

PROJECT INFORMATION

SCOPE OF WORK: INSTALLATION OF WIRELESS COMMUNICATION EQUIPMENT IN THE STEEPLE OF AN EXISTING BUILDING. SITE IS AN UNMANNED TELECOMMUNICATIONS FACILITY.

SITE ADDRESS: 2006 BELLE VIEW BLVD. ALEXANDRIA, VA 22307

LATITUDE: N 38° 46' 29.0260"

LONGITUDE: W -77° 03' 57.49.03"

GROUND ELEVATION: 80' AMSL

JURISDICTION: FAIRFAX COUNTY, VA

ZONING DISTRICT CLASSIFICATION: R-4 (RESIDENTIAL 4 DU/AC)

TAX ID. NO.: 0931-25040014

TAX ID. NO.: 0931-01-0070

PARCEL SIZE (CHURCH): 2.80 ACRES

PARCEL SIZE (PLAYGROUND): 1.6641 ACRES COMBINED PARCEL ACREAGE: 4.46 ACRES

DEED REF.: D.B. 1149, PG. 173

PROPERTY OWNER: MT. VERNON METHODIST CHURCH

OWNER ADDRESS: 2006 BELLE VIEW BLVD. ALEXANDRIA, VA 22307

EXISTING USE: TELECOMMUNICATION / CHURCH

PROPOSED USE: TELECOMMUNICATION / CHURCH

NAME OF APPLICANT: NEW CINGULAR WIRELESS PCS LLC

SPECIAL PERMIT
NEW CINGULAR WIRELESS PCS, LLC



BELLE HAVEN_MT. VERNON METHODIST CHURCH
10062876_1584

RECEIVED
Department of Planning & Zoning
MAR 01 2011
Zoning Evaluation Division

UTILITY INFORMATION

POWER: BALTIMORE GAS & ELECTRIC CO. (410) 685-2200

TELCO: AT&T (410) 821-5901

APPLICABLE BUILDING CODES AND STANDARDS

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

BUILDING CODE:
INTERNATIONAL BUILDING CODE (IBC 2006)

ELECTRICAL CODE:
NATIONAL ELECTRICAL CODE (NEC 2008)

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS.
AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION
TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-F, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES:
TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS

INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM
IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT

IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")

TELCORDIA GR-1275, GENERAL INSTALLATION REQUIREMENTS

TELCORDIA GR-1503, COAXIAL CABLE CONNECTIONS

ANSI T1.311, FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

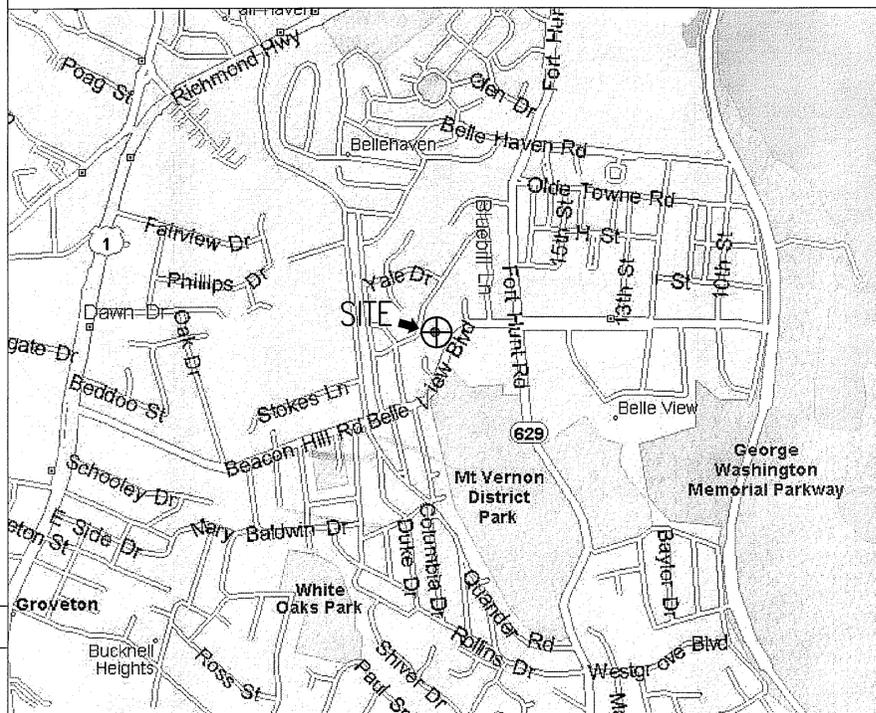
DRAWING INDEX

REV

10062876 - T-1	TITLE SHEET	6
10062876 - A-0	SITE PLAN	6
10062876 - A-0A	ZONING DATA	6
10062876 - A-0B	ZONING PLAN	6
10062876 - A-1	PROPOSED EQUIPMENT LOCATION PLAN	6
10062876 - A-2	PROPOSED EQUIPMENT LAYOUT PLAN	6
10062876 - A-3	SOUTHEAST ELEVATION AND FENCE DETAILS	6
10062876 - A-4	SLAB FOUNDATION AND DETAILS	6
10062876 - A-5	TREE PROTECTION DETAILS	6
10062876 - A-6	CIVIL MAPS AND NOTES	6
10062876 - A-7	ORDINANCE DATA & SETBACK GRAPHIC	6
10062876 - ES-1	EROSION CONTROL DETAILS	6
10062876 - ES-2	EROSION CONTROL DETAILS AND NOTES	6
10062876 - L-1	LANDSCAPE PLAN	6

DIRECTION:

FROM I-495 (EAST) TAKE EXIT 176A, TURN RIGHT ONTO RAMP 0.4 MI. ROAD NAME CHANGES TO HUNTINGTON AVE 1.3 MI. TURN RIGHT (SOUTH) ONTO SR-629 [FORT HUNT RD] 1.4 MI. TURN LEFT (NORTH-EAST) ONTO LOCAL ROAD(S) 65 YDS. ARRIVE AT SITE



SCALE: 1"=2000'



NOTES

SEE COMPANION PACKAGE FOR GENERIC DETAILS
DOCUMENT NO. 24782-432-A3-EF-00001 (LATEST REVISION)

APPROVED PLAT

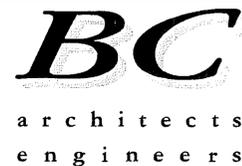
Application No. SPA 80-V-089
Date of Approval April 20, 2011
Sheet 1 of 14

AT&T CONSTRUCTION: _____

AT&T RF: _____

AT&T COMPLIANCE: _____

CONSTRUCTION: _____



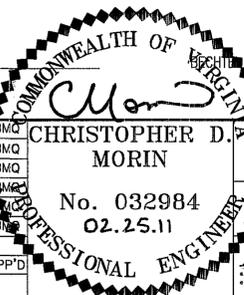
5659 COLUMBIA PIKE, SUITE 101
FALLS CHURCH, VA 22041-2888
TEL: (703) 671-6000
FAX: (703) 671-6300

SPECIAL PERMIT
BELLE HAVEN_MOUNT VERNON METHODIST CHURCH
10127916_3771
2006 BELLE VIEW BLVD.
ALEXANDRIA, VA 22307



7150 STANDARD DR
HANOVER, MD 21076

6	02-24-11	COUNTY COMMENTS	DR	CDM	SMQ
5	02-07-11	COUNTY COMMENTS	DR	CDM	SMQ
4	12-22-10	COUNTY COMMENTS	DR	CDM	SMQ
3	09-29-10	COUNTY COMMENTS	DR	CDM	SMQ
2	08-04-10	COUNTY COMMENTS	DR	CDM	SMQ
1	06-24-10	COUNTY COMMENTS	AGT	CDM	BNB
0					
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE:	AS SHOWN	DESIGNED C. MORIN	DRAWN	AWS	



BC ARCHITECTS ENGINEERS
FALLS CHURCH, VA

TITLE SHEET

DRAWING NUMBER	REV
10062876-T-1	6

Y:/Drawings - 2009/AT&T/_RoofTop/Belle Haven/Special Permit Rev 6 - 2011-02-23/T1.dwg 02-25-11 DAVID 13:11:41

09-29-10 DAVID RICHARDSON 13:39:06 Y:/Drawings - 2009/AT&T/_RoofTop/Belle Haven/Special Permit Rev 3 - 2010-09-29/A0.dwg

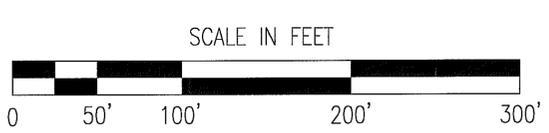
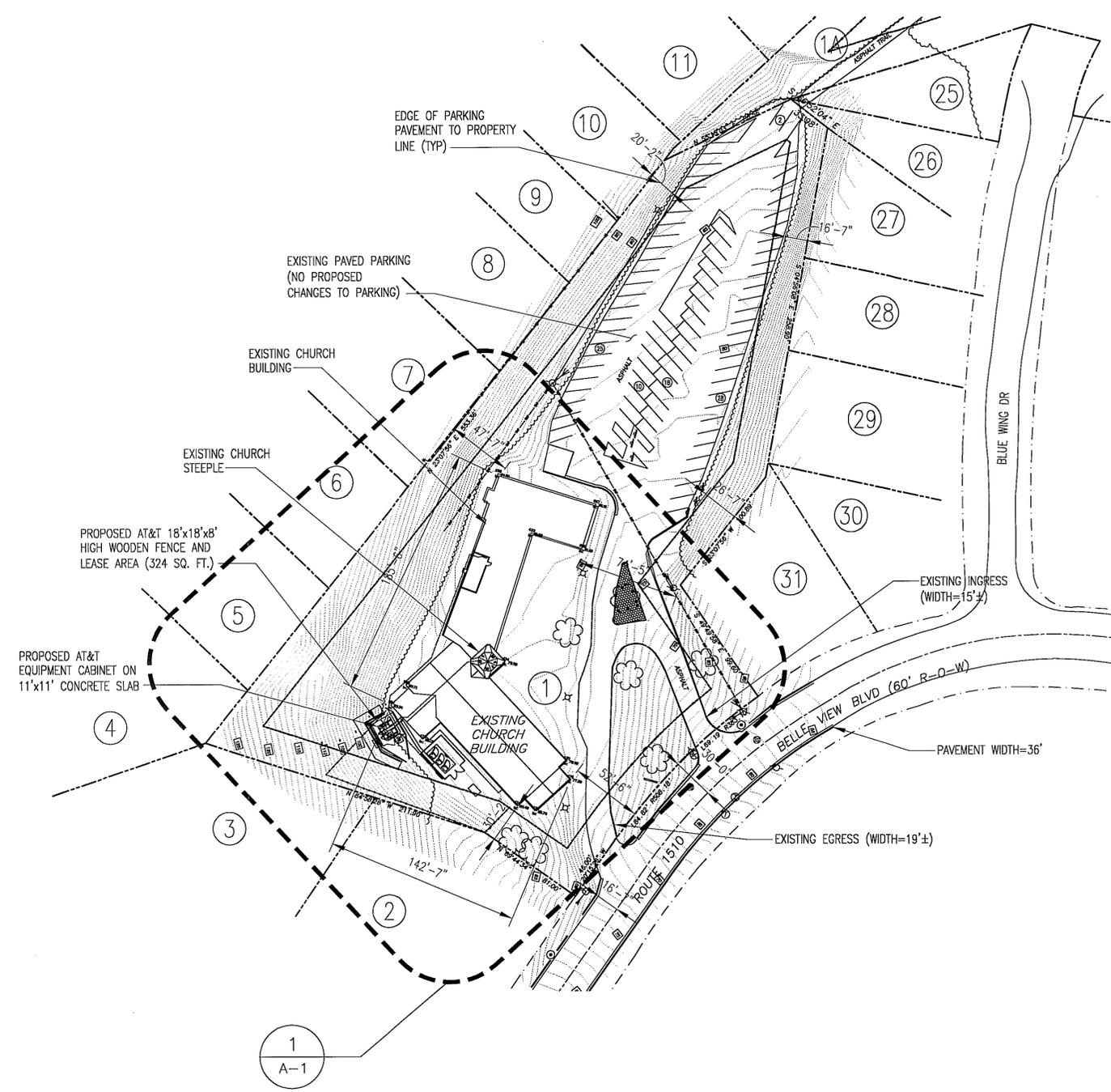
SUBJECT PARCEL

1. MT. VERNON METHODIST CHURCH
DB 1152, PG 432
TM# 0931 25040014
ZONED R4

1A. MT. VERNON METHODIST CHURCH
DB 1152, PG 432
TM# 0931 01 0770
ZONED R4

ADJACENT PROPERTIES

- | | |
|---|---|
| 2. COLVERT
DB 3310, PG 38
TM# 0931 25040013
ZONED R4 | 17. EUSTIS
DB 7078 PG 119
TM# 0931 26020016
ZONED R4 |
| 3. BRENNER
D.B. 19760, PG. 2180
TM# 0931 25040009
ZONED R4 | 18. D.B. 1802, PG. 131
TM# 0931 26020017
ZONED R4 |
| 4. MOWERY
DB 6690, PG 1226
TM# 0931 41 0002
ZONED R4 | 19. ELIE
DB 15980, PG. 1146
TM# 0931 26020023
ZONED R4 |
| 5. THOMPSON
DB 16101, PG 192
TM# 0931 41 0003
ZONED R4 | 20. MARSHALL
DB 19548, PG. 762
TM# 0931 26020024
ZONED R4 |
| 6. WILSON
DB 10922, PG 1547
TM# 0931 41 0004
ZONED R4 | 21. MURDY
DB 14861, PG. 1229
TM# 0931 26020025
ZONED R4 |
| 7. SCHREINER
DB 6740, PG 1633
TM# 0931 41 0005
ZONED R4 | 22. DUCHESNE
D.B. 11528, PG. 304
TM# 0931 26020026
ZONED R4 |
| 8. MURRAY
DB 11617, PG 410
TM# 0931 41 0006
ZONED R4 | 23. ABBASSI
D.B. 6864, PG. 978
TM# 0931 26020026
ZONED R4 |
| 9. SCHREIBER
DB 8327, PG 1071
TM# 0931 41 0007
ZONED R4 | 24. KOPP
DB 13934, PG 235
TM# 0931 25020008
ZONED R4 |
| 10. SULLIVAN
DB 6737 PG 792
TM# 0931 41 0016
ZONED R4 | 25. MT. VERNON BAPTIST
D.B. 1152, PG. 432
TM# 0931 2502 C
ZONED R4 |
| 11. DECHORETZ
D.B. 19134, PG. 1439
TM# 0931 41 0017
ZONED R4 | 26. TALAY
DB 18331, PG 1413
TM# 0931 2503 C1
ZONED R4 |
| 12. HEATH
D.B. 18317, PG. 2102
TM# 0931 41 0018
ZONED R4 | 27. TALAY
D.B. 18848, PG. 1384
TM# 0931 25030005
ZONED R4 |
| 13. CURZON
DB 11423, PG 1987
TM# 0931 41 0019
ZONED R4 | 28. BRANSFORD
D.B. 18964, PG. 1937
TM# 0931 25030004
ZONED R4 |
| 14. ZADROZNY
DB 19978, PG. 2130
TM# 0931 26020013
ZONED R4 | 29. DUNLOP
DB 11706, PG 1033
TM# 0931 25030003
ZONED R4 |
| 15. STOCKARD
D.B. 19978, PG. 2130
TM# 0931 26020014
ZONED R4 | 30. CAREY
DB 1149, PG 173
TM# 0931 25040014
ZONED R4 |
| 16. ALLEN
DB 19978, PG. 2130
TM# 0931 26020015
ZONED R4 | 31. ROMANO
DB 3533, PG 90
TM# 0931 25030001
ZONED R4 |



SITE PLAN
SCALE: 1"=100' - 24x36
SCALE: 1"=50' - 24x36



COMMONWEALTH OF VIRGINIA
Christopher D. Morin
No. 032984
02.25.11
PROFESSIONAL ENGINEER

