



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

March 8, 2012

James L. McCormack
Burgess & Niple
4160 Pleasant Valley Road
Chantilly, VA 20151

Re: Interpretation for RZ 2000-MA-065, Bren Mar Office Park
Tax Map Parcel 81-1 ((1)) 9A and 9: Emergency Generator

Dear Mr. McCormack,

This is in response to your letter of November 30, 2011, requesting an interpretation of the proffers and the Generalized Development Plan (GDP) accepted by the Board of Supervisors, in conjunction with the approval of RZ 2000-MA-065. As I understand it, the question is whether the installation of an emergency generator and compound within a landscaped parking lot island would be in substantial conformance with the proffers and the GDP. This determination is based on your letter with attached proffers; a copy of the GDP; Sheets 1-4 and 6-9 excerpted from Minor Site Plan, Generator Installation – Bren Mar Office Park (7364-MSP-002-1), dated August 19, 2011, prepared by Burgess & Niple; Sheet 3 of Bren Mar Office Park, Lot 9A Site Plan, dated November 10, 2000, prepared by Ballato and Associates, P.C.; an exhibit showing perspective views of the generator pad and masonry wall; a detail of the proposed generator prepared by Accoustical Sheetmetal, Inc.; and an email attachment providing open space and tree canopy calculations. Copies of your letter and relevant exhibits are attached.

The subject property was originally part of rezoning RZ 2000-MA-065, approved by the Board of Supervisors on May 21, 2001, subject to proffers, which rezoned approximately 13.54 acres (Parcel 9A) from I-3 to I-4 and rezoned 15.31 acres (Parcel 9) from I-I to I-4, a total of approximately 28.85 acres, to permit redevelopment of an existing warehouse for office use, a school of special education, warehouse and additional parking.

According to your letter, an emergency electrical generator, which would be operated only in the event of a power outage, and associated compound, is proposed to be constructed within an existing landscaped parking lot island between two asphalt parking areas. The purpose of the generator is to accommodate the emergency power requirements of a specific building tenant. You describe the

Excellence * Innovation * Stewardship
Integrity * Teamwork * Public Service

Department of Planning and Zoning
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035-5509
Phone 703 324-1290
FAX 703 324-3924
www.fairfaxcounty.gov/dpz/



proposed generator as a self-contained unit within an acoustical enclosure that is designed to reduce the noise output when the generator is operational. As shown on Sheet 4 of the Proposed Improvements Site Plan, the generator measures 29.5 feet in length, 9.5 feet in width and 7 feet in height. It is proposed to be installed upon a new concrete pad measuring 40 feet in length and 16 feet in width, or a total area of 640 square feet. The generator and generator pad are proposed to be surrounded in part by a new 8-foot high masonry wall which would run the entire length of the northern and major portions of the eastern and western sides. Sheet 4 of the MSP (7364-MSP-002-1) indicates that the proposed masonry wall will function as a retaining and screening wall. The proposed masonry wall is to be constructed of concrete block with the exposed sides of the wall constructed of decorative block or treated with a finish similar to decorative block.

An 8-foot high, vinyl-coated, chain-link fence is proposed to enclose the southern side of the generator and would connect to the masonry wall along the eastern and western sides. The fence is primarily intended to function as a security fence and is constructed of a material that will soften, but not block the view of the generator. Bollards described as 8-inch diameter steel pipes filled with concrete are shown to be installed outside of the southern and eastern sides of the fence to provide additional security for the generator compound. A gravel section measuring approximately 39.5 feet by 5 feet, or 197.5 square feet in area, is proposed to be located on the southern side of the compound. A 4-inch perforated PVC pipe is shown to be installed underneath the proposed gravel section. An underground conduit, approximately 6 feet wide and 2 feet deep is proposed to be installed between the compound and the adjacent building in order to deliver power from the generator to the building's tenant. You have indicated that areas which may be disturbed due to the installation of the underground conduit, which includes landscaping, curb and gutter or asphalt, will be fully restored.

The existing two-story building will screen the generator compound to the east. North of the proposed generator compound lay an asphalt parking lot and an established vegetative screen consisting of a mixture of mature evergreen and hardwood deciduous trees that would screen the compound from the residential lots on the north side of Bren Mar Drive. Landscaping consisting of a mix of trees and shrubs as shown on the Landscape Plan is proposed to surround the compound providing additional screening. Sheet 7 of the MSP (7364-MSP-002-1) lists the species and size of proposed vegetation at the time of planting. The approved GDP associated with RZ 2000-MA-065 depicts the open space for Parcel 9A as 118,437 square feet, or 20.08% of the site. With the construction of the generator compound, the site open space would decrease from 20.08% to approximately 19.95%, or 117,599.5 square feet. However, the slight reduction in open space does not reduce the effectiveness of the remaining open space and will be offset by the installation of additional landscaping. Despite the loss of two existing evergreen trees located within the existing landscaped parking lot island, the Landscape Plan included as Sheet 7 of the MSP exhibit shows approximately 44 trees proposed to be planted around the generator compound. You have provided an attachment demonstrating an increase in total tree cover on the site from 13.2% to 13.3% when the proposed landscaping is planted. You have also pointed out that the proposed location of the compound, within a landscaped island, will not result in the loss of parking spaces.

It is my determination that the installation of the proposed emergency generator and associated compound as described above, is in substantial conformance with the proffers and GDP, provided that any areas disturbed for the installation of the conduit, including landscaping, curb and gutter, asphalt, etc., are fully restored as approved by DPWES, and subject to the installation of landscaping surrounding the generator enclosure that consists of plant species that will provide effective year-round screening of the generator, as approved by the Urban Forest Management Division (UFMD). In addition, plants exceeding PFM minimum size requirements at the time of planting should be installed, as approved by UFMD, to enhance the screening of the fence and lower part of the generator. This determination has been made in my capacity as the duly authorized agent of the Zoning Administrator. The determination addresses only the questions discussed herein. If you have any questions regarding this interpretation, please feel free to contact Shelby Johnson at (703) 324-1290.

