



APPLICATION ACCEPTED: December 1, 2011  
PLANNING COMMISSION: April 18, 2012  
BOARD OF SUPERVISORS: TBD

## County of Fairfax, Virginia

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April 4, 2012

### STAFF REPORT

APPLICATION PRC-C-546-02

### BRADDOCK DISTRICT

**APPLICANT:** Fairfax County Public Schools (Terra Centre Elementary School)

**ZONING:** PRC

**PARCEL(S):** 77-4 ((1)) 28A

**ACREAGE:** 11.62 acres

**OPEN SPACE:** 71%

**FAR:** 0.17

**PLAN MAP:** Public Facility

**PROPOSAL:** The applicant seeks PRC plan approval to permit the construction of five building additions to the existing "earth-covered" elementary school, totaling 19,868 square feet, in conjunction with related site improvements.

Brent Krasner, AICP

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Department of Planning and Zoning  
12055 Government Center Parkway, Suite 801  
Fairfax, Virginia 22035-5509  
Phone 703 324-1290  
FAX 703 324-3924  
[www.fairfaxcounty.gov/dpz/](http://www.fairfaxcounty.gov/dpz/)



## STAFF RECOMMENDATIONS:

Staff recommends approval of PRC-C-546-02, subject to the proposed development conditions contained in Appendix 1.

Staff recommends a waiver of the barrier requirements along the southern property line in favor of the plantings shown on the PRC plan.

Staff recommends a waiver of the trail requirements along Burke Center Parkway in favor of the existing condition indicated on the PRC Plan.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this special exception does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.

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Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

# Planned Residential Community

## PRC-C-546-02



Applicant:  
Accepted:  
Proposed:  
Area:

FAIRFAX COUNTY PUBLIC SCHOOLS  
12/01/2011  
PUBLIC ELEMENTARY SCHOOL  
11.62 AC OF LAND;  
DISTRICT - BRADDOCK; ZIP - 22015

Located:

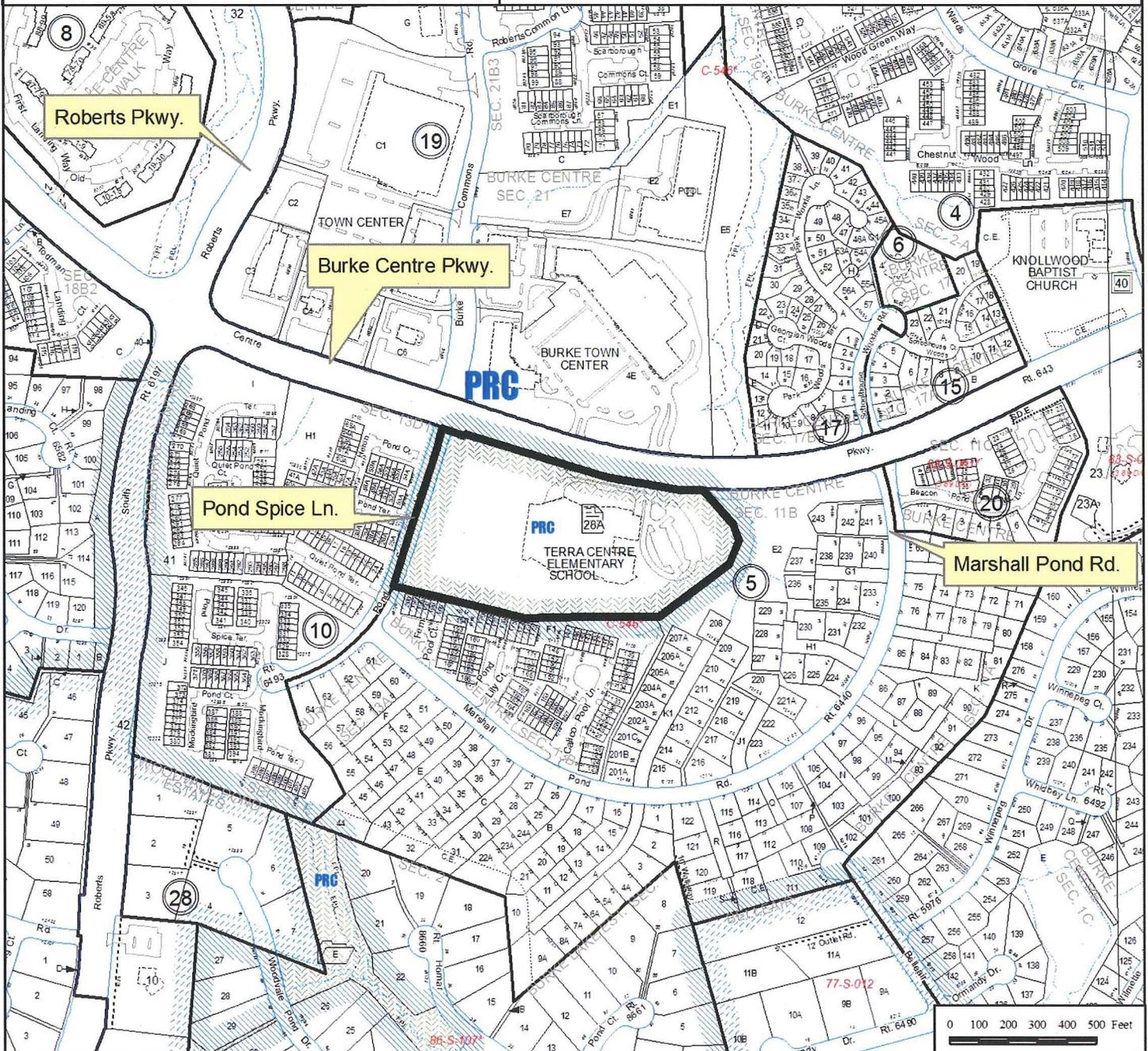
SOUTHEAST CORNER OF THE  
INTERSECTION OF BURKE CENTRE  
PARKWAY AND POND SPICE LANE

Zoning:  
Plan Area:

PRC  
3

Map Ref Num:

77-4-1/ /0028A





**ABBREVIATION LIST**

ABDN	ABANDONED	FC	FIELD CONNECTION	PVC	POLYVINYL CHLORIDE
AC	ACRE	FD	FOUNDATION DRAIN INVERT	PMT	PAVEMENT
ACC	ADJOINING	FM	FOUNDATION	R	RADIUS
ARCH	ARCHITECTURAL	FT	FINISHED FLOOR	RCP	REINFORCED CONCRETE PIPE
B & B	BALL & BURLAP	FD	ROOF DRAIN	RD	ROAD
BBL	BUILDING RESTRICTION LINE	FPS	FEET PER SECOND	REV	REVISION
BT	BRITANNIA	FS	FIRE SERVICE	RL	REGIONAL LIMITS
BW	BENCH MARK	FT	FEET	ROW	RIGHT OF WAY
C&G	CURB AND GUTTER	G	NATURAL GAS	S	SOUTH
C&P	CHESAPEAKE AND POTOMAC TELEPHONE	GA	GALLON	SAW	SAWNEY
CA	CONCRETE ANCHOR	GM	GAS METER	SC	SWAYSE CONNECTION
CAP	CAPACITY	GN	GAS METER GALLONS PER MINUTE	SEW	SEWER
CF	CUBIC FEET PER SECOND	HB	HORIZONTAL BEND	SF	SQUARE FOOT/FEET
CL	CHAIN LINK FENCE	HD	HIGH DENSITY POLYETHYLENE	SH	SHEET
CLC	CLEAN OUT	HR	HORIZONTAL BEND	SHT	SHEET
CONC	CONCRETE CURB TRANSITION	HT	HORIZONTAL BEND	SHK	SHOULDER
CT		HW	HORIZONTAL BEND	SK	STATION
D	DIESEL	IF	IRON PIPE FOUND	STD	STANDARD
DD	DOWN DUMP	L	LENGTH	STM	STORM
DIP	DUCTILE IRON PIPE	LAT	LATCH	STW	STORM
DM	DOMESTIC	LS	LOW POINT/LIGHT POLE LANDING SPACE	S/W	SIDWALK
DRN	DRAIN	MAX	MAXIMUM	TELE	TELEPHONE
DS	DOWN SPOUT	MECH	MECHANICAL	TW	TOP OF WALL
E	EAST	MEI	MATCH EXISTING GRADE	TYP	TYPICAL
ELEV	ELEVATION	MI	MINIMUM	UFT	UNDERGROUND FUEL TANK
EP	EDGE OF PAVEMENT	MIN	MINIMUM	UE	UNDERGROUND ELECTRIC
ESMT	EASEMENT	MON	MONUMENT	UF	UNDERGROUND FUEL TANK
EX	EXISTING	N	NORTH	VC	VERTICAL CURVE
EXP	EXPOSED	OC	ON CENTER	VENT	VENT PIPE
		OP	OVERHEAD POWER	W	WATER
				W/	WITH
				WL	WATER LINE
				WM	WATER MAIN

**GENERAL NOTES**

1. ALL UNDERGROUND UTILITY INFORMATION HAS BEEN TAKEN FROM RECORD DOCUMENTS PROVIDED BY THE OWNER AND THE UTILITY COMPANIES. LOCATIONS OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. THIS PLAN DOES NOT INDICATE UNDERGROUND UTILITIES WHOSE LOCATIONS ARE UNKNOWN.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES WITHIN THE AREAS TO BE AFFECTED BY THE PROPOSED CONSTRUCTION PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
3. THE CONTRACTOR IS REQUIRED TO MARK ALL COUNTY UTILITIES PRIOR TO EXCAVATION. THESE SHALL INCLUDE STORM SEWER, WATER, SANITARY SEWER AND TRAFFIC SIGNAL CABLE.
4. THE CONTRACTOR SHALL BE LIABLE FOR ANY AND ALL DAMAGE TO COUNTY UTILITIES AS IF THEY HAD BEEN PROPERLY MARKED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS TO ANY EXISTING UTILITIES DAMAGED BY DEMOLITION OR CONSTRUCTION ACTIVITIES, AT NO COST TO THE OWNER.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT FAIRFAX COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION STANDARDS AND SPECIFICATIONS, AND AS INDICATED OR SPECIFIED.
7. ANY EXISTING FACILITIES LOCATED OUTSIDE THE INDICATED CLEARING AND GRADING LIMITS AND DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE CURRENT FAIRFAX COUNTY STANDARDS AT NO COST TO THE OWNER.
8. THE CONTRACTOR SHALL OBTAIN FAIRFAX COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) PERMITS FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL FURNISH EMERGENCY TELEPHONE NUMBERS TO THE CONSTRUCTION MANAGEMENT SECTION, ENGINEERING DIVISION, FAIRFAX COUNTY DEPARTMENT OF PUBLIC WORKS, AS WELL AS TO THE DESIGN AND CONSTRUCTION SERVICES DIVISION, FAIRFAX COUNTY PUBLIC SCHOOLS.
10. THE CONTRACTOR SHALL PROVIDE PROTECTIVE PROTECTION FOR ALL EXISTING TREES LOCATED WITHIN THE INDICATED CLEARING AND GRADING LIMITS AND INDICATED TO REMAIN, AND ALL TREES LOCATED OUTSIDE THE INDICATED CLEARING AND GRADING LIMITS WHICH WOULD BE DAMAGED BY CONSTRUCTION ACTIVITIES. ANY TREES INDICATED TO REMAIN OR LOCATED OUTSIDE THE INDICATED CLEARING AND GRADING LIMITS AND DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED IN KIND, AT NO COST TO THE OWNER.
11. ALL DISTURBED AREAS NOT PAVED, BUILT OVER OR PART OF A MULCHED LANDSCAPE BED SHALL BE PERMANENTLY STABILIZED WITH 500 OVER 4" OF TOPSOIL.
12. PROVIDE CLEANOUTS IN ACCORDANCE WITH DMSION 15 PLUMBING SPECIFICATIONS.
13. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL REQUIRED TOPSOIL AND LEGALLY DISPOSE OF ALL UNSUITABLE OR SURPLUS MATERIAL.
14. CONTRACTOR REQUIRED TO CUT AND PATCH EXISTING ASPHALT OR PAVING TO TAKE OUT ELECTRICAL SYSTEM WIRING OR POWER ROUTING FOR MODULAR BUILDING FROM MAIN BUILDING AS INDICATED ON ELECTRICAL DRAWINGS.

**SITE NOTES AND TABULATIONS**

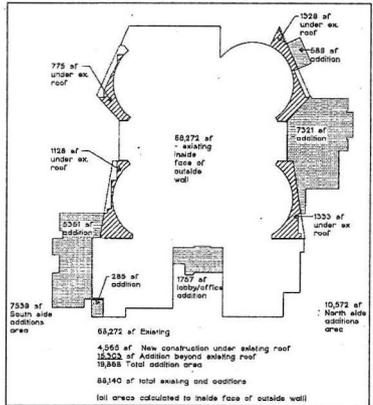
1. THE PROPERTY CONTAINS NO KNOWN GRAVES OR BURIAL SITES.
  2. THE PROPERTY IS SERVED BY PUBLIC WATER AND SANITARY SEWER.
  3. THE PROPERTY HAS A RESOURCE PROTECTION AREA (RPA) ON THE PROPERTY.
  4. THE PROPERTY IS NOT LOCATED WITHIN A FLOOD PLAIN AREA.
  5. REQUIRED PARKING: (ELEMENTARY SCHOOL) (MINIMUM 1 SPACE PER STAFF PLUS FOUR VISITORS) ESTIMATED STAFF: 112 VISITORS: 4 REQUIRED PARKING: 116 SPACES
- PARKING PROVIDED:  
STANDARD SPACES= 116 SPACES  
HANDICAP SPACES= 3 SPACES  
TOTAL= 121 SPACES
6. ALL ON-SITE UTILITIES ARE MAINTAINED BY FAIRFAX COUNTY PUBLIC SCHOOLS WITH THE EXCEPTION OF WATER, GAS, TELEPHONE AND ELECTRIC.

**ARCHITECTURAL CONCEPT**

THE EXISTING MASSING OF THE SCHOOL CONSISTS OF LARGE ONE STORY APPROXIMATELY 8400 SQUARE FOOT EARTH SHIELDED SCHOOL STRUCTURE THAT IS BURIED INTO A HILL ON THE WEST SIDE, ON EACH SIDE (NORTH AND SOUTH) THERE ARE TWO LARGE DEEPLY INSET OPENINGS WITH CONTINUOUS GLASS AND ALUMINUM STOREFRONT FRAMING CAPTED BY EXPOSED CONCRETE BEAMS AND A HEAVY EXPOSED CONCRETE PARAPET. BETWEEN THE OPENINGS AND OTHER EXPOSED PARTS OF THE BUILDING, THE EARTH SHIELDING CONTINUES DOWN TO GRADE AS GRASS COVERED HILLS. THE EXISTING BUILDING HAS AN ENTRY COURTYARD ON THE PARKING LOT (WEST) SIDE PLANNED WITH ADMINISTRATIVE OFFICES ON THE SOUTH, THE CAFETERIA ON THE NORTH AND THE MAIN ENTRANCE ON THE WEST. THESE WINGS OF THE BUILDING CONSIST OF 18' HIGH EXPOSED CONCRETE STRUCTURE AND PARAPET WITH SPLIT FACED RIBBED CONCRETE MASONRY OR CONTINUOUS GLASS AND ALUMINUM STOREFRONT FRAMING. THE ROOF IS AN EXTENSIVE VEGATED ROOF PLANTED WITH GRASS USED FOR THE SCHOOL'S PLAY GROUND.