BC ARCHITECTS ENGINEERS
FALLS CHURCH, VA

BC
architects
engineers
5659 COLUMBIA PIKE, SUITE 101
FALLS CHURCH, VA 22041-2868
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SPECIAL PERMIT
BELLE HAVEN_MOUNT VERNON METHODIST CHURCH
10127916_3771
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NO.	DATE	REVISIONS	BY	CHK	APP'D
6	02-24-11	COUNTY COMMENTS	DR	CDM	SMQ
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3	09-29-10	COUNTY COMMENTS	DR	CDM	SMQ
2	08-04-10	COUNTY COMMENTS	DR	CDM	SMQ
1	06-24-10	COUNTY COMMENTS	AGT	CDM	BR
0					

SCALE: AS SHOWN DESIGNED: C. MORIN DRAWN: AWS

SITE PLAN
DRAWING NUMBER: 10062876-A-05PA-80
Application No. 10062876-A-05PA-80-V-089
Date of Approval: April 20, 2011
Sheet 2 of 14

ORDINANCE DATA

PARCEL DATA

OWNER: MT. VERNON METHODIST CHURCH
 PARCEL ID (CHURCH): 0931 25040014
 PARCEL ID (PLAYGROUND): 0931 01 0070
 ZONING: R-4
 EXISTING USE: CHURCH/TELECOMMUNICATIONS SITE
 PROPOSED USE: CHURCH/TELECOMMUNICATIONS SITE
 PARCEL AREA (CHURCH): 121,924 SF (2.80 AC)
 PARCEL AREA (PLAYGROUND): 72,488 SF (1.6641 AC)
 TOTAL AREA (CHURCH + PLAYGROUND): 194,412 SF (4.46 AC)
 OPEN SPACE:
 REQUIRED AT CHURCH PARCEL: 30,481 SF FOR 25%
 PROVIDED: 121,924 - 13,282 SF = 108,642 SF = 89%
 REQUIRED AT PLAYGROUND PARCEL: 13,282 SF FOR 25%
 PROVIDED: 72,488 - 0 SF = 72,488 SF = 100%
 REQUIRED AT COMBINED PARCELS: 30,481 + 13,282 = 43,763 SF FOR 25%
 PROVIDED: 108,642 + 72,488 SF = 181,130 SF = 93%

PARKING - ONE (EXISTING) PARKING LOT

PARKING REQUIRED
 0.25 SPACES/1 SEAT (CHURCH USE)
 0.25 x 276 SEATS = 69 SPACES
 0.19 SPACES/1 CHILD (DAYCARE USE)
 0.19 x 37 CHILDREN = 7 SPACES
 TOTAL PARKING REQUIRED = 76 SPACES
 PARKING PROVIDED
 EXISTING = 84 SPACES
 EXISTING TO BE ELIMINATED = (0) SPACES
 TOTAL PROVIDED = 84 SPACES (5 HC)

PARKING SCHEDULE
 THE TELECOMMUNICATION FACILITY GENERATES APPROXIMATELY (1) ONE TRIP PER MONTH PER CARRIER. NO DEDICATED PARKING IS REQUIRED.

BUILDING DATA

MAXIMUM BUILDING HEIGHT: 60 FEET
 EXISTING ORIGINAL BUILDING HEIGHT: 60' FEET (84' WITH STEEPLE)
 CONSTRUCTION DATE: 1960
 TOTAL EXISTING GROSS BUILDING FLOOR AREA: 13,282 SF
 TOTAL PROPOSED GROSS TELECOMMUNICATIONS COMPOUND AREA: 324 SF (0.007 AC)
 MAXIMUM FLOOR AREA RATIO: 0.30 FOR OTHER THAN RESIDENTIAL OR PUBLIC USE
 TOTAL FLOOR AREA RATIO: 0.07

SET BACK INFORMATION

FRONT YARD (EAST) - REQUIRED: 35' ANGLE OF BULK PLANE AND NOT LESS THAN 25'
 TELECOMMUNICATIONS COMPOUND - PROVIDED: 170'-8"
 SIDE YARD (NORTH) - REQUIRED: 30' ANGLE OF BULK PLANE AND NOT LESS THAN 10'
 TELECOMMUNICATIONS COMPOUND - PROVIDED: 53'-7"
 SIDE YARD (SOUTH) - REQUIRED: 30' ANGLE OF BULK PLANE AND NOT LESS THAN 10'
 TELECOMMUNICATIONS COMPOUND - PROVIDED: 37'-10"
 BACK YARD (WEST) - REQUIRED: 30' ANGLE OF BULK PLANE AND NOT LESS THAN 25'
 TELECOMMUNICATIONS COMPOUND - PROVIDED: 86'-8"

FLOOD ZONE

MAP # 5155250137D - MARCH 5, 1990
 THIS PROJECT IS NOT LOCATED IN A FLOOD PLAIN (ZONE X)

SIGNS

ONE EXISTING SIGN
 ILLUMINATED - 10' WIDE X 5' HIGH BY 11"
 NO PROPOSED SIGNS

BELLE HAVEN - MT. VERNON METHODIST CHURCH

CHURCH MEMBERS: 400
 FULL TIME CHURCH EMPLOYEES: 2
 PART TIME CHURCH EMPLOYEES: 3
 CHURCH VOLUNTEERS: 40
 PRE-SCHOOL STUDENTS: 37
 PRE-SCHOOL EMPLOYEES: SAME AS CHURCH
 PRE-SCHOOL OPERATING HOURS: 9AM TO 12PM M-F

BELLE HAVEN
 MT. VERNON METHODIST CHURCH

CHURCH MEMBERS: 400
 FULL TIME CHURCH EMPLOYEES: 2
 PART TIME CHURCH EMPLOYEES: 3
 CHURCH VOLUNTEERS: 40
 PRE-SCHOOL STUDENTS: 37
 PRE-SCHOOL EMPLOYEES: SAME AS CHURCH
 PRE-SCHOOL OPERATING HOURS: 9AM TO 12PM M-F

SPECIAL PERMIT - SITE PLAN NOTES

1. THERE ARE NO PROPOSE IMPROVEMENTS TO THE PUBLIC RIGHTS OF WAY.
2. THE PROPERTY IS SERVED BY PUBLIC WATER AND SEPTIC.
3. THERE ARE NO FLOODPLAINS ON THE PROPERTY.
4. THERE ARE NO GRAVES, OBJECTS OR STRUCTURES MARKING A PLACE OF BURIAL ON THE PROPERTY PER THE FAIRFAX COUNTY CEMETERY MAP.
5. MINOR PAVED TRAIL ADJACENT TO SUBJECT PARCEL (BELLE VIEW BLVD)
6. TOPOGRAPHIC DATA IS FROM A FIELD RUN SURVEY OF 06-08-09. TOPOGRAPHY FOR THIS PROJECT WAS DETERMINED FROM A FIELD RUN SURVEY AND EXISTING SITE PLANS.
7. NO EXISTING TREES WILL BE REMOVED FOR CONSTRUCTION PURPOSES.
8. THERE ARE NO PROPOSED SIGNS FOR THIS PROJECT.
9. THERE IS 43,210 SF OF PROPOSED LAND DISTURBING ACTIVITY ON THE ENTIRE APPLICATION PROPERTY.
10. SIGNS SHALL COMPLY WITH ARTICLE 12 OF THE FAIRFAX ZONING ORDINANCE.

MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Zoning Ordinance paragraphs:
 Special Permits (9-011 2J & 2L) Special Exceptions (9-011 2J & 2L)
 Cluster Subdivision (9-615 1G & 1N) Commercial Revitalization Districts (9-622 2A (12) & (14))
 Development Plans PRC District (16-302 3 & 4L) PRC Plan (16-303 1E & 1O)
 FDP P Districts (except PRC) (16-502 1F & 1Q) Amendments (18-202 10F & 10I)

1. Plat is at a minimum scale of 1"=50' (unless it is depicted on one sheet with a minimum scale of 1"=100').
2. A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet A-1.
3. Provide:

Facility Name/ Type & No.	On-site area served (acres)	Off-site area served (acres)	Drainage area (acres)	Footprint area (sf)	Storage Volume (cf)	If pond, dam height (ft)
TO BE DETERMINED - BIORETENTION FILTER OR INFILTRATION TRENCH						
_____	_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____	_____
Totals						
4. Onsite drainage channels, outfalls and pipe systems are shown on Sheet _____.
 N/A Pond inlet and outlet pipe systems are shown on Sheet _____.
5. Maintenance access (road) to stormwater management facility(ies) are shown on Sheet _____.
 N/A Type of maintenance access road surface noted on the plat is _____ (asphalt, geoblock, gravel, etc.).
6. Landscaping and tree preservation shown in and near the stormwater management facility is shown on Sheet _____.
 N/A
7. A 'stormwater management narrative' which contains a description of how detention and best management practices requirements will be met is provided on Sheet A-0A (ADJACENT)
8. A description of the existing conditions of each numbered site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet _____.
9. A description of how the outfall requirements, including contributing drainage areas of the Public Facilities Manual will be satisfied is provided on Sheet _____.
10. Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheets E&S-1
11. A submission waiver is requested for DETENTION
12. Stormwater management is not required because N/A

PROJECT SIZE - 3,120± SF OF DISTURBED AREA

STORM WATER CALCULATIONS - ANALYSIS

THERE IS NO SIGNIFICANT INCREASE FOR THE 10 YEAR/24 HOUR PEAK DISCHARGE. Qp10 IS LESS THAN 0.5 CFS.

STORM WATER MANAGEMENT AND BEST PRACTICES NARRATIVE

A BMP WILL BE DESIGNED AND PROVIDED TO OFFSET NUTRIENT RUNOFF - SEE DRAWING A-1 FOR PLAN LOCATION. BMP WILL BE EITHER BIO-RETENTION FILTER OR INFILTRATION TRENCH, DEPENDING ON SOIL TESTING RESULTS. AT&T WILL REQUEST A WAIVER OF ONSITE STORMWATER DETENTION IN THE MINOR SITE PLAN APPLICATION.

OUTFALL NARRATIVE:

STORMWATER RUNOFF FROM THIS PROPERTY OUTFALLS INTO AN EXISTING DOWNSLOPE GRASSED AREA WHERE THE RUNOFF WILL BE ABSORBED. IT IS THE OPINION OF THE SUBMITTING ENGINEER THAT NO ADVERSE AFFECTS ARE CREATED DOWN STREAM FROM THE PROPERTY.

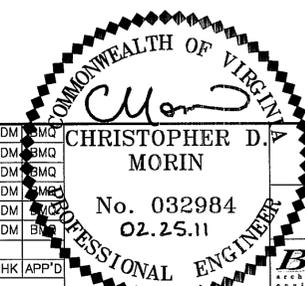
STORM WATER - RATIONAL METHOD CALCULATIONS

PRE DEVELOPMENT
 Q10 = Cf x C x I x A
 Cf(10) = 1.00
 Cf(100) = 1.25
 Composite C = 0.30
 i10 = 7.27 in/hr
 i100 = 9.84 in/hr
 A = 0.53 acre
 Q10 = (Cf)CIA = 1.16cfs
 Q100 = (Cf)CIA = 1.96 cfs
 POST DEVELOPMENT
 Q10 = Cf x C x I x A
 Cf(10) = 1.00
 Cf(100) = 1.25
 Composite C = 0.32
 i10 = 7.27 in/hr
 i100 = 9.84 in/hr
 A = 0.53 acre
 Q10 = (Cf)CIA = 1.23 cfs
 Q100 = (Cf)CIA = 2.09 cfs

INCREASE OF RUNOFF (10 YEAR STORM) = 0.07 CFS
 INCREASE OF RUNOFF (100 YEAR STORM) = 0.13 CFS

APPROVED PLAT

Application No. SPA 80-V-089
 Date of Approval April 20, 2011
 Sheet 3 of 14



BC ARCHITECTS ENGINEERS
 FALLS CHURCH, VA

ZONING DATA

DRAWING NUMBER
 10062876- A-0A
 REV
 6

NO.	DATE	REVISIONS	BY	CHK	APP'D
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SCALE: AS SHOWN DESIGNED C. MORIN DRAWN AWS

12-09-10 DAVID RICHARDSON 21:32:30 Y:/Drawings - 2009/AT&T/_Rooftop/Belle Haven/Special Permits Rev 4 - 2010-11-18/ADA.dwg

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 MAXIMUM FLOOR AREA RATIO: 0.30 FOR OTHER THAN RESIDENTIAL OR PUBLIC USE
 TOTAL FLOOR AREA RATIO: 0.07

PARKING

ONE (EXISTING) PARKING LOT
 PARKING REQUIRED
 0.25 SPACES/1 SEAT (CHURCH USE) = 88 SPACES
 0.25 x 776 SEATS = 194 SPACES
 0.19 SPACES/1 CHILD (DAYCARE USE) = 7 SPACES
 0.19 x 37 CHILDREN = 7 SPACES
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 PARKING PROVIDED
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 THE TELECOMMUNICATION FACILITY GENERATES APPROXIMATELY (1) ONE TRIP PER MONTH PER CARRIER; NO DEDICATED PARKING IS REQUIRED.

SET BACK INFORMATION

FRONT YARD (EAST) - REQUIRED: 35' ANGLE OF BULK PLANE AND NOT LESS THAN 25'
 TELECOMMUNICATIONS COMPOUND - PROVIDED: 170'-8"
 SIDE YARD (NORTH) - REQUIRED: 30' ANGLE OF BULK PLANE AND NOT LESS THAN 10'
 TELECOMMUNICATIONS COMPOUND - PROVIDED: 534'-7"
 SIDE YARD (SOUTH) - REQUIRED: 30' ANGLE OF BULK PLANE AND NOT LESS THAN 10'
 TELECOMMUNICATIONS COMPOUND - PROVIDED: 37'-10"
 BACK YARD (WEST) - REQUIRED: 30' ANGLE OF BULK PLANE AND NOT LESS THAN 25'
 TELECOMMUNICATIONS COMPOUND - PROVIDED: 86'-8"

FLOOD_ZONE

MAP # 5155250137D - MARCH 5, 1990
 THIS PROJECT IS NOT LOCATED IN A FLOOD PLAIN (ZONE X)

SIGNS

ONE EXISTING SIGN
 ILLUMINATED - 10' WIDE x 5' HIGH BY 11"
 NO PROPOSED SIGNS

BELLE HAVEN

MT. VERNON METHODIST CHURCH

CHURCH MEMBERS: 400
 FULL TIME CHURCH EMPLOYEES: 2
 PART TIME CHURCH EMPLOYEES: 3
 CHURCH VOLUNTEERS: 40
 PRE-SCHOOL STUDENTS: 37
 PRE-SCHOOL EMPLOYEES: SAME AS CHURCH
 PRE-SCHOOL OPERATING HOURS: 9AM TO 12PM M-F

SPECIAL PERMIT - SITE PLAN NOTES

- THERE ARE NO PROPOSED IMPROVEMENTS TO THE PUBLIC RIGHTS OF WAY.
- THE PROPERTY IS SERVED BY PUBLIC WATER AND SEPTIC.
- THERE ARE NO FLOODPLAINS ON THE PROPERTY.
- THERE ARE NO GRAVES, OBJECTS OR STRUCTURES MARKING A PLACE OF BURIAL ON THE PROPERTY PER THE FAIRFAX COUNTY CEMETERY MAP.
- MINOR PAVED TRAIL ADJACENT TO SUBJECT PARCEL (BELLE VIEW BLVD)
- TOPOGRAPHIC DATA IS FROM A FIELD RUN SURVEY OF 06-08-09. TOPOGRAPHY FOR THIS PROJECT WAS DETERMINED FROM A FIELD RUN SURVEY AND EXISTING SITE PLANS.
- NO EXISTING TREES WILL BE REMOVED FOR CONSTRUCTION PURPOSES.
- THERE ARE NO PROPOSED SIGNS FOR THIS PROJECT.
- THERE ARE ±5,580 SF OF PROPOSED LAND CLEARING ACTIVITY ON THE ENTIRE APPLICATION PROPERTY.
- SIGNS SHALL COMPLY WITH ARTICLE 12 OF THE FAIRFAX ZONING ORDINANCE.
- NOTE: LOCATION OF PROPOSED COMPOUND ADJACENT TO EXISTING T-MOBILE'S COMPOUND WOULD:
 - ENCROACH ONTO THE 25' TRANSITIONAL SCREENING YARD
 - INCREASE EXPOSURE OF THE ICE BRIDGE
 - LIMIT ACCESS BY THE OWNER TO THE REAR OF THE PROPERTY

SUBJECT PARCEL

1. MT. VERNON METHODIST CHURCH
 DB 1152, PG 432
 TM# 0931 25040014
 ZONED R4 / PARCEL AREA = 2.80 AC

1A. MT. VERNON METHODIST CHURCH
 DB 1152, PG 432
 TM# 0931 01 0070
 ZONED R4 / PARCEL AREA = 1.6641 AC

ADJACENT PROPERTIES

2. COLVERT
 DB 3310, PG 38
 TM# 0931 25040013
 ZONED R4

17. EUSTIS
 DB 7078 PG 119
 TM# 0931 26020016
 ZONED R4

3. BRENNER
 D.B. 19760, PG. 2180
 TM# 0931 25040009
 ZONED R4

18. D.B. 1802, PG. 151
 TM# 0931 26020017
 ZONED R4

4. MOWERY
 DB 6690, PG 1226
 TM# 0931 41 0002
 ZONED R4

19. ELIE
 DB 15980, PG. 1146
 TM# 0931 26020023
 ZONED R4

5. THOMPSON
 DB 16101, PG 192
 TM# 0931 41 0003
 ZONED R4

20. MARSHALL
 DB 19548, PG. 762
 TM# 0931 26020024
 ZONED R4

6. WILSON
 DB 10922, PG 1547
 TM# 0931 41 0004
 ZONED R4

21. MURDY
 DB 14861, PG. 1229
 TM# 0931 26020025
 ZONED R4

7. SCHREINER
 DB 6740, PG 1633
 TM# 0931 41 0005
 ZONED R4

22. DUCHESNE
 D.B. 11528, PG. 304
 TM# 0931 26020026
 ZONED R4

8. MURRAY
 DB 11617, PG 410
 TM# 0931 41 0006
 ZONED R4

23. ABBASSI
 D.B. 6864, PG. 978
 TM# 0931 26020026
 ZONED R4

9. SCHREIBER
 DB 8327, PG 1071
 TM# 0931 41 0007
 ZONED R4

24. KOPP
 DB 13934, PG 235
 TM# 0931 25020008
 ZONED R4

10. SULLIVAN
 DB 6737 PG 792
 TM# 0931 41 0016
 ZONED R4

25. MT. VERNON BAPTIST
 D.B. 1152, PG. 432
 TM# 0931 2502 C
 ZONED R4

11. DECHORETZ
 D.B. 19134, PG. 1439
 TM# 0931 41 0017
 ZONED R4

26. TALAY
 DB 18331, PG 1413
 TM# 0931 2503 C1
 ZONED R4

12. HEATH
 D.B. 18317, PG. 2102
 TM# 0931 41 0018
 ZONED R4

27. TALAY
 D.B. 18848, PG. 1384
 TM# 0931 25030005
 ZONED R4

13. CURZON
 DB 11423, PG 1987
 TM# 0931 41 0019
 ZONED R4

28. BRANSFORD
 D.B. 18964, PG. 1937
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14. ZADROZNY
 DB 19978, PG. 2130
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 ZONED R4

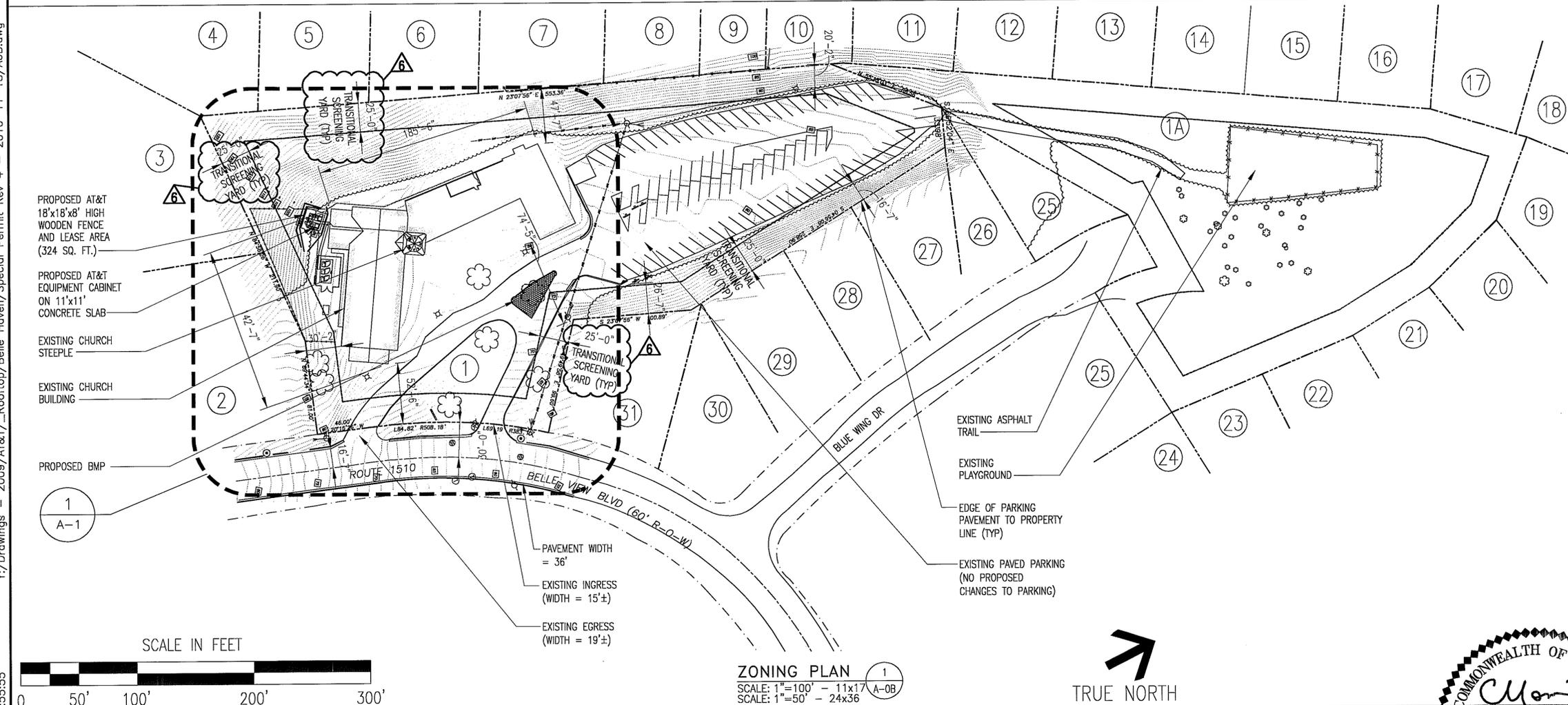
29. DUNLOP
 DB 11706, PG 1033
 TM# 0931 25030003
 ZONED R4

15. STOCKARD
 D.B. 19978, PG. 2130
 TM# 0931 26020014
 ZONED R4

30. CAREY
 DB 1149, PG 173
 TM# 0931 25040014
 ZONED R4

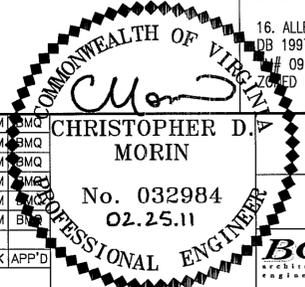
16. ALLEN
 DB 19978, PG. 2130
 TM# 0931 26020015
 ZONED R4

31. ROMANO
 DB 3533, PG 90
 TM# 0931 25030001
 ZONED R4



ZONING PLAN 1
 SCALE: 1"=100' - 11x17 A-08
 SCALE: 1"=50' - 24x36

TRUE NORTH



BC ARCHITECTS ENGINEERS
 FALLS CHURCH, VA

ZONING PLAN

DRAWINGS NUMBER
 10062876

APPROVED PLAT
 Application No. A-0857680-V-089
 Date of Approval April 20, 2011
 Sheet 4 of 14

BC architects engineers
 5659 COLUMBIA PIKE, SUITE 101
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SPECIAL PERMIT
BELLE HAVEN_MOUNT VERNON METHODIST CHURCH
10127916_3771
 2006 BELLE VIEW BLVD.
 ALEXANDRIA, VA 22307

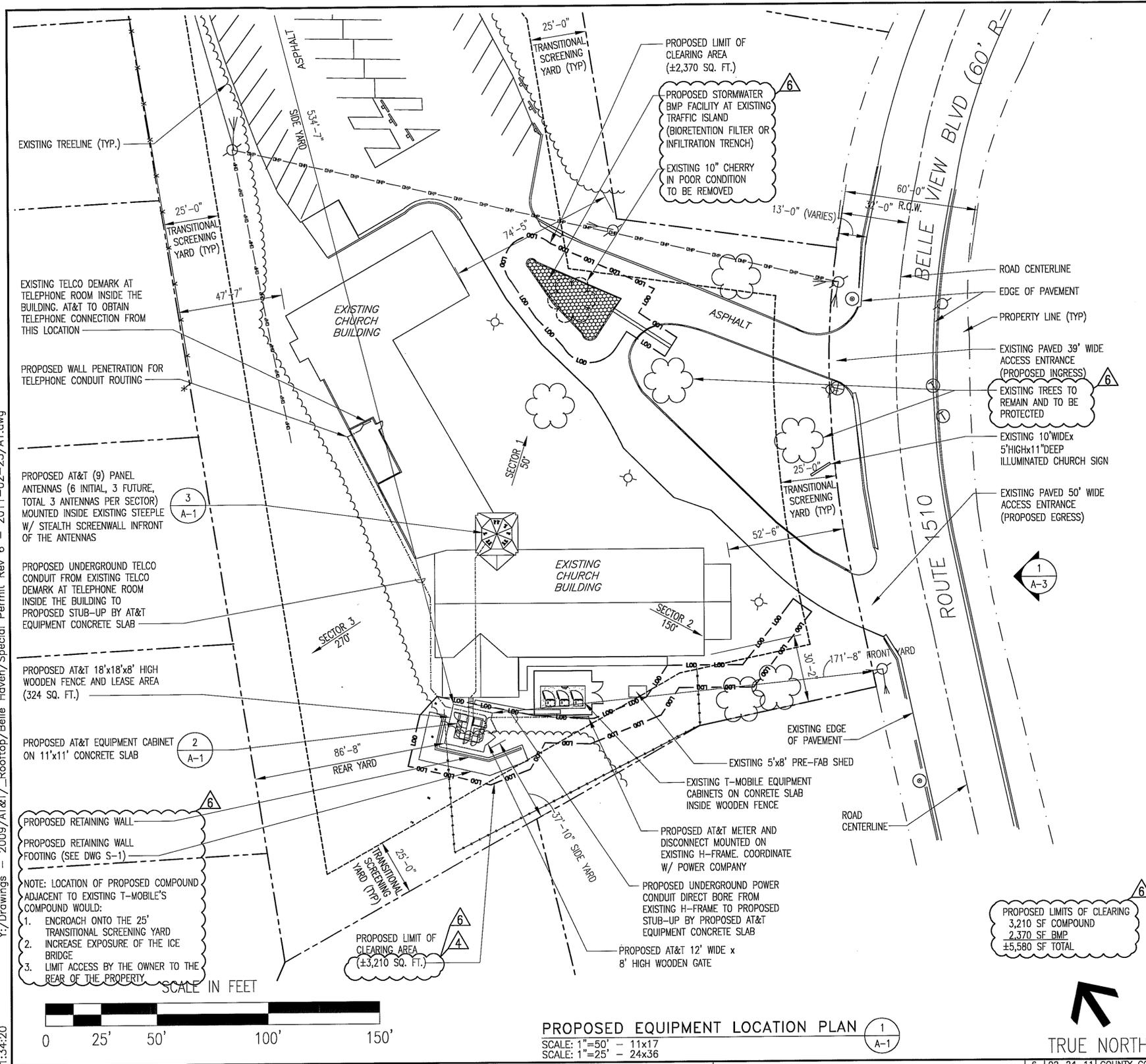
at&t
 7150 STANDARD DR
 HANOVER, MD 21076

NO.	DATE	REVISIONS	BY	CHK	APP'D
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5	02-07-11	COUNTY COMMENTS	DR	CDM	SMQ
4	12-22-10	COUNTY COMMENTS	DR	CDM	SMQ
3	09-29-10	COUNTY COMMENTS	DR	CDM	SMQ
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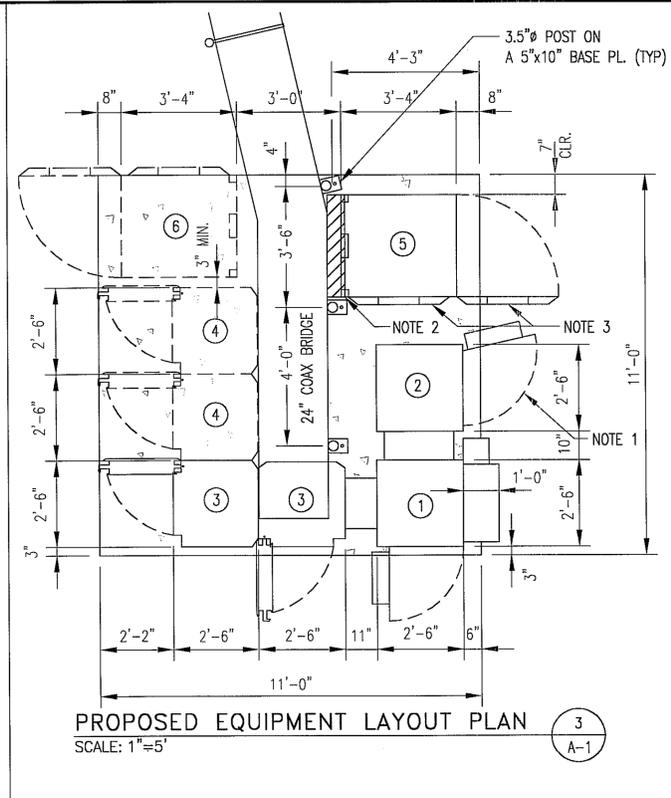
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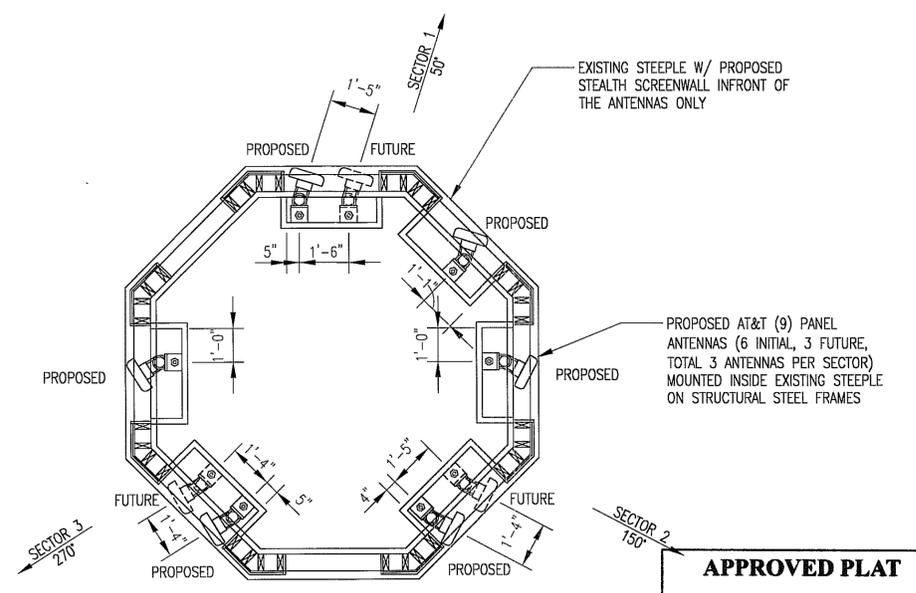