Sincerely,



Barbara C. Berlin, AICP, Director
Zoning Evaluation Division, DPZ

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Attachments: A/S

cc: Penelope A. Gross, Supervisor, Mason District
Janet R. Hall, Planning Commissioner, Mason District
Diane Johnson-Quinn, Deputy Zoning Administrator, ZAD, DPZ
Kenneth Williams, Technical Processing, Office of Land Development Services, DPWES
Angela Rodeheaver, Chief, Site Analysis Section, DOT
Michael Knapp, Director, Urban Forest Management, DPWES
Kevin J. Guinaw, Chief, Special Projects/Applications Management Branch, DPZ
File: RZ 2000-MA-065, PI 1101 128, Imaging, Reading File

DEC 02 2011

BURGESS & NIPLE

Zoning Evaluation Division

4160 Pleasant Valley Road | Chantilly, VA 20151 | 703.631.9630

Barbara C. Berlin, Director
Zoning Evaluation Division
DP&Z, County of Fairfax
12055 Government Center Parkway
Suite 801
Fairfax, VA 22035
November 30, 2011

RE: Bren Mar Office Park, Lot 9A
5315 Bren Mar Drive
Assessment Map 81-1 ((1)) 1D
R2 2000-MA-065
Request for Interpretation

Dear Ms. Berlin:

We are requesting an interpretation as to whether a proposed modification to the above-referenced property to add an emergency electrical generator is in substantial conformance with the approved zoning and proffered conditions applicable to the property. This request is being made in conjunction with a Minor Site Plan (7364-MSP-002) proposing the generator addition. The property, which comprises a total area of 16.07 acres, is presently developed, with the building having been originally constructed in 1962 and the site upgraded and expanded in 2001 pursuant to a previous Minor Site Plan (7364-MSP-001). The current Minor Site Plan proposes only the addition of the electrical generator pad and associated screening wall on the site, as necessary to accommodate the emergency electrical needs of a building tenant in the event of a power outage.

The property was the subject of a rezoning in 2001 (RZ 2000-MA-065) by which the zoning was amended from the I-3 and I-I Districts to the I-4 District, which is the current zoning. The rezoning was subject to proffered conditions, which are attached. Proffer Number 1a states:

Subject to the provisions of Section 18-404 of the Fairfax County Zoning Ordinance (hereinafter referred to as the "Ordinance"), development of the Application Property shall be in substantial conformance with the GDP (Sheets 1, 2 and 4) prepared by Ballato & Associates, PC, dated April 7, 2001."

None of the proffered provisions directly address or affect the establishment of an emergency electrical generator on the property.

An emergency generator was not shown on the approved Generalized Development Plan (GDP) nor referenced in the property. The generator is currently proposed to be located on the site as a minor engineering change to accommodate the emergency power requirements of a specific building tenant, a need that could not have been foreseen at the time of the rezoning.

The current proposal to add an emergency electrical generator to the site will require construction of a 40-foot by 16-foot, or a 640-square-foot, concrete pad and a masonry wall that will surround the pad on three sides. The generator will be a self-contained unit within an acoustical enclosure designed to reduce the noise output when the generator is operational, which would only be in the event of a loss of power for the area of the building to be served by the generator. An attached exhibit portrays the type of generator enclosure being

Ms. Barbara Berlin, Director
Zoning Evaluation Division
DP&Z, County of Fairfax
November 30, 2011
Page 2

proposed for installation on the pad.

The proposed pad for the generator is to be installed in an existing open space area located between two portions of the site's asphalt parking area. This area was depicted on the approved Generalized Development Plan, and the Plan did not propose any use or landscaping within the area proposed for disturbance for the installation of the pad. The original Minor Site Plan that was subsequently prepared for redevelopment of the site also did not propose any use or landscaping within the proposed disturbance areas. Trees and other landscaping currently exist in the island, and as indicated, these trees were not proposed on the approved Minor Site Plan and were therefore never credited toward meeting the minimum tree cover requirements applicable to the site or for meeting any other landscape requirements that are applicable to the site. Two of the existing trees will have to be removed with the construction of the generator pad, but the landscape plan for the project proposes the planting of 41 trees and shrubs around the perimeter of the generator pad for screening, resulting in a net increase in the tree canopy coverage on the site, which was already well in excess of the required minimum. The generator will also be screened by a masonry wall, which will extend to a height of eight feet above the outside ground surface on the northerly side of the generator location and will enclose and screen the northerly side of the pad and major portions of two sides—the easterly and westerly sides.. The fourth side, being the southerly exposure, will be secured by a vinyl covered chain link fence, green in color. All sides will be further screened by the new landscaping to be installed around the perimeter of the pad. The installation of the pad will reduce the open space on the site by 640 square feet, or 0.1 percent of the total site area. As indicated on the GDP and the previous Minor Site Plan, the open space provided on the Lot 9A portion of the property, being that portion on which the generator will be located, was 118,437 square feet, constituting 20.1 percent of the 589,533 square foot site area, with a minimum of 15 percent of the site area required to be maintained as open space. Following installation of the generator, the open space area on the Lot 9A portion of the property will represent 20 percent of the site area, still well in excess of the minimum requirement.

The proposed location of the generator is within the central portion of the site, and is not within, or in the vicinity of, any required yard. The general location of the pad is well-screened from an adjoining residential neighborhood north of the property by an established vegetative screen consisting of a mix of mature evergreen and hardwood deciduous trees situated within a 50-foot-wide screening yard at the northerly boundary of the property. As indicated above, the generator pad will be further screened by a 7 to 8-foot high masonry screening wall on three sides and new evergreen trees to be planted at the perimeter of the facility. No new buildings or additions to the existing building are proposed with this site addition. No parking spaces will be deleted or otherwise affected by this plan.

We are enclosing a copy of the Generalized Development plan applicable to the 2001 rezoning of the property; the proffers adopted with that rezoning; sheets excerpted from the current Minor Site Plan Minor showing the existing site conditions at the proposed generator location, the proposed layout of the generator pad and the new landscaping proposed at the pad location, a exhibit showing perspective views of the generator pad and masonry wall, a detail of the proposed generator, and sheets excerpted from the previous Minor Site Plan for the property.

Ms. Barbara Berlin, Director
Zoning Evaluation Division
DP&Z, County of Fairfax
November 30, 2011
Page 3

We thank you for your consideration in this matter. Should you require any additional information, please contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'James L. McCormack', with a large, stylized initial 'J'.

James L. McCormack

jmccormack@burnip.com

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.
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CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE CONTRACT DOCUMENTS.
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BURGESS & NIPLE
 4160 PLEASANT VALLEY ROAD, CONNELLY, VA 20111
 PHONE (703) 631-8820 FAX (703) 631-8841

The undersigned hereby certifies that the above is a true and correct copy of the original as shown to the undersigned by the contractor and that the same has been reviewed and approved by the undersigned as the Engineer of Record for the project.

August 18, 2011

GENERAL NOTES
 MINOR SITE PLAN GENERATOR INSTALLATION

MINOR OFFICE PARK LOT #A
 4310 PARKWAY DRIVE, CHESAPEAKE, VA 23041

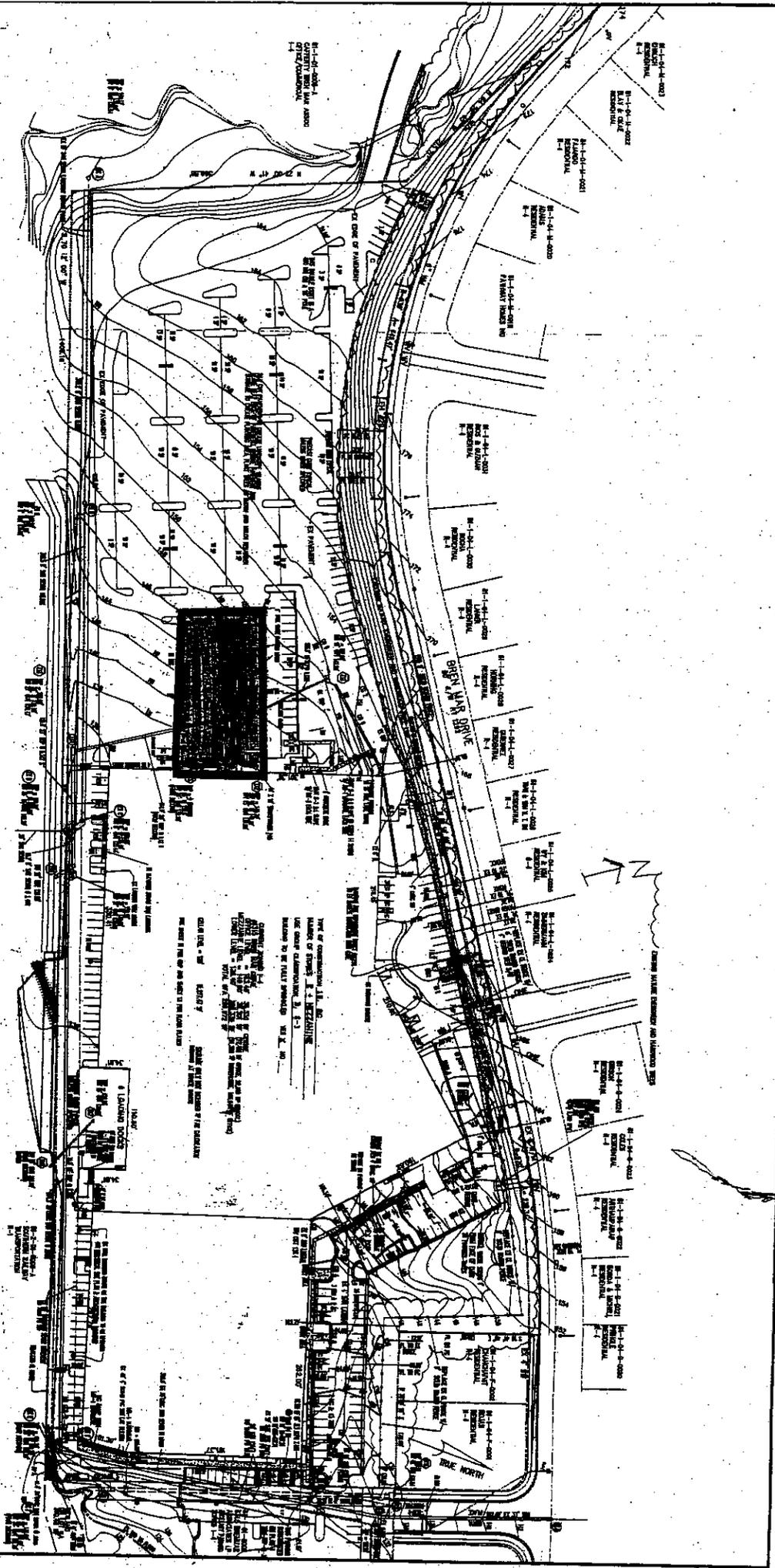
MINOR OFFICE
 PARK COURT, CHESAPEAKE, VA 23041



DATE	AUGUST 2011
SCALE	AS SHOWN
BY	ENR
CHECKED BY	ENR
APPROVED BY	ENR
DATE	10/18/11
SHEET	5
JOB NO.	10-000
PLAN NO.	10-000

REVISIONS	DATE

BURGESS & NIPLE
 4160 PLEASANT VALLEY ROAD, CONNELLY, VA 20111
 PHONE (703) 631-8820 FAX (703) 631-8841



PROPOSED LOT LIGHTING SCHEDULE FOR LOT 9A ONLY

STREET	CITY	LOT	ADJACENT	TYPE	WATTAGE	HEIGHT	SPACING	POLE	TYPE
LOT 9A	LOT 9A	LOT 9A	LOT 9A	LOT 9A	LOT 9A	LOT 9A	LOT 9A	LOT 9A	LOT 9A

DEVELOPMENT LIST

NO.	CITY	SECTION	DESCRIPTION
1	LOT 9A	LOT 9A	LOT 9A

IMPROVEMENTS SHOWN HEREON ARE EXISTING, AND THIS SHEET IS ONLY FOR THE PURPOSE OF SITE ORIENTATION AND PROVIDING INFORMATION REGARDING THE EXISTING IMPROVEMENTS ON THIS PLAN SHEET FOR INFORMATION RELATING TO CURRENTLY PROPOSED SITE IMPROVEMENTS.

THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS SHEET IS SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNMENT AND THE FEDERAL GOVERNMENT. THE LOCAL GOVERNMENT'S APPROVAL IS SUBJECT TO THE FEDERAL GOVERNMENT'S APPROVAL. THE FEDERAL GOVERNMENT'S APPROVAL IS SUBJECT TO THE FEDERAL GOVERNMENT'S APPROVAL.

NOT CONSIDERED AS TO DESIGN

SCALE: 1" = 50'

C-1

5 19

BRENNARDOT

Call Engineering Planning Development Services

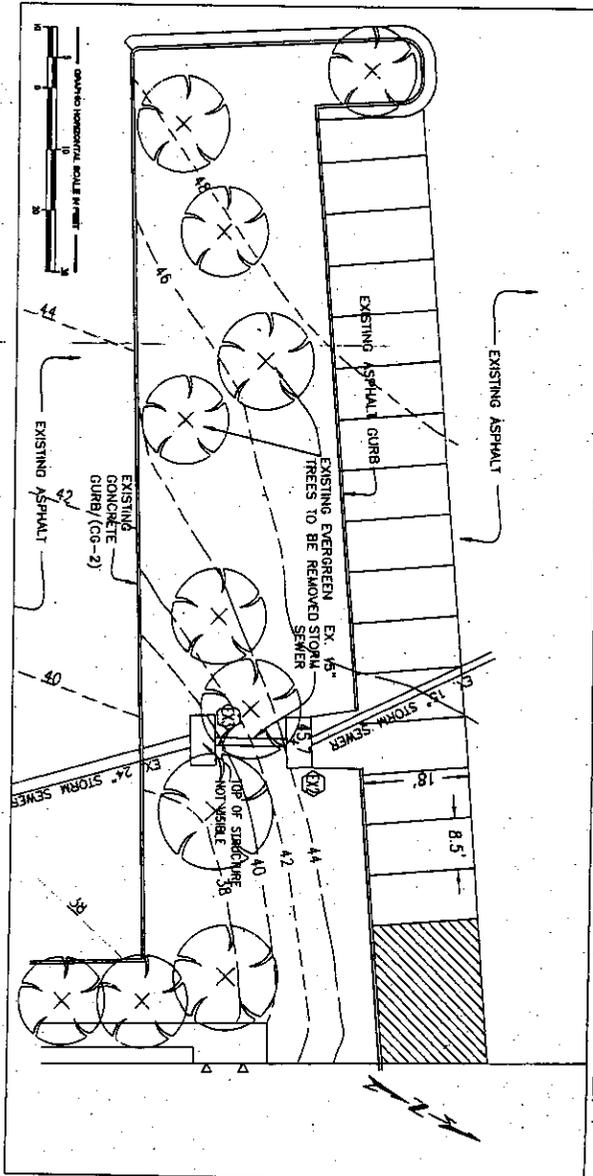
Ballato & Associates, P.C.

2020 Washington Court
 Herndon, Virginia 20171-2720
 TEL: 703-264-8801 FAX: 703-264-6802

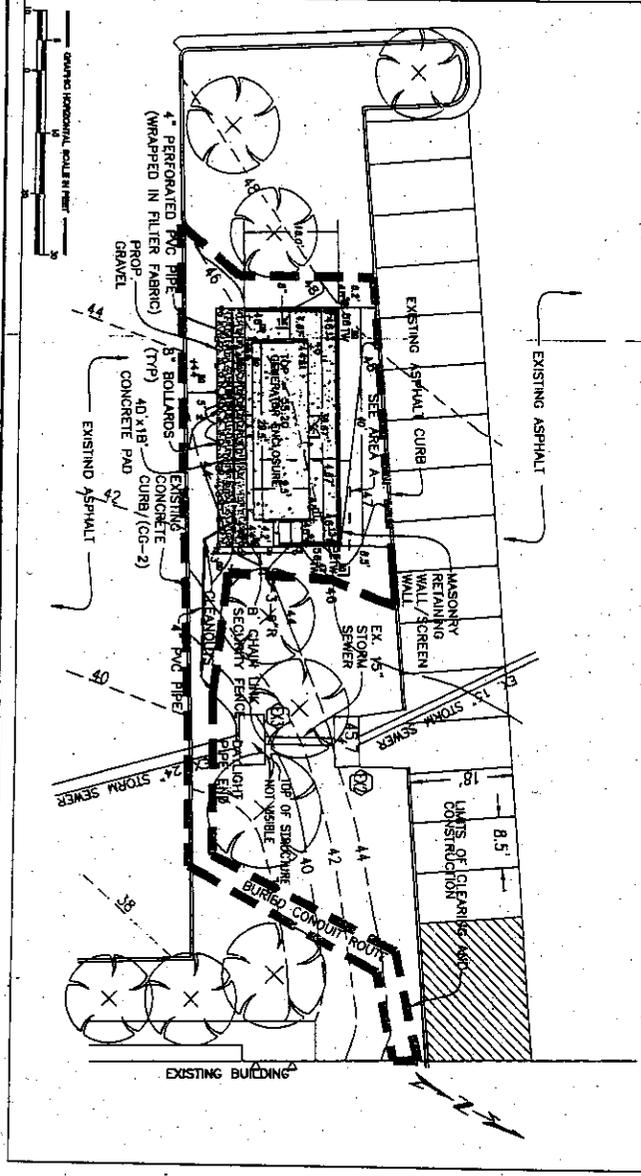
BREN MAR OFFICE PARK
 LOT 9A SITE PLAN
 6316 BREN MAR DRIVE
 HERNDON, VA 20171

21 x 41 = 861 SF

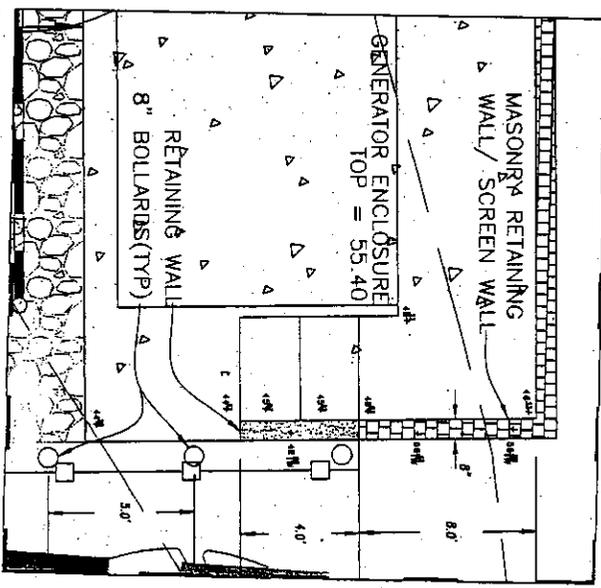
EXISTING CONDITIONS MINOR SITE PLAN AREA



PROPOSED IMPROVEMENTS MINOR SITE PLAN AREA



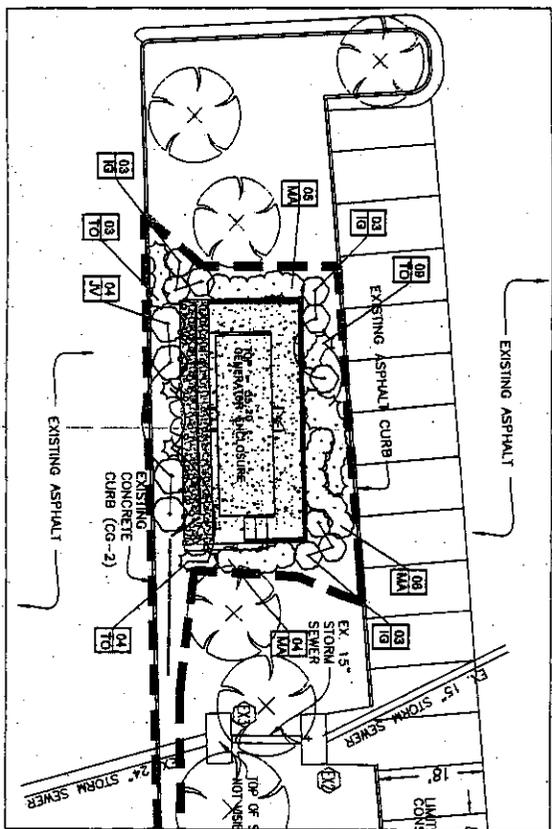
AREA A



No Retaining Wall, just use back up concrete under the retaining wall.

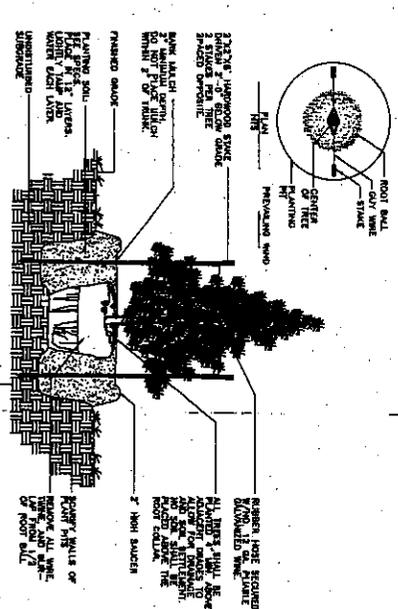
- NOTES:**
1. THE THICKNESS OF THE CONCRETE PAD, TYPICALLY 100 THICK AND PERMANENT FILL, TYPICALLY 18\"/>
- LEGEND:**
1. THE FENCE IS TO BE A 4\"/>
- REVISIONS:**
1. THE RETAINING WALL, CONCRETE PAD, TYPICALLY 100 THICK AND PERMANENT FILL, TYPICALLY 18\"/>

	EXISTING CONDITIONS AND PROPOSED IMPROVEMENTS MINOR SITE PLAN GENERATOR INSTALLATION SHEET NO. 02 OF 04 8315 BURNING WOOD DRIVE MIDDLETOWN, VIRGINIA 22645		<p>BURGESS & NIPLE 4140 PLEASANT VALLEY ROAD, CHARLOTTE, NC 28211 PHONE (703) 831-4820 FAX (703) 831-4824</p>
	DATE: AUGUST 2011 SCALE: AS SHOWN DESIGNER: L. TATUM CHECKER: J. BROWN DATE: 8/12/2011	REVISIONS: _____ DATE: 8/12/2011	



PLANT SCHEDULE

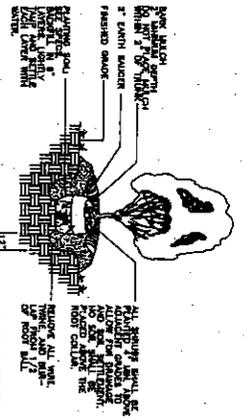
KEY	QTY	DESCRIPTION	HT.	BP.	GT.	CALL	SPACING	ROOT	NOTES
N	4	Judicial Virginia Hillspine / Hillspine Juniper	4'6"	5/2"	VA	VA	5' MIN.	Cont/BB	10-15' tree height
N	8	Red Cedar / Western Oregon Juniper	2'6"	2'3"	VA	VA	3' MIN.	Cont/BB	6-8' tree height
N	16	Marion Cedar / Oregon Oregon Juniper	2'6"	2'3"	VA	VA	3' MIN.	Cont/BB	4-5' tree height
N	16	Three Cornered Yellow / Arborvitae	2'6"	2'3"	VA	VA	3' MIN.	Cont/BB	4-5' tree height



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

LANDSCAPE SPECIFICATIONS

1. LANDSCAPE SPECIFICATIONS SHALL BE AS FOLLOWS:
2. ALL PLANTING SHALL BE PERFORMED BY A LICENSED LANDSCAPE ARCHITECT.
3. ALL PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MILWAUKEE PLANTING SPECIFICATIONS.
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13. ALL PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MILWAUKEE PLANTING SPECIFICATIONS.



TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE

SEEDING SPECIFICATIONS

1. SEEDING SHALL BE PERFORMED FOR SEEDING CHART CONTAINED HEREIN.
2. SEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MILWAUKEE PLANTING SPECIFICATIONS.
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13. SEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MILWAUKEE PLANTING SPECIFICATIONS.

LANDSCAPE WARRANTY

THE CONTRACTOR SHALL WARRANT TO THE OWNER THAT THE PLANTING AND SEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MILWAUKEE PLANTING SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PLANTING AND SEEDING FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY PLANTS OR SEEDS THAT DO NOT SURVIVE OR DIE DURING THE WARRANTY PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPLACEMENT AND SEEDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REMOVAL AND REPAIR OF ANY DAMAGE TO THE LANDSCAPE CAUSED BY THE PLANTING AND SEEDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REMOVAL AND REPAIR OF ANY DAMAGE TO THE LANDSCAPE CAUSED BY THE PLANTING AND SEEDING.

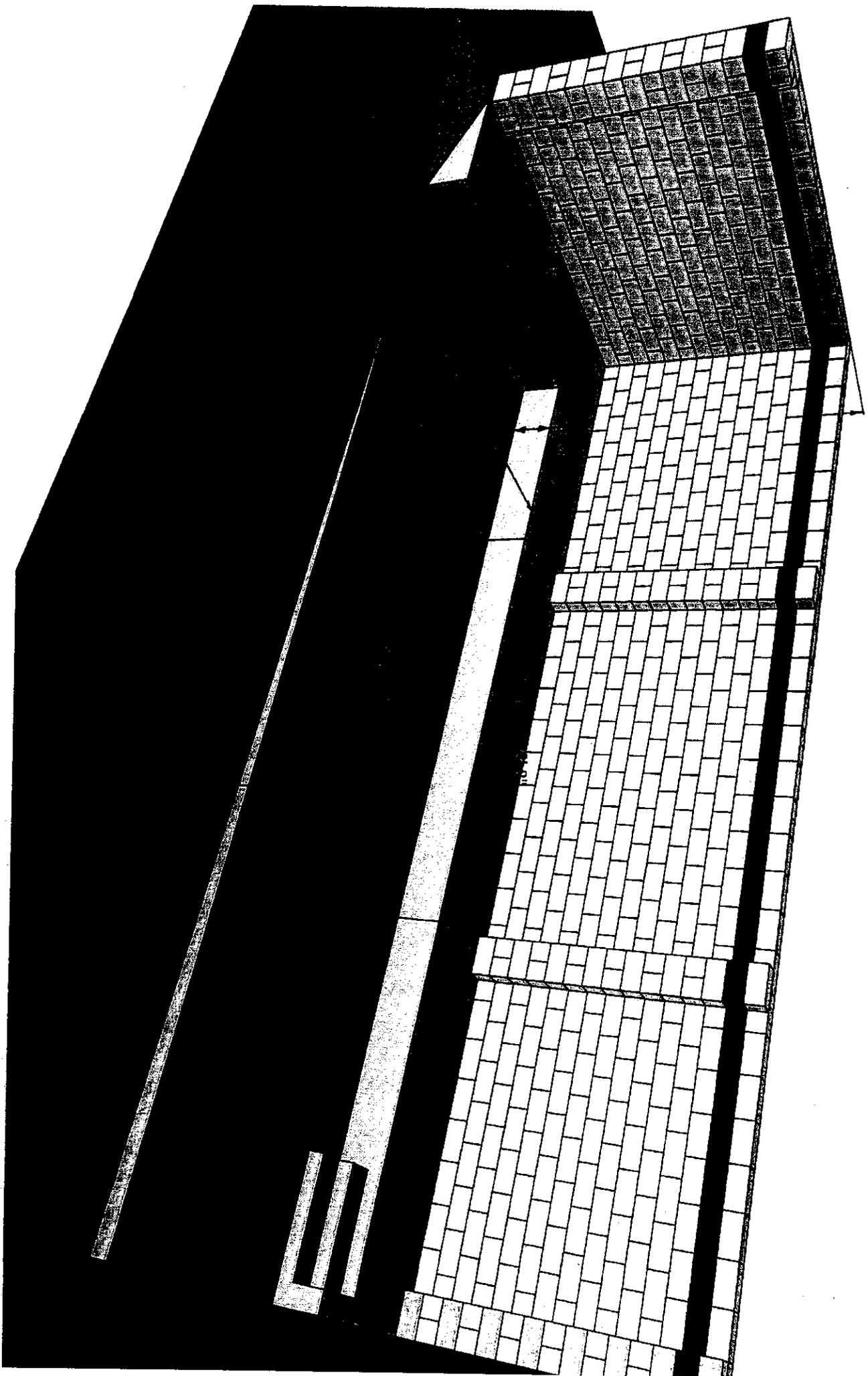
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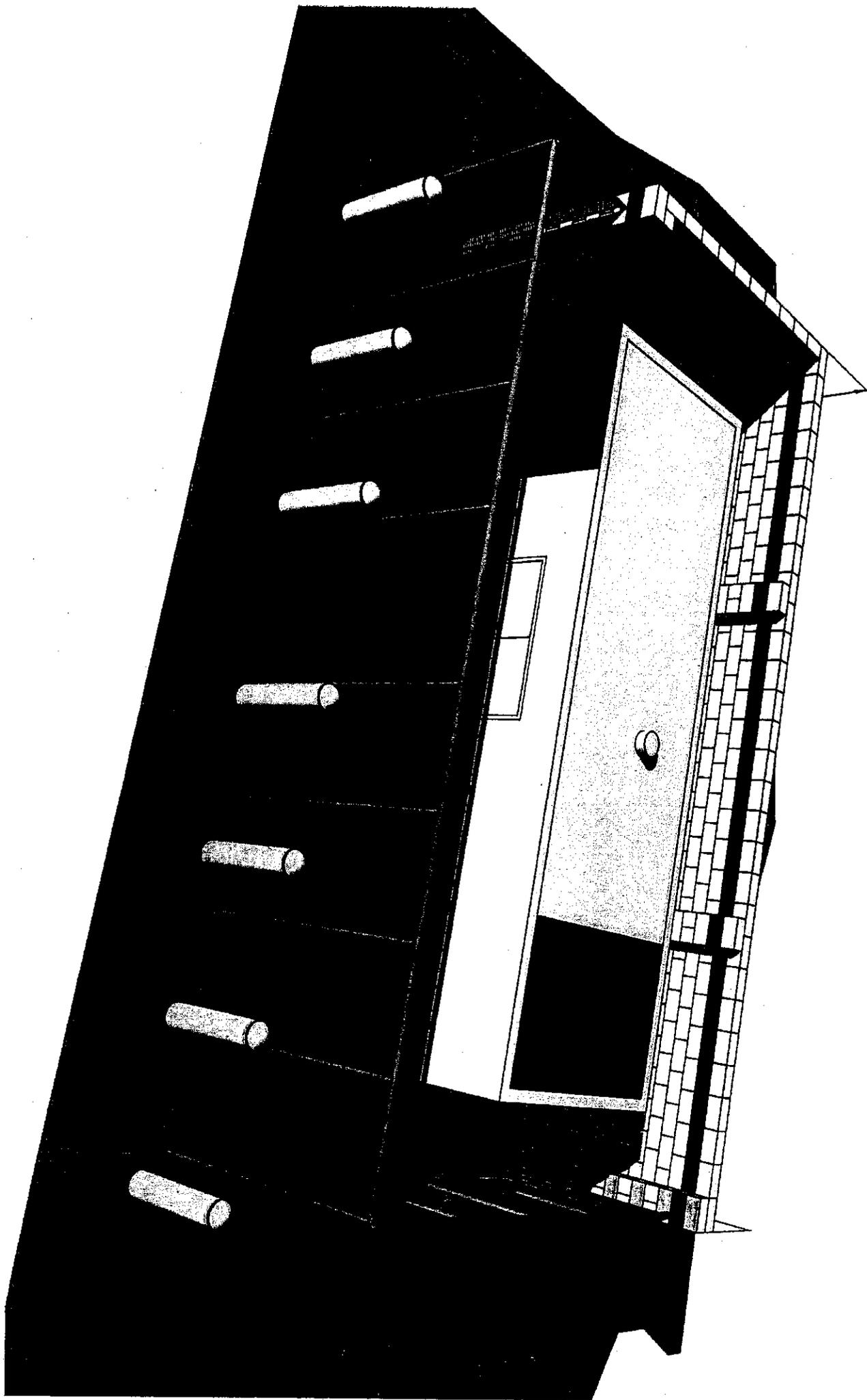
BURGESS & NIPLE
410 PLEASANT HILL RD. MILWAUKEE, WI 53211
PHONE (763) 831-8830 FAX (763) 891-8841

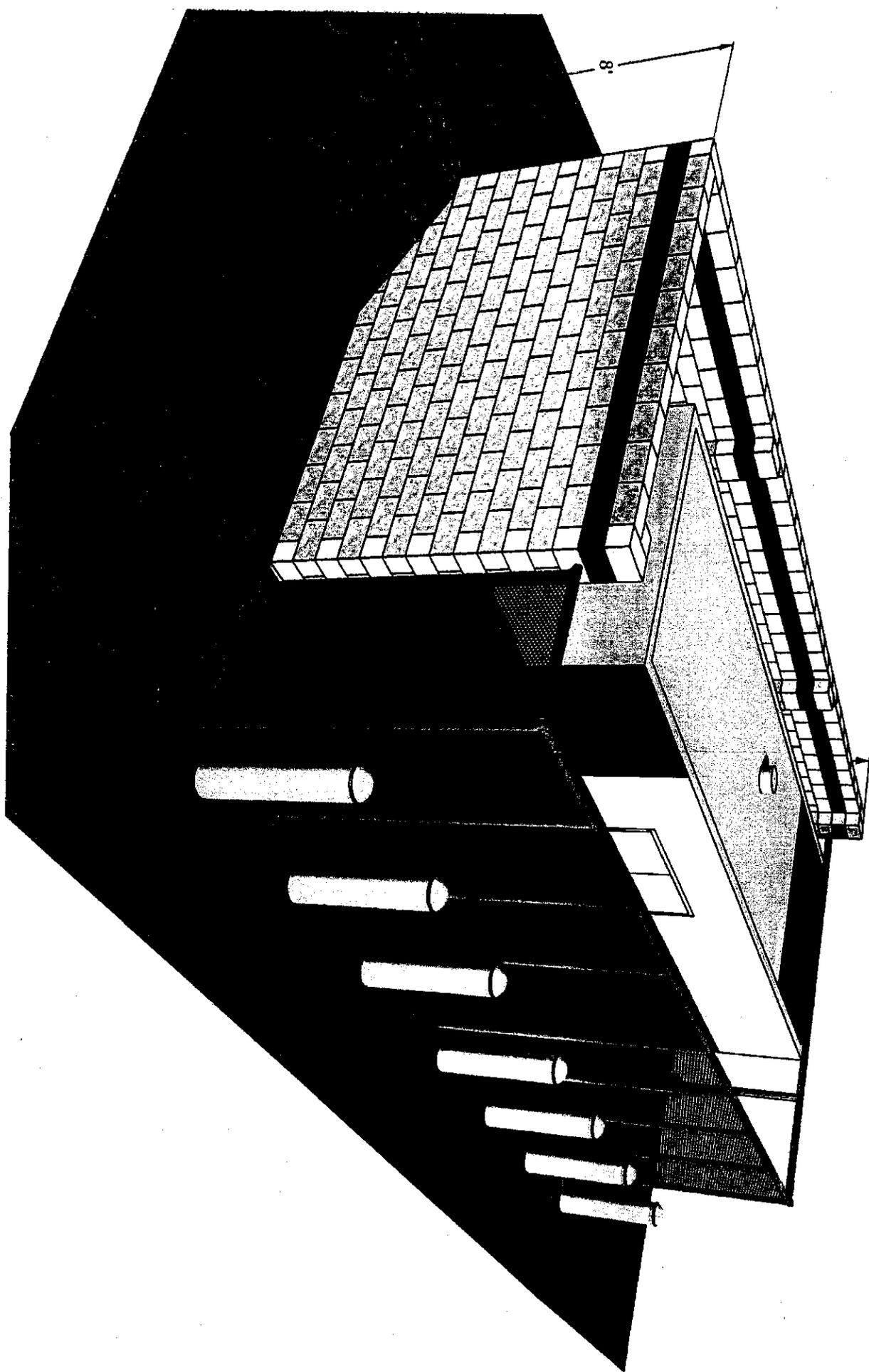
LANDSCAPE PLAN
MINOR SITE PLAN GENERATOR INSTALLATION
MILWAUKEE DISTRICT
FARMERS COUNTY, WISCONSIN

LANDSCAPE ARCHITECT
JOHN J. GIBSON
1000 N. MILWAUKEE AVENUE
MILWAUKEE, WI 53233
PHONE (414) 224-1111
FAX (414) 224-1112

NO.	DATE	DESCRIPTION
1	10/15/11	ISSUED FOR PERMIT
2	10/15/11	ISSUED FOR PERMIT
3	10/15/11	ISSUED FOR PERMIT
4	10/15/11	ISSUED FOR PERMIT
5	10/15/11	ISSUED FOR PERMIT
6	10/15/11	ISSUED FOR PERMIT
7	10/15/11	ISSUED FOR PERMIT
8	10/15/11	ISSUED FOR PERMIT
9	10/15/11	ISSUED FOR PERMIT
10	10/15/11	ISSUED FOR PERMIT

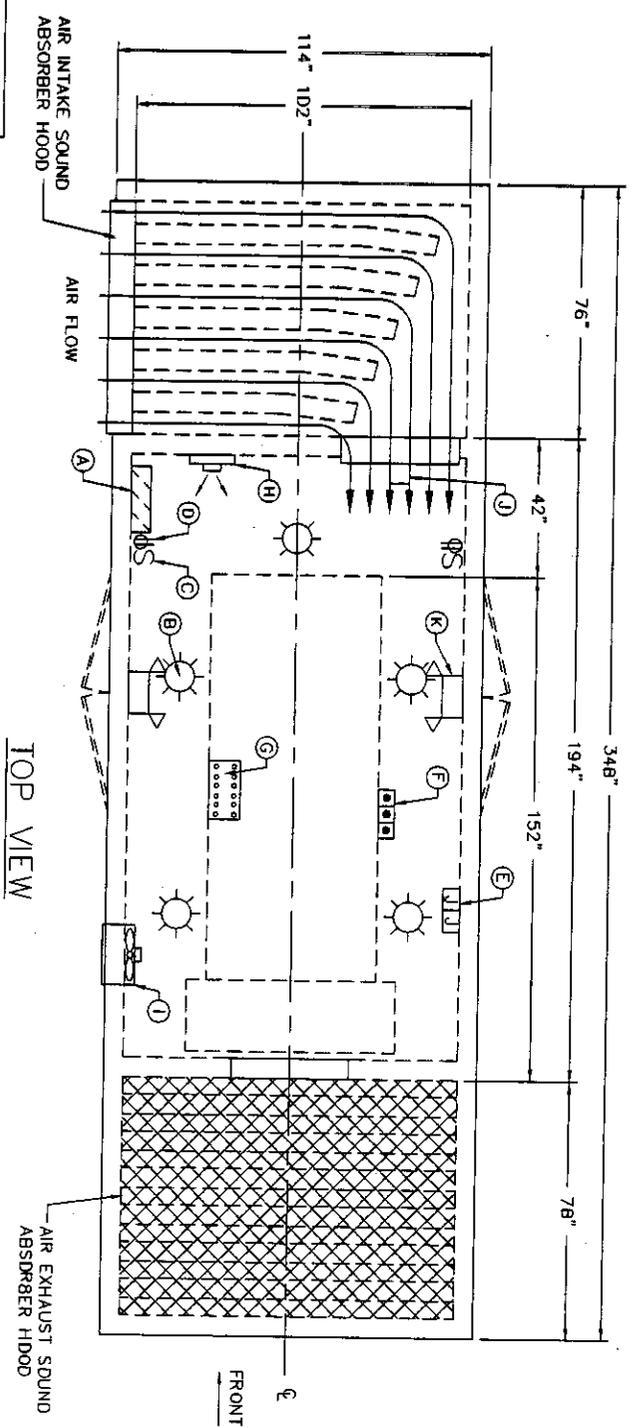






ENCLOSURE TO REDUCE IN FREE FIELD GENERATOR NOISE TO 60 DB/A AT 7 FEET FROM ENCLOSURE

WORK # 79860611



USE DRAWING FOR SAMPLE ONLY

KEY NOTE SCHEDULE

- A - (1) PANELBOARD 100AMP 120/208V 3P
- B - (5) INCANDESCENT LIGHTS
- C - (2) LIGHT SWITCHES
- D - (2) INTERIOR GFI RECEPTACLES
- E - (2) CONNECTIONS FOR JACKET WATER HEATER, ALTERNATOR HEATER, OR BATTERY CHARGER
- F - (3) CONNECTIONS FOR LOW/HIGH/LEAK ALARMS
- G - (1) CONNECTION FOR CUSTOMER BATTERIES
- H - (1) 5KW HEATER W/ THERMOSTAT
- I - (1) 18" EXHAUST FAN W/ THERMOSTAT
- J - (2) CONNECTIONS FOR MOTOR OPERATED DAMPERS
- K - (2) EMERGENCY DUAL-HEAD LIGHTS

DATE	INITIAL	DATE	INITIAL
REVISED			

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 Project: PROTECTUS
 ONE (1) WEATHER-PROTECTIVE, SOUND-ATTENUATED, WALK-IN, DROP-OVER TYPE ENCLOSURE WITH BASE AND BUILT-IN UL-142 LISTED 1,800 GALLON SUB-BASE TANK WITH RIP-UP TANK FOR A 500KW ROZOVY KOHLER DIESEL GENERATOR SET.
 Scale: 1/3"=1'-0" Sheet 1 of 2 Date: 9-1-11

CUSTOMER APPROVAL
 FIDELITY ENGINEERING APPROVES THE DESIGN AS SHOWN OR INDICATED AND RELEASES THESE DRAWINGS FOR FABRICATION

ACOUSTICAL SHEETMETAL
 VIRGINIA BEACH, VA
 Acoustical Sheetmetal Incorporated
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 VA BEACH, VA 23454
 PHONE: (757) 456-9720
 FAX: (757) 557-0245

RECEIVED
Department of Planning & Zoning

FEB 13 2012

Zoning Evaluation Division

**BREN MAR OFFICE PARK, LOT 9A
GENERATOR INSTALLATION**

**SITE OPEN SPACE
PRE- AND POST GENERATOR INSTALLATION**

TOTAL SITE AREA, LOT 9A:	589,533 SQ. FT., OR 13.54 ACRES
OPEN SPACE PRIOR TO GENERATOR INSTALLATION:	118,437 SQ. FT., OR 2.72 ACRES
OPEN SPACE AS PERCENT OF SITE AREA:	20.1 PERCENT
AREA OF PROPOSED GENERATOR PAD:	640 SQ. FT.
OPEN SPACE AFTER GENERATOR INSTALLATION:	117,797 SQ. FT.
OPEN SPACE AS PERCENT OF SITE AREA:	20.0 PERCENT

PERCENT OF SITE AREA REQUIRED AS OPEN SPACE, I-4 DISTRICT: 15 PERCENT

TREE COVER TABULATION FOR ENTIRE DEVELOPED SITE

(AS PRESENTED ON THE PREVIOUSLY APPROVED MINOR SITE PLAN, 7364-MSP-01)

(SHOWN FOR INFORMATION PURPOSES ONLY)

**TREE CANOPY
PRE- AND POST GENERATOR INSTALLATION**

EXISTING TREE CANOPY (PRE- INSTALLATION):	78,074 SQ. FT.
PROPOSED TREE CANOPY (POST-INSTALLATION):	78,642 SQ. FT (See below)
EXISTING TREE CANOPY:	78,074 SQ. FT.
LESS, TREES REMOVED:	- <u>352 SQ. FT.</u>
SUB-TOTAL:	77,722 SQ. FT.
PLUS, NEW TREES PLANTED WITH INSTALLATION:	+ <u>920 SQ. FT.</u>
TOTAL:	78,642 SQ. FT.