



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

April 18, 2012

Anthony Venafro
Project Manager
Smith Engineering
14901 Bogle Drive, Suite 101
Chantilly, Virginia 20151

Re: Interpretation for SEA 87-D-025, Vinson Hall Corporation, Tax Map 31-3 ((1)) 83 and 77A (6811 Beulah Road): Site Modifications, Garage, Parking, Retaining Walls and Limits of Clearing and Grading

Dear Mr. Venafro:

This is in response to your letter dated August 31, 2011, and your revised letter of March 14, 2012, requesting an interpretation of the Special Exception Amendment (SEA) Plat and development conditions approved by the Board of Supervisors in conjunction with SEA 87-D-025. As I understand it, the questions are whether the proposed site modifications, including a modification to the underground parking garage, location of surface parking spaces, height and distance of retaining walls and modifications to the limits of clearing and grading, would be in substantial conformance with SEA 87-D-025. These questions will be addressed individually below. This determination is based on your letters and submitted exhibits entitled: "Approved Vinson Hall Special Exception Amendment Plan" (Exhibit A, Sheet 3 of 9); "Vinson Hall Interpretation Request" (Exhibit B, Sheet 5 of 54); "Proposed Tree Preservation Plan" (Exhibit C, Sheet 1 of 1), all prepared by Smith Engineering, dated May 22, 2009, as revised through March 14, 2012. You submitted the following exhibits, which were not signed or dated, entitled: "Interpretation Request Table - Retaining Walls" (Exhibit D) with an attachment entitled "Vinson Hall - Retaining Wall Materials;" and "Proposed Tree Canopy Calculation Worksheet" (Exhibit E). Copies of your letters and relevant exhibits are attached for reference.

On March 23, 2010, the Board of Supervisors approved SEA 87-D-025, subject to development conditions to allow building additions and site modifications to SE 87-D-025, previously approved for an independent living facility with a maximum of 276 units. According to the SEA Plat, a new independent living building containing two levels of underground parking, as well as an optional two-level parking garage in association with the Arleigh Burke Building,

Department of Planning and Zoning
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035-5509
Phone 703 324-1290
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www.fairfaxcounty.gov/dpz/



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were approved to be constructed. At least one of the two levels of the Arleigh Burke parking garage is required to be located underground. If fully implemented, the site could potentially accommodate a total of 358 parking spaces: 112 parking spaces in the underground parking garage beneath the new Independent Living Building; 125 spaces in the optional two-level parking garage for the Arleigh Burke Building; 107 spaces of existing surface parking to remain; and 14 additional surface parking spaces. As depicted on the SEA Plat, a minimum of 160 parking spaces is required for uses approved for this site.

As I understand it, you are proposing to expand the footprint of the parking garage beneath the new Independent Living Building and eliminate the second level of the approved underground garage. The result of this modification will be an expanded single-level underground garage with 127 parking spaces. You state in your letter that the location of existing above-ground utilities, the proximity of the proposed underground ramp to a storm drain pipe and retaining wall, along with construction costs, prohibit the construction of a two-level garage beneath this building.

As such, it is my determination that eliminating one level of the underground parking garage and expanding the footprint of the garage beneath the proposed Independent Living Building, as discussed above and depicted on Exhibit B, would be in substantial conformance with SEA 87-D-025, provided that the garage remains completely underground and subject to the approval of the Department of Public Works and Environment Services (DPWES).

You also propose to provide 16 surface parking spaces, 14 head-in parking spaces and two head-in van accessible parking spaces, north of the main drive and within the circular driveway just south of the entrance to the existing Vinson Hall Building. A note on Sheet 3 of 9 of the SEA Plat shows this area as a location where "Possible Improvements to Canopy and Parking Area May Be Constructed In The Future." Eight of the proposed head-in spaces will be new construction and will require approximately 0.06 acres of additional land disturbance. The remaining eight spaces, consisting of six head-in and two head-in van spaces, will be implemented by restriping the existing pavement and will not require any clearing, grading or removal of existing vegetation. At build-out, a total of 389 parking spaces will be provided in accordance with Exhibits B and D.

It is my determination that the proposed 16 parking spaces would be in substantial conformance with the SEA Plat, provided that there is no disturbance of the 50-foot vegetative buffer adjacent to the residences along the southern property line, and a minimum of 40% open space is maintained on the site in accordance with SEA 87-D-025.

The third question is whether modifications to the quantity, location, size, length and heights of on-site retaining walls, and corresponding modifications to the limits of clearing and grading at the site's Old Dominion Drive frontage are in substantial conformance with the SEA Plat and development conditions. You have submitted an exhibit entitled, "Vinson Hall – Retaining Wall Materials," demonstrating general earth tone colors and segmented block materials that would be used. According to your letter and as noted on Exhibit D, final engineering on the site has demonstrated the need to eliminate Walls 2, 3, 7, 9 and 10, as shown on the SEA Plat, and to install four new retaining walls: Walls 13, 14, 15 and 16. Wall 1 is proposed to increase in length from 545 feet to 586 feet and increase in height from 20 feet to 23.8 feet, at its highest point, with an average

height of 15.5 feet. Wall 4 is proposed to increase from 25 linear feet to 36 linear feet and increase in height from 10 feet to 11.2 feet. Wall 5 will increase from 33 linear feet to 47 linear feet and will increase from 10 feet in height to 11.2 feet in height. Wall 6 is proposed to increase in length from 174 feet to 205 feet and decrease in height from 7 feet to 5.9 feet. Wall 8 will decrease in length from 34 feet to 17 feet and decrease in height from 12 feet to 2 feet. Wall 11 will increase from 38 linear feet to 81 linear feet and increase in height from 10 feet to 14 feet. Wall 12 will increase from 16 linear feet to 46 linear feet and will increase in height from 5 feet to 10 feet. Wall 16 is designed to improve sight distance at the Old Dominion Drive entrance and will measure 295 linear feet with a maximum height of 8.1. You have indicated that overall land disturbance on the site, based on the limits of clearing and grading, would be reduced from 7.45 acres to 7.35 acres with the proposed modifications.

It is my determination that the proposed modifications to the retaining walls and adjustments to the limits of clearing and grading, as described above, and as shown on Exhibits A, B and D, would be in substantial conformance with SEA 87-D-025, provided that a minimum of 40% open space is maintained on the site, supplemental landscaping is installed in areas of the limits of clearing and grading that are disturbed, the finish materials of the retaining walls are consistent with those shown on the submitted exhibit, and provided the retaining walls are approved by DPWES. Supplemental landscaping shall be as determined by Urban Forest Management, DPWES.

These determinations have been made in my capacity as the duly authorized agent of the Zoning Administrator and address only the issues discussed herein. If you have any questions regarding this interpretation, please contact Shelby Johnson at (703) 324-1290.

Sincerely,



Barbara C. Berlin, AICP, Director
Zoning Evaluation Division, DPZ

Attachments: A/S

cc: John W. Foust, Supervisor, Dranesville District
Jay P. Donahue, Planning Commissioner, Dranesville District
Diane Johnson-Quinn, Deputy Zoning Administrator, ZAD, DPZ
Kenneth Williams, Technical Processing, Office of Land Development Services, DPWES
Audrey Clarke, Director, Building Plan Review Division, DPWES
Kevin J. Guinaw, Chief, Special Projects/Applications Management Branch, DPZ
File: SEA 87-D-025, SEI 1109 043; Imaging, Reading File

SMITH ENGINEERING

March 14, 2011

Ms. Barbara C. Berlin
Zoning Evaluation Division
Fairfax County Department of Planning and Zoning
12055 Government Center Parkway Suite 801
Fairfax, Virginia 22035

RECEIVED
Department of Planning & Zoning
MAR 15 2012
Zoning Evaluation Division

Re: Interpretation Request – Vinson Hall (006713-SP-01 & SEA 87-D-025)
Tax Map: 031-3 ((1)) 0083 and 0077A

Dear Ms. Berlin:

We, on behalf of our client, Vinson Hall Corporation, hereby request a determination in regards to the Vinson Hall Special Exception Amendment (SEA). We request that the attached *Vinson Hall - "Interpretation Exhibit"* be considered to be in substantial conformance with the approved *Vinson Hall SEA "Layout Plan"* prepared by SMITH Engineering and the associated development conditions. Specifically, we request a determination on the following site improvements: (1) A reduction to a single story parking garage under the proposed Independent Living Building; (2) The proposed parking spaces near the entrance of the existing Vinson Hall building; (3) The various walls proposed on the property including their approximate location, size, length and height; and (4) The proposed improvements and limits of clearing and grading located on frontage of the property along Old Dominion Drive. We have described each request in more detail below. We have also attached exhibits to better clarify each of the subject requests.

Exhibit – A: Approved SEA Plan
Exhibit – B: Interpretation Exhibit
Exhibit – C: Proposed Tree Preservation Plan
Exhibit – D: Interpretation Request Table
Exhibit – E: Proposed Tree Canopy Calculation Worksheet

Interpretation Request (1):

To approve a modification of the Independent Living Building from a two- story parking garage to a single story parking garage.

Relevant Development Condition:

6. *"This Special Exception Amendment is subject to the provisions of Article 17, Site Plans, as may be determined by DPWES. Any plan submitted pursuant to this Special Exception Amendment shall be in substantial conformance with the approved Special Exception Plat entitled "Vinson Hall Special Exception Amendment" prepared by Smith Engineering, and dated May 22, 2009, revised through October 22, 2009 and these conditions. Minor modifications to the approved Special Exception may be permitted pursuant to Par. 4 of Sect. 9-004 of the Zoning Ordinance."*

Narrative:

The SEA plan illustrates on sheet 3 that the proposed Independent Living Building shall include a 2-story underground parking garage and a corresponding underground ramp which runs parallel to the eastern property line. The limit of the garage is labeled as "+/- 10'" from the said property line. Sheet 1 states that this parking garage shall include 112 parking spaces.

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Upon the completion of a value engineering exercise it was determined that the expense of providing a two story garage underneath the proposed building is prohibitive. Furthermore, concerns of constructability became apparent due to the proximity of the proposed underground ramp, proposed storm drain pipe, retaining wall, and existing above ground electric lines along the property line. An alternative design has been proposed which provides a single story garage with a larger underground footprint.

Justification Summary:

- Safer vehicular traffic pattern for elderly drivers by eliminating multi story garage
- Limits of Clearing and Grading are not impacted
- No visual change above grade
- Ample parking still provided
- Reduces construction costs
- The limit of underground structure is farther away from eastern property line than what is shown on the SEA

Interpretation Request (2):

To approve the proposed parking spaces near the entrance of the existing Vinson Hall building.

Relevant Development Condition:

6. *"This Special Exception Amendment is subject to the provisions of Article 17, Site Plans, as may be determined by DPWES. Any plan submitted pursuant to this Special Exception Amendment shall be in substantial conformance with the approved Special Exception Plat entitled "Vinson Hall Special Exception Amendment" prepared by Smith Engineering., and dated May 22, 2009, revised through October 22, 2009 and these conditions. Minor modifications to the approved Special Exception may be permitted pursuant to Par. 4 of Sect. 9-004 of the Zoning Ordinance."*

Narrative:

The SEA includes a note on sheet 3 of 6 of the "Layout Plan" which states, "Possible improvements to canopy and parking area may be constructed in the future." Pursuant to this note the owner would like to provide approximately 14 "head-in" parking spaces and 2 "head-in" van spaces as shown on the attached exhibit. The 6 spaces and van parking will be implemented by restriping the existing pavement and will not require any clearing, grading or removal of existing vegetation. The proposed work for the 8 additional spaces will require approximately 0.06 acres of additional disturbed acres.

Justification Summary:

- Pursuant to approved note on SEA plan
- Additional parking available for visitors and vans to account for increase in residents
- Proposed improvements will provide a better distribution of available parking throughout the site as most parking is located in rear of existing Vinson Hall building
- Proposed parking makes up for lost parking due to architecture of proposed Commons/Community Building
- Large tree in area of proposed parking shall be preserved
- Open space of +/- 37% is provided (35% required per SEA – Sheet 1 "Open Space Tabulation")

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Interpretation Request (3):

To approve the various retaining walls proposed on the property including their location, size, length and height.

Relevant Development Condition:

6. *"This Special Exception Amendment is subject to the provisions of Article 17, Site Plans, as may be determined by DPWES. Any plan submitted pursuant to this Special Exception Amendment shall be in substantial conformance with the approved Special Exception Plat entitled "Vinson Hall Special Exception Amendment" prepared by Smith Engineering., and dated May 22, 2009, revised through October 22, 2009 and these conditions. Minor modifications to the approved Special Exception may be permitted pursuant to Par. 4 of Sect. 9-004 of the Zoning Ordinance."*

Narrative:

The SEA plan indicates multiple retaining walls with approximate heights throughout the site as shown on sheet 3 of 6 of the "Layout Plan". Upon final engineering exact heights, lengths and locations have since been determined based on the topography of the site. Furthermore, additional walls have been proposed in order to sufficiently provide a safe and usable development.

Justification Summary:

- Proposed wall at site entrance at Old Dominion Drive is required to provide adequate site distance while preserving existing vegetation pursuant to development condition #10.
- Proposed wall in southwestern corner of site between Arleigh Burke Pavilion and SWM pond provides a safer, usable space for elderly residents by eliminating the need for a steep slope from the existing sidewalk down to pond.
- Wall lengths and heights have been designed as efficiently as possible.
- Walls shall be constructed of aesthetically pleasing material such as segmental block

Interpretation Request (4):

To approve the proposed improvements and limits of clearing and grading located on frontage of the property along Old Dominion Drive.

Relevant Development Conditions:

6. *"This Special Exception Amendment is subject to the provisions of Article 17, Site Plans, as may be determined by DPWES. Any plan submitted pursuant to this Special Exception Amendment shall be in substantial conformance with the approved Special Exception Plat entitled "Vinson Hall Special Exception Amendment" prepared by Smith Engineering., and dated May 22, 2009, revised through October 22, 2009 and these conditions. Minor modifications to the approved Special Exception may be permitted pursuant to Par. 4 of Sect. 9-004 of the Zoning Ordinance."*

10. *"Adequate sight distance shall be demonstrated for all access points to the site, as determined by the Virginia Department of Transportation (VDOT) at the time of site plan review. Minor modifications to the access points as determined by VDOT to demonstrate adequate sight distance may be provided"*

Narrative:

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Pursuant to development condition #10 adequate sight distances must be provided at the site entrances at Kirby Road and Old Dominion Drive. To achieve the required sight distance of 445 feet at the Old Dominion Drive entrance (looking northbound) the existing topography must be re-graded. In efforts to preserve as much existing vegetation as possible a retaining wall has been proposed to provide a clear line of sight. As a result of the retaining wall and change in existing grade the storm drain system in that location must be revised accordingly.

Justification Summary:

- Proposed retaining wall provides an adequate line of sight for those exiting the property looking northbound on Old Dominion Drive
- Without the proposed improvements the sight line at this intersection would be substandard at approximately 280 feet.
- Proposed improvements preserve existing vegetation to fullest extent possible while providing a safe intersection.

It is our hope that we have provided adequate justification for you to determine that the proposed layout is in substantial conformance with the SEA plan and associated development conditions. If you need any additional information or have questions regarding this request, please do not hesitate to contact us.

Sincerely,
SMITH Engineering



Anthony Venafrò
Project Manager

Cc: Steve Karcha, Advanced Project Management Inc.
Kathy Martin, Vinson Hall Corporation

Enclosures

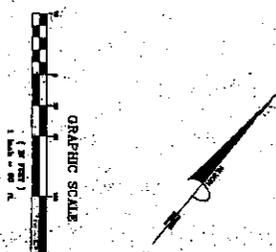
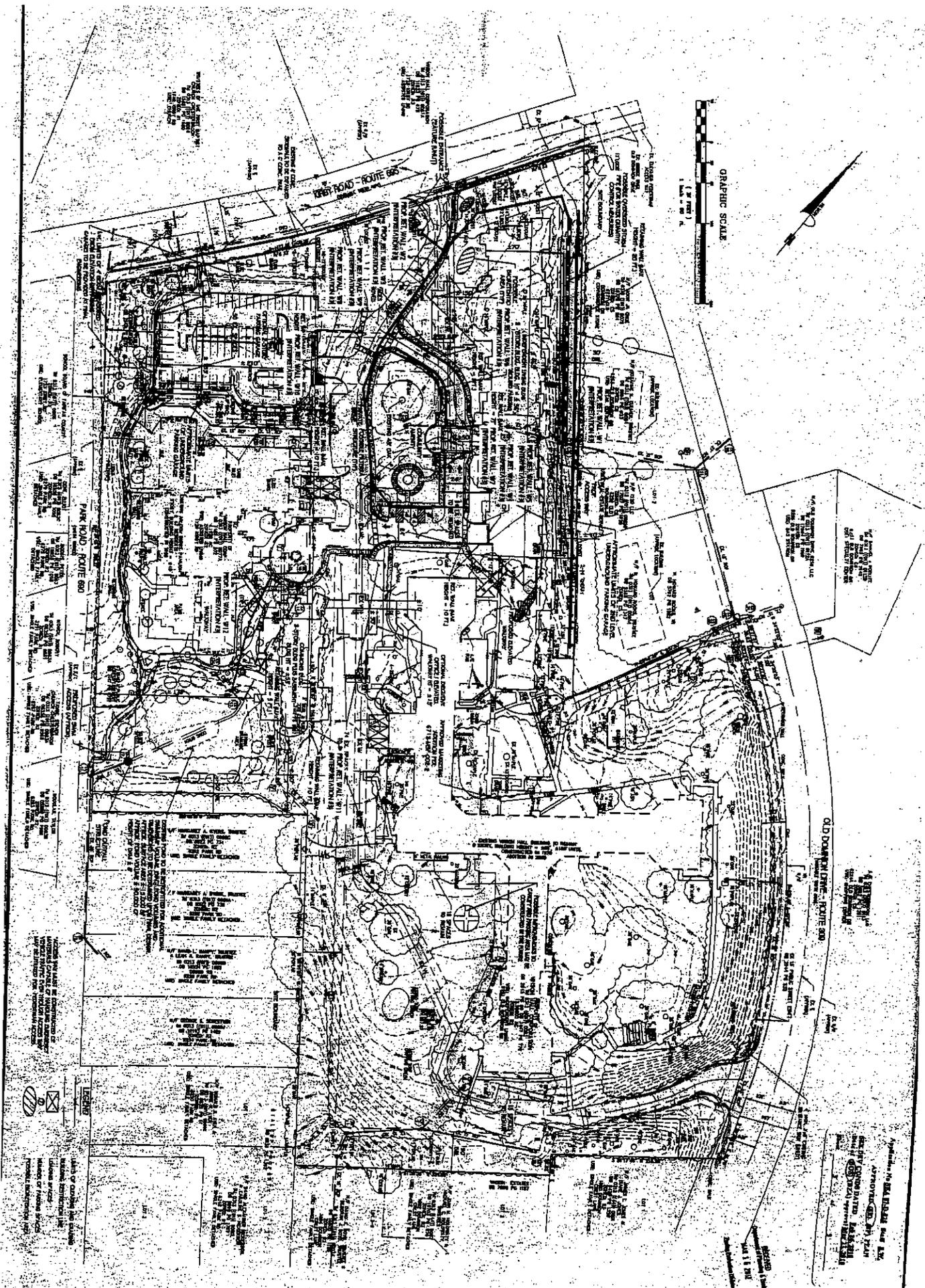


EXHIBIT A

LAYOUT PLAN
 VINSON HALL
 SPECIAL EXCEPTION AMENDMENT

SMITH

DATE	10/18/2011
SCALE	1" = 10'
PROJECT	VINSON HALL SPECIAL EXCEPTION AMENDMENT
CLIENT	STATE OF VIRGINIA
DESIGNER	SMITH ASSOCIATES, INC.
PROJECT NO.	11-001
DATE	10/18/2011
SCALE	1" = 10'
PROJECT	VINSON HALL SPECIAL EXCEPTION AMENDMENT
CLIENT	STATE OF VIRGINIA
DESIGNER	SMITH ASSOCIATES, INC.
PROJECT NO.	11-001



NOT TO SCALE
 THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
 THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS PLAN.

APPROVED BY: [Signature]
 AUTHORIZED BY: [Signature]
 DATE: 10/18/2011

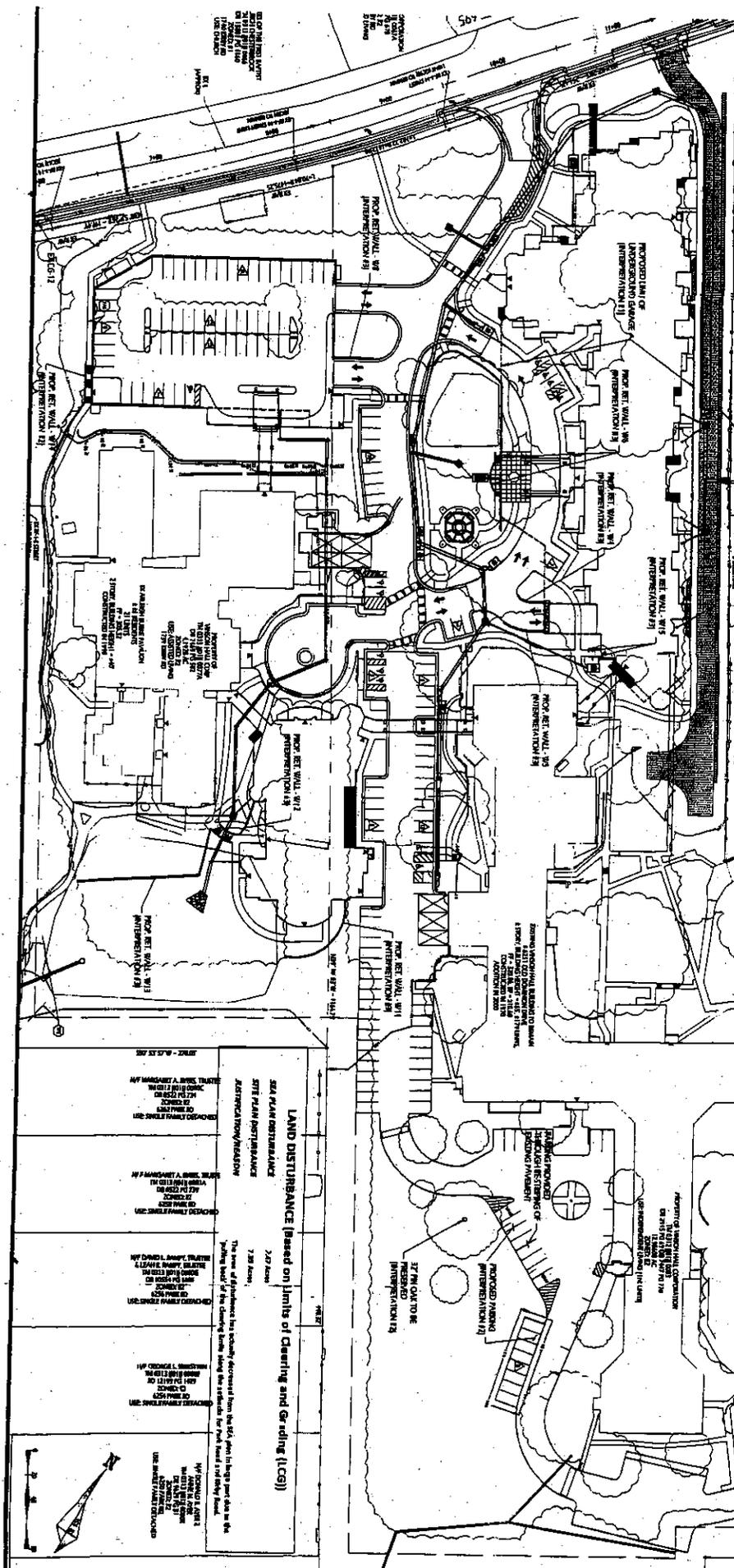
INTERPRETATION EXHIBIT D

RETAINING WALLS

NO.	LENGTH	SECTION	REMARKS
W1	147' 0"	147' 0"	Proposed retaining wall for parking garage.
W2	127' 0"	127' 0"	Proposed retaining wall for parking garage.
W3	127' 0"	127' 0"	Proposed retaining wall for parking garage.
W4	127' 0"	127' 0"	Proposed retaining wall for parking garage.
W5	127' 0"	127' 0"	Proposed retaining wall for parking garage.
W6	127' 0"	127' 0"	Proposed retaining wall for parking garage.
W7	127' 0"	127' 0"	Proposed retaining wall for parking garage.
W8	127' 0"	127' 0"	Proposed retaining wall for parking garage.
W9	127' 0"	127' 0"	Proposed retaining wall for parking garage.
W10	127' 0"	127' 0"	Proposed retaining wall for parking garage.
W11	127' 0"	127' 0"	Proposed retaining wall for parking garage.
W12	127' 0"	127' 0"	Proposed retaining wall for parking garage.
W13	127' 0"	127' 0"	Proposed retaining wall for parking garage.
W14	127' 0"	127' 0"	Proposed retaining wall for parking garage.
W15	127' 0"	127' 0"	Proposed retaining wall for parking garage.

PARKING

Proposed 2 level parking garage with 127' 0" x 127' 0" grid. Total parking spaces = 242 spaces. Proposed 2 level parking garage with 127' 0" x 127' 0" grid. Total parking spaces = 242 spaces. Proposed 2 level parking garage with 127' 0" x 127' 0" grid. Total parking spaces = 242 spaces.



LAND DISTURBANCE (based on) Limits of Clearing and Grading (LCG)

7.20 Acres

NO.	AREA	REMARKS
1	1.50	Proposed parking garage.
2	1.50	Proposed parking garage.
3	1.50	Proposed parking garage.
4	1.50	Proposed parking garage.
5	1.50	Proposed parking garage.
6	1.50	Proposed parking garage.
7	1.50	Proposed parking garage.
8	1.50	Proposed parking garage.
9	1.50	Proposed parking garage.
10	1.50	Proposed parking garage.
11	1.50	Proposed parking garage.
12	1.50	Proposed parking garage.
13	1.50	Proposed parking garage.
14	1.50	Proposed parking garage.
15	1.50	Proposed parking garage.
16	1.50	Proposed parking garage.
17	1.50	Proposed parking garage.
18	1.50	Proposed parking garage.
19	1.50	Proposed parking garage.
20	1.50	Proposed parking garage.
21	1.50	Proposed parking garage.
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26	1.50	Proposed parking garage.
27	1.50	Proposed parking garage.
28	1.50	Proposed parking garage.
29	1.50	Proposed parking garage.
30	1.50	Proposed parking garage.
31	1.50	Proposed parking garage.
32	1.50	Proposed parking garage.
33	1.50	Proposed parking garage.
34	1.50	Proposed parking garage.
35	1.50	Proposed parking garage.
36	1.50	Proposed parking garage.
37	1.50	Proposed parking garage.
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39	1.50	Proposed parking garage.
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41	1.50	Proposed parking garage.
42	1.50	Proposed parking garage.
43	1.50	Proposed parking garage.
44	1.50	Proposed parking garage.
45	1.50	Proposed parking garage.
46	1.50	Proposed parking garage.
47	1.50	Proposed parking garage.
48	1.50	Proposed parking garage.
49	1.50	Proposed parking garage.
50	1.50	Proposed parking garage.

EXHIBIT B - SITE PLAN

VINSON HALL INTERPRETATION REQUEST

SMITH ENGINEERING

SMITH ENGINEERING
PROJECT: 009-01
DATE: 07/11/11
SHEET 11 OF 11

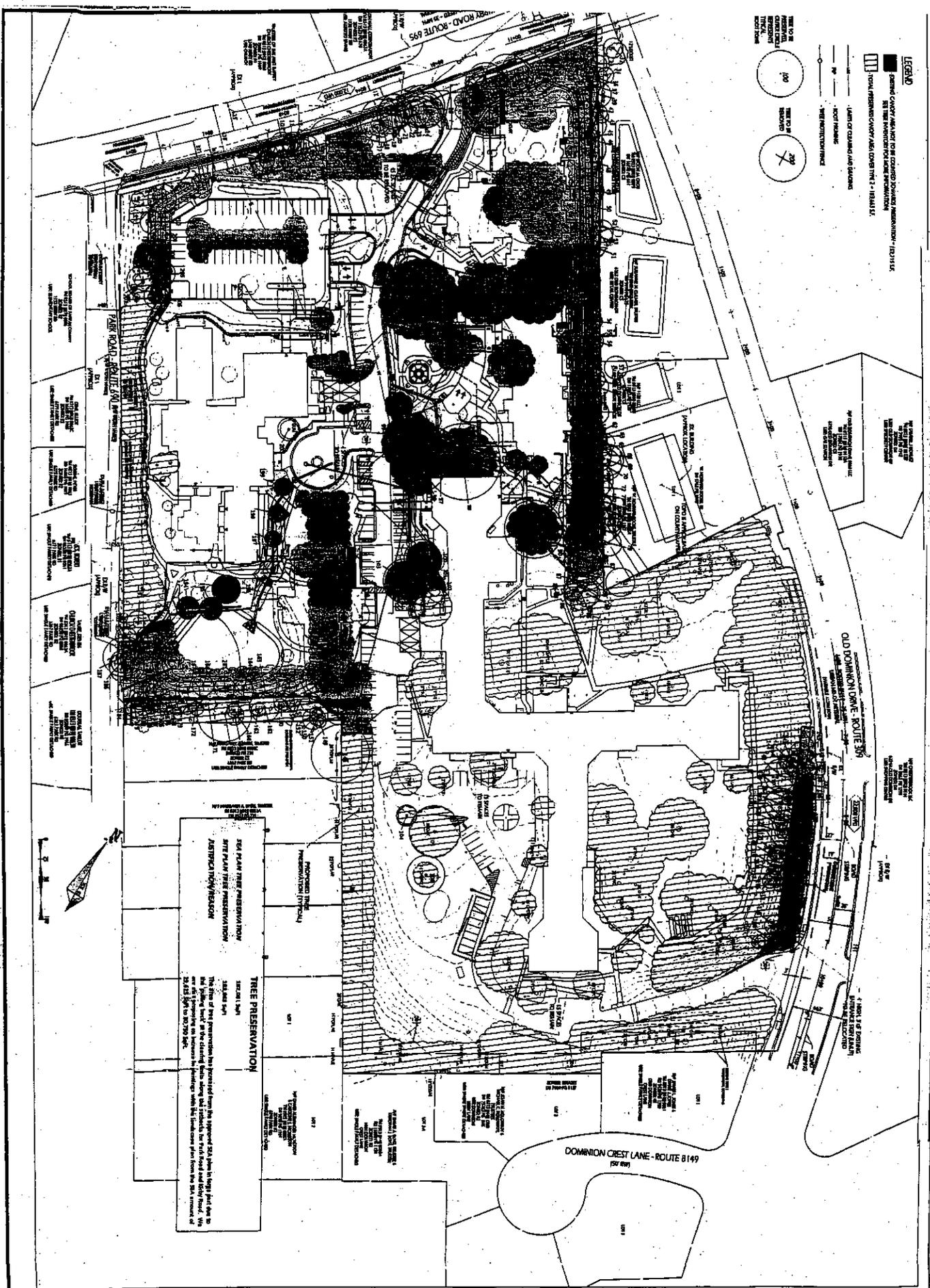


EXHIBIT C

<p>SMITH ENGINEERS PROJECT: 009-01 DATE: 11/11/11</p>		<p>SMITH ENGINEERS PROJECT: 009-01 DATE: 11/11/11</p>	
<p>SMITH ENGINEERS PROJECT: 009-01 DATE: 11/11/11</p>		<p>SMITH ENGINEERS PROJECT: 009-01 DATE: 11/11/11</p>	

SMITH ENGINEERING
 TREE PRESERVATION PLAN
 VINSON HALL - SITE PLAN
 DRAPERVILLE DISTRICT HANCOCK COUNTY, WISCONSIN CO. PLAN # 875-8P-01

INTERPRETATION EXHIBIT D

RETAINING WALLS

ID	SEA PLAN		SITE PLAN		JUSTIFICATION/REASON
	Length	Height	Length	Height	
W1	545'	20' MAX	586'	23.8' Max (15.5' Avg)	Final building architecture while maintaining a transversable route for emergency vehicles and the constraints of the existing conditions adjacent to the property.
W2	30'	3'	—	—	Wall eliminated with final engineering.
W3	30'	3'	—	—	Wall eliminated with final engineering.
W4	25'	10'	36'	11.2'	Final building architecture and the existing 48" oak tree that is to be saved.
W5	33'	10'	47'	11.2'	Final building architecture and the existing 48" oak tree that is to be saved.
W6	174'	7'	205'	5.9' Max. (3.9' Avg)	Final engineering adjusted the configuration within the courtyard area.
W7	63'	7'	—	—	Wall eliminated with final engineering.
W8	34'	12'	17'	2'	—
W9	32'	12'	—	—	Wall eliminated with final engineering.
W10	30'	10'	—	—	Wall eliminated with final engineering.
W11	38'	10'	81'	14' Max (8.5' Avg)	Final engineering of the SWM pond and it's proximatey to the proposed building and the existing parking lot and it's related grades.
W12	16'	5'	46'	10'	Required in order to provide internal sidewalk access from existing building to prooosed building.
W13	—	—	160'	15.4' Max (8.2' Avg)	Final engineering of the SWM pond and it's proximatey to the existing building and the internal sidewalk access and the wall provides useable space behind the Arleigh Burke Pavilion.
W14	—	—	58'	12.4'	Final architecture of the parking garage and the need to maintain the existing internal sidewalk access.
W15	—	—	10.5'	5.85'	Final building architecture provided external door from stairwell between garage and first floor.
W16	—	—	285'	8.1'	Required in order to provide sight distance under current design criteria.

PARKING

SEA PLAN PROVIDED

Without 2 Level Arleigh Burke Parking Garage

Minimum Existing Remaining Surface Spaces = 157 Spaces
 Proposed Surface Spaces = 14 Spaces
 Proposed Garage Spaces Under Building = 112 Spaces
Total Parking = 283 Spaces

With 2 Level Arleigh Burke Parking Garage

Minimum Existing Remaining Surface Spaces = 107 Spaces
 Proposed Surface Spaces = 14 Spaces
 Proposed Garage Spaces Under Building = 112 Spaces
 Proposed 2 Level Garage Spaces = 125 Spaces
Total Parking = 358 Spaces

SITE PLAN PROVIDED

Existing Remaining Surface Spaces = 64 Spaces
 Proposed Surface Spaces = 68 Spaces
 Proposed Garage Spaces Under Building = 127 Spaces
 Proposed 2 Level Garage Spaces = 130 Spaces
Total Parking = 389 Spaces

JUSTIFICATION/REASON

The final site plan parking counts are different from the SEA parking counts for a number of reasons. The final architecture for the community building (Commons Building) and the overhead walkway and it's related support columns caused us to have to relocate a number of spaces. After the completion of a value engineering exercise, the 2 story underground parking garage below the Independent Living Building was changed to a 1 story garage with a larger underground footprint that further impacted the surface parking. When factored in with the existing tree save requirements, it necessitated us to adjust the parking layout from the original approved SEA plan but still maintain the overall integrity and intent of the approved SEA plan. Also, it is expected that the internal parking lot landscaping has been maintained as we have substituted lost spaces for new spaces.

LAND DISTURBANCE (Based on Limits of Clearing and Grading (LCG))

SEA PLAN DISTURBANCE	7.47 Acres
SITE PLAN DISTURBANCE	7.35 Acres
JUSTIFICATION/REASON	

The area of disturbance has actually decreased from the SEA plan in large part due to the 'pulling back' of the clearing limits along the setbacks for Park Road and Kirby Road.

TREE PRESERVATION

SEA PLAN TREE PRESERVATION	182,081 SqFt
SITE PLAN TREE PRESERVATION	183,163 SqFt
JUSTIFICATION/REASON	

The area of tree preservation has increased from the approved SEA plan in large part due to the 'pulling back' of the clearing limits along the setbacks for Park Road and Kirby Road. We are also proposing an increase in plantings with the landscape plan from the SEA amount of 29,625 SqFt to 30,750 SqFt.

VINSON HALL –RETAINING WALL MATERIALS

(Final color, shape and size of segmental block shall be comparable to these images below)

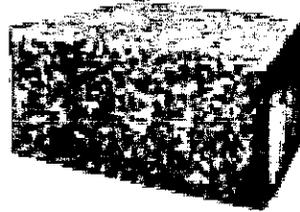
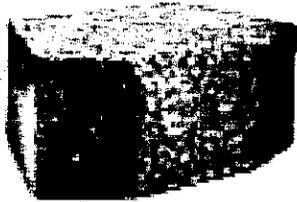
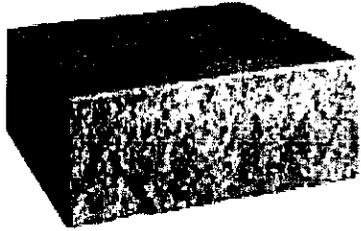


EXHIBIT E

Table 12.12 10-YR TREE CANOPY CALCULATION WORKSHEET

STEP		Totals	Reference
A. Tree Preservation Calculations and Target Statement			
A	Pre-development area of existing tree canopy (from Existing Vegetation Map) SF	=	336878
B	Percentage of gross site area covered by existing tree canopy	=	45%
C	Percentage of 10-year canopy required for site	=	30%
D	Percentage of the 10-year canopy requirement that should be met through tree preservation (tree preservation target %)	=	45%
E	Proposed percentage of canopy requirement (tree preservation target area) that will be met through tree preservation	=	227%
	Tree Preservation Target Area SF =		101063
	Total 10-YR canopy provided through tree preservation =		229579
	10-YR canopy surplus provided through tree preservation =		128515
F	Has the Tree Preservation Target minimum been met?	(YES/NO)	YES
G	If NO for line F, then a request to deviate from the Tree Preservation Target shall be provided on the plan that states one or more of the justifications listed in §12-0507.3 along with a narrative that provides a site-specific explanation of why the Tree Preservation target cannot be met.		
H	If step G requires a narrative, it shall be prepared in accordance with §12-0507.4		
B. Tree Canopy Requirement			
B1	Identify gross site area	=	748,361 § 12-0510.1A
B2	Subtract area dedicated to parks, road frontage and		§ 12-0510.1B
B3	Subtract area of exemptions	=	0 § 12-0510.1C(1) through § 12-0510.1C(6)
B4	Adjusted gross site area (B1-B2)	=	748,361
B5	Identify site's zoning and/or use	=	R-2
B6	Percentage of 10-year tree canopy required	=	30% § 12-0509.1 and Table 12.4
B7	Area of 10-year canopy required (B4 x B6)	=	224,508
B8	Modification of 10-year Tree Canopy Requirements requested?		NO Yes or No
B9	If B8 is YES, then list plan sheet where modification request is located		N/A Sheet Number
C. Tree Preservation			
C1	Tree Preservation Target area	=	101,063
	Total existing canopy area meeting standards of § 12-0400	=	183,663
C2	X 1.25	Total	229,579 § 12-0509.3B
	Total existing canopy area NOT meeting standards of § 12-0400	=	0
C3	X 1.0	Total	0
C4	Total canopy area provided by unique or valuable forest or woodland communities	=	0
C5	x 1.5	Total	0 § 12-0509.3B(1)
C6	Total canopy area provided by "Heritage," "Memorial," "Specimen," or "Street" trees	=	0
C7	x 1.5 to 3.0 =	Total	0 § 12-0509.3B(2)
C8	Canopy area of trees within Resource Protection Areas (RPA) and 100-year floodplains	=	0
C9	x 1.0	Total	0 § 12-0509.3C(1)
C10	Total of C2, C3, C5, C7 and C9	=	229,579 If area of C10 is less than B7 remainder of requirement must be met through tree planting - go to D
D. Tree Planting			
D1	Area of canopy to be met through tree planting	=	30,750
D2	Area of canopy planted for air quality benefits	=	0
D3	x 1.25	=	0 § 12-0509.4B(1)
D4	Area of canopy planted for energy conservation	=	0
D5	x 1.5	=	0 § 12-0509.4B(2)
D6	Area of canopy planted for water quality benefits	=	0
D7	x 1.25	=	0 § 12-0509.4B(3)
D8	Area of canopy planted for wildlife benefits	=	0
D9	x 1.5	=	0 § 12-0509.4B(4)

D10	Area of canopy provided by native trees	=	0	
D11		x 1.5	=	0
D12	Area of canopy provided by improved cultivars and varieties	=	0	§ 12-0509.4B(5)
D13		x 1.25	=	0
D14	Area of canopy provided through tree seedlings	=	0	§ 12-0509.4B(6)
		x 1.0	=	0
D15	Area of canopy provided through native shrubs or woody seed mix	=	0	§ 12-0509.4D(1)(a)
		x 1.0	=	0
D16	Percentage of D14 represented by D15	=		Must not exceed 33% of D14
D17	Total tree canopy area provided through tree planting	=	0	
D18	Is an offsite planting relief requested?			Yes or No
D19	Tree Bank or Tree Fund?			§ 12-0511
D20	Canopy area requested to be provided through offsite banking or tree fund		0	
D21	Amount to be deposited into the Tree Preservation and Planting Fund	=	N/A	

E. Total of 10-year Tree Canopy Provided

E1	Total of canopy area provided through tree preservation (C10)	=	229,579	
E2	Total of canopy area provided through tree planting (D17)	=	30,750	
E3	Total of canopy area provided through offsite mechanism (D19)	=	0	
E4	Total of 10-year Tree Canopy Provided	=	260,329	Total of E1 through E3. Area should meet or exceed area in B7