THREE CONVENTIONALLY CONSTRUCTED ADDITIONS WILL BE ADDED TO THE EXISTING BUILDING, AN APPROXIMATELY 5,600 SQUARE FOOT CLASSROOM AND MAIN ELECTRICAL ROOM ADDITION ON THE SOUTH, AN APPROXIMATELY 1,800 SQUARE FOOT LOBBY ADDITION IN FRONT OF THE EXISTING ENTRY AT THE WEST END OF THE COURTYARD, AND AN APPROXIMATELY 7,900 SQUARE FOOT LIBRARY AND CLASSROOM ADDITION INCORPORATING A COVERED CANOPY FOR A TESS AND SIDE DROP OFF. THE CLASS ROOM AND LIBRARY ADDITIONS ARE CURRENTLY DESIGNED AS FLAT RECTILINEAR ONE STORY, FLAT ROOF STRUCTURES RANGING FROM 18' TO 23' HIGH. THE LOBBY ADDITION WILL BE A ONE STORY ADDITION WITH VARYING HEIGHTS RANGING BETWEEN 14' FEET AND 23'.

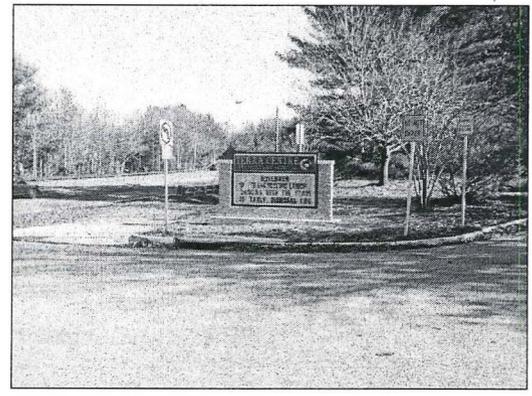
THE EXISTING GYMNASIUM IS A 21' HIGH CONCRETE STRUCTURE CURRENTLY EARTH SHIELDED. THE DESIGN INTENDS FOR THE GYMNASIUM VEGATED ROOF TO BE REMOVED, A PARAPET WALL CONSTRUCTED, THE HEAVY EXPOSED AREAS OF CONCRETE CLAD WITH MATERIALS SIMILAR TO THE ADDITIONS, AND RE-ROOFED WITH CONVENTIONAL ROOFING MATERIALS.



**LEGEND**

ITEM	NEW	EXISTING
PROPERTY LINE (OUR PROPERTY)	---	---
PROPERTY LINE (DEPARTING / OFF-SITE)	---	---
PROPERTY CORNER	○	○
SPOT ELEVATIONS	+108.72	108.72
CONTOURS	---33---	---33---
BUILDING(S)	[Symbol]	[Symbol]
ASPHALT PAVING	[Symbol]	[Symbol]
CONCRETE PAVEMENT & WALKS	[Symbol]	[Symbol]
CONCRETE C & G (LARGE SCALE)	[Symbol]	[Symbol]
CONCRETE C & G (SMALL SCALE)	[Symbol]	[Symbol]
CURB TYPE TRANSITION	[Symbol]	[Symbol]
CONCRETE CURB (LARGE SCALE)	[Symbol]	[Symbol]
CONCRETE CURB (SMALL SCALE)	[Symbol]	[Symbol]
SANITARY SEWER (8" MANHOLE) & STRUCT #	[Symbol]	[Symbol]
SANITARY SEWER CLEAN OUT	[Symbol]	[Symbol]
STORM SEWER	[Symbol]	[Symbol]
STORM SEWER STRUCTURE/DRAIN INLET & STRUCT #	[Symbol]	[Symbol]
WATER MAIN	[Symbol]	[Symbol]
FIRE HYDRANT (8" VALVE)	[Symbol]	[Symbol]
GAS MAIN (8" VALVE)	[Symbol]	[Symbol]
OVERHEAD POWER LINE (8" POLE)	[Symbol]	[Symbol]
OVERHEAD TELEPHONE LINE (8" POLE)	[Symbol]	[Symbol]
POLE GUY WIRE (8" ANCHOR)	[Symbol]	[Symbol]
UNDERGROUND POWER LINE	[Symbol]	[Symbol]
UNDERGROUND TELEPHONE LINE	[Symbol]	[Symbol]
UNDERGROUND FUEL TANK	[Symbol]	[Symbol]
STEPS	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
TREES/SHRUBS	[Symbol]	[Symbol]
WOODED AREA	[Symbol]	[Symbol]
SOIL BORING	[Symbol]	[Symbol]
CBM TEST PIT	[Symbol]	[Symbol]
UTILITY TEST PIT	[Symbol]	[Symbol]
SWAYSE CONNECTION	[Symbol]	[Symbol]
PARKING SPACE COUNT	[Symbol]	[Symbol]
TRAVERSE STATION	[Symbol]	[Symbol]
FLY STATION	[Symbol]	[Symbol]
CONCRETE MONUMENT	[Symbol]	[Symbol]
BENCHMARK	[Symbol]	[Symbol]
CLEARING & GRADING LIMITS (LSD)	[Symbol]	[Symbol]
POWER & MISCELLANEOUS POLE	[Symbol]	[Symbol]
SDM	[Symbol]	[Symbol]
METERS: CABLE, ELEC, GAS, TELEPHONE, WATER	[Symbol]	[Symbol]

- SURVEY NOTES**
- 1) THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT THEREFORE NECESSARILY INDICATE ALL ENCUMBRANCES ON THE PROPERTY.
  - 2) THE LOT SHOWN HEREIN APPEARS TO PLIOT IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FEMA MAP # 510803020E EFFECTIVE DATE: SEPTEMBER 18, 2010.
  - 3) THE PROPERTY SHOWN HEREIN IS LOCATED ON TAX MAP # 077-4-01-0029A AND ZONED PRC.
  - 4) THIS PLAN REPRESENTS A CURRENT FIELD SURVEY BY B.M. SMITH & ASSOC. DATED 5/20/2011.
  - 5) TOPOGRAPHY SHOWN HEREIN IS A RESULT OF AERIAL TOPOGRAPHY DONE BY VIRGINIA RESOURCE MAPPING, 4/11/2011.
  - 6) THE SITE SHOWN HEREIN IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD SURVEY WHICH TIES THIS BOUNDARY TO THE FAIRFAX COUNTY GEOSPATIAL INFORMATION SYSTEM MONUMENT GPS 41, COMBINED SCALE FACTOR = 0.99994008.
  - 7) VERTICAL DATUM MDD (2011), 1' CONTOURS.
  - 8) BENCHMARK #1 IS IRON ROD WITH CAP SET FLUSH IN THE GRASS 5' SOUTH OF THE BACK OF CURB ALONG BURKE CENTRE PARKWAY, 30' WEST OF THE WESTERN MOST SCHOOL, ENTRANCE ALONG BURKE CENTRE PARKWAY, WITH AN ELEVATION OF 39.84M. BENCHMARK #2 IS AN IRON ROD WITH CAP SET FLUSH WITH GRASS, 3' SOUTH OF SIDE WALK, 7' EAST OF THE BACK OF CURB AT THE EASTERN MOST SCHOOL, ENTRANCE, WITH AN ELEVATION OF 37.61M.



**ADTEK**  
 Surveying & Mapping  
 11111 Lee Blvd, Suite 405  
 Fairfax, Virginia 22031  
 Phone: 703-691-4040 Fax: 703-691-4056  
 www.adtekinc.com

NO.	DATE	DESCRIPTION	ISSUE

**TERRA CENTRE ELEMENTARY SCHOOL**  
**STATE PROJECT # FAIRFAX, VA**  
**BRADDOCK DISTRICT**

**GENERAL NOTES**

SCALE: 1"=50'  
 DRAWN: KG  
 DATE: 3/14/2012  
 CHECKED: JS  
 PROJECT NUMBER: 1118.0001  
 DRAWING NUMBER: 2

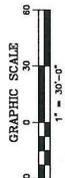
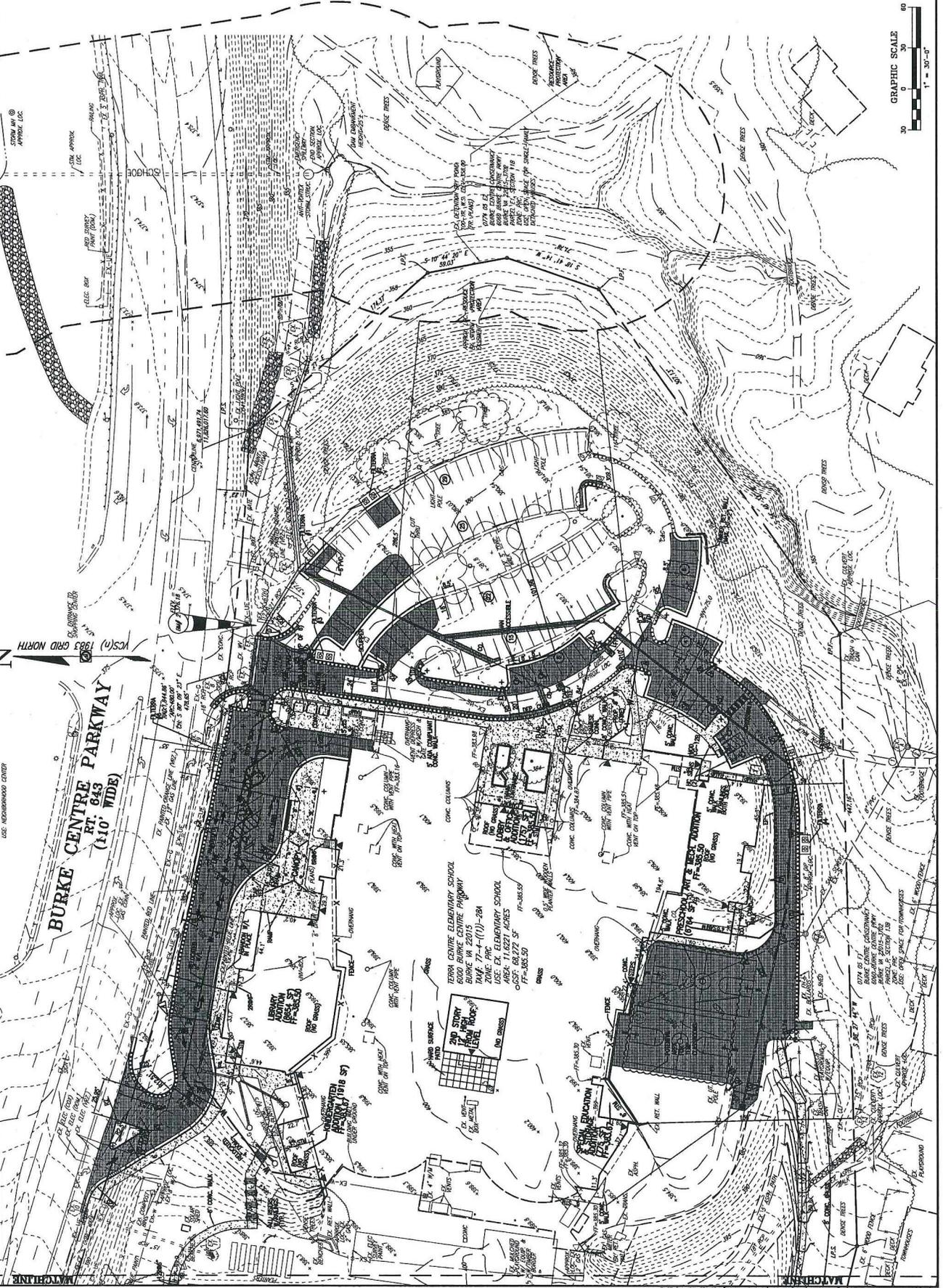




DATE: 1'-30"  
 SHEET NO. 55  
 CHECKED BY: 3/14/2012  
 NUMBER: 1118.0001  
 DRAWING NUMBER: 5

NO.	DATE	DESCRIPTION	ISSUE

**ADTEK**  
 2321 Old Lee Highway, Suite 405  
 Fairfax, Virginia 22030  
 Phone: 703-691-4040 Fax: 703-691-4056  
 www.adtekengineering.com





**OUTFALL FROM EXISTING POND  
FROM EXISTING 48" RCP**

BURKE TOWN CENTER

BURKE CENTRE PARKWAY  
(141' WIDE)

EXISTING  
VEGETATIVE  
ROOF

**BMP AND OUTFALL  
AREA MAP  
SCALE: 1"=60'**

**LEGEND:**  
EXISTING VEGETATIVE ROOF:   
F= FILTERRA  
CE= CONSERVATION EASEMENT

**Part 3: Compute the Total Phosphorus Removal for the Site**

Subarea Designation (1)	BMP Type (2)	Removal Eff. (%) (3)	Area (4)	'C' Factor Ratio (5)	Product (6)
On-Site Conservation Easement "A"	Conservation Esmnt	100	x 0.04	x 1.00	= 4.00
On-Site Conservation Easement "B"	Conservation Esmnt	100	x 0.03	x 1.00	= 3.45
On-Site Conservation Easement "C"	Conservation Esmnt	100	x 0.07	x 1.00	= 7.33
On-Site Rehabilitation Easement "D"	Rehabilitation Esmnt	70	x 0.02	x 1.00	= 1.63
On-Site Rehabilitation Easement "E"	Rehabilitation Esmnt	70	x 0.02	x 1.00	= 1.99
On-Site Rehabilitation Easement "F"	Rehabilitation Esmnt	70	x 0.02	x 1.00	= 1.27
Filterra #1	Filterra	55	x 0.03	x 1.50	= 2.49
Filterra #2	Filterra	55	x 0.03	x 1.50	= 2.49
Filterra #3	Filterra	55	x 0.04	x 1.50	= 3.48
Filterra #4	Filterra	55	x 0.04	x 1.40	= 2.79
Existing Vegetated Green Roof (Extension)	Vegetative Roof	40	x 0.15	x 1.70	= 10.14
(a) Total =					40.00

\*The PPM Table 6.3 Phosphorus Removal Efficiencies, Footnote #8: In applying the computational procedure in Chapter 4 of the Northern Virginia BMP Handbook to demonstrate compliance with the phosphorus removal requirement for the site, the "C" factor for pervious pavements and vegetated roofs should be set at 0.9 to correctly credit the phosphorus removal provided by these controls. This will result in a different weighted "C" factor than that used to compute stormwater runoff.

**NOTE: PHOSPHORUS REMOVAL COMPUTATIONS SUBJECT TO CHANGE WITH FINAL SITE PLAN SUBMISSION.**

**BMP NARRATIVE:**

THE PRE-DEVELOPMENT AND POST-DEVELOPMENT IMPERVIOUS AREAS FOR THIS SITE ARE 1.98 ACRES (86,249 SQUARE FEET) AND 2.81 ACRES (121,840 SQUARE FEET) WHICH IS A 0.83 ACRE (37,591 SQUARE FEET) INCREASE WHICH IS MORE THAN THE ALLOWABLE IMPERVIOUS INCREASE FOR REDEVELOPMENT (86,249 SQUARE FEET X 0.20 = 17,250 SQUARE FEET) THEREFORE THIS SITE HAS TO PROVIDE ANY IMPERVIOUS REDUCTION FOR PPM SECTION 6-401.2A SINCE THIS DEVELOPMENT DOES NOT MEET REDEVELOPMENT CRITERIA OF PPM SECTION 6-401.2A TO MEET WATER QUALITY REQUIREMENTS FOR THE SITE THERE WILL BE WATER QUALITY BEST MANAGEMENT PRACTICES (BMPs) PLACED IN VARIOUS PARKING AREAS, CONSERVATION EASEMENTS LOCATED ON THE PERIMETER OF THE SITE IN THE HEAVILY WOODS AREAS THAT WILL BE PERPETUALLY UNDISTURBED, RESTORATION EASEMENTS, ALONG WITH THE EXISTING VEGETATIVE SCHOOL ROOF. SEE MAP ON THIS SHEET.