PROPOSED EQUIPMENT LOCATION PLAN (1)
 SCALE: 1"=50' - 11x17
 SCALE: 1"=25' - 24x36



PROPOSED EQUIPMENT LAYOUT PLAN (3)
 SCALE: 1"=5'

- NOTES:**
- ORDER ARGUS BATTERY CABINET WITH DOOR HINGE ON RIGHT SIDE.
 - INSTALL 6" WIDE BRIDGE EXTENSION (GALV. CHANNEL OR PLATE) OVER BACK OF LUCENT CABINET.
 - SOLAR SHIELD MOUNTED TO LEFT SIDE AND DOOR
- EQUIPMENT KEY NOTES:**
- PROPOSED ARGUS Te41 DC POWER CABINET (30"x30")
 - PROPOSED ARGUS Te40b BATTERY CABINET (30"x30")
 - PROPOSED OUTDOOR NOKIA BTS CABINETS
 - FUTURE OUTDOOR NOKIA BTS CABINETS
 - PROPOSED ALU OUTDOOR NODE B CABINET (35.4"Wx40.0"D)
 - FUTURE ALU OUTDOOR NODE B CABINET (35.4"Wx40.0"D)



PROPOSED ANTENNA PLAN VIEW (3)
 SCALE: 1"=5'

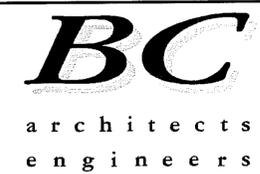
APPROVED PLAT

Application No. SPA 80-V-089
 Date of Approval April 20, 2011
 Sheet 5 of 14

COMMONWEALTH OF VIRGINIA
Christopher D. Morin
 No. 032984
 02.25.11
PROFESSIONAL ENGINEER

BC ARCHITECTS ENGINEERS FALLS CHURCH, VA	
PROPOSED EQUIPMENT LOCATION PLAN	
DRAWING NUMBER	REV
10062876-A-1	6

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5	02-07-11	COUNTY COMMENTS	DR	CDM	SMQ
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NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE:	AS SHOWN	DESIGNED	C. MORIN	DRAWN	AWS



5659 COLUMBIA PIKE, SUITE 101
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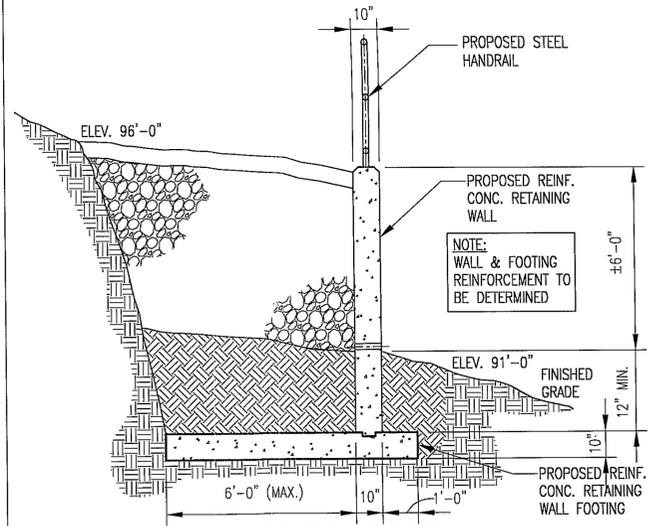
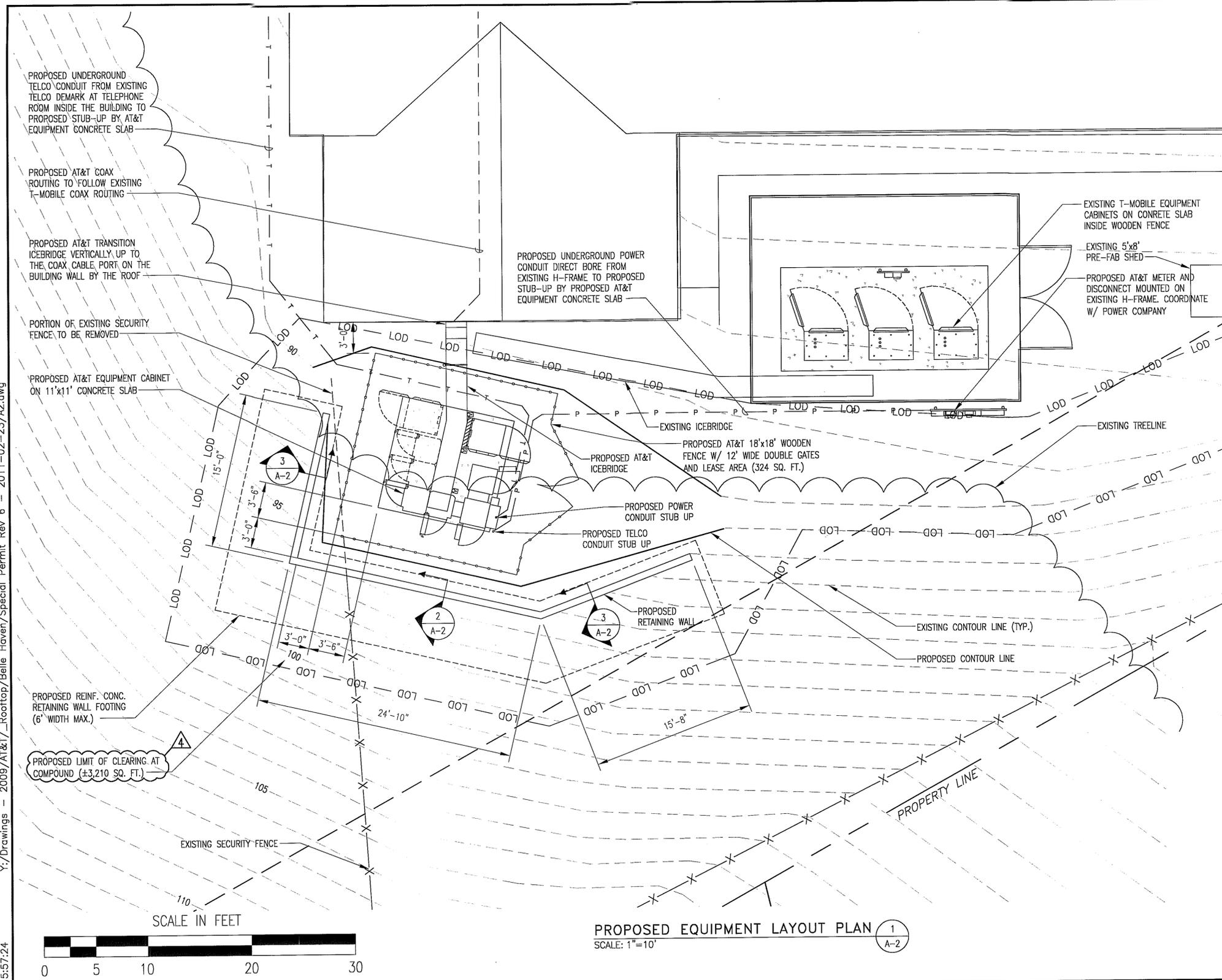
SPECIAL PERMIT
BELLE HAVEN_MOUNT VERNON METHODIST CHURCH
10127916_3771
 2006 BELLE VIEW BLVD.
 ALEXANDRIA, VA 22307



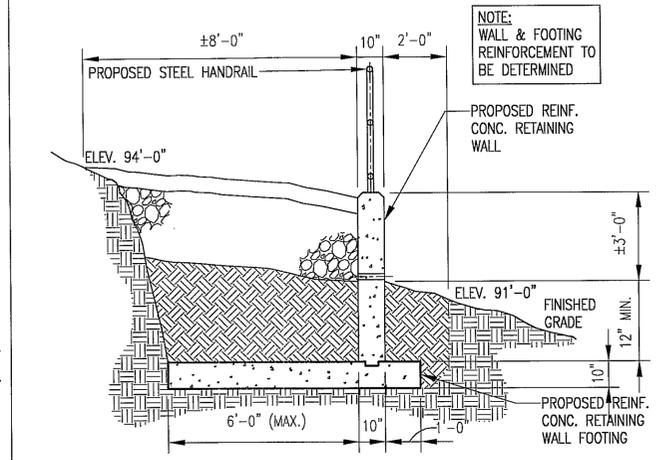
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 HANOVER, MD 21076



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SECTION 2
SCALE: 3/16"=1'-0" A-2



SECTION 3
SCALE: 3/16"=1'-0" A-2



PROPOSED EQUIPMENT LAYOUT PLAN 1
SCALE: 1"=10' A-2

APPROVED PLAT
Application No. EPA 80-V-0589
Date of Approval April 20, 2011
Sheet 16 of 14

BC
architects
engineers

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		DRAWN AWS			

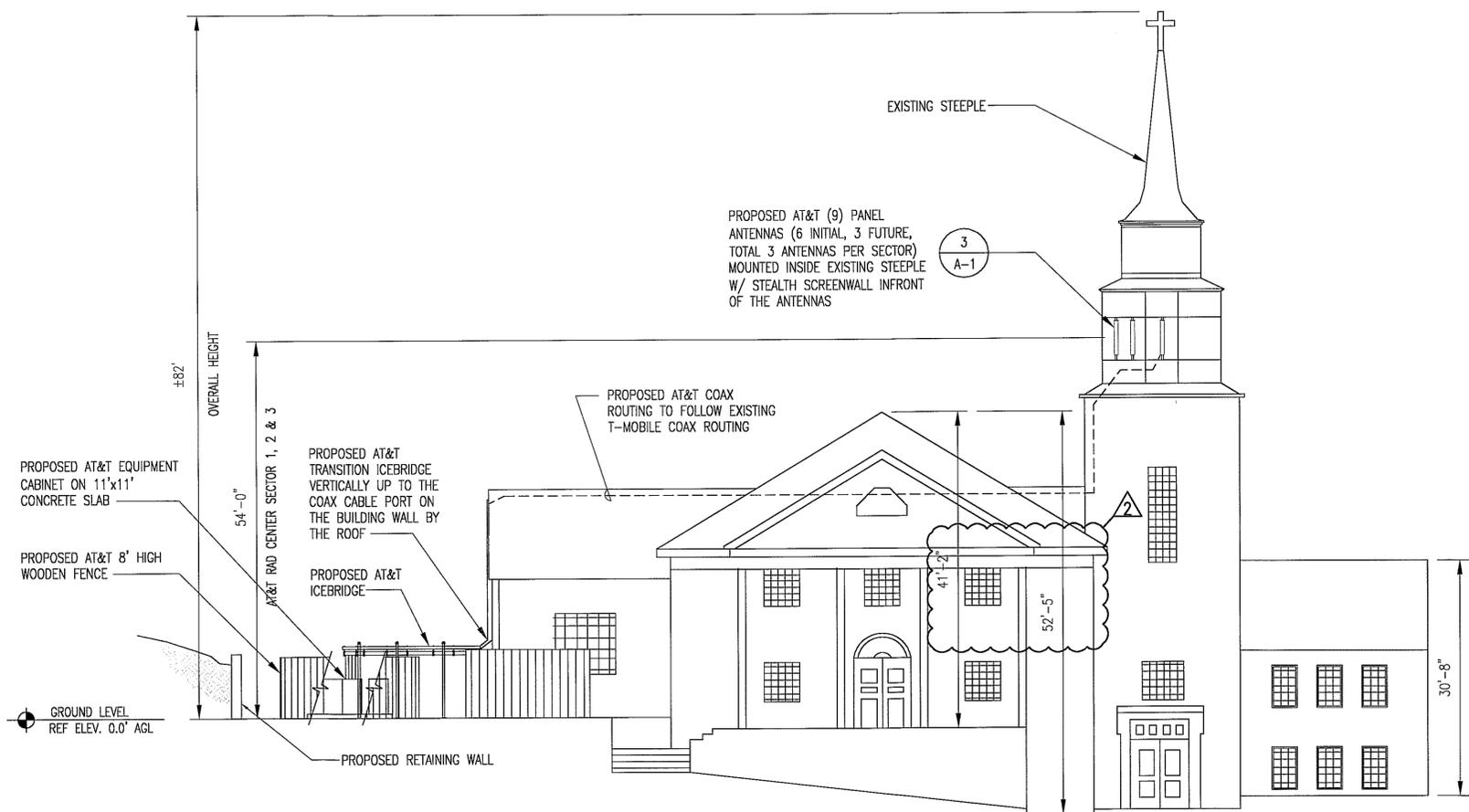
COMMONWEALTH OF VIRGINIA
C. Morin
CHRISTOPHER D. MORIN
No. 032984
02.25.11
PROFESSIONAL ENGINEER

BC ARCHITECTS ENGINEERS
FALLS CHURCH, VA

PROPOSED EQUIPMENT LAYOUT PLAN

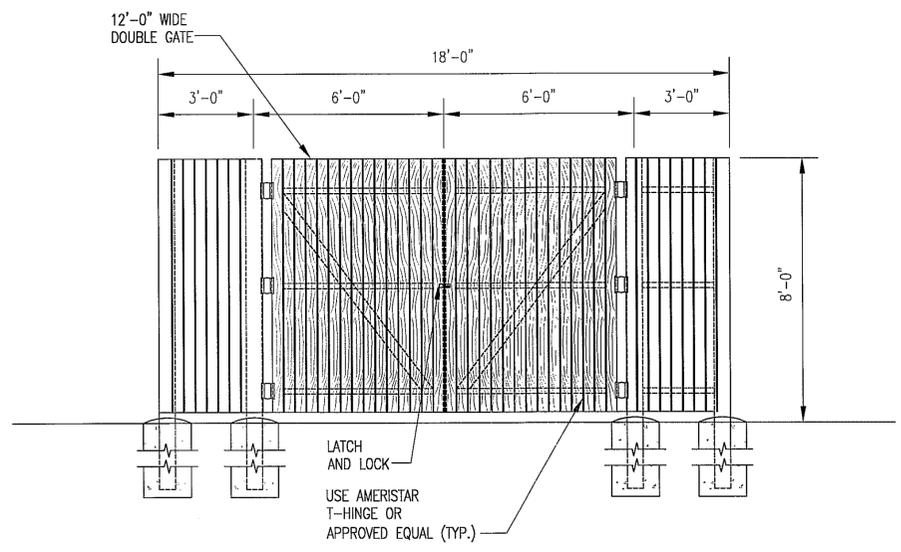
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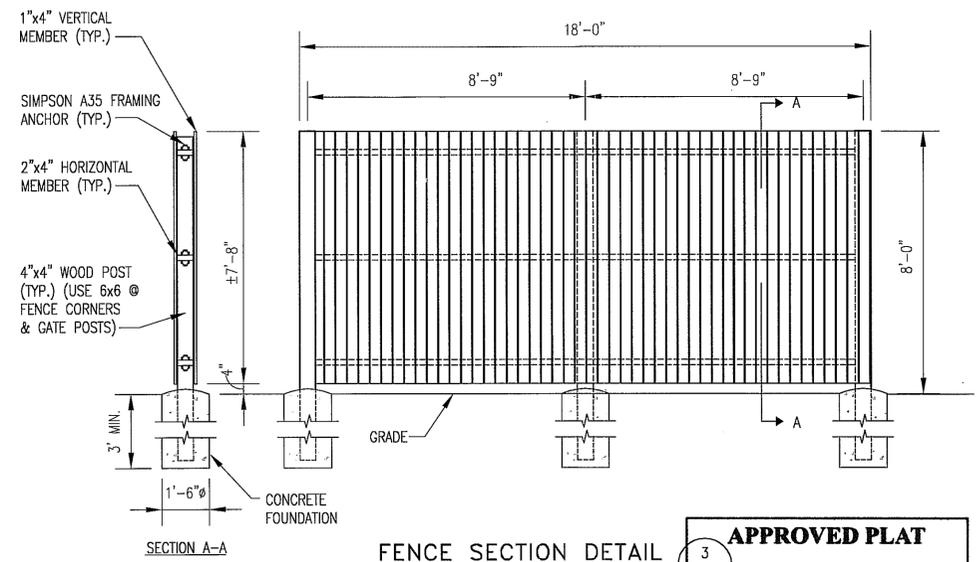


SOUTHEAST ELEVATION
SCALE: 1"=20'

- NOTES:**
1. ALL LUMBER SHALL BE PRESSURE TREATED.
 2. ALL NAILS SHALL BE #8 PENNYWEIGHT COMMON WIRE NAILS.
 3. NAIL 1x4 VERTICAL MEMBERS AT EACH GIRT.

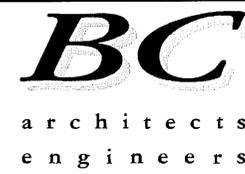
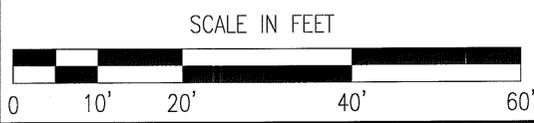


GATE ELEVATION
SCALE: 3/16"=1'-0" 11x17
SCALE: 3/8"=1'-0" 24x36



FENCE SECTION DETAIL
SCALE: 3/16"=1'-0" 11x17
SCALE: 3/8"=1'-0" 24x36

APPROVED PLAT
Application No. SDA 80-V-089
Date of Approval April 20, 2011
Sheet 7 of 14



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NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED C. MORIN	DRAWN AWS		

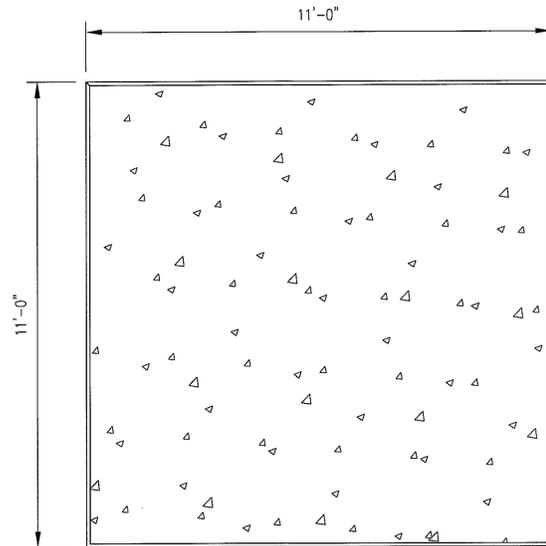
COMMONWEALTH OF VIRGINIA
C. Morin
CHRISTOPHER D. MORIN
No. 032984
02.25.11
PROFESSIONAL ENGINEER

BC ARCHITECTS ENGINEERS
FALLS CHURCH, VA

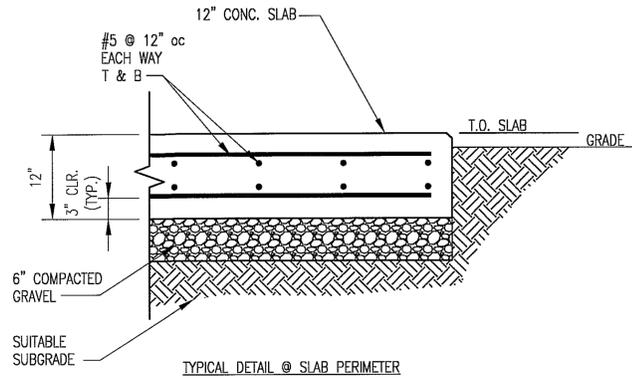
SOUTHEAST ELEVATION AND WOOD FENCE
AND GATE DETAILS

DRAWING NUMBER	REV
10062876- A-3	6

- NOTES:
1. CONCRETE STRENGTH SHALL BE A MINIMUM OF 3,000 psi.
 2. SLAB TO BE FLAT AND LEVEL.
 3. CHAMFER 3/4" AT ALL EXPOSED EDGES OF CONCRETE.



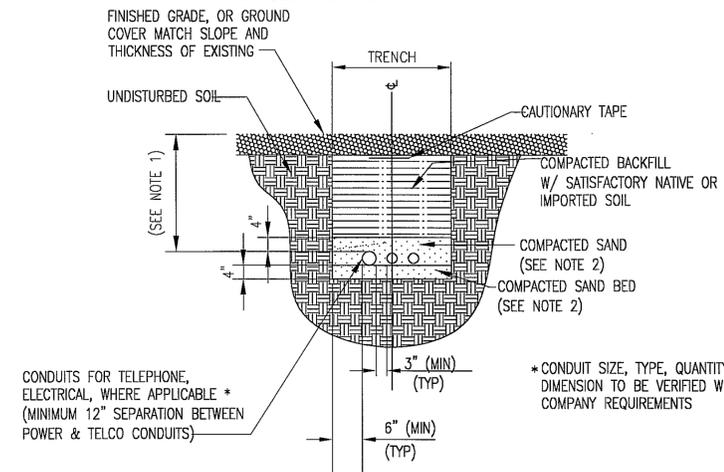
SLAB FOUNDATION



TYPICAL DETAIL @ SLAB PERIMETER

EQUIPMENT FOUNDATION DETAILS 1
SCALE: N.T.S.

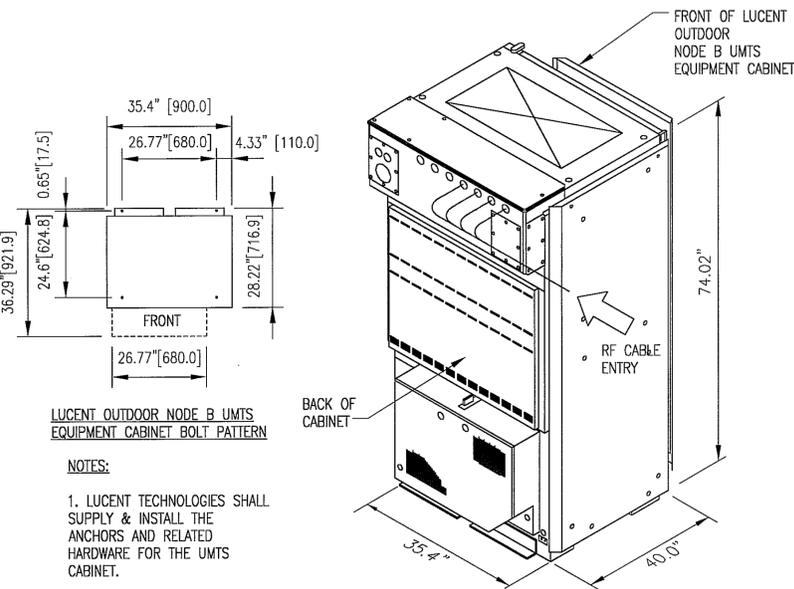
- NOTES:
1. DEPTH "D" WILL BE MINIMUM OF 36" FROM FINISH STONE GRADE OR DEEPER BASED UPON NATIONAL ELECTRICAL CODE, UTILITY REQUIREMENTS OR STATE AND LOCAL CODES.
 2. LEAN CONCRETE, RED-COLORED TOP, MAY BE USED IN PLACE OF COMPACTED SAND.



CONDUITS FOR TELEPHONE, ELECTRICAL, WHERE APPLICABLE * (MINIMUM 12" SEPARATION BETWEEN POWER & TELCO CONDUITS)

* CONDUIT SIZE, TYPE, QUANTITY AND SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS

DIRECT BURIED CONDUIT 2
SCALE: N.T.S.



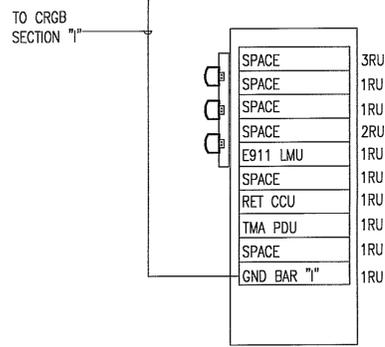
LUCENT OUTDOOR NODE B UMTS EQUIPMENT CABINET BOLT PATTERN

NOTES:

1. LUCENT TECHNOLOGIES SHALL SUPPLY & INSTALL THE ANCHORS AND RELATED HARDWARE FOR THE UMTS CABINET.
2. COMPLETELY ASSEMBLED UNIT WEIGHS 1200 LBS.

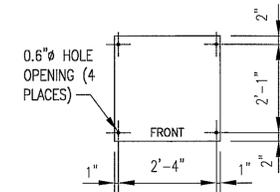
LUCENT CABINET DETAILS 3
SCALE: NTS

- NOTES:
1. PLATES ARE TO BE INSTALLED WITH NON-CONDUCTIVE ISOLATING FASTENERS. USE INFORMATION SUPPORT PRODUCTS: SHOULDER WASHERS (PN# SW) 12-24 MACHINE SCREWS (PN# HP-24) & EQUIVALENT
 2. COMPONENTS NOT SHOWN FOR CLARITY.
 3. 6.6" MINIMUM RET CABLE REQUIRED BETWEEN CCU AND RET CABLE LIGHTNING PROTECTION DEVICE.



FRONT VIEW

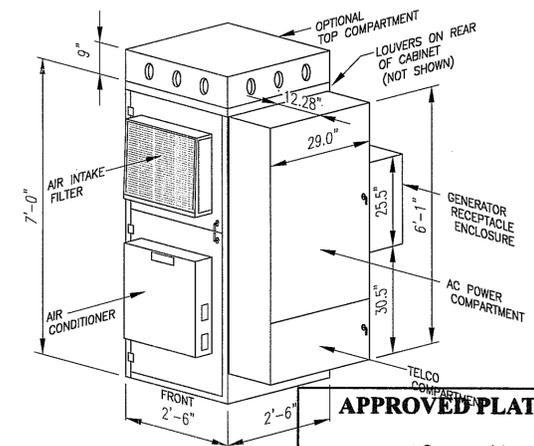
RET EQUIPMENT AND MOUNTING RACK 4
SCALE: NTS



BOTTOM MOUNTING HOLE PATTERN

NOTES:

1. FOR CONCRETE PAD MOUNTING INSTALL (4) CONCRETE ANCHORS HILTI HSL-3-M12/25 (ARGUS P/N 633-066-10) OR EQUIVALENT.
2. FOR PLATFORM MOUNTING, INSTALL (4) 1/2" A325 STRUCTURAL BOLTS OR EQUIVALENT.
3. INSTALL ISOLATION PAD (1/8" BARRIER MAT; ARGUS P/N 83) UNDER CABINET.
4. APPROXIMATE MAXIMUM WEIGHT WITH EIGHT BATTERIES (2 SHELVES) AND AC POWER/TELCO ENCLOSURE IS 2300 LBS.

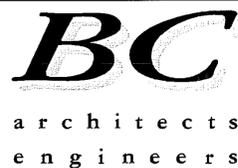


APPROVED PLAT

Application No. SPA SD-W-089
Date of Approval April 20, 2011
Sheet 8 of 14

ARGUS CABINET DETAILS 5
SCALE: NTS

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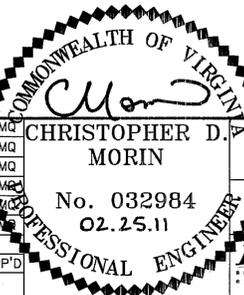


5650 COLUMBIA PIKE, SUITE 101
FALLS CHURCH, VA 22041-2868
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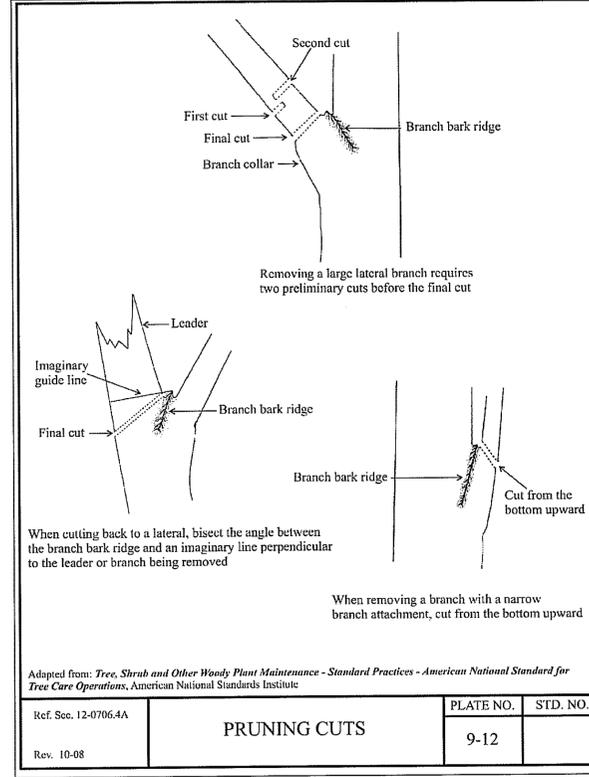
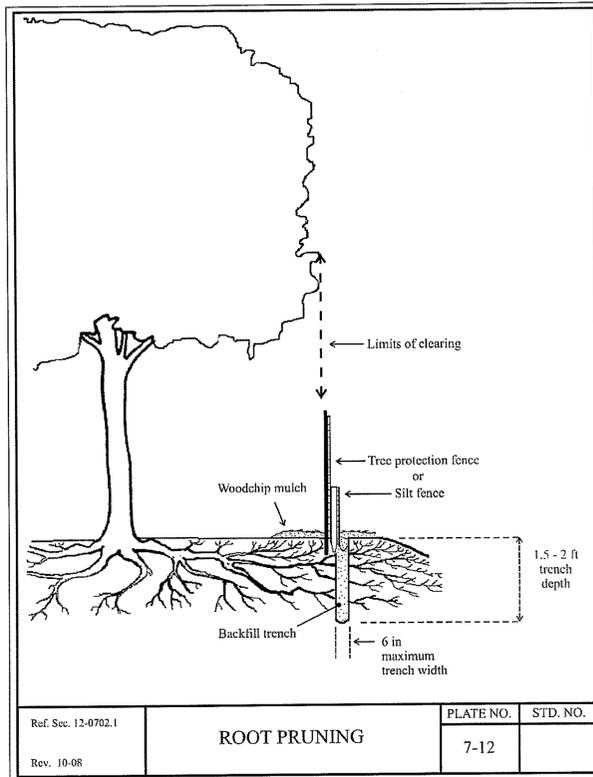
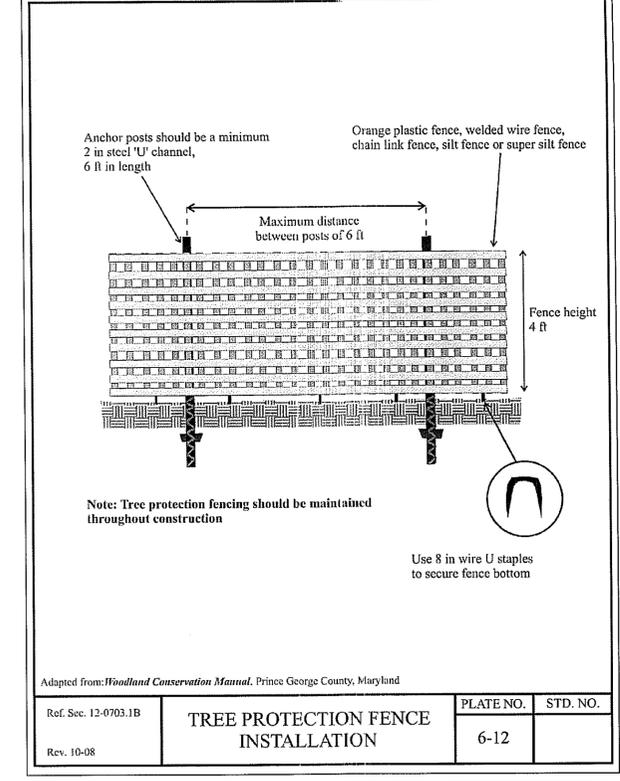
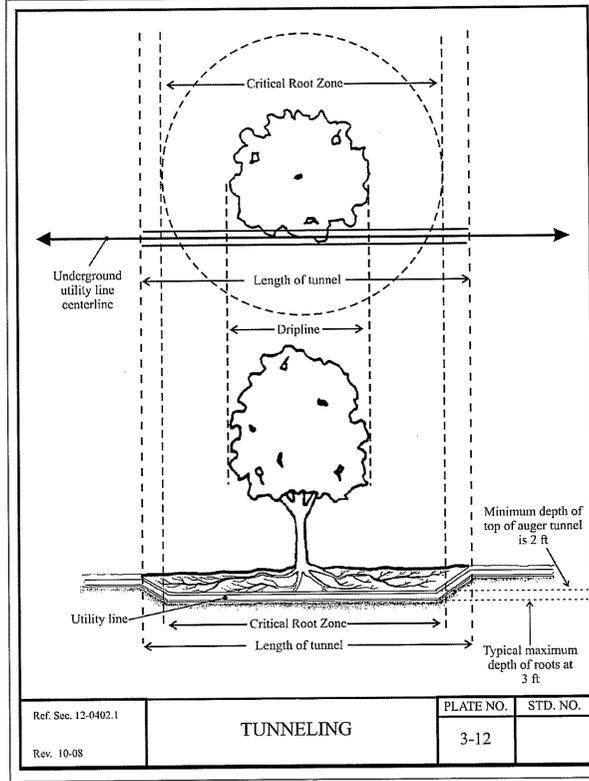
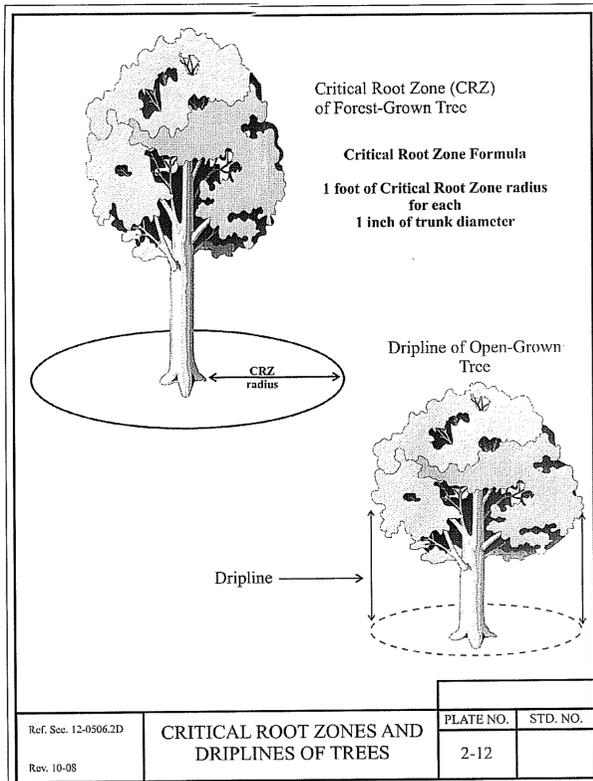
SPECIAL PERMIT
BELLE HAVEN MOUNT VERNON METHODIST CHURCH
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1	06-24-10	COUNTY COMMENTS	AGT	CDM	BNB
0					
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE:	AS SHOWN	DESIGNED C. MORIN	DRAWN	AWS	



BC ARCHITECTS ENGINEERS FALLS CHURCH, VA	
SLAB FOUNDATION & DETAILS	
DRAWING NUMBER	REV
10062876-A-4	6



TREE PROTECTION NOTES

- TREES WITHIN 25' OF CONSTRUCTION SITE AND ASSOCIATED GRADING, PARKING AND UTILITY EXTENSIONS SHALL BE BOXED IN TO PREVENT MECHANICAL INJURY. THE BOX SHOULD BE AS CLOSE TO THE DRIP LINE OF THE TREE AS POSSIBLE.
- BOARDS SHALL NOT BE NAILED TO TREES DURING CONSTRUCTION OPERATIONS.
- HEAVY EQUIPMENT OPERATORS SHALL AVOID DAMAGE TO EXISTING TREE TRUNKS AND ROOTS DURING LAND LEVELING OPERATIONS. TUNNEL UNDER ROOT SYSTEMS WHEN INSTALLING UTILITY LINES, IF POSSIBLE.
- TREE TRUNKS AND EXPOSED ROOTS AND LIMBS DAMAGED DURING EQUIPMENT OPERATIONS SHALL BE CARED FOR AS PRESCRIBED BY THE PROJECT FORESTER OR LICENSED TREE EXPERT.
- WOOD CHIPS SHALL BE SPREAD TO A 4" DEPTH IN WOODED SITES TO HELP PREVENT SOIL COMPACTION AND DAMAGE TO TREES.
- THE USE OF HEAVY EQUIPMENT ON ROOT SYSTEMS OF DESIRABLE TREES SHALL BE AVOIDED TO PREVENT SOIL COMPACTION. ALL CONSTRUCTION SHALL BE KEPT OUTSIDE OF THE DRIP LINE OF THE PROTECTED TREES. PROTECTIVE FENCING SHALL BE UTILIZED FOR TREES BEING RETAINED. LOCATE PROTECTIVE FENCING 6" MIN BEYOND DRIP LINE.
- BROAD LEAF TREES SHALL RECEIVE A HEAVY APPLICATION OF COMPLETE FERTILIZER TO AID THEIR RECOVERY FROM POSSIBLE DAMAGE CAUSED BY CONSTRUCTION OPERATIONS. FERTILIZER SHALL BE APPLIED DURING WINTER AND/OR EARLY SPRING FOLLOWING COMPLETION OF CONSTRUCTION. IT SHALL BE APPLIED AT THE GROUND LINE. FERTILIZER SHALL BE APPLIED IN HOLES 1" DIAMETER, 18" DEEP, SPACED @ 24" TO 12" PAST THE DRIP LINE OF THE PROTECTED TREES.
- FERTILIZER SHALL BE APPLIED AT THE RATE OF 2-4 LBS PER INCH OF TREE DIAMETER AT BREST HEIGHT. FERTILIZER FORMULATION SHALL BE:

DECIDUOUS TREES COMMERCIAL - 10-6-4
 NARROW LEAF EVERGREEN COMMERCIAL - 10-6-4
 GREATER THAN 6" DIAM
 BROAD LEAF EVERGREEN

APPROVED PLAT

Application No. SPA 80-V-089
 Date of Approval April 20, 2011
 Sheet 9 of 14

COMMONWEALTH OF VIRGINIA
 PROFESSIONAL ENGINEER
 Christopher D. Morin
 No. 032984
 02.25.11

BC ARCHITECTS ENGINEERS
 FALLS CHURCH, VA

TREE PROTECTION DETAILS

DRAWING NUMBER	REV
10062876-A-5	6

6	02-24-11	COUNTY COMMENTS	DR	CDM	SMQ
5	02-07-11	COUNTY COMMENTS	DR	CDM	SMQ
4	12-22-10	COUNTY COMMENTS	DR	CDM	SMQ
3	09-29-10	COUNTY COMMENTS	DR	CDM	SMQ
2	08-04-10	COUNTY COMMENTS	DR	CDM	SMQ
1	06-24-10	COUNTY COMMENTS	AGT	CDM	BR
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NO.	DATE	REVISIONS	BY	CHK	APP'D
		DESIGNED C. MORIN	DRAWN	AWS	

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BC
 architects
 engineers

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SPECIAL PERMIT
BELLE HAVEN_MOUNT VERNON METHODIST CHURCH
10127916_3771
 2006 BELLE VIEW BLVD.
 ALEXANDRIA, VA 22307

at&t
 7150 STANDARD DR
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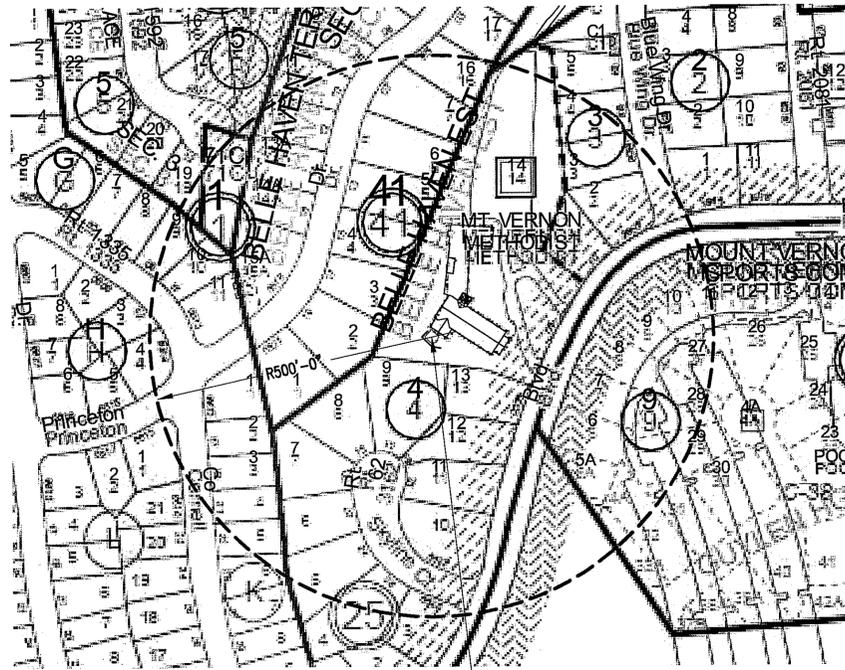
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NOTES:

1. THERE ARE NO IMPROVEMENTS TO THE PUBLIC RIGHTS OF WAY.
2. THE PROPERTY IS SERVED BY PUBLIC WATER AND SEPTIC.
3. THERE ARE NO PROPOSED STORM WATER MANAGEMENT FACILITIES.
4. NO TREES WILL BE REMOVED.

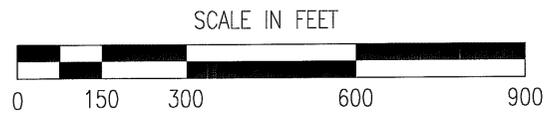
ZONING AND SITE TABULATION:

- | | |
|---------------------------|-------------------------------|
| 1. SITE AREA | 121,924 SF (2.80 AC) |
| 2. EXISTING USE | CHURCH AND TELECOMMUNICATIONS |
| FACILITY | |
| 3. PROPOSED USE | CHURCH AND TELECOMMUNICATIONS |
| FACILITY | |
| 4. EXIST BUILDING AREA | 13,282.8 SF |
| 5. PROPOSED BUILDING AREA | N/A |



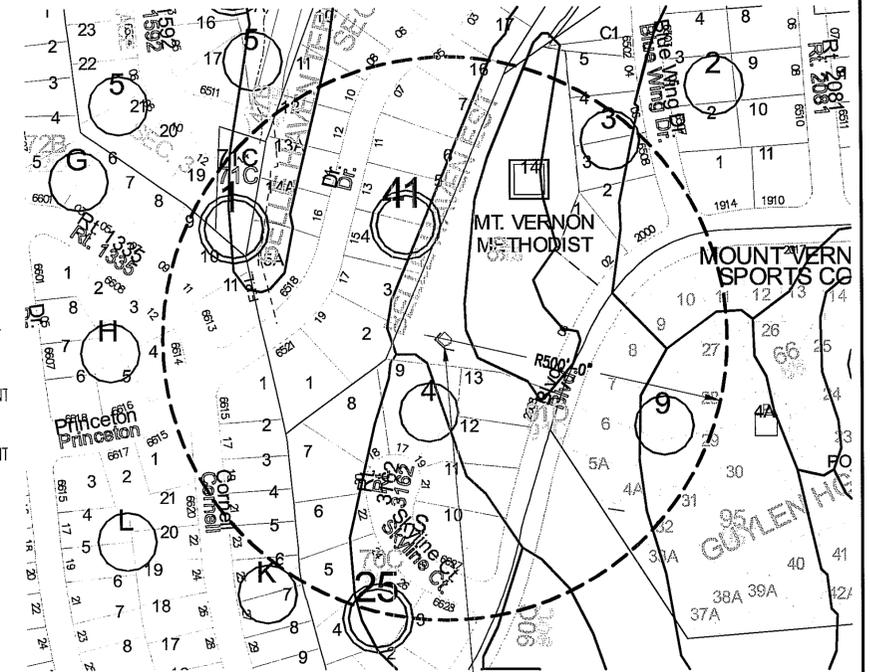
PROPOSED AT&T 18'x18'x8' HIGH WOODEN FENCE W/ 12' WIDE DOUBLE GATES AND LEASE AREA (324 SQ. FT.)

ZONING MAP - FROM SECTION SHEET 40-2
 SCALE: 1"=300' @ 11"x17"
 SCALE: 1"=150' @ 24"x36"

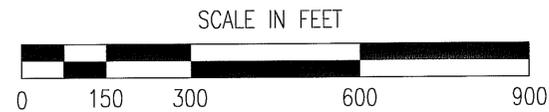


LEGEND

- 45B GRIST MILL-MATAPEAKE COMPLEX, 2 TO 7 PERCENT SLOPES
- 47B GRIST MILL-WOODSTOWN COMPLEX, 2 TO 7 PERCENT SLOPES
- 66 KINGSTOWNE SANDY CLAY LOAM, 0 TO 45 PERCENT SLOPES
- 70C KINGSTOWN-SASSAFRAS COMPLEX 7 TO 15 PERCENT SLOPES
- 71C KINGSTOWN -SASSAFRAS-MARUMSCO COMPLEX 7 TO 15 PERCENT
- 71D KINGSTOWN -SASSAFRAS-MARUMSCO COMPLEX 15 TO 25 PERCENT
- 72B KINGSTOWNE-SASSAFRAS-MARUMSCO COMPLEX 15 TO 25 PERCENT
- 76B MATAPEAKE SLIT LOAM, 2 TO 7 PERCENT SLOPES
- 90C SASSAFRAS SANDY LOAM, 7 TO 15 PERCENT SLOPES
- 91C SASSAFRAS-MARUMSCO COMPLEX, 7 TO 15 PERCENT SLOPES
- 91D SASSAFRAS-MARUMSCO COMPLEX 15 TO 25 PERCENT SLOPES
- 92B SASSAFRAS-NEABSCO COMPLEX, 2 TO 7 PERCENT SLOPES
- 95 URBAN LAD
- 98 URBAN LAND-GRIST MILL

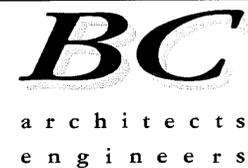


PROPOSED AT&T 18'x18'x8' HIGH WOOD FENCED COMPOUND



SOILS MAP
 SCALE: 1"=300' @ 11"x17"
 SCALE: 1"=150' @ 24"x36"

APPROVED PLAT
 Application No. SPA 80-V-089
 Date of Approval April 20, 2011
 Sheet 10 of 14

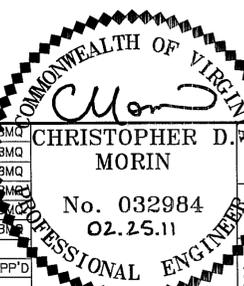


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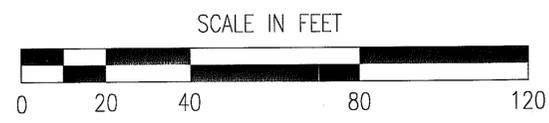
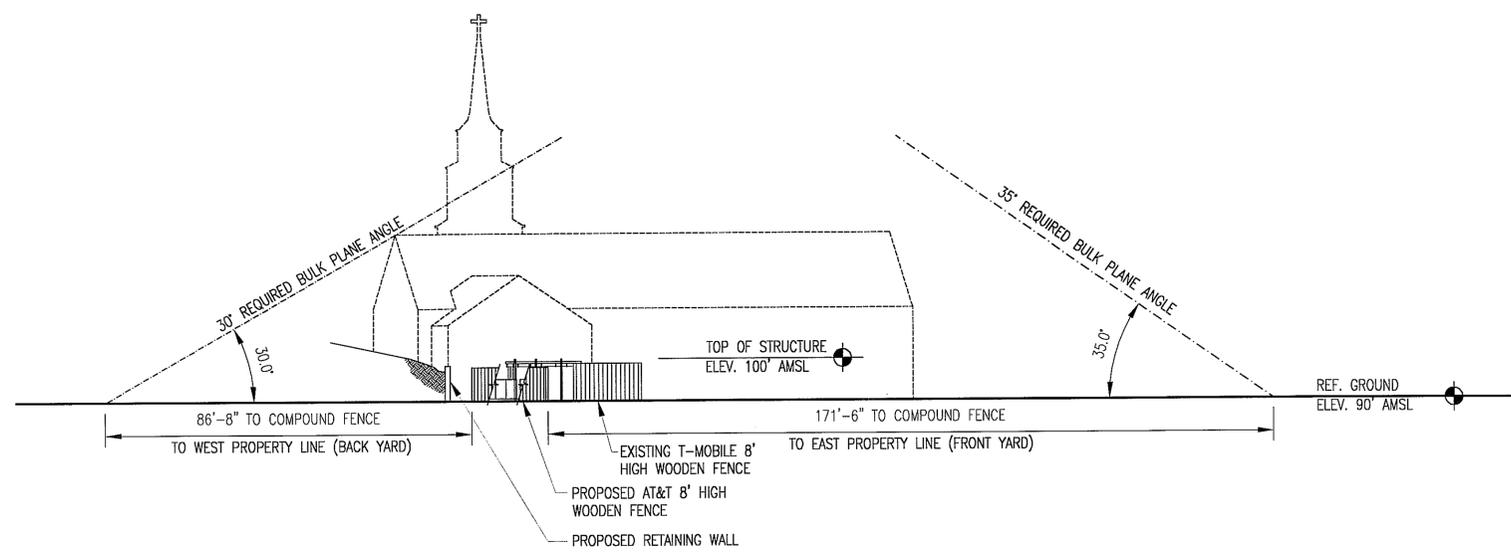


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5	02-07-11	COUNTY COMMENTS	DR	CDM	CMQ
4	12-22-10	COUNTY COMMENTS	DR	CDM	CMQ
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2	08-04-10	COUNTY COMMENTS	DR	CDM	CMQ
1	06-24-10	COUNTY COMMENTS	AGT	CDM	CMQ
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NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED C. MORIN	DRAWN AWS		

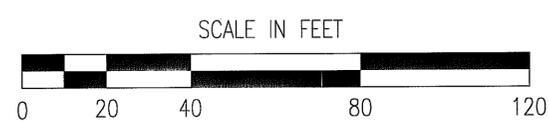
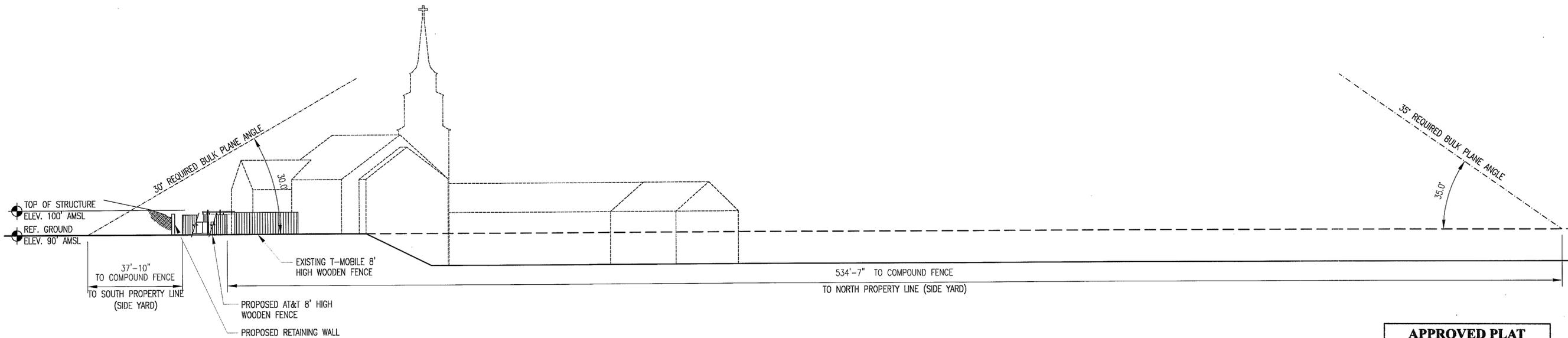


BC ARCHITECTS ENGINEERS
 FALLS CHURCH, VA
 CIVIL MAPS AND NOTES
 DRAWING NUMBER
 10062876-A-6
 REV
 6

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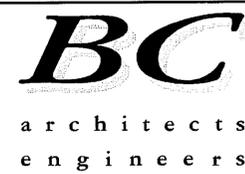


SOUTH ELEVATION 1
 SCALE: 1"=40' @ 11"x17"
 SCALE: 1"=20' @ 24"x36" A-7



EAST ELEVATION 2
 SCALE: 1"=40' @ 11"x17"
 SCALE: 1"=20' @ 24"x36" A-7

APPROVED PLAT
 Application No. SPA 80-V-089
 Date of Approval April 20, 2011
 Sheet 11 of 14

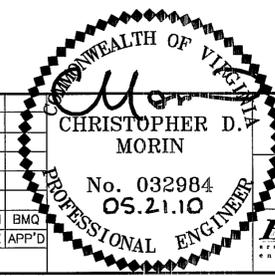


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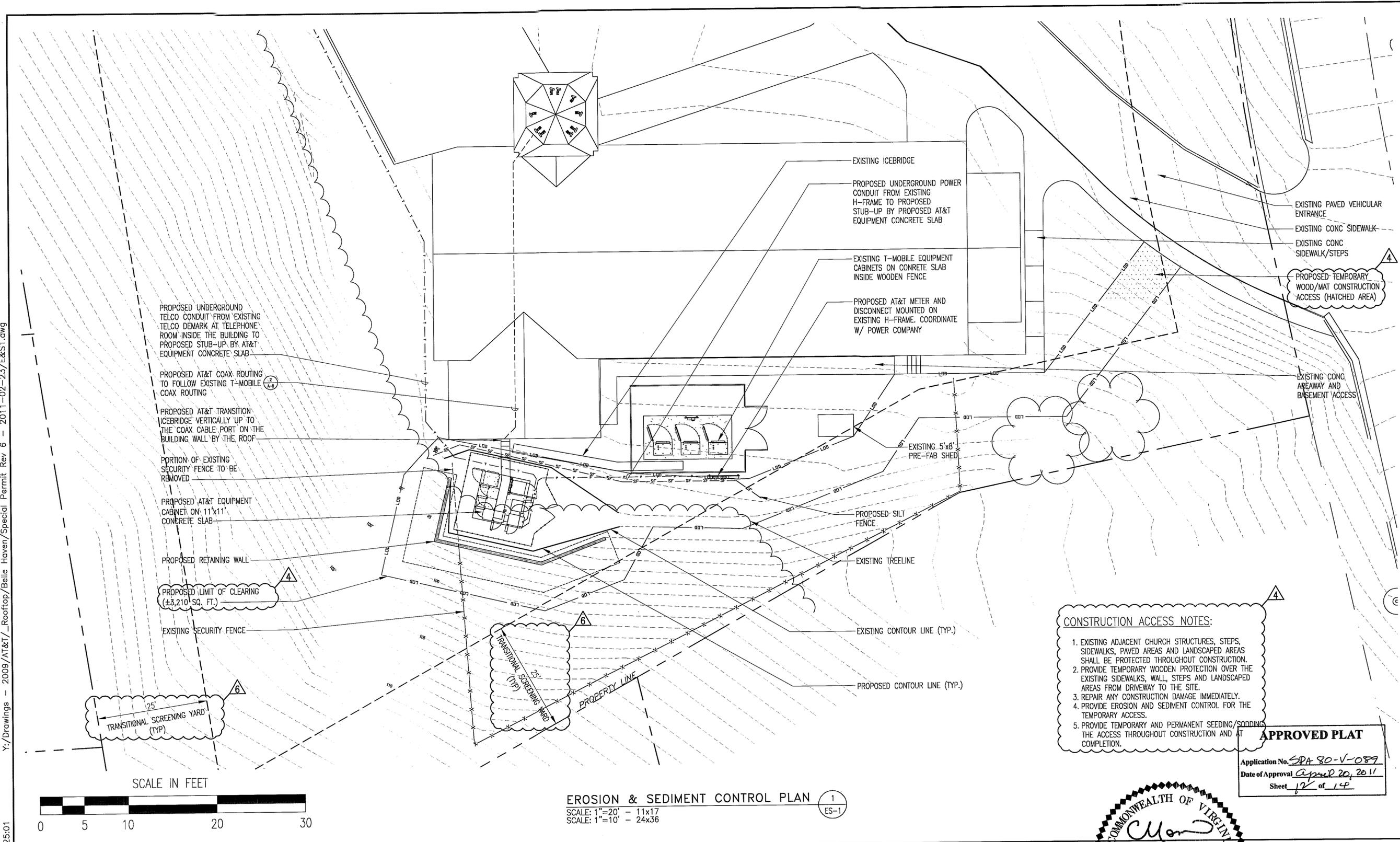
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 ORDINANCE DATA & SETBACK GRAPHIC
 DRAWING NUMBER 10062876-A-7
 REV 0

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PROPOSED UNDERGROUND TELCO CONDUIT FROM EXISTING TELCO DEMARK AT TELEPHONE ROOM INSIDE THE BUILDING TO PROPOSED STUB-UP BY AT&T EQUIPMENT CONCRETE SLAB

PROPOSED AT&T COAX ROUTING TO FOLLOW EXISTING T-MOBILE COAX ROUTING

PROPOSED AT&T TRANSITION ICEBRIDGE VERTICALLY UP TO THE COAX CABLE PORT ON THE BUILDING WALL BY THE ROOF

PORTION OF EXISTING SECURITY FENCE TO BE REMOVED

PROPOSED AT&T EQUIPMENT CABINET ON 11'x11' CONCRETE SLAB

PROPOSED RETAINING WALL

PROPOSED LIMIT OF CLEARING (±3,210 SQ. FT.)

EXISTING SECURITY FENCE

TRANSITIONAL SCREENING YARD (TYP)

TRANSITIONAL SCREENING WALL (TYP)

EXISTING ICEBRIDGE
PROPOSED UNDERGROUND POWER CONDUIT FROM EXISTING H-FRAME TO PROPOSED STUB-UP BY PROPOSED AT&T EQUIPMENT CONCRETE SLAB

EXISTING T-MOBILE EQUIPMENT CABINETS ON CONCRETE SLAB INSIDE WOODEN FENCE

PROPOSED AT&T METER AND DISCONNECT MOUNTED ON EXISTING H-FRAME. COORDINATE W/ POWER COMPANY

EXISTING 5'x8' PRE-FAB SHED

PROPOSED SILT FENCE

EXISTING TREELINE

EXISTING CONTOUR LINE (TYP.)

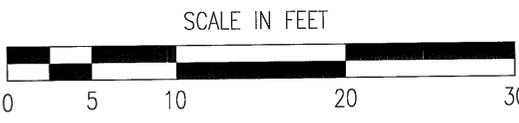
PROPOSED CONTOUR LINE (TYP.)

EXISTING PAVED VEHICULAR ENTRANCE
EXISTING CONC SIDEWALK
EXISTING CONC SIDEWALK/STEPS

PROPOSED TEMPORARY WOOD/MAT CONSTRUCTION ACCESS (HATCHED AREA)

EXISTING CONC AREAWAY AND BASEMENT ACCESS

- CONSTRUCTION ACCESS NOTES:**
- EXISTING ADJACENT CHURCH STRUCTURES, STEPS, SIDEWALKS, PAVED AREAS AND LANDSCAPED AREAS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
 - PROVIDE TEMPORARY WOODEN PROTECTION OVER THE EXISTING SIDEWALKS, WALL, STEPS AND LANDSCAPED AREAS FROM DRIVEWAY TO THE SITE.
 - REPAIR ANY CONSTRUCTION DAMAGE IMMEDIATELY.
 - PROVIDE EROSION AND SEDIMENT CONTROL FOR THE TEMPORARY ACCESS.
 - PROVIDE TEMPORARY AND PERMANENT SEEDING/SODDING THE ACCESS THROUGHOUT CONSTRUCTION AND AT COMPLETION.



EROSION & SEDIMENT CONTROL PLAN 1
SCALE: 1"=20' - 11x17
SCALE: 1"=10' - 24x36

APPROVED PLAT
Application No. SDA 80-V-089
Date of Approval April 20, 2011
Sheet 12 of 14

COMMONWEALTH OF VIRGINIA
C. Morin
CHRISTOPHER D. MORIN
No. 032984
02.25.11
PROFESSIONAL ENGINEER

BC ARCHITECTS ENGINEERS
FALLS CHURCH, VA

EROSION & SEDIMENT CONTROL PLAN

DRAWING NUMBER
10062876- E&S-1
REV
6

BC
architects
engineers

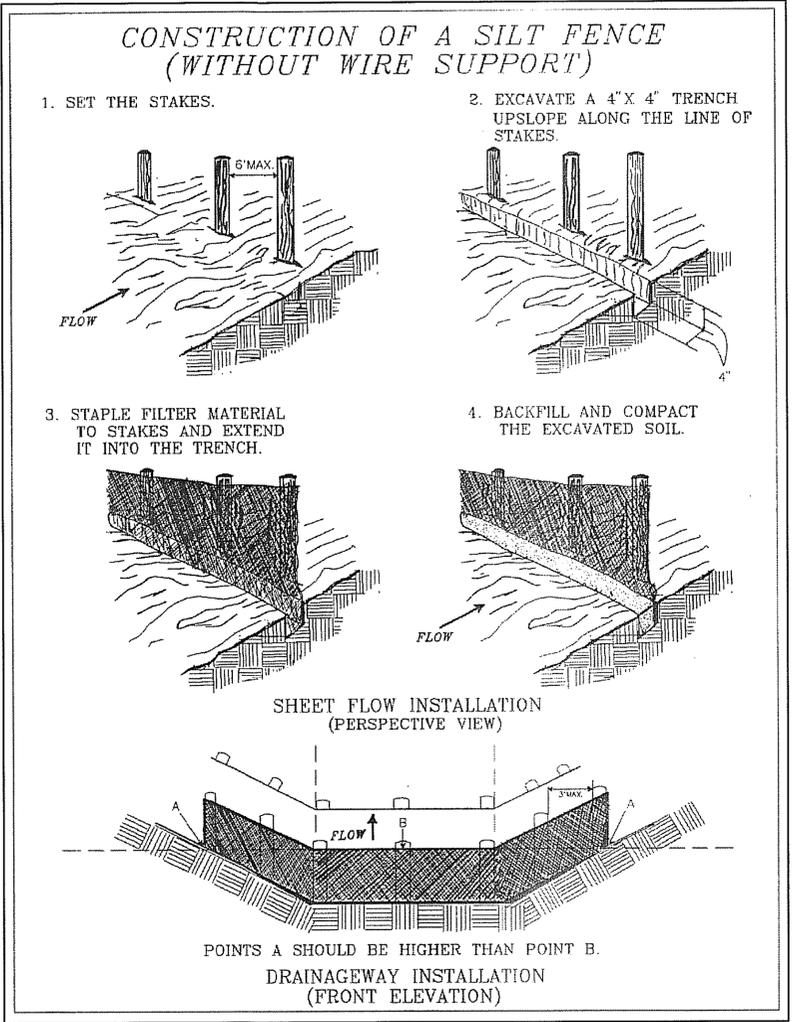
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6	02-24-11	COUNTY COMMENTS	DR	CDM	SMQ
5	02-07-11	COUNTY COMMENTS	DR	CDM	SMQ
4	12-22-10	COUNTY COMMENTS	DR	CDM	SMQ
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2	08-04-10	COUNTY COMMENTS	DR	CDM	SMQ
1	06-24-10	COUNTY COMMENTS	AGT	CDM	SMQ
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NO.	DATE	REVISIONS	BY	CHK	APP'D
		DESIGNED C. MORIN			
		DRAWN AWS			

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NOTE: ALL DETAILS ARE REFERENCED FROM THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION, 1992 SEE DRAWINGS G-1 AND G-2 FOR LOCATIONS OF EROSION AND SEDIMENT CONTROL STRUCTURAL PRACTICES

SF SILT FENCE STD 3.05-1

EROSION & SEDIMENT CONTROL DETAILS 1 E&S-2 SCALE: N.T.S.

GENERAL LAND CONSERVATION NOTES

1. NO DISTURBED AREA WILL BE DENUDED FOR MORE THAN 7 CALENDAR DAYS UNLESS IT IS AN ACTIVE WORK AREA OR OTHERWISE AUTHORIZED BY THE DIRECTOR OR HIS AGENT.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING.
3. ALL STORM AND SANITARY LINES NOT IN STREETS SHALL BE MULCHED AND SEEDED WITHIN 7 DAYS AFTER BACKFILL. NO MORE THAN 500 FEET SHALL BE OPEN AT ANY ONE TIME.
4. ELECTRIC POWER, TELEPHONE, CABLE T.V. AND GAS SUPPLY TRENCHES SHALL BE COMPACTED, SEEDED AND MULCHED WITHIN FIVE DAYS AFTER BACKFILL.
5. ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SILT DAMS SHALL BE MULCHED AND SEEDED WITH TEMPORARY VEGETATIVE COVER IMMEDIATELY AFTER GRADING. STRAW OR HAY MULCH IS REQUIRED. THE SAME APPLIES TO ALL SOIL STOCKPILES.
6. DURING CONSTRUCTION, ALL STORM SEWER INLETS SHALL BE PROTECTED BY INLET PROTECTION, MAINTAINED AND MODIFIED DURING CONSTRUCTION AS REQUIRED.
7. ANY DISTURBED AREA NOT PAVED, SODDED OR BUILT UPON BY NOVEMBER 1ST OR DISTURBED AFTER THAT DATE, SHALL BE MULCHED IMMEDIATELY WITH HAY OR STRAW AT THE RATE OF TWO TONS PER ACRE AND OVER-SEEDED BY APRIL 15TH.
8. AT THE COMPLETION OF ANY PROJECT CONSTRUCTION AND PRIOR TO BOND RELEASE, ALL TEMPORARY SEDIMENT CONTROLS SHALL BE REMOVED AND ALL DENUDED AREAS SHALL BE STABILIZED. COUNTY INSPECTOR TO APPROVE REMOVAL OF ALL TEMPORARY SILTATION MEASURES.

NOTE:

1. GENERAL CONTRACTOR MAY RELOCATE OR REVISE EROSION AND SILTATION CONTROLS AS DEEMED NECESSARY DURING CONSTRUCTION TO MAINTAIN PROPER SEDIMENT CONTROL.
2. ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES TO BE RELOCATED AS NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL UTILITY COMPANIES PRIOR TO CONSTRUCTION.

EROSION AND SEDIMENT CONTROL NARRATIVE (CONSTRUCTION SEQUENCE):

1. INSTALL CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCES IN THEIR LOCATIONS AS SHOWN ON PLAN.
3. CLEAR SITE.
4. CONSTRUCT TOWER & EQUIPMENT WITHIN FENCED COMPOUND.
5. PERMANENTLY STABILIZE DISTURBED AREAS PER VIRGINIA EROSION AND SEDIMENT CONTROL STANDARD AND SPEC. 3.32.
6. REMOVE E&S CONTROLS WITH THE SITE INSPECTORS PERMISSION. FSAFD

SOURCE CONTROL NARRATIVE:

VEGETATIVE BUFFERS:
A VEGETATIVE BUFFER WILL BE PRESERVED AROUND PARTS OF THE PERIMETER OF THE SITE THROUGHOUT THE WORK.

FLOW DISPERSION:
STORM WATER SHEET FLOWS ACROSS THE SITE FROM WEST TO EAST

SITE SENSITIVITY:
ALL THE SILT FENCES SHOULD PREVENT SILT FROM ENTERING THE STORM SEWER SYSTEM.

MAINTENANCE:

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND AFTER EACH SIGNIFICANT RAINFALL. THE FOLLOWING ITEMS WILL BE CHECKED, IN PARTICULAR:

1. THE SILT FENCE BARRIER WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF SEDIMENT DEPOSITION REACHES HALF WAY TO THE TOP OF THE BARRIER.
2. THE SEEDED AREAS WILL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RE-SEEDED AS NEEDED.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ESC CONTROLS DURING CONSTRUCTION.
4. INSPECTION TO BE CONDUCTED SHALL BE PER ARLINGTON COUNTY STANDARDS AND REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS.
5. SILT FENCE SHALL BE CHECKED AFTER EACH MAJOR STORM EVENT OR ONCE PER WEEK. SEDIMENT SHALL BE REMOVED AFTER IT BECOMES 1/3 HEIGHT OF SILT FENCE.

EROSION AND SEDIMENT CONTROL NARRATIVE:

PROJECT DESCRIPTION:

THE PURPOSE OF THIS PROJECT IS THE CONSTRUCTION OF MONOPINE, FENCED COMPOUND, & EQUIPMENT CABINETS ALONG WITH ASSOCIATED UTILITIES AND LANDSCAPING. THE LEASE AREA OF THE TOWER IS 5,625 S.F. (0.13 ACRES)

ESC MEASURES-STRUCTURAL PRACTICES

STRUCTURAL MEASURES TO BE USED ON THE SITE INCLUDE SILT FENCE, SUPER SILT FENCE, AND STONE CONSTRUCTION ENTRANCE. ALL MEASURES SELECTED ARE STANDARD ESC ITEMS FOR THIS APPLICATION. ANY DISTURBED AREA DENUDED FOR SEVEN DAYS THAT IS NOT IN ACTIVE WORK AREA TO BE TEMPORARILY SEEDED.

VEGETATION PRACTICES:

VEGETATION PRACTICES INCLUDE TEMPORARY AND PERMANENT SEEDING OF ALL GRASS AREAS.

MANAGEMENT STRATEGIES:

1. CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
2. TEMPORARY SEEDING OR OTHER STABILIZATION WILL FOLLOW IMMEDIATELY AFTER GRADING.
3. AREAS WHICH ARE NOT TO BE DISTURBED WILL BE CLEARLY MARKED BY FLAGS, SIGNS, ETC.
4. THE JOB SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL ESC PRACTICES.
5. AFTER ACHIEVING ADEQUATE STABILIZATION THE TEMPORARY ESC MEASURE WILL BE CLEANED UP AND REMOVED, ONLY AFTER APPROVAL OF THE COUNTY ESC INSPECTOR.

PERMANENT STABILIZATION:

ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISHED GRADING. SEEDING SHALL BE DONE WITH KENTUCKY 31 TALL FESCUE ACCORDING TO STD. AND SPEC. 3.32, PERMANENT SEEDING, OF THE HANDBOOK. EROSION CONTROL BLANKETS WILL BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDED TO PROTECT THE SLOPES PROPERLY. MULCH (STAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS. IN ALL SEEDING OPERATIONS, SEED FERTILIZER AND LIME WILL BE APPLIED PRIOR TO MULCHING.

- APPLY LIME AT TWO (2) TONS/ AC OF OVERSIZED AGRICULTURAL GRADE LIMESTONE.
- APPLY FERTILIZER AT 1000 LBS/ AC, 10-20-10 OR EQUIVALENT NUTRIENT(23 LBS./1000 SF)
- APPLY SEEDING AT 2000LBS/ ACRE

STORMWATER MANAGEMENT:

THERE WILL BE NO STORMWATER MANAGEMENT STRUCTURES. BECAUSE OF THE EXISTING EASEMENT GRANTING PEDESTIAN ACCESS TO THE REAR OF THE ADJACENT PRIVATE PROPERTIES TO THE NORTH, THEY WILL CONTINUE TO NOT BE AFFECTED BY THE RUN OFF FROM THIS DEVELOPMENT. THE STORMWATER RUNOFF DISCHARGE POINT OF THE PROPERTY WILL REMAIN AT THE NORTHEAST CORNER OF THE PROPERTY.

APPROVED PLAT
Application No. SPA 80-V-089
Date of Approval April 10, 2011
Sheet 13 of 14

COMMONWEALTH OF VIRGINIA
Christopher D. Morin
CHRISTOPHER D. MORIN
No. 032984
02.25.11
PROFESSIONAL ENGINEER

BC ARCHITECTS ENGINEERS
FALLS CHURCH, VA
EROSION & SEDIMENT CONTROL DETAILS
DRAWING NUMBER 10062876-E&S-2
REV 6

BC
architects
engineers

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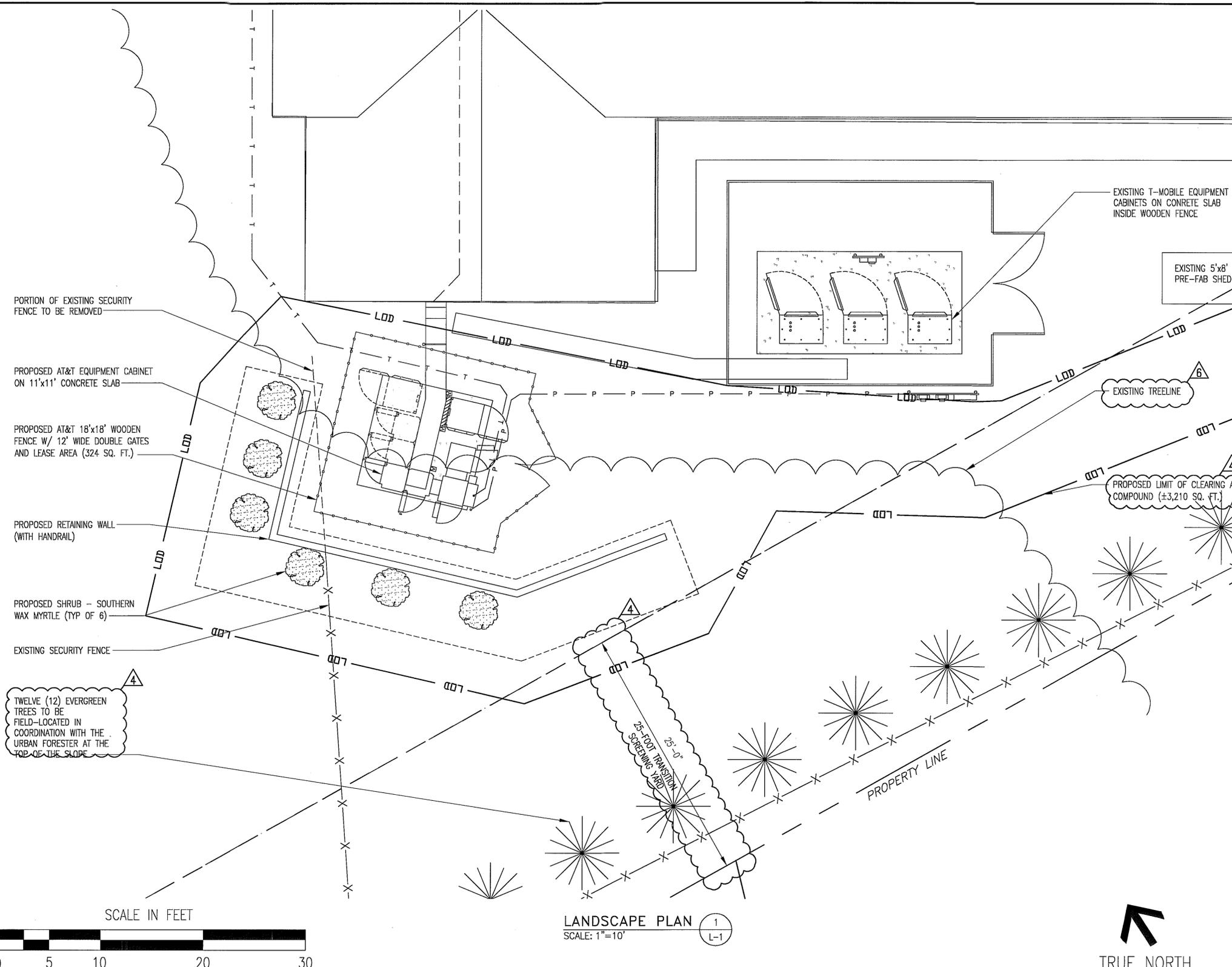
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7150 STANDARD DR
HANOVER, MD 21076

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SCALE: AS SHOWN		DESIGNED C. MORIN	DRAWN AWS		

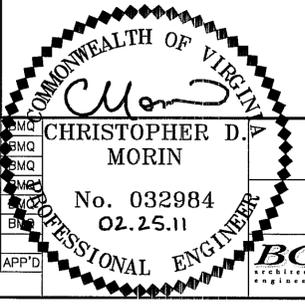
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12-22-10 DAVID 12:36:08



- LANDSCAPE PLAN NOTES**
- A REQUEST FOR A WAIVER OF THE TRANSITION SCREENING IS HEREBY REQUESTED IN ACCORDANCE WITH THE ZONING ORDINANCE, SECTION 13-305.3.
 - THE EQUIPMENT AREA HAS BEEN LOCATED TO MINIMIZE THE IMPACT TO THE NEIGHBORING PROPERTIES BY LOCATING THE COMPOUND ADJACENT TO THE CHURCH BUILDING WHICH IS 16-20 FEET BELOW THE ELEVATION OF THE NEIGHBORS' HOUSES;
 - THERE WILL BE 2 BARRIERS PROVIDED: THE 42" PROPERTY LINE CHAIN LINK FENCE AND THE 6-8 FOOT HIGH EQUIPMENT COMPOUND FENCE;
 - TWELVE (12) EVERGREEN TREES WILL BE INSTALLED NEAR THE SOUTH PROPERTY LINE NEAR AT TOP OF THE SLOPE - BECAUSE OF THE EXISTING TREES AT THIS LOCATION, PROPOSED TREES ARE TO BE FIELD LOCATED IN COORDINATION WITH THE FAIRFAX COUNTY URBAN FOREST MANAGEMENT DIVISION. EVERGREEN SPECIES MAY INCLUDE EASTERN RED CEDAR, NORWAY SPRUCE, AMERICAN ARBORVITAE, OR HOLLY - 6-7 FEET IN HEIGHT, BALLED AND BURLAPPED.
 - JUSTIFICATION FOR THE WAIVER REQUEST: THE STEEP TOPOGRAPHY WOULD RENDER LANDSCAPING AROUND THE EQUIPMENT COMPOUND INEFFECTIVE, AND BY LOCATING THE COMPOUND AT THE BOTTOM OF THE SLOPE NEAR THE CHURCH AND PLANTING SOME EVERGREENS NEAR THE TOP OF THE SLOPE, THE APPLICANT HAS MINIMIZED THE IMPACT OF THE INSTALLATION TO THE NEIGHBORING PROPERTIES.
 - THIRTY PERCENT TREE CANOPY REQUIREMENTS FOR THE SITE ARE MET BY THE EXISTING 32% OF TREE CANOPY ON THE CHURCH PARCEL (0931 25040014) AND 97% AT THE PLAYGROUND PARCEL (0931 01 0070). ADDITIONALLY, IF THE CONSTRUCTION PROCEEDS UNDER A MINOR SITE PLAN, THEN THE TREE CANOPY REQUIREMENTS WILL NOT APPLY (PFM SEC. 12-0510.1A, AS AMENDED ON 11/16/10).
 - THE COMPOSITION OF THE TREE SPECIES NEAR THE LIMITS OF CLEARING INCLUDE RED MAPLE, CHESTNUT OAK, BLACK CHERRY, BLACK LOCUST, AND MULBERRY. ONLY 4 EXISTING TREES OVER 2 INCHES IN DIAMETER MAY BE DISTURBED FOR THIS PROJECT. ALMOST ALL OF THE TREES WITHIN THE PROPOSED DISTURBED AREA ARE LESS THAN 2 INCHES IN DIAMETER.
 - FOUR UNDERSTORY TREES WILL BE REMOVED AS PART OF THE EQUIPMENT COMPOUND CONSTRUCTION. ANY VEGETATION REMOVAL AT THE COMPOUND AREA WILL NOT AFFECT THE DRIP LINE OF THE EXISTING DOMINANT TREES.
 - THE EVM COVER TYPE FOR THE SITE IS "DEVELOPED LAND WITH A MIX OF UPLAND HARDWOODS AND EARLY SUCCESSIONAL SPECIES".
 - ALTHOUGH MINOR SITE PLANS ARE EXEMPTED FROM THE TREE COVER REQUIREMENTS, THE EXISTING TREE COVER FOR THIS SITE IS APPROