	65+50	100' R
49+00	100' R	66+00	100' R
49+25	100' R	66+25	100' R
49+50	100' R	66+50	100' R
49+75	100' R	67+00	100' R
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50+75	100' R	68+25	100' R
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51+50	100' R	69+25	100' R
51+75	100' R	69+50	100' R
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52+25	100' R	70+25	100' R
52+50	100' R	70+50	100' R
52+75	100' R	71+00	100' R
53+00	100' R	71+25	100' R
53+25	100' R	71+50	100' R
53+50	100' R	72+00	100' R
53+75	100' R	72+25	100' R
54+00	100' R	72+50	100' R
54+25	100' R	73+00	100' R
54+50	100' R	73+25	100' R
54+75	100' R	73+50	100' R
55+00	100' R	74+00	100' R
55+25	100' R	74+25	100' R
55+50	100' R	74+50	100' R
55+75	100' R	75+00	100' R
56+00	100' R	75+25	100' R
56+25	100' R	75+50	100' R
56+50	100' R	76+00	100' R
56+75	100' R	76+25	100' R
57+00	100' R	76+50	100' R
57+25	100' R	77+00	100' R
57+50	100' R	77+25	100' R
57+75	100' R	77+	

- 1" CONTOUR INTERVAL
- 5' CONTOUR INTERVAL
- 10' CONTOUR INTERVAL
- 15' CONTOUR INTERVAL
- 20' CONTOUR INTERVAL
- 25' CONTOUR INTERVAL
- 30' CONTOUR INTERVAL
- 35' CONTOUR INTERVAL
- 40' CONTOUR INTERVAL
- 45' CONTOUR INTERVAL
- 50' CONTOUR INTERVAL
- 55' CONTOUR INTERVAL
- 60' CONTOUR INTERVAL
- 65' CONTOUR INTERVAL
- 70' CONTOUR INTERVAL
- 75' CONTOUR INTERVAL
- 80' CONTOUR INTERVAL
- 85' CONTOUR INTERVAL
- 90' CONTOUR INTERVAL
- 95' CONTOUR INTERVAL
- 100' CONTOUR INTERVAL

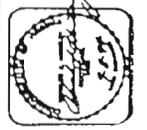


*** NOTE:
 DOTTED BORDER AREA IS NOT
 TO BE CONSIDERED AS PART OF THE
 PROJECT.

CURVE TABLE:

Curve No.	Radius (ft)	Area (sq ft)	Perimeter (ft)	Chord (ft)	Chord Bearing	Chord Angle (deg)	Chord Distance (ft)
1	100	7854	628	100	N 0° 00' 00" E	0	100
2	150	14223	942	150	N 0° 00' 00" E	0	150
3	200	21706	1257	200	N 0° 00' 00" E	0	200
4	250	29189	1572	250	N 0° 00' 00" E	0	250
5	300	36672	1887	300	N 0° 00' 00" E	0	300
6	350	44155	2202	350	N 0° 00' 00" E	0	350
7	400	51638	2517	400	N 0° 00' 00" E	0	400
8	450	59121	2832	450	N 0° 00' 00" E	0	450
9	500	66604	3147	500	N 0° 00' 00" E	0	500
10	550	74087	3462	550	N 0° 00' 00" E	0	550
11	600	81570	3777	600	N 0° 00' 00" E	0	600
12	650	89053	4092	650	N 0° 00' 00" E	0	650
13	700	96536	4407	700	N 0° 00' 00" E	0	700
14	750	104019	4722	750	N 0° 00' 00" E	0	750
15	800	111502	5037	800	N 0° 00' 00" E	0	800
16	850	118985	5352	850	N 0° 00' 00" E	0	850
17	900	126468	5667	900	N 0° 00' 00" E	0	900
18	950	133951	5982	950	N 0° 00' 00" E	0	950
19	1000	141434	6297	1000	N 0° 00' 00" E	0	1000
20	1050	148917	6612	1050	N 0° 00' 00" E	0	1050
21	1100	156400	6927	1100	N 0° 00' 00" E	0	1100
22	1150	163883	7242	1150	N 0° 00' 00" E	0	1150
23	1200	171366	7557	1200	N 0° 00' 00" E	0	1200
24	1250	178849	7872	1250	N 0° 00' 00" E	0	1250
25	1300	186332	8187	1300	N 0° 00' 00" E	0	1300
26	1350	193815	8502	1350	N 0° 00' 00" E	0	1350
27	1400	201298	8817	1400	N 0° 00' 00" E	0	1400
28	1450	208781	9132	1450	N 0° 00' 00" E	0	1450
29	1500	216264	9447	1500	N 0° 00' 00" E	0	1500
30	1550	223747	9762	1550	N 0° 00' 00" E	0	1550
31	1600	231230	10077	1600	N 0° 00' 00" E	0	1600
32	1650	238713	10392	1650	N 0° 00' 00" E	0	1650
33	1700	246196	10707	1700	N 0° 00' 00" E	0	1700
34	1750	253679	11022	1750	N 0° 00' 00" E	0	1750
35	1800	261162	11337	1800	N 0° 00' 00" E	0	1800
36	1850	268645	11652	1850	N 0° 00' 00" E	0	1850
37	1900	276128	11967	1900	N 0° 00' 00" E	0	1900
38	1950	283611	12282	1950	N 0° 00' 00" E	0	1950
39	2000	291094	12597	2000	N 0° 00' 00" E	0	2000
40	2050	298577	12912	2050	N 0° 00' 00" E	0	2050
41	2100	306060	13227	2100	N 0° 00' 00" E	0	2100
42	2150	313543	13542	2150	N 0° 00' 00" E	0	2150
43	2200	321026	13857	2200	N 0° 00' 00" E	0	2200
44	2250	328509	14172	2250	N 0° 00' 00" E	0	2250
45	2300	335992	14487	2300	N 0° 00' 00" E	0	2300
46	2350	343475	14802	2350	N 0° 00' 00" E	0	2350
47	2400	350958	15117	2400	N 0° 00' 00" E	0	2400
48	2450	358441	15432	2450	N 0° 00' 00" E	0	2450
49	2500	365924	15747	2500	N 0° 00' 00" E	0	2500
50	2550	373407	16062	2550	N 0° 00' 00" E	0	2550
51	2600	380890	16377	2600	N 0° 00' 00" E	0	2600
52	2650	388373	16692	2650	N 0° 00' 00" E	0	2650
53	2700	395856	17007	2700	N 0° 00' 00" E	0	2700
54	2750	403339	17322	2750	N 0° 00' 00" E	0	2750
55	2800	410822	17637	2800	N 0° 00' 00" E	0	2800
56	2850	418305	17952	2850	N 0° 00' 00" E	0	2850
57	2900	425788	18267	2900	N 0° 00' 00" E	0	2900
58	2950	433271	18582	2950	N 0° 00' 00" E	0	2950
59	3000	440754	18897	3000	N 0° 00' 00" E	0	3000
60	3050	448237	19212	3050	N 0° 00' 00" E	0	3050
61	3100	455720	19527	3100	N 0° 00' 00" E	0	3100
62	3150	463203	19842	3150	N 0° 00' 00" E	0	3150
63	3200	470686	20157	3200	N 0° 00' 00" E	0	3200
64	3250	478169	20472	3250	N 0° 00' 00" E	0	3250
65	3300	485652	20787	3300	N 0° 00' 00" E	0	3300
66	3350	493135	21102	3350	N 0° 00' 00" E	0	3350
67	3400	500618	21417	3400	N 0° 00' 00" E	0	3400
68	3450	508101	21732	3450	N 0° 00' 00" E	0	3450
69	3500	515584	22047	3500	N 0° 00' 00" E	0	3500
70	3550	523067	22362	3550	N 0° 00' 00" E	0	3550
71	3600	530550	22677	3600	N 0° 00' 00" E	0	3600
72	3650	538033	22992	3650	N 0° 00' 00" E	0	3650
73	3700	545516	23307	3700	N 0° 00' 00" E	0	3700
74	3750	553000	23622	3750	N 0° 00' 00" E	0	3750
75	3800	560483	23937	3800	N 0° 00' 00" E	0	3800
76	3850	567966	24252	3850	N 0° 00' 00" E	0	3850
77	3900	575449	24567	3900	N 0° 00' 00" E	0	3900
78	3950	582932	24882	3950	N 0° 00' 00" E	0	3950
79	4000	590415	25197	4000	N 0° 00' 00" E	0	4000
80	4050	597898	25512	4050	N 0° 00' 00" E	0	4050
81	4100	605381	25827	4100	N 0° 00' 00" E	0	4100
82	4150	612864	26142	4150	N 0° 00' 00" E	0	4150
83	4200	620347	26457	4200	N 0° 00' 00" E	0	4200
84	4250	627830	26772	4250	N 0° 00' 00" E	0	4250
85	4300	635313	27087	4300	N 0° 00' 00" E	0	4300
86	4350	642796	27402	4350	N 0° 00' 00" E	0	4350
87	4400	650279	27717	4400	N 0° 00' 00" E	0	4400
88	4450	657762	28032	4450	N 0° 00' 00" E	0	4450
89	4500	665245	28347	4500	N 0° 00' 00" E	0	4500
90	4550	672728	28662	4550	N 0° 00' 00" E	0	4550
91	4600	680211	28977	4600	N 0° 00' 00" E	0	4600
92	4650	687694	29292	4650	N 0° 00' 00" E	0	4650
93	4700	695177	29607	4700	N 0° 00' 00" E	0	4700
94	4750	702660	29922	4750	N 0° 00' 00" E	0	4750
95	4800	710143	30237	4800	N 0° 00' 00" E	0	4800
96	4850	717626	30552	4850	N 0° 00' 00" E	0	4850
97	4900	725109	30867	4900	N 0° 00' 00" E	0	4900
98	4950	732592	31182	4950	N 0° 00' 00" E	0	4950
99	5000	740075	31497	5000	N 0° 00' 00" E	0	5000
100	5050	747558	31812	5050	N 0° 00' 00" E	0	5050

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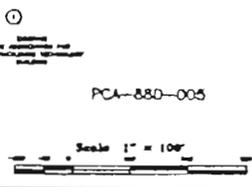


GENERALIZED DEVELOPMENT PLAN FOR THE PROPERTIES OF
 WESTPARK ASSOCIATES, WEST-MAC ASSOCIATES, WASHINGTON
 HALL CORPORATION AND THE ASSOCIATION FOR MANUFACTURING
 TECHNOLOGY
 PROVIDENCE DISTRICT
 WASHINGTON COUNTY

DATE	10/1/80
BY	PCA
CHECKED	PCA
SCALE	1" = 100'
PROJECT	PCA-880-005
SHEET	4 OF 6

4 OF 6

NOTE:
 THIS IS NOT A PROFFERED PLAN !!



PCA-880-005

LAND PARCEL