**SWM NARRATIVE:**

TERRA CENTRE ELEMENTARY SCHOOL DETENTION POND LOCATED AT 8080 BURKE CENTRE PARKWAY, TAX MAP 77-4-(10)-12 (FAIRFAX COUNTY DETENTION POND # 300319) WHICH THE ENTIRE SCHOOL SITE DRAINS TO BY AN EXISTING STORM SYSTEM AND OVERLAND FLOWS LEADING INTO THIS POND. THIS POND WAS PART OF THE BURKE CENTRE PARKWAY 4 (BURKE COUNTY PLAN # 1919-09-004-2, PROJECT COMPLETE 3/17/1982) AND WAS DESIGNED FOR APPROXIMATELY 60.3 ACRES AT A C-FACTOR OF 0.55. THE PRE-DEVELOPMENT C-FACTOR IS 0.42 AND THE POST-DEVELOPMENT C-FACTOR IS 0.45 AND THEREFORE IT IS BELOW THE ORIGINAL DESIGN C-FACTOR OF THE POND AND NO ADDITIONAL DETENTION IS NEEDED FOR THE SCHOOL SITE. A DETENTION NUMBER (SEE LETTER BELOW) WILL BE APPLIED FOR THIS INCREASE BASED ON THE FACT THAT THERE IS A SMALL INCREASE IN THE C-FACTOR BUT IS BELOW THE ORIGINAL DESIGN C-FACTOR FOR THE POND AND THAT THE EXISTING POND DEPTH IS ADEQUATE.

**OUTFALL NARRATIVE:**

TERRA CENTRE ELEMENTARY SCHOOL IS AN EXISTING 11.6 ACRE SCHOOL SITE. THE SCHOOL IS LOCATED ON BURKE CENTRE PARKWAY (ROUTE 643) IN THE BRADDOCK DISTRICT (OFFICE BLDG INTERSECTIONS) AND IS FRONTED TO THE NORTH BY BURKE CENTRE PARKWAY AND BOUNDARIED TO THE SOUTH, EAST AND WEST BY BURKE CENTRE RESIDENTIAL DEVELOPMENTS. THE PROPOSED IMPROVEMENTS TO THE PROPERTY CONSIST OF HIGH-RESIDENCE BUILDING ADDITIONS WITH ASSOCIATED SIDEWALKS, PARKING AREAS, PLAY AREAS AND UTILITY IMPROVEMENTS. THE OVERALL SITE HAS AN EXISTING IMPERVIOUS AREA OF 1.98 ACRES, C-FACTOR OF 0.42. THE OVERALL SITE WITH THE PROPOSED DEVELOPMENT HAS AN IMPERVIOUS AREA OF 2.83 ACRES, C-FACTOR OF 0.45 (SEE SHEET 5). PER THE STORMWATER ANALYSIS ABOVE, THERE IS AN EXISTING OFF-SITE DETENTION POND WHICH THE ENTIRE 11.6 ACRE SCHOOL PROPERTY DRAINS TO WHICH WAS DESIGNED FOR 60.3 ACRES AT A C-FACTOR OF 0.55. THEREFORE SINCE THE POST-DEVELOPMENT C-FACTOR OF 0.45 IS LESS THAN THE DESIGN C-FACTOR OF 0.55 NO ON-SITE DETENTION IS NECESSARY. CONSEQUENTLY, THE POND IS THE POINT OF COMPLIANCE FOR ADEQUATE OUTFALL ANALYSIS SINCE THERE IS MORE THAN 50% OF THE SCHOOL PROPERTY DRAINING INTO THIS POND FROM THE SURROUNDING BURKE CENTRE RESIDENTIAL DEVELOPMENTS. THE POND OUTFALL IS AN EXISTING 48" CONCRETE PRE-CAST UNDERGROUND BURKE CENTRE PARKWAY THAT DISCHARGES INTO BURKWAY AND CONTINUES NORTH IN AN EXISTING STREAM. THE EXISTING 48" CONCRETE PIPE WAS DESIGNED FOR THE 10-YEAR OUTFALL FLOW FROM THIS POND IN WHICH THERE IS NO INCREASE IN RUNOFF FROM OUR SITE AND THE EXISTING STREAM CHANNEL SHOWED NO SIGNIFICANT SIGNS OF BODGON THEREFORE IT IS IN THIS ENGINEER'S OPINION THAT THIS OUTFALL IS ADEQUATE.

October 24, 2011

Mr. Jerry Stonefield, Chief, Stormwater and Geotechnical Section  
Environmental and Site Review Division  
Department of Public Works and Environmental Services  
12055 Government Center Parkway  
Fairfax, Virginia 22035  
(703) 264-1770

RE: Request for approval to use an Off-Site SWM Pond (PFM Section 6-300) for the Terra Centre Elementary School - Braddock District

Tax Map #: 77-4-(11)-28A  
Site Plan #: 3006-SP-002  
ADTEK Project No. 1118.0001

Dear Mr. Stonefield,

Our Client, Fairfax County Public Schools, is presently involved in plans to construct several building additions on the referenced site. Generally, the work includes construction of several building additions, upgrades to the existing parking lots, asphalt play areas and sidewalks and associated utilities.

There is an off-site dry pond at the east boundary line that was designed to capture the runoff from the entire school site and a portion of the surrounding residential developments. This off-site dry pond is the Burke Centre Parkway 4 Pond at Station 65+00 (see Sheet 20) located to the east of the site. We are requesting to use this regional SWM/BMP pond for SWM quantity control for the referenced project.

Justification for this request is based on the fact that this pond was designed for the entire school site. Runoff is directed to this off-site pond from the school site via overhead ditches leading into the pond. Per the approved Burke Centre Parkway 4 plan (P#2 2598; approved 6-1978) the dry-pond was designed for 60.3 acres at a C-Factor of 0.55 (see Sheet 20). The pre-development C-Factor for our 11.6 acre site is 0.42 (7.77 pervious acres, 1.98 impervious acres, 0.1 gravel acres and 1.77 acres of existing intensive green roof - see Sheet 19 for pervious maps). The post-development C-Factor for our 11.6 acre site is 0.47 (7.19 pervious acres, 2.73 impervious acres and 1.70 acres of existing intensive green roof - see Sheet 19 for post impervious map).

Based on the above we are requesting on the behalf of the Fairfax County Public Schools, that the referenced parcel can use continue to the off-site Burke Centre Parkway 4 Station 65+00 pond for stormwater detention.

**ADTEK**  
ENVIRONMENTAL ENGINEERING AND LANDSCAPE ARCHITECTURE  
3251 Old Lee Highway, Suite 405  
Fairfax, Virginia 22031  
Tel: 703-491-4556  
www.adtekva.com

NO.	DATE	DESCRIPTION	ISSUE

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TERRA CENTRE ELEMENTARY SCHOOL  
BRADDOCK DISTRICT  
BMP-SWM-ADEQUATE OUTFALL

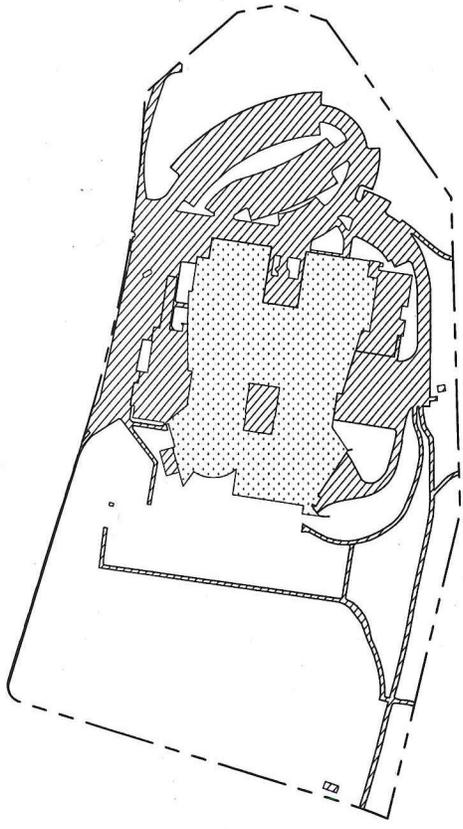
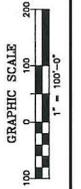
SCALE: AS NOTED  
DATE: 3/14/2012  
CHECKED BY: J.S.  
DRAWN BY: K.G.  
PROJECT NUMBER: 1118.0001  
DRAWING NUMBER: 7

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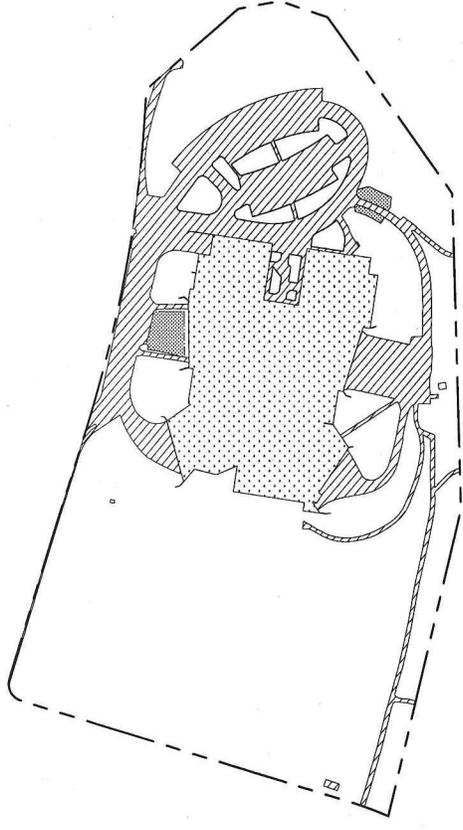
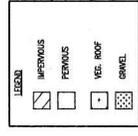
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PROJECT	1118.0001	NUMBER	8
BMP-IMPERVIOUS AREAS			
TERRA CENTRE ELEMENTARY SCHOOL			
STATE PROJECT # FAIRFAX, VA			
BRADDOCK DISTRICT			

NO.	DATE	DESCRIPTION

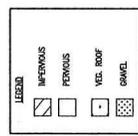
ADTEK ENGINEERING, INC. 3251 OLD LEE HIGHWAY, SUITE 405  
 FAIRFAX, VIRGINIA 22030  
 PHONE: 703-691-4040 FAX: 703-691-4056  
 WWW.ADTEKENGINEERING.COM



PROPOSED IMPERVIOUS MAP  
 SCALE 1"=40'



EXISTING IMPERVIOUS MAP  
 SCALE 1"=40'



**SWM-IMPERVIOUS ANALYSIS**  
 TERRA CENTRE ELEMENTARY SCHOOL IS AN EXISTING 11,629-SQ-FT SCHOOL SITE. EXISTING IMPERVIOUS AREAS ARE AS FOLLOWS:  
 CHANGES TO IMPERVIOUS AREA TOTAL:  
 REMOVING EXISTING CLASSROOM TRAILERS, ADDING BUILDING ADDITIONS, ADDING PAVING TO IMPERVIOUS AREA TOTAL.  
 RECONFIGURING ASSOCIATED DRIVEWAYS AND PATIOS.



TERRA CENTRE ELEMENTARY SCHOOL  
 BRADDOCK DISTRICT  
 STATE PROJECT # FAIRFAX, VA

DATE: 3/14/2012  
 SHEET NO. 10  
 PROJECT NO. 1118.0001  
 DRAWING NO. 10

PROJECT: TERRA CENTRE ELEMENTARY SCHOOL RENOVATION & ADDITION  
 6000 N. VALENTINE AVENUE  
 FAIRFAX, VA 22030

DATE: 3/14/2012  
 DRAWING NO. 10

NO. DATE DESCRIPTION

ISSUE

SCALE: N/A  
 REVISION: 10

ADTEK  
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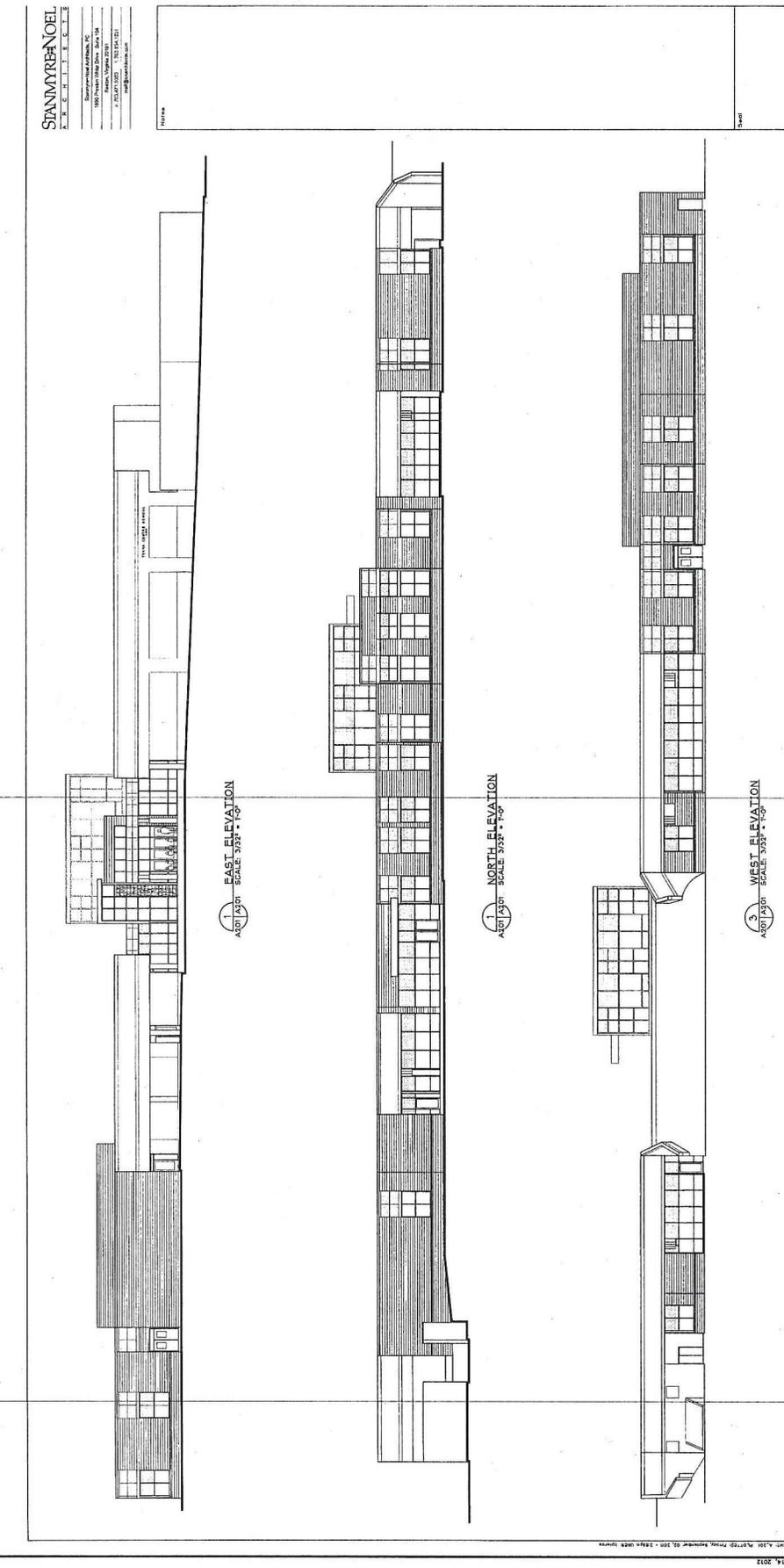
PROJECT: TERRA CENTRE ELEMENTARY SCHOOL RENOVATION & ADDITION  
 6000 N. VALENTINE AVENUE  
 FAIRFAX, VA 22030

SHEET TITLE: ELEVATIONS  
 Schematic Design Submission

Proj. No. 1118.0001  
 Drawn: [Blank]  
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 Plot Date: [Blank]

A201

NOT TO SCALE



**A GLOSSARY OF TERMS FREQUENTLY  
USED IN STAFF REPORTS WILL BE  
FOUND AT THE BACK OF THIS REPORT**

**DESCRIPTION OF THE APPLICATION**

**PRC-C-546-02**

Fairfax County Public Schools (FCPS) seeks approval of a Planned Residential Community (PRC) plan to allow for the construction of multiple building additions and site upgrades at the existing Terra Centre elementary school. Specifically, five separate additions (totaling 19,868 sf.) which consist of an administration/lobby area; a library addition; a pre-school classroom addition; a kindergarten classroom addition; expanded mechanical space; and a new roof access area from the gymnasium are proposed. The project also includes a reorganization of the existing parking area to accommodate a larger parent drop-off/pick-up area and additional parking spaces. Finally, the FCPS will also be expanding the hard-surfaced play areas and providing ramps to allow ADA access to the upper ballfields.

A reduced copy of the PRC plan is included at the front of this report. The proposed development conditions, and Statement of Justification are contained in Appendices 1 and 2, respectively.

**Waivers and Modifications:**

- Waiver of the barrier requirements along the southern property line in favor of the proposed planting plan indicated on the PRC Plan.
- Waiver of the trail requirements along Burke Center Parkway in favor of the existing condition indicated on the PRC Plan.

**LOCATION AND CHARACTER**

**Location:**

The 11.62 acre property is located at the southeast corner of Burke Centre Parkway and Pond Spice Lane, about ½ mile east of Roberts Parkway. The site currently has two access points onto Burke Centre Parkway, opposite the Burke Village Center shopping plaza.

**Site Description:**

The property is developed with the approximately 69,000 sf. earth-covered elementary school; accessory parking spaces; and sports fields. While a majority of the property has been cleared for the school, a wooded buffer rings the site to

the east, west, and south. An RPA and EQC area associated with a tributary to the Sideburn Branch of Pohick Creek is located at the far eastern end of the site.

**Surrounding Area Description:**

The site abuts The Ponds townhouses to the south and west and single family homes to the east. The Burke Village Center shopping plaza is located across Burke Centre Parkway to the north (see figure 1, below). A summary of the surrounding uses, zoning, and comprehensive plan recommendations is provided in the following table:

SURROUNDING AREA DESCRIPTION			
Direction	Use	Zoning	Plan
North	Retail	PRC	Burke Center: Village Center
South	Townhouses	PRC	Burke Center: Medium Density Residential
East	Single-Family Detached	PRC	Burke Center: Medium Density Residential
West	Townhouses	PRC	Burke Center: High Density Residential



**Figure 1: Aerial View of Site**

**BACKGROUND**

The site was developed with the elementary school in the early 1980s and has remained essentially unchanged since that time. The property has been subject to the following zoning applications:

- August 11, 1978, the BOS approved RZ C-546, subject to proffers and a Development Plan, which rezoned approximately 1,200 +/- acres from R-E to the RPC (now PRC) zoning district. The subject property was designated on the accompanying FDPA as a school site.
- The elementary school was constructed in 1980, pursuant to site plan #3006-SP-01-C-2, which included the 68,272 square foot earth-covered building; an open play-court; 66 parking spaces and four handicapped parking spaces.
- In May 2008, the school received a Non-Residential Use Permit for a 700 square foot temporary classroom trailer to be located at the south side of the building.

**COMPREHENSIVE PLAN PROVISIONS (Appendix 5)**

<b>Plan Area:</b>	III
<b>Planning District:</b>	Pohick
<b>Planning Sector:</b>	P-6 Middle Run
<b>Plan Map:</b>	Public Facility
<b>Plan Text:</b>	

The comprehensive plan makes no specific recommendations with regards to the school property other than to incorporate the development plan for Burke Center. The school is identified on the current Burke Center plan and there have been no revisions to the plan which have affected the school property since at least 1980. The relevant plan text can be found in Appendix 8.

**PRC PLAN ANALYSIS****Planned Residential Community Plan (PRC Plan)**

(Copy at front of report)

**Title of PRC Plan:** "Terra Centre Elementary School PRC Plan"

**Prepared By:** Martin Smith, PE of Adtek Engineers

**Original and Revision Dates:** March 14, 2012

**Number of Sheets:** 10

**Description of PRC Plan:*****Proposed Layout***

The PRC plan (Figure 2, below) shows the proposed additions situated around the periphery of the existing school building consisting of the following:

- 8,654 sf. library addition at the north side
- 6,764 sf. preschool addition at the south side
- 1,757 sf. lobby and office addition on the east side
- 775 sf. special education classroom and storage on the southwest side
- 1,918 sf. kindergarten classroom at the southwest side

Additionally, a second story stairwell penthouse is being added to provide direct access from the gymnasium to the playground area located on the "roof". In total, the building is being enlarged by 19,868 sf., resulting in a FAR of 0.17. The applicant is also proposing to add parking spaces and reconfigure the drop-off and pick-up area adjacent to Burke Centre Parkway. These improvements are discussed in greater detail below. Lastly, two basketball courts are being added at the south side of the school and ADA accessible walkways are being installed to provide access to the existing playing fields at the western end of the property.



Figure 2: Proposed Site Layout

**Access**

Access to the site will remain from the two curb cuts onto Burke Center Parkway; however, the internal circulation pattern for the drop-off and pick-up area is being reconfigured. The existing ingress-only western access point is being relocated approximately 50 feet to the west and widened to accommodate two-way traffic. During arrival and dismissal times cars utilizing the pick-up and drop-off lane will now be routed around a 180 degree turn and back out of the western access point. This will increase the on-site stacking by approximately 50% (to 35 cars) and help to reduce, but not eliminate, the number vehicles queuing in the turn lane along Burke Center Parkway. School bus pick-up and drop-off will continue to be along the east side of the school, adjacent to the main entrance.

**Parking**

In conjunction with the building improvements, the applicant is proposing to expand several sections of the existing parking area along the north and east sides. A total of 43 spaces are being added, which will bring the on-site parking capacity to 121 spaces. This is in conformance with the ordinance requirements for elementary schools (Par. 17 of Sec. 11-106) which requires no less than one space per staff member plus four for visitors, which equates to 116 spaces for Terra Centre, according to the applicant.

**Plantings and Open Space**

The Zoning Ordinance requires a minimum of 15% open space for the 11.62 acre site. Even with the proposed additions, the plan shows 71% would be provided. Although the property has been largely cleared to accommodate the school and accessory athletic fields, a wooded buffer of mature deciduous trees associated with an unnamed tributary of the Sideburn Branch of Pohick Creek is located at the far eastern end of the property. Additional narrow areas of mature vegetation are located along the southern and western property lines. The applicant is proposing to add additional evergreen trees (cedars, pines, and spruces) along the southern property line to improve the existing buffer from the adjacent townhomes.

**Stormwater Management:**

The site falls within the Pohick Creek Watershed. The stormwater management (SWM) narrative on Sheet 7 of the PRC plan indicates that stormwater for the site will be accommodated by an existing off-site stormwater management pond (located at 6060 Burke Center Parkway) that currently drains the entire school property via above grade ditches and subsurface piping. The applicant states that although 0.63 acres of additional impervious cover is being added to the site, the pond will continue to operate below its design capacity. Owing to this, the applicant has received a waiver from the on-site detention requirement (Appendix 6). In order to meet BMP requirements for phosphate removal, four water quality filterra are being installed. Final approval of the proposed stormwater management plan will be made by DPWES at the time of site plan review.

**Architecture and Design:**

All of the proposed additions will be conventional, above-grade structures. The elevations on Sheet 10 show modern structures with metal panels and generous fenestration. This design represents a departure from the existing earth-covered building but, according to the applicant, will address several concerns including inadequate natural lighting and awkward classroom space.

## **STAFF ANALYSIS**

### **Land Use/Environmental Analysis (Appendix 3)**

The expanded use of the site as an elementary school is consistent with the land use recommendations in the Comprehensive Plan (Appendix 8). The property has been continuously identified as a school site on the Burke Center development plan since the inception of the PRC district in 1978.

The property does contain a portion of an EQC and RPA along the eastern property line associated with an unnamed tributary to Sideburn Branch. No disturbance is proposed in this area and the applicant is proposing to create a conservation easement that will encompass the stream and the adjacent mature deciduous trees and steep slopes.

The addition of 0.63 acres of impervious surface represents a 31.8% increase over existing conditions. As this is greater than the 20% allowable increase per the Chesapeake Bay Preservation Ordinance (CBPO), the applicant is proposing to install four filterra to meet the 40% phosphorus removal requirement. A development condition has been proposed that requires final determination of the adequacy of the best management practices (BMP) by DPWES at the time of site plan review.

### **Urban Forest Management (Appendix 4)**

The Urban Forest Management Branch of DPWES reviewed the application and had several recommendations related to the transitional screening buffer, the replanting of trees, and plantings adjacent to the RPA.

### ***Transitional Screening***

Par. 1 of Sec. 13-302 of the Zoning Ordinance requires a 25 foot transitional screening buffer and barrier along the southern property line adjacent to the neighboring townhouses. As the existing vegetation in this area is thin and in only fair to poor condition, staff recommends that the applicant provide additional evergreen plantings to meet the requirements for a Transitional Screening-1 buffer (Par. 3A of Sec. 13-303).

### ***Resolution:***

A development condition has been proposed that will require the applicant to provide additional screening to the satisfaction of the Urban Forester in order to meet the intent of the Zoning Ordinance. Given the limited space, County staff supports a waiver of the barrier requirement, assuming sufficient plantings are provided.

***Replanting of Trees***

The Urban Forester recommended that any trees removed as a result of the reconfiguration of the pick-up/drop-off area and enlargement of the parking area be replaced elsewhere on site.

***Resolution:***

A development condition has been proposed that will require the replanting of any trees that are removed.

***Plantings adjacent to RPA***

In order to ameliorate the increased runoff into the RPA as a result of the proposed site improvements, the Urban Forester is recommending supplemental plantings of native shrubs and trees on the slope adjacent to it.

***Resolution:***

A development condition has been proposed that will require conformance with this recommendation to the satisfaction of the Urban Forester at the time of site plan review.

**Transportation Analysis (Appendix 5)**

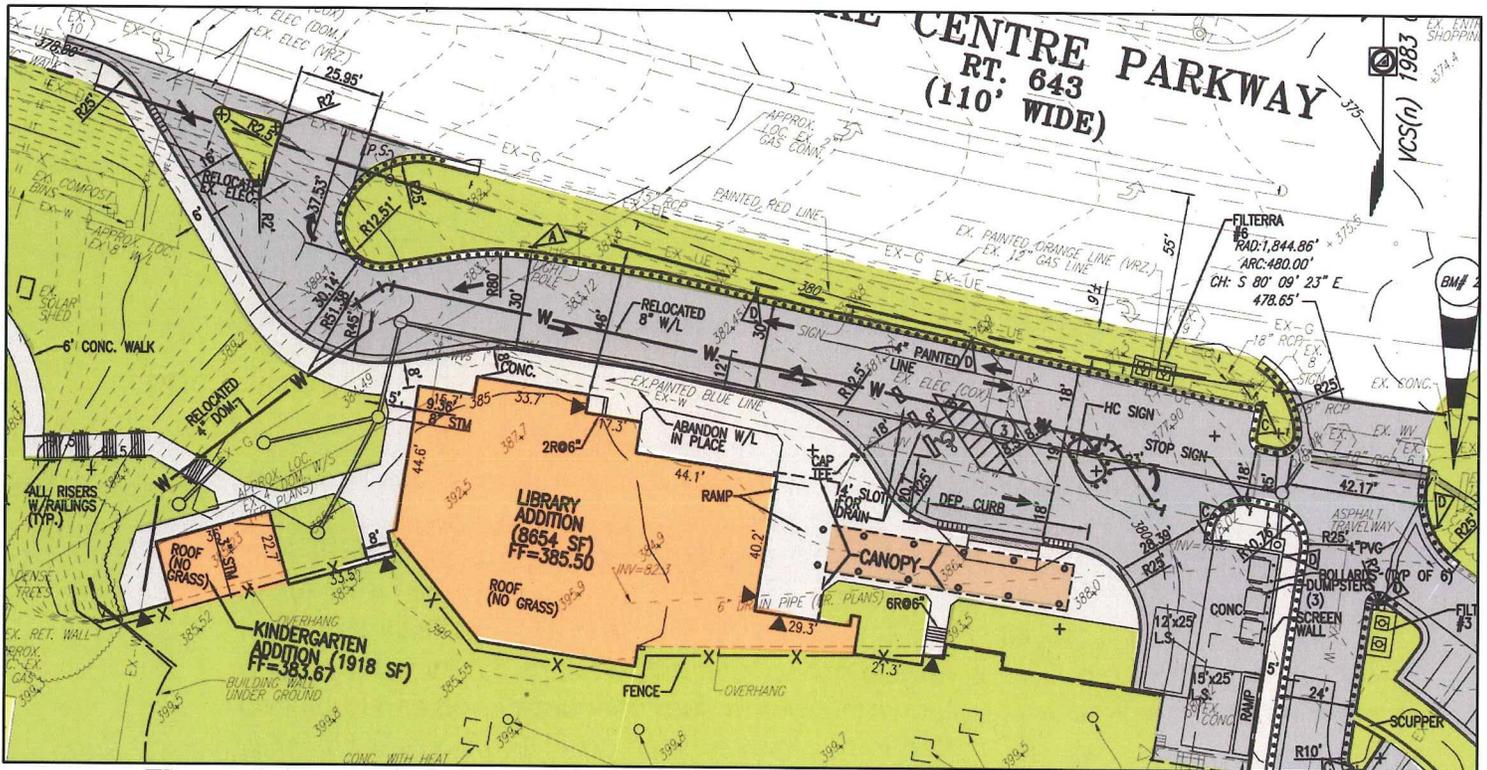
Fairfax County DOT and VDOT have reviewed the proposal and provided comments on the proposed re-configuration of the pick-up/drop-off area.

***Reconfigured pick-up and drop-off area***

In order to reduce the off-site stacking of cars in the turn lane on Burke Center Parkway, the applicant is proposing to enlarge the existing pick-up/drop-area along the north side of the school (Figure 3, below). Currently, this area can accommodate about 17 cars in a single lane. Vehicles enter at the western access point, travel single-file in an easterly direction and then exit at the eastern access point, back onto Burke Center Parkway. The new design shifts the western driveway opening to the west and converts it to a two-way access. Cars will now make a 180 degree turn after receiving or discharging passengers and then exit at the same point from which they arrived. The applicant states this layout will double on-site stacking capacity to about 35 cars. After an initial review, VDOT and County staff had concerns about the geometry and sight distance at the new two-way access point.

**Resolution:**

The applicant has redesigned the entrance/exit by shifting it farther to the west to allow for a more natural angle for cars exiting the site. VDOT and County staff have indicated the new design is acceptable. Final approval of the redesigned access point will be made at the time of site plan review. A development condition has been proposed that requires the applicant to continue to coordinate with VDOT and FCDOT on final engineering of new driveway.



**Figure 3: Expanded drop-off/pick-up area**

**Traffic Speeds along Burke Center Parkway**

At a community meeting convened by the Braddock District Supervisor, community members expressed general concerns about the high vehicle speeds along Burke Center Parkway. Some of these community members had also participated in a Burke Center Parkway Transportation Task Force over the past year. That group was responsible for the recently constructed sidewalk along Burke Center Parkway. The task force also formulated a series of other pedestrian safety recommendations including a flashing school sign; a school zone; or other means to improve safety. County Staff and VDOT acknowledge the legitimate concerns expressed by the residents and, in general, support further examination of measures to reduce speeds and improve safety in this location. However, the procedure to implement such measures generally occurs outside of the PRC land use process. Accordingly, a development condition is proposed that requires the applicant to continue to work with VDOT and FCDOT to implement the recommendations of the Burke Center Parkway task force.

**Stormwater Management (Appendix 6)**

According to the applicant's BMP narrative and adequate outfall analysis on Sheet 7 of the PRC plan, the existing off-site stormwater pond (Burke Regional Pond #4) will continue to be utilized to accommodate the increased run-off from the school property. The increase in impervious cover triggers a requirement for BMP that will reduce the phosphorous content of the run-off by 40%. The applicant is proposing to meet this through the installation of four filterra (water quality filters) and the continued use of the vegetative roof and the conservation easements for the existing wooded areas. A development condition has been proposed that requires DPWES approval of the existing stormwater management system and proposed BMP at the time of site plan review.

**Park Authority (Appendix 7)**

The Park Authority reviewed the application and has no issues with the proposal.

**ZONING ORDINANCE PROVISIONS (Appendix 9)****P-District Standards**

The PRC District regulations are designed to permit greater flexibility in site design by removing many of the restrictions of conventional zoning. According to the Purpose and Intent of the PRC District as stated in the Zoning Ordinance, the flexibility is intended to provide an opportunity and incentive to achieve excellence in physical, social, and economic planning. Once a rezoning to the PRC District is approved, a PRC Plan is required for each proposed development. At every step of the planning and design process (including the review of the PRC Plan), the applicant must demonstrate conformance with the PRC objectives, which are contained in the Purpose and Intent section of the PRC District provisions in the Zoning Ordinance (Sect. 6-301), as well as the P-District Standards, including the General and Design Standards (Sects. 16-101 and 16-102).

**6-301 PRC District Purpose and Intent**

*Objective 1: A variety of housing types, employment opportunities and commercial services to achieve a balanced community for families of all ages, sizes and levels of income.*

A public elementary school is consistent with this objective

*Objective 2: An orderly and creative arrangement of all land uses with respect to each other and to the entire community.*

The proposed additions represent a departure from the existing design of the building; however, they are arranged and oriented logically based on the programmatic needs of the school. With sufficient screening, the visual effect of the addition on the south side of the building adjacent to the townhouses can be softened. As such, this objective has been met.

*Objective 3: A planned and integrated comprehensive transportation system providing for a separation of pedestrian and vehicular traffic, to include facilities such as mass transportation, roadways, bicycle or equestrian paths and pedestrian walkways.*

The reconfigured drop-off/pick-up area will improve vehicle circulation at the school site. The addition of ADA accessible walkways will improve pedestrian access to the ballfields. The proposal is consistent with the intent of this objective.

*Objective 4: The provision of cultural, educational, medical, and recreational facilities for all segments of the community.*

A public elementary school is consistent with this objective.

*Objective 5: The location of structures to take maximum advantage of the natural and manmade environment.*

The proposed additions are located in the most logical locations at existing entrances, considering the unique layout of the school building. While they will be more visible than the existing earth-covered structure, any negative affect on surrounding residences can be mollified through effective screening.

*Objective 6: The provision of adequate and well-designed open space for the use of all residents*

According to the tabulations included on the PRC Plan, approximately 71% of the site will be open space, which includes the roof of the school. As a public elementary school, the grounds are open to the public outside of school hours, subject to FCPS regulations.

*Objective 7: The staging of development in a manner, which can be accommodated by the timely provision of public utilities, facilities, and services.*

The subject site is located in an area where all public utilities and services are located and adequate, including fire service, sanitary sewer, and water service. Therefore, this objective has been met.

### **Section 16-101 General Standards**

*General Standard 1* states that the planned development shall substantially conform to the adopted comprehensive plan with respect to type, character, intensity of use, and public facilities. Planned developments shall not exceed the density or intensity permitted by the adopted comprehensive plan, except as expressly permitted under the applicable density or intensity bonus provisions. The subject site has been identified as a school site since the adoption of the PRC district and original development plan in 1978. As such, this standard is met.

*General Standard 2* states that the planned development shall be designed so that it will result in a development achieving the stated purpose and intent of the planned development district more than would development under a conventional zoning district. A public elementary school is consistent with goals of the PRC district.

*General Standard 3* states that the planned development shall efficiently utilize the available land, and shall protect and preserve to the extent possible all scenic assets and natural features such as trees, streams and topographic features. The proposed additions and site improvements are all occurring in areas already disturbed by the original construction of the school. No disturbance is proposed for the RPA or EQC located in the eastern portion of the property.

*General Standard 4* states that the planned development shall be designed to prevent substantial injury to the use and value of existing surrounding development, and shall not hinder, deter or impede development of surrounding undeveloped properties in accordance with the adopted comprehensive plan. With the inclusion of the sufficient vegetative screening along the southern property line, staff believes this standard has been met.

*General Standard 5* states that the planned development shall be located in an area in which transportation, police and fire protection, other public facilities and public utilities, including sewerage, are or will be available and adequate for the uses proposed; provided, however, that the applicant may make provision for such facilities or utilities which are not presently available. The subject property is located in an area where all the identified public facilities and utilities are currently available. Therefore, this standard has been met.

*General Standard 6* states that the planned development shall provide coordinated linkages among internal facilities and services as well as connections to major external facilities and services at a scale appropriate to the development. The property is already connected to the surrounding neighborhoods by asphalt trails and on-road sidewalk. As such this standard has been met.

**Section 16-102 Design Standards**

*Design Standard 1* states that in order to complement development on adjacent properties, at all peripheral boundaries of the planned development district, the bulk regulations and landscaping and screening provisions shall generally conform to the provisions of that conventional zoning district which most closely characterizes the particular type of development under consideration. The subject property is not located near the boundary of the PRC District; all of the surrounding properties are zoned PRC. However, screening is recommended and proposed along the southern property line.

*Design Standard 2* states that other than those regulations specifically set forth in Article 6 for a particular P district, the open space, off street parking, sign and all other similar regulations set forth in the Ordinance shall have general application in all planned developments. The proposed application generally satisfies these regulations. Based on the parking requirements for elementary school on the site, 116 parking spaces are required per the Zoning Ordinance standards. The PRC Plan proposes to provide 121 parking spaces. There is no open space requirement in the PRC District; however, the site layout depicts 71% of the overall site as open space. Therefore, this standard has been met.

*Design Standard 3* states that streets and driveways shall be designed to generally conform to the provisions set forth in the Ordinance and all other County ordinances and regulations controlling same, and where applicable, street systems shall be designed to afford convenient access to mass transportation facilities. In addition, this standard states that a network of trails and sidewalks shall be coordinated to provide access to recreational amenities, open space, public facilities, vehicular access routes, and mass transportation facilities.

Access to the site will continue to be provided via two curb cuts on Burke Center Parkway. The western access point is being converted to a two-way configuration to improve pick-up and drop-off operations. Burke Centre has an extensive network of open space and trails. The site is already connected to the surrounding neighborhood by this network of pedestrian pathways. Access to mass transit is not an imperative consideration for an elementary school. Therefore, this standard has been met.

**Waivers/Modifications:****Waiver of the Barrier Requirement along the southern property line.**

The applicant has requested a waiver of the barrier requirement along the southern property line adjacent to the neighboring townhouses. Given the limited space in this location and the applicant's commitment to provide effective naturalized transitional screening (Transitional Screening-1, per the zoning ordinance), staff supports the waiver request.

### Waiver of the trails Requirement along Burke Center Parkway.

The County trails plan calls for a sidewalk along Burke Center Parkway but does not specify which side of the street. A sidewalk already exists on the north side of the roadway and a sidewalk was recently constructed on the south side from Pond Spice Lane east to the western driveway of the school. The area to the east of the school's eastern driveway is constrained by steep slopes and mature vegetation that would make trail construction difficult. Given the existing pedestrian connections to the adjacent residential community already in place, staff supports the waiver request.

## **CONCLUSIONS AND RECOMMENDATIONS**

### **Staff Conclusions**

The Fairfax County Public Schools seeks approval of a Planned Residential Community plan to allow for the construction of multiple building additions and site upgrades at the existing Terra Centre elementary school. The project also includes a reorganization of the existing parking area to accommodate a larger student drop-off/pick-up area and additional parking spaces. Finally, the FCPS will also be expanding the hard-surfaced playing areas and providing ramps to allow ADA access to the upper ballfields. The proposal is consistent with the purpose and intent, general standards, and design standards of the PRC district.

It is the opinion of Staff that, with the adoption of development conditions, the proposed PRC plan to allow the building additions and site improvements to Terra Center Elementary School is in harmony with the Comprehensive Plan and Zoning Ordinance.

### **Staff Recommendations**

Staff recommends approval of PRC-C-546-02, subject to the proposed development conditions contained in Appendix 1.

Staff recommends a waiver of the barrier requirements along the southern property line in favor of the plantings shown on the PRC plan.

Staff recommends a waiver of the trail requirements along Burke Center Parkway in favor of the existing condition indicated on the PRC Plan.

**APPENDICES**

1. Proposed Development Conditions PRC-C-546-02
2. Statement of Justification
3. Land Use and Environmental Analysis
4. Urban Forest Management Analysis
5. Transportation (FCDOT and VDOT) Analysis
6. Stormwater Management Analysis
7. Park Authority Analysis
8. Comprehensive Plan Citations
9. Zoning Ordinance Provisions
10. Glossary

## PROPOSED DEVELOPMENT CONDITIONS

PRC-C-546-02

April 10, 2012

If it is the intent of the Board of Supervisors to approve PRC-C-546-02 located at 6000 Burke Centre Parkway, (Tax Map 77-4 ((1)) 28A) to permit building additions to the existing elementary school, pursuant to Sect. 16-203 of the Fairfax County Zoning Ordinance, staff recommends that the Board condition the approval by requiring conformance with the following development conditions, which supersede all previous conditions:

1. This Planned Residential Community (PRC) Plan approval is granted for and runs with the land indicated in this application and is not transferable to other land.
2. This Planned Residential Community (PRC) Plan approval is granted only for the purpose(s), structure(s) and/or use(s) indicated on the PRC plan submitted with the application, as qualified by these development conditions.
3. This PRC plan is subject to the provisions of Article 17, Site Plans, as may be determined by the Director, Department of Public Works and Environmental Services (DPWES). Any plan submitted pursuant to this PRC plan approval shall be in substantial conformance with the approved Planned Residential Community Plan entitled "Terra Centre Elementary School Renovations and Building Additions" prepared by Adtek Engineers, consisting of ten sheets dated March 14, 2012 and these conditions. Minor modifications to the approved PRC plan may be permitted pursuant to Par. 4 of Sect. 16-403 of the Zoning Ordinance.
4. Parking shall be provided in accordance with the Zoning Ordinance and consistent with the tabulations on the PRC plan, subject to DPWES approval. Handicapped parking shall be provided in accordance with Code requirements. All parking spaces shall be of a size and the aisles of a width which will meet Public Facilities Manual standards as determined by DPWES; all parking shall be on site.
5. Stormwater Best Management Practices (BMP) shall be provided as determined by DPWES at the time of site plan review and shall be in conformance with Public Facilities Manual standards.
6. In order to mitigate the effects of increased stormwater runoff into the Resource Protection Area associated with the tributary to Sideburn Branch, supplemental plantings of native shrubs and trees shall be planted on and adjacent to sloped area to the west of the stream. The choice and arrangement of such plantings shall be subject to the approval of the Urban Forest Management Division of DPWES.

7. In order to soften the visual effect of the proposed building additions and site improvements, the applicant shall provide transitional screening where feasible along the southern property line equivalent to a Transitional Screening 1 in the Zoning Ordinance. The choice and arrangement of plantings shall be subject to the approval of the Urban Forest Management Division of DPWES.
8. Any trees removed as part of the construction of the building additions or site improvements shall be replaced elsewhere on-site to the extent feasible. The location of such plantings shall be at the discretion of the Urban Forest Management Division of DPWES.
9. All plantings shall be shown on a Landscape Plan which shall be provided to the Urban Forest Management (UFM) for review and approval at the time of site plan review. All plantings shall be continually maintained. Dead or dying plants shall be replaced with like-kind plants.
10. Final design and engineering of the internal site circulation improvements and access points to Burke Center Parkway shall be conducted in coordination with and to the satisfaction of the Fairfax County Department of Transportation.
11. The applicant shall continue to coordinate with the Burke Center Parkway Transportation Taskforce and the Virginia Department of Transportation on the implementation of measures to improve safety and reduce vehicular speeds along Burke Center Parkway at Terra Centre Elementary School, including, but not limited to, signage, pavement marking, the installation of school zone flashing devices such as a "wink-o-matic", and/or the creation of a school speed zone.
12. All signage shall be in conformance with Article 12 of the Zoning Ordinance.

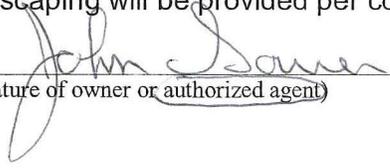
The above proposed conditions are staff recommendations and do not reflect the position of the Board of Supervisors unless and until adopted by that Board.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The applicant shall be himself responsible for obtaining the required Non-Residential Use Permit through established procedures, and this PRC plan approval shall not be valid until this has been accomplished.

**TERRA CENTRE STATEMENT OF JUSTIFICATION**

The proposed scope of work involves renovation of the existing school which consists of a large one story approximately 68,000 square foot earth sheltered structure that is buried into a hill on the west side of the site, constructing five small additions (administration/lobby addition, classroom addition, library/entrance addition, kindergarten addition and a new roof access) to meet program requirements and will add approximately 20,000 square feet to the school. The additions will be conventionally constructed and will not be earth covered. The height and materials of the additions will be constructed to match and/or complement existing materials.

In addition to the building construction, site upgrades will include an expanded kiss and ride drop off area that will be accessed by a new right turn in right turn out entrance. The existing kiss and ride accommodates approx. 15 cars on site before the stacking builds up into the right turn lane of Burke Centre Parkway. The proposed condition will allow for the stacking of approx. 35 cars on site. The bus drop off will remain in the existing location with it's access into the main school entrance and drop off and pick up at the main entrance. The new improvements will provide a separated ingress and egress for buses and kiss and ride. Also provided will be additional parking, a new ADA access to the upper play fields and expanded hard surface play area. Stormwater management will be provided to meet the County ordinances and new landscaping will be provided per code requirements.

  
\_\_\_\_\_  
(signature of owner or authorized agent)

2/23/12  
\_\_\_\_\_  
(date)

**RECEIVED**  
**Department of Planning & Zoning**  
**FEB 24 2012**  
**Zoning Evaluation Division**



# County of Fairfax, Virginia

## MEMORANDUM

DATE: March 8, 2012

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division, DPZ

**FROM:** Pamela G. Nee, Chief *PAN*  
Environment and Development Review Branch, DPZ

**SUBJECT:** Environmental Assessment: PRC 77-C-546  
Terra Centre Elementary School

This memorandum includes citations from the Comprehensive Plan that provide guidance for the evaluation of the subject application Planned Residential Community (PRC) 77-C-546, and the revised February 24, 2012. The extent to which the application conforms to the applicable guidance contained in the Comprehensive Plan is noted. Possible solutions to remedy identified issues are suggested.

### COMPREHENSIVE PLAN CITATIONS:

Fairfax County Comprehensive Plan, 2011 Edition, Policy Plan, Environment, as amended through July 27, 2010, pages 7-9, the Plan states:

- “Objective 2: Prevent and reduce pollution of surface and groundwater resources. Protect and restore the ecological integrity of streams in Fairfax County.**
- Policy a. Maintain a best management practices (BMP) program for Fairfax County and ensure that new development and redevelopment complies with the County’s best management practice (BMP) requirements. . . .
- Policy k. For new development and redevelopment, apply better site design and low impact development (LID) techniques. . . .
- Encourage the use of innovative BMPs and infiltration techniques of stormwater management where site conditions are appropriate,

Department of Planning and Zoning  
Planning Division  
12055 Government Center Parkway, Suite 730  
Fairfax, Virginia 22035-5509  
Phone 703-324-1380  
Fax 703-324-3056  
[www.fairfaxcounty.gov/dpz/](http://www.fairfaxcounty.gov/dpz/)



if consistent with County requirements.

- Apply nonstructural best management practices and bioengineering practices where site conditions are appropriate, if consistent with County requirements. . . .
- Maximize the use of infiltration landscaping within streetscapes consistent with County and State requirements. . . .

Development proposals should implement best management practices to reduce runoff pollution and other impacts. Preferred practices include: those which recharge groundwater when such recharge will not degrade groundwater quality; those which preserve as much undisturbed open space as possible; and, those which contribute to ecological diversity by the creation of wetlands or other habitat enhancing BMPs, consistent with State guidelines and regulations.”

Fairfax County Comprehensive Plan, 2011 Edition, Policy Plan, Environment, as amended through July 27, 2010, page 10, the Plan states:

**“Objective 3: Protect the Potomac Estuary and the Chesapeake Bay from the avoidable impacts of land use activities in Fairfax County.**

Policy a. Ensure that new development and redevelopment complies with the County's Chesapeake Bay Preservation Ordinance. . . .”

The Fairfax County Comprehensive Plan, Policy Plan, 2011 Edition, Environment section as amended through July 27, 2010, page 18, the Plan states:

**“Objective 10: Conserve and restore tree cover on developed and developing sites. Provide tree cover on sites where it is absent prior to development.**

Policy a: Protect or restore the maximum amount of tree cover on developed and developing sites consistent with planned land use and good silvicultural practices.

Policy b: Require new tree plantings on developing sites which were not forested prior to development and on public rights of way.”

## ENVIRONMENTAL ANALYSIS

This section characterizes the environmental concerns raised by an evaluation of this site and the proposed land use. Solutions are suggested to remedy the concerns that have been identified by staff. There may be other acceptable solutions.

**Background:**

The Terra School was originally built in 1980. This application requests approval to make improvements to the existing school which is built into a hillside. The proposed improvements include the following:

- expansion of the school entrance along Burke Centre Parkway to allow for more efficient school bus queuing and safer student drop off area which are ADA accessible;
- enhances walkways around and constructed to be ADA accessible;
- construction of five conventional constructed additions;
- a new roof access;
- two basketball courts, and
- 43 additional parking spaces for a total of 121 parking spaces.

**Stormwater Management/Adequate Outfall:** The 11.62 acre subject property is located south of Burke Centre Parkway and within the Pohick Creek Watershed. The school is situated atop a hill and the topography drops off dramatically to the east, south and west around the site. A Resource Protection Area (RPA) and Environmental Quality Corridor (EQC) associated with Sideburn Branch traverses in a north south direction on the east side of the subject property. No disturbance is proposed in this area.

The stormwater management narrative for this application indicates that the stormwater quality and quantity control requirements for the existing development, as well as for the proposed redevelopment are accommodated by an existing stormwater management dry pond which is located east, north east of the subject property across Burke Centre Parkway. Runoff from the site flows through a culvert under the roadway to the pond. The pond was originally designed thirty or more years ago to accommodate the school site. The agent for the applicant is seeking approval for the additional runoff from this proposed re-development to be accommodated by the pond.

This proposal represents an increase of 27,443 square feet of new impervious surface. Pre-development imperviousness is 1.98 acres and post-development imperviousness is 2.61 acres resulting in an overall net increase of .63 acre which is more than the 20% allowable increase in imperviousness under the County's Chesapeake Bay Preservation Ordinance (CBPO). Therefore, the consulting engineer proposes to meet the 40% phosphorous removal requirement for water quality by proposing 5 filterra placed in various locations throughout the parking lot and three conservation easement areas have been identified for protection into perpetuity in an undisturbed state. The adequacy of any proposed SWM/BMP facilities and outfall measures will be subject to review and approval by the Department of Public Works and Environmental Services.

**Tree Restoration:** The proposed improvements along the Burke Centre Parkway frontage will result in tree loss. The applicant is encouraged to provide an amount of tree restoration equivalent to the amount of trees which will be removed for the proposed improvements.

Barbara Berlin  
PRC-C-546-02  
Page 4

**COUNTYWIDE TRAILS MAP:**

The Countywide Trails Plan Map depicts a major paved trail along Burke Centre Parkway; however, the side of the street is not specified.

PGN: MAW

## FAIRFAX COUNTY, VIRGINIA

## MEMORANDUM

**TO:** Brent Krasner, Staff Coordinator  
Zoning Evaluation Division, DPZ

**DATE:** February 10, 2012

**FROM:** Jessica G. Strother, Urban Forester II  
Forest Conservation Branch, UFMD, LDS, DPWES

**SUBJECT:** Terra Centre Elementary School, PRC-C-546-02

**RE:** Your Request for Comments and Recommendations- **Preliminary Response**

This review is provided in connection with the Application and Plan layout sheets received by the Department of Planning and Zoning (DPZ). I was not able to attend the pre-staffing, but did forward the following comments to you for use in that meeting.

Formal comments will be provided at your request. Please advise on the future staffing.

1. **Comment:** There is quite a bit of existing mature tree canopy being removed in order to accommodate the proposed driveway and re-alignment of a portion of the front parking area.
2. **Recommendation:** To the greatest extent possible, the Application Plan should be revised to provide the canopy that is removed. Deciduous and evergreen trees located in areas that will not conflict with the existing and proposed infrastructure should be provided.
3. **Comment:** In a portion of the rear of the school a new driveway and additional parking will be located close to an extension of the Resource Protection Area (RPA). There will be increased run-off of stormwater into the RPA and nearby extension of it.
4. **Recommendation:** Supplemental plantings of native shrubs and trees should be provided on the slope adjacent to this area. The Application Plan should be revised.
5. **Comment:** Transitional screening is required in the rear portion of the school adjacent to the proposed driveway and parking. Supplemental plantings should be provided on the Application Plan. The required barrier does not appear to be provided.  
**Recommendation:** The Application Plan should be revised to address transitional screening and associated barriers.



# County of Fairfax, Virginia

## MEMORANDUM

DATE: February 29, 2012

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division  
Department of Comprehensive Planning

**FROM:** Angela Kadar Rodeheaver, Chief   
Site Analysis Section  
Department of Transportation

**FILE:** 3-4 (RZ-C-546-02)

**SUBJECT:** Transportation Impact

**REFERENCE:** PRC-C-546-02; Fairfax County Public Schools  
(Terra Center Elementary School); Traffic Zone: 1582  
Land Identification Map: 77-4 ((01)) 28A

Transmitted herewith are comments from the Department of Transportation with respect to the referenced application. These comments are based on the plan dated November 27, 2011.

The applicant proposes retention of the existing PRC zoning, to renovate the existing school, construct five small additions, and provide a classroom addition and library addition.

This department provides the following comments:

- The site's parking, including the kiss-n-ride stacking should all be on-site.
- A redesign with the kiss-n-ride access relocated further towards Pond Spice Lane is to be examined.
- The Applicant should provide contiguous sidewalk along the site on Pond Spice Lane and Burke Center Parkway.

The following are VDOT comments from their memo dated January 12, 2012.

- The western entrance should remain one-way inbound only. There does not appear to be any need for two-way traffic at this entrance. The on-site circulation and travel aisle width at the eastern entrance do not meet the requirements for two-way use. The depth and angle of the western entrance also are not acceptable for two-way traffic.
- The access from the front of the building to the eastern entrance travel aisle should be moved further south, away from the entrance connection to the public street.

AKR/ak cc: Michele Brickner, Director, Design Review, DPW & ES

Fairfax County Department of Transportation  
4050 Legato Road, Suite 400  
Fairfax, Virginia 22033-2898  
Phone: (703) 877-5600 TTY: 771  
Fax: (703) 877 5723  
[www.fairfaxcounty.gov/fcdot](http://www.fairfaxcounty.gov/fcdot)





COMMONWEALTH of VIRGINIA  
DEPARTMENT OF TRANSPORTATION

GREGORY A. WHIRLEY  
COMMISSIONER

4975 Alliance Drive  
Fairfax, VA 22030

January 12, 2012

**To:** Ms. Barbara Berlin  
Director, Zoning Evaluation Division

**From:** Kevin Nelson  
Virginia Department of Transportation – Land Development Section

**Subject:** PRC-C-546-02 Fairfax County Public Schools  
Tax Map # 77-4((01))0028A

All submittals subsequent to the first submittal shall provide a response letter to the previous VDOT comments. Submittals without comment response letters are considered incomplete and will be returned without review.

I have reviewed the above plan submitted on December 16, 2011, and received December 21, 2011. The following comments are offered:

1. The western entrance should remain One Way inbound only. There does not appear to be any need for two way traffic at this entrance. The on site circulation and travel aisle width at the eastern entrance do not meet the requirements for two way use. The depth and angle of the western entrance also are not acceptable for two way traffic.
2. The access from the front of the building to the eastern entrance travel aisle should be moved further south, away from the entrance connection to the public street.

If you have any questions, please call me.

cc: Ms. Angela Rodeheaver  
fairfaxspex2011-PRC-C-546-02se1FxCoPubSchools1-12-12BB



# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** March 1, 2012

**TO:** Brent Krasner, Staff Coordinator  
Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Durga Kharel, Stormwater Engineer, Central Branch  
Site Development & Inspection Division (SDID)  
Department of Public Works and Environmental Services

**SUBJECT:** Planned Residential Community Application #PRC-C-546-02, Terra Centre Elementary School, PRC plan dated November 21, 2011, LDS Project #3006-ZONA-001-1, Tax Map #077-4-01-0028A, Braddock District

We have reviewed the subject application and offer the following stormwater management comments.

#### Chesapeake Bay Preservation Ordinance (CBPO)

There is a small Resource Protection Area (RPA) at eastern property boundary of this site. The plat does not propose any encroachment into the RPA.

Water quality controls are required for this project. Sheet 7 states that controls will be provided by four (4) filterstrips, conservation easements, reforestation easements and existing vegetative roof. A PFM modification approval for the use of existing vegetative roof has already been obtained from the SDID. PFM modification has allowed only 25% phosphorus removal efficiency for the existing vegetative roof; hence more BMP measures are needed to meet the 40% phosphorus target.

#### Floodplain

There are no regulated floodplains on the property.

#### Downstream Drainage Complaints

There are no downstream drainage complaints on file.

#### Stormwater Detention

A waiver of the requirement to provide on-site stormwater detention facilities on the subject project is approved by SDID because the stormwater runoff from this site is captured and detained in Burke Centre Regional Pond No. 4. As conditioned, a demonstration of adequate outfall meeting PFM requirements will be required at site plan submission (PFM 6-0203 & 6-0204.1).

St. Clair Williams, Staff Coordinator  
Planned Residential Community Application #PRC A-502-02, Fairway I and II  
April 21, 2011  
Page 2 of 2

Site Outfall

An outfall narrative has been provided. A demonstration of adequate outfall meeting PFM requirements will be required at site plan submission (PFM 6-0203 & 6-0204.1).

These comments are based on the 2011 version of the Public Facilities Manual (PFM). A new stormwater ordinance and updates to the PFM's stormwater requirements are being developed as a result of changes to state code (see 4VAC50-60 adopted May 24, 2011). The site plan for this application may be required to conform to the updated PFM and the new ordinance.

Please contact me at 703-324-1720 if you require additional information.

DK/

cc: Judy Cronauer, Chief, Central Branch, SDID, DPWES  
Don Demetrius, Chief, Watershed Evaluation Branch, SPD, DPWES  
Fred Rose, Chief, Watershed Planning & Assessment Branch, SPD, DPWES  
Zoning Application File



# County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

FEB 28 2012

Christopher Heiser, P.E., LEED AP BD+C  
ADTEK Engineers  
3251 Old Lee Highway, Suite 405  
Fairfax, Virginia 22030

Subject: Terra Centre Elementary School; Project #003006-SP-002; Tax Map #077-4-01-00-0028-A; Braddock District

Reference: Stormwater Detention Waiver #003006-WSWD-001-1

Dear Mr. Heiser:

A waiver of the requirement to provide on-site stormwater detention facilities on the subject project is hereby approved, subject to the following conditions:

1. A detailed analysis of each site outfall shall be incorporated into the subject plan to ensure that adequate measures are provided to prevent erosion of the outfall due to the increase in runoff from the subject project.
2. In the event that any outfall channel shows signs of erosion due to development of the site, the project bond will not be released until the channel is adequately stabilized.

There is sufficient justification to approve this waiver as conditioned, because the stormwater runoff from this site is captured in Burke Centre Regional Pond No. 4.

This waiver in no way relieves you of any proffer, or other County drainage requirement, including adequacy of outfall and pro-rata share payments. Compliance with the Chesapeake Bay Preservation Ordinance is also required.

This waiver shall automatically expire, without notice, 24 months after the date of this letter, unless the subject plan has been approved.

Please ensure that a copy of this letter is made a part of the subject plan.

---

Department of Public Works and Environmental Services  
Land Development Services, Site Development and Inspection Division  
12055 Government Center Parkway, Suite 535  
Fairfax, Virginia 22035-5503  
Phone 703-324-1720 • TTY 703-324-1877 • FAX 703-324-8359



Christopher Heiser, P.E., LEED AP BD+C  
Stormwater Detention Waiver #003006-WSWD-001-1  
Page 2 of 2

If further assistance is desired, please contact Elfatih Salim, Senior Engineer III, Stormwater and Geotechnical Section, Site Development and Inspection Division (SDID) at 703-324-1720 or [elfatih.salim@fairfaxcounty.gov](mailto:elfatih.salim@fairfaxcounty.gov).

Sincerely,

A handwritten signature in cursive script, appearing to read "Judy Cronauer".

Judy Cronauer, P.E.  
Chief, Central Branch  
SDID

JC/am

cc: Don Demetrius, Chief, Watershed Projects Evaluation Branch, Stormwater Planning  
Division, DPWES  
Waiver File



## FAIRFAX COUNTY PARK AUTHORITY



## M E M O R A N D U M

**TO:** Barbara Berlin, AICP, Director  
Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Sandy Stallman, AICP, Manager  
Park Planning Branch, PDD 

**DATE:** March 2, 2012

**SUBJECT:** PRC-C-546-02, Terra Center  
Tax Map Number: 77-4((1))28A

The Park Authority staff has reviewed the above referenced plan. Based on that review, staff has determined that this application bears no adverse impact on the land, resources or service levels of the Park Authority.

FCPA Reviewer: Andy Galusha  
DPZ Coordinator: Brent Krasner

Copy: Cindy Walsh, Director, Resource Management Division  
Chron Binder  
File Copy

## P6 MIDDLE RUN COMMUNITY PLANNING SECTOR

### CHARACTER

This sector is located southwest of the Main Branch (P2) Community Planning Sector. Most of the area north of Burke Lake Road is part of the planned residential community of Burke Centre. This planned development contains approximately 1,300 acres and is located south of the Southern Railroad, east of Ox Road, north of the South Run watershed, and west of Burke Lake Road. Burke Centre includes a mixture of uses including single-family, townhouse, and multi-family units, as well as a small village center, a community center, and park and open space recreational uses. Most of the remainder of the sector is developed with single-family detached houses and townhouses, as well as complementary public facilities and commercial and institutional uses.

Very little is known about heritage resources in this sector. Prehistoric sites as old as 8,500 years, have been recorded in the Burke Centre area and other unidentified prehistoric sites have been located elsewhere. Mulberry Hill and Little Zion Church and Cemetery are significant heritage resources listed in the Fairfax County Inventory of Historic Sites. A list and map of heritage resources are included in the Pohick Planning District Overview section, Figures 4 and 5. There is potential for additional significant heritage resources in this sector.

Major access roads in the sector are Ox Road (Route 123), Guinea Road, Pohick Road, Burke Lake Road, Old Keene Mill Road, Lee Chapel Road and Sydenstricker Road.

### CONCEPT FOR FUTURE DEVELOPMENT

The majority of this sector is classified as Suburban Neighborhood. The portion of the sector which is located within the South Run watershed is classified as a Low Density Residential Area.

### RECOMMENDATIONS

#### Land Use

The Middle Run Community Planning Sector is largely developed as stable residential neighborhoods. Infill development in these neighborhoods should be of a compatible use, type and intensity in accordance with the guidance provided by the Policy Plan under Land Use Objectives 8 and 14.

Figure 34 indicates the geographic location of land use recommendations for this sector. Where recommendations are not shown on the General Locator Map, it is so noted.

1. The Burke Centre master plan is included in the Comprehensive Plan by reference and is shown on Figure 35. Where the Area Plan map and the Burke Centre master plan conflict, the Area Plan map overrides. [Not shown]

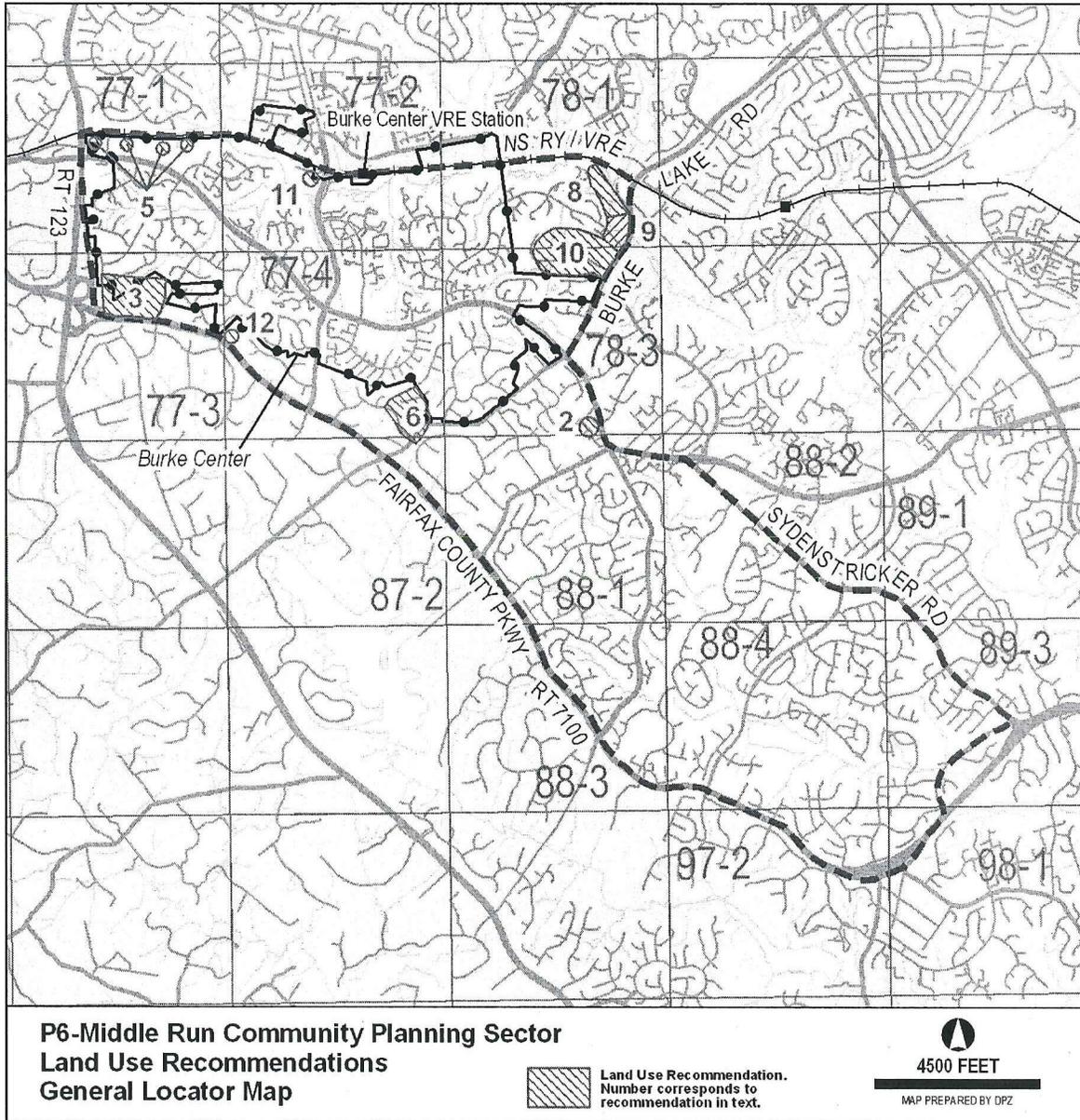
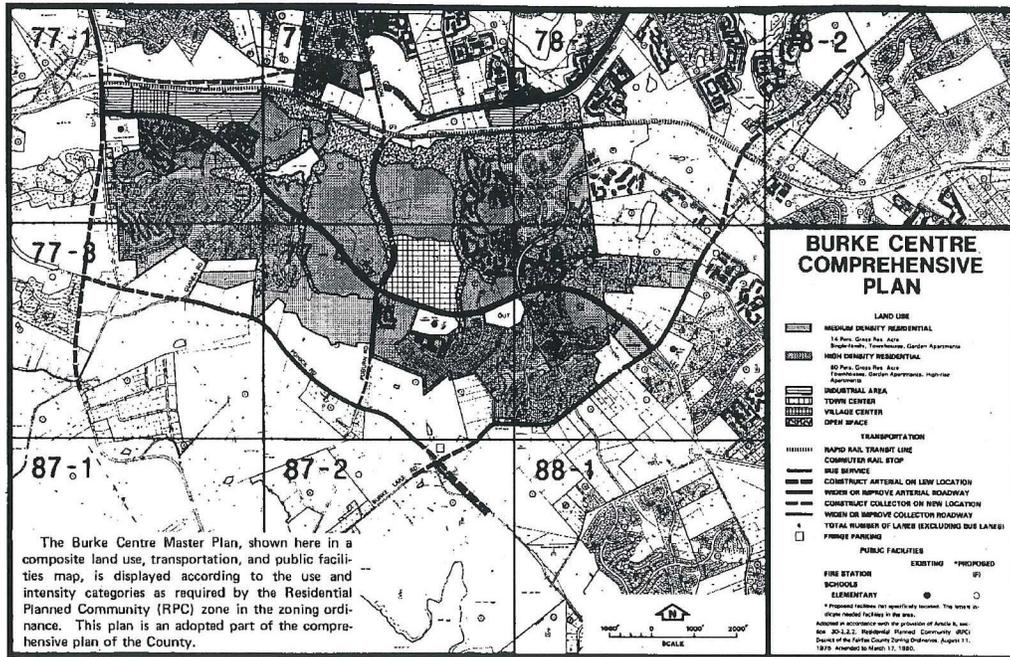


FIGURE 34



The Burke Centre Master Plan, shown here in a composite land use, transportation, and public facilities map, is displayed according to the use and intensity categories as required by the Residential Planned Community (RPC) zone in the zoning ordinance. This plan is an adopted part of the comprehensive plan of the County.

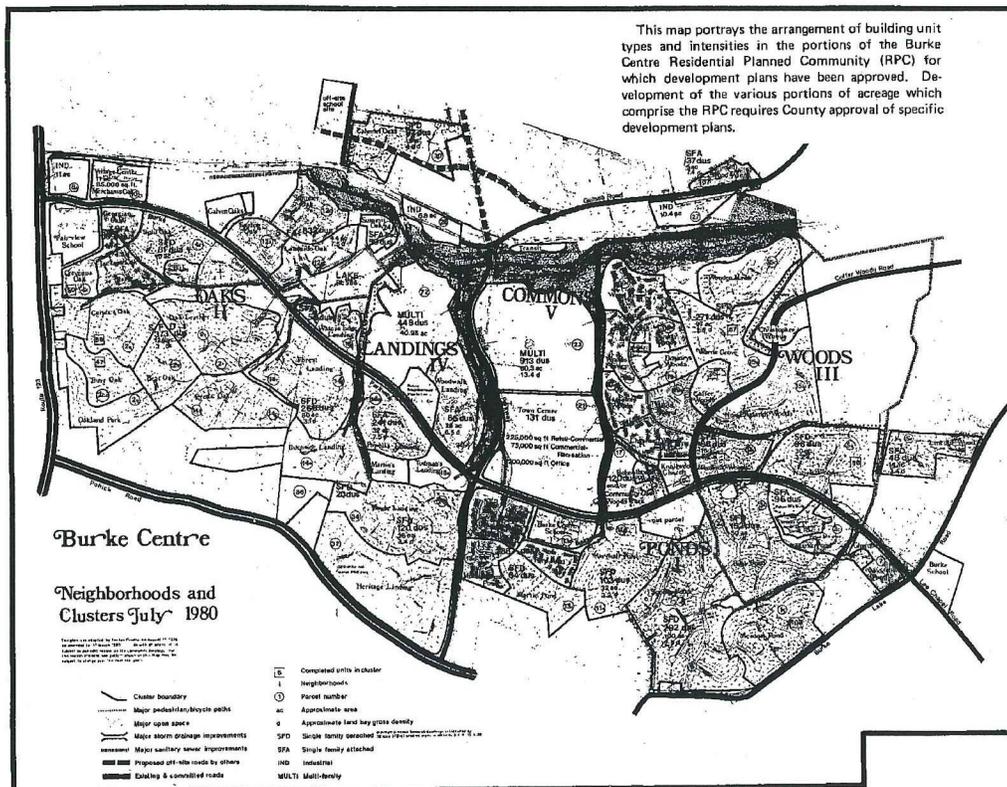


FIGURE 35

## FAIRFAX COUNTY ZONING ORDINANCE

**PART 3 6-300 PRC PLANNED RESIDENTIAL COMMUNITY DISTRICT****6-301 Purpose and Intent**

The PRC District is established to permit the development of planned communities on a minimum of 750 contiguous acres of land, which at the time of the initial rezoning to establish a PRC District is owned and/or controlled by a single individual or entity. Such planned communities shall be permitted only in accordance with a comprehensive plan, which plan, when approved, shall constitute a part of the adopted comprehensive plan of the County and shall be subject to review and revision from time to time.

The PRC District regulations are designed to permit a greater amount of flexibility to a developer of a planned community by removing many of the restrictions of conventional zoning. This flexibility is intended to provide an opportunity and incentive to the developer to achieve excellence in physical, social and economic planning. To be granted this zoning district, the developer must demonstrate the achievement of the following specific objectives throughout all of his planning, design and development.

1. A variety of housing types, employment opportunities and commercial services to achieve a balanced community for families of all ages, sizes and levels of income.
2. An orderly and creative arrangement of all land uses with respect to each other and to the entire community.
3. A planned and integrated comprehensive transportation system providing for a separation of pedestrian and vehicular traffic, to include facilities such as mass transportation, roadways, bicycle or equestrian paths and pedestrian walkways.
4. The provision of cultural, educational, medical, and recreational facilities for all segments of the community.
5. The location of structures to take maximum advantage of the natural and manmade environment.
6. The provision of adequate and well-designed open space for the use of all residents.
7. The staging of development in a manner which can be accommodated by the timely provision of public utilities, facilities and services.

To these ends, rezoning to and development under this district will be permitted only in accordance with a comprehensive plan and development plan prepared and approved in accordance with the provisions of Article 16.

**6-302 Permitted Uses**

Subject to the use limitations set forth in Sect. 305 below and the exceptions permitted by Sections 303 and 304 below, the following and similar uses as may be approved shall be permitted only in those locations respectively designated Residential, Neighborhood Convenience Center, Village Center, Town Center and Convention/Conference Center on an

## ARTICLE 16

### DEVELOPMENT PLANS

#### PART 1 16-100 STANDARDS FOR ALL PLANNED DEVELOPMENTS

##### 16-101 General Standards

A rezoning application or development plan amendment application may only be approved for a planned development under the provisions of Article 6 if the planned development satisfies the following general standards:

1. The planned development shall substantially conform to the adopted comprehensive plan with respect to type, character, intensity of use and public facilities. Planned developments shall not exceed the density or intensity permitted by the adopted comprehensive plan, except as expressly permitted under the applicable density or intensity bonus provisions.
2. The planned development shall be of such design that it will result in a development achieving the stated purpose and intent of the planned development district more than would development under a conventional zoning district.
3. The planned development shall efficiently utilize the available land, and shall protect and preserve to the extent possible all scenic assets and natural features such as trees, streams and topographic features.
4. The planned development shall be designed to prevent substantial injury to the use and value of existing surrounding development, and shall not hinder, deter or impede development of surrounding undeveloped properties in accordance with the adopted comprehensive plan.
5. The planned development shall be located in an area in which transportation, police and fire protection, other public facilities and public utilities, including sewerage, are or will be available and adequate for the uses proposed; provided, however, that the applicant may make provision for such facilities or utilities which are not presently available.
6. The planned development shall provide coordinated linkages among internal facilities and services as well as connections to major external facilities and services at a scale appropriate to the development.

##### 16-102 Design Standards

Whereas it is the intent to allow flexibility in the design of all planned developments, it is deemed necessary to establish design standards by which to review rezoning applications, development plans, conceptual development plans, final development plans, PRC plans, site plans and subdivision plats. Therefore, the following design standards shall apply:

1. In order to complement development on adjacent properties, at all peripheral boundaries of the PDH, PRM, PDC, PRC Districts the bulk regulations and landscaping and screening provisions shall generally conform to the provisions of that conventional

## FAIRFAX COUNTY ZONING ORDINANCE

zoning district which most closely characterizes the particular type of development under consideration. In the PTC District, such provisions shall only have general applicability and only at the periphery of the Tysons Corner Urban Center, as designated in the adopted comprehensive plan.

2. Other than those regulations specifically set forth in Article 6 for a particular P district, the open space, off-street parking, loading, sign and all other similar regulations set forth in this Ordinance shall have general application in all planned developments.
3. Streets and driveways shall be designed to generally conform to the provisions set forth in this Ordinance and all other County ordinances and regulations controlling same, and where applicable, street systems shall be designed to afford convenient access to mass transportation facilities. In addition, a network of trails and sidewalks shall be coordinated to provide access to recreational amenities, open space, public facilities, vehicular access routes, and mass transportation facilities.

## APPENDIX 10

### GLOSSARY

This Glossary is provided to assist the public in understanding the staff evaluation and analysis of development proposals. It should not be construed as representing legal definitions. Refer to the Fairfax County Zoning Ordinance, Comprehensive Plan or Public Facilities Manual for additional information.

**ABANDONMENT:** Refers to road or street abandonment, an action taken by the Board of Supervisors, usually through the public hearing process, to abolish the public's right-of-passage over a road or road right-of way. Upon abandonment, the right-of-way automatically reverts to the underlying fee owners. If the fee to the owner is unknown, Virginia law presumes that fee to the roadbed rests with the adjacent property owners if there is no evidence to the contrary.

**ACCESSORY DWELLING UNIT (OR APARTMENT):** A secondary dwelling unit established in conjunction with and clearly subordinate to a single family detached dwelling unit. An accessory dwelling unit may be allowed if a special permit is granted by the Board of Zoning Appeals (BZA). Refer to Sect. 8-918 of the Zoning Ordinance.

**AFFORDABLE DWELLING UNIT (ADU) DEVELOPMENT:** Residential development to assist in the provision of affordable housing for persons of low and moderate income in accordance with the affordable dwelling unit program and in accordance with Zoning Ordinance regulations. Residential development which provides affordable dwelling units may result in a density bonus (see below) permitting the construction of additional housing units. See Part 8 of Article 2 of the Zoning Ordinance.

**AGRICULTURAL AND FORESTAL DISTRICTS:** A land use classification created under Chapter 114 or 115 of the Fairfax County Code for the purpose of qualifying landowners who wish to retain their property for agricultural or forestal use for use/value taxation pursuant to Chapter 58 of the Fairfax County Code.

**BARRIER:** A wall, fence, earthen berm, or plant materials which may be used to provide a physical separation between land uses. Refer to Article 13 of the Zoning Ordinance for specific barrier requirements.

**BEST MANAGEMENT PRACTICES (BMPs):** Stormwater management techniques or land use practices that are determined to be the most effective, practicable means of preventing and/or reducing the amount of pollution generated by nonpoint sources in order to improve water quality.

**BUFFER:** Graduated mix of land uses, building heights or intensities designed to mitigate potential conflicts between different types or intensities of land uses; may also provide for a transition between uses. A landscaped buffer may be an area of open, undeveloped land and may include a combination of fences, walls, berms, open space and/or landscape plantings. A buffer is not necessarily coincident with transitional screening.

**CHESAPEAKE BAY PRESERVATION ORDINANCE:** Regulations which the State has mandated must be adopted to protect the Chesapeake Bay and its tributaries. These regulations must be incorporated into the comprehensive plans, zoning ordinances and subdivision ordinances of the affected localities. Refer to Chesapeake Bay Preservation Act, Va. Code Section 10.1-2100 et seq and VR 173-02-01, Chesapeake Bay Preservation Area Designation and Management Regulations.

**CLUSTER DEVELOPMENT:** Residential development in which the lots are clustered on a portion of a site so that significant environmental/historical/cultural resources may be preserved or recreational amenities provided. While smaller lot sizes are permitted in a cluster subdivision to preserve open space, the overall density cannot exceed that permitted by the applicable zoning district. See Sect. 2-421 and Sect. 9-615 of the Zoning Ordinance.

**COUNTY 2232 REVIEW PROCESS:** A public hearing process pursuant to Sect. 15.2-2232 (Formerly Sect. 15.1-456) of the Virginia Code which is used to determine if a proposed public facility not shown on the adopted Comprehensive Plan is in substantial accord with the plan. Specifically, this process is used to determine if the general or approximate location, character and extent of a proposed facility is in substantial accord with the Plan.

**dBA:** The momentary magnitude of sound weighted to approximate the sensitivity of the human ear to certain frequencies; the dBA value describes a sound at a given instant, a maximum sound level or a steady state value. See also Ldn.

**DENSITY:** Number of dwelling units (du) divided by the gross acreage (ac) of a site being developed in residential use; or, the number of dwelling units per acre (du/ac) except in the PRC District when density refers to the number of persons per acre.

**DENSITY BONUS:** An increase in the density otherwise allowed in a given zoning district which may be granted under specific provisions of the Zoning Ordinance when a developer provides excess open space, recreation facilities, or affordable dwelling units (ADUs), etc.

**DEVELOPMENT CONDITIONS:** Terms or conditions imposed on a development by the Board of Supervisors (BOS) or the Board of Zoning Appeals (BZA) in connection with approval of a special exception, special permit or variance application or rezoning application in a "P" district. Conditions may be imposed to mitigate adverse impacts associated with a development as well as secure compliance with the Zoning Ordinance and/or conformance with the Comprehensive Plan. For example, development conditions may regulate hours of operation, number of employees, height of buildings, and intensity of development.

**DEVELOPMENT PLAN:** A graphic representation which depicts the nature and character of the development proposed for a specific land area: information such as topography, location and size of proposed structures, location of streets trails, utilities, and storm drainage are generally included on a development plan. A development plan is a submission requirement for rezoning to the PRC District. A GENERALIZED DEVELOPMENT PLAN (GDP) is a submission requirement for a rezoning application for all conventional zoning districts other than a P District. A development plan submitted in connection with a special exception (SE) or special permit (SP) is generally referred to as an SE or SP plat. A CONCEPTUAL DEVELOPMENT PLAN (CDP) is a submission requirement when filing a rezoning application for a P District other than the PRC District; a CDP characterizes in a general way the planned development of the site. A FINAL DEVELOPMENT PLAN (FDP) is a submission requirement following the approval of a conceptual development plan and rezoning application for a P District other than the PRC District; an FDP further details the planned development of the site. See Article 16 of the Zoning Ordinance.

**EASEMENT:** A right to or interest in property owned by another for a specific and limited purpose. Examples: access easement, utility easement, construction easement, etc. Easements may be for public or private purposes.

**ENVIRONMENTAL QUALITY CORRIDORS (EQCs):** An open space system designed to link and preserve natural resource areas, provide passive recreation and protect wildlife habitat. The system includes stream valleys, steep slopes and wetlands. For a complete definition of EQCs, refer to the Environmental section of the Policy Plan for Fairfax County contained in Vol. 1 of the Comprehensive Plan.

**ERODIBLE SOILS:** Soils that wash away easily, especially under conditions where stormwater runoff is inadequately controlled. Silt and sediment are washed into nearby streams, thereby degrading water quality.

**FLOODPLAIN:** Those land areas in and adjacent to streams and watercourses subject to periodic flooding; usually associated with environmental quality corridors. The 100 year floodplain drains 70 acres or more of land and has a one percent chance of flood occurrence in any given year.

**FLOOR AREA RATIO (FAR):** An expression of the amount of development intensity (typically, non-residential uses) on a specific parcel of land. FAR is determined by dividing the total square footage of gross floor area of buildings on a site by the total square footage of the site itself.

**FUNCTIONAL CLASSIFICATION:** A system for classifying roads in terms of the character of service that individual facilities are providing or are intended to provide, ranging from travel mobility to land access. Roadway system functional classification elements include Freeways or Expressways which are limited access highways, Other Principal (or Major) Arterials, Minor Arterials, Collector Streets, and Local Streets. Principal arterials are designed to accommodate travel; access to adjacent properties is discouraged. Minor arterials are designed to serve both through traffic and local trips. Collector roads and streets link local streets and properties with the arterial network. Local streets provide access to adjacent properties.

**GEOTECHNICAL REVIEW:** An engineering study of the geology and soils of a site which is submitted to determine the suitability of a site for development and recommends construction techniques designed to overcome development on problem soils, e.g., marine clay soils.

**HYDROCARBON RUNOFF:** Petroleum products, such as motor oil, gasoline or transmission fluid deposited by motor vehicles which are carried into the local storm sewer system with the stormwater runoff, and ultimately, into receiving streams; a major source of non-point source pollution. An oil-grit separator is a common hydrocarbon runoff reduction method.

**IMPERVIOUS SURFACE:** Any land area covered by buildings or paved with a hard surface such that water cannot seep through the surface into the ground.

**INFILL:** Development on vacant or underutilized sites within an area which is already mostly developed in an established development pattern or neighborhood.

**INTENSITY:** The magnitude of development usually measured in such terms as density, floor area ratio, building height, percentage of impervious surface, traffic generation, etc. Intensity is also based on a comparison of the development proposal against environmental constraints or other conditions which determine the carrying capacity of a specific land area to accommodate development without adverse impacts.

**Ldn:** Day night average sound level. It is the twenty-four hour average sound level expressed in A-weighted decibels; the measurement assigns a "penalty" to night time noise to account for night time sensitivity. Ldn represents the total noise environment which varies over time and correlates with the effects of noise on the public health, safety and welfare.

**LEVEL OF SERVICE (LOS):** An estimate of the effectiveness of a roadway to carry traffic, usually under anticipated peak traffic conditions. Level of Service efficiency is generally characterized by the letters A through F, with LOS-A describing free flow traffic conditions and LOS-F describing jammed or grid-lock conditions.

**MARINE CLAY SOILS:** Soils that occur in widespread areas of the County generally east of Interstate 95. Because of the abundance of shrink-swell clays in these soils, they tend to be highly unstable. Many areas of slope failure are evident on natural slopes. Construction on these soils may initiate or accelerate slope movement or slope failure. The shrink-swell soils can cause movement in structures, even in areas of flat topography, from dry to wet seasons resulting in cracked foundations, etc. Also known as slippage soils.

**OPEN SPACE:** That portion of a site which generally is not covered by buildings, streets, or parking areas. Open space is intended to provide light and air; open space may function as a buffer between land uses or for scenic, environmental, or recreational purposes.

**OPEN SPACE EASEMENT:** An easement usually granted to the Board of Supervisors which preserves a tract of land in open space for some public benefit in perpetuity or for a specified period of time. Open space easements may be accepted by the Board of Supervisors, upon request of the land owner, after evaluation under criteria established by the Board. See Open Space Land Act, Code of Virginia, Sections 10.1-1700, et seq.

**P DISTRICT:** A "P" district refers to land that is planned and/or developed as a Planned Development Housing (PDH) District, a Planned Development Commercial (PDC) District or a Planned Residential Community (PRC) District. The PDH, PDC and PRC Zoning Districts are established to encourage innovative and creative design for land development; to provide ample and efficient use of open space; to promote a balance in the mix of land uses, housing types, and intensity of development; and to allow maximum flexibility in order to achieve excellence in physical, social and economic planning and development of a site. Refer to Articles 6 and 16 of the Zoning Ordinance.

**PROFFER:** A written condition, which, when offered voluntarily by a property owner and accepted by the Board of Supervisors in a rezoning action, becomes a legally binding condition which is in addition to the zoning district regulations applicable to a specific property. Proffers are submitted and signed by an owner prior to the Board of Supervisors public hearing on a rezoning application and run with the land. Once accepted by the Board, proffers may be modified only by a proffered condition amendment (PCA) application or other zoning action of the Board and the hearing process required for a rezoning application applies. See Sect. 15.2-2303 (formerly 15.1-491) of the Code of Virginia.

**PUBLIC FACILITIES MANUAL (PFM):** A technical text approved by the Board of Supervisors containing guidelines and standards which govern the design and construction of site improvements incorporating applicable Federal, State and County Codes, specific standards of the Virginia Department of Transportation and the County's Department of Public Works and Environmental Services.

**RESOURCE MANAGEMENT AREA (RMA):** That component of the Chesapeake Bay Preservation Area comprised of lands that, if improperly used or developed, have a potential for causing significant water quality degradation or for diminishing the functional value of the Resource Protection Area. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

**RESOURCE PROTECTION AREA (RPA):** That component of the Chesapeake Bay Preservation Area comprised of lands at or near the shoreline or water's edge that have an intrinsic water quality value due to the ecological and biological processes they perform or are sensitive to impacts which may result in significant degradation of the quality of state waters. In their natural condition, these lands provide for the removal, reduction or assimilation of sediments from runoff entering the Bay and its tributaries, and minimize the adverse effects of human activities on state waters and aquatic resources. New development is generally discouraged in an RPA. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

**SITE PLAN:** A detailed engineering plan, to scale, depicting the development of a parcel of land and containing all information required by Article 17 of the Zoning Ordinance. Generally, submission of a site plan to DPWES for review and approval is required for all residential, commercial and industrial development except for development of single family detached dwellings. The site plan is required to assure that development complies with the Zoning Ordinance.

**SPECIAL EXCEPTION (SE) / SPECIAL PERMIT (SP):** Uses, which by their nature, can have an undue impact upon or can be incompatible with other land uses and therefore need a site specific review. After review, such uses may be allowed to locate within given designated zoning districts if appropriate and only under special controls, limitations, and regulations. A special exception is subject to public hearings by the Planning Commission and Board of Supervisors with approval by the Board of Supervisors; a special permit requires a public hearing and approval by the Board of Zoning Appeals. Unlike proffers which are voluntary, the Board of Supervisors or BZA may impose reasonable conditions to assure, for example, compatibility and safety. See Article 8, Special Permits and Article 9, Special Exceptions, of the Zoning Ordinance.

**STORMWATER MANAGEMENT:** Engineering practices that are incorporated into the design of a development in order to mitigate or abate adverse water quantity and water quality impacts resulting from development. Stormwater management systems are designed to slow down or retain runoff to re-create, as nearly as possible, the pre-development flow conditions.

**SUBDIVISION PLAT:** The engineering plan for a subdivision of land submitted to DPWES for review and approved pursuant to Chapter 101 of the County Code.

**TRANSPORTATION DEMAND MANAGEMENT (TDM):** Actions taken to reduce single occupant vehicle automobile trips or actions taken to manage or reduce overall transportation demand in a particular area.

**TRANSPORTATION SYSTEM MANAGEMENT (TSM) PROGRAMS:** This term is used to describe a full spectrum of actions that may be applied to improve the overall efficiency of the transportation network. TSM programs usually consist of low-cost alternatives to major capital expenditures, and may include parking management measures, ridesharing programs, flexible or staggered work hours, transit promotion or operational improvements to the existing roadway system. TSM includes Transportation Demand Management (TDM) measures as well as H.O.V. use and other strategies associated with the operation of the street and transit systems.

**URBAN DESIGN:** An aspect of urban or suburban planning that focuses on creating a desirable environment in which to live, work and play. A well-designed urban or suburban environment demonstrates the four generally accepted principles of design: clearly identifiable function for the area; easily understood order; distinctive identity; and visual appeal.

**VACATION:** Refers to vacation of street or road as an action taken by the Board of Supervisors in order to abolish the public's right-of-passage over a road or road right-of-way dedicated by a plat of subdivision. Upon vacation, title to the road right-of-way transfers by operation of law to the owner(s) of the adjacent properties within the subdivision from whence the road/road right-of-way originated.

**VARIANCE:** An application to the Board of Zoning Appeals which seeks relief from a specific zoning regulation such as lot width, building height, or minimum yard requirements, among others. A variance may only be granted by the Board of Zoning Appeals through the public hearing process and upon a finding by the BZA that the variance application meets the required Standards for a Variance set forth in Sect. 18-404 of the Zoning Ordinance.

**WETLANDS:** Land characterized by wetness for a portion of the growing season. Wetlands are generally delineated on the basis of physical characteristics such as soil properties indicative of wetness, the presence of vegetation with an affinity for water, and the presence or evidence of surface wetness or soil saturation. Wetland environments provide water quality improvement benefits and are ecologically valuable. Development activity in wetlands is subject to permitting processes administered by the U.S. Army Corps of Engineers

**TIDAL WETLANDS:** Vegetated and nonvegetated wetlands as defined in Chapter 116 Wetlands Ordinance of the Fairfax County Code: includes tidal shores and tidally influenced embayments, creeks, and tributaries to the Occoquan and Potomac Rivers. Development activity in tidal wetlands may require approval from the Fairfax County Wetlands Board.

#### Abbreviations Commonly Used in Staff Reports

A&F	Agricultural & Forestal District	PDH	Planned Development Housing
ADU	Affordable Dwelling Unit	PFM	Public Facilities Manual
ARB	Architectural Review Board	PRC	Planned Residential Community
BMP	Best Management Practices	RC	Residential-Conservation
BOS	Board of Supervisors	RE	Residential Estate
BZA	Board of Zoning Appeals	RMA	Resource Management Area
COG	Council of Governments	RPA	Resource Protection Area
CBC	Community Business Center	RUP	Residential Use Permit
CDP	Conceptual Development Plan	RZ	Rezoning
CRD	Commercial Revitalization District	SE	Special Exception
DOT	Department of Transportation	SEA	Special Exception Amendment
DP	Development Plan	SP	Special Permit
DPWES	Department of Public Works and Environmental Services	TDM	Transportation Demand Management
DPZ	Department of Planning and Zoning	TMA	Transportation Management Association
DU/AC	Dwelling Units Per Acre	TSA	Transit Station Area
EQC	Environmental Quality Corridor	TSM	Transportation System Management
FAR	Floor Area Ratio	UP & DD	Utilities Planning and Design Division, DPWES
FDP	Final Development Plan	VC	Variance
GDP	Generalized Development Plan	VDOT	Virginia Dept. of Transportation
GFA	Gross Floor Area	VPD	Vehicles Per Day
HC	Highway Corridor Overlay District	VPH	Vehicles per Hour
HCD	Housing and Community Development	WMATA	Washington Metropolitan Area Transit Authority
LOS	Level of Service	WS	Water Supply Protection Overlay District
Non-RUP	Non-Residential Use Permit	ZAD	Zoning Administration Division, DPZ
OSDS	Office of Site Development Services, DPWES	ZED	Zoning Evaluation Division, DPZ
PCA	Proffered Condition Amendment	ZPRB	Zoning Permit Review Branch
PD	Planning Division		
PDC	Planned Development Commercial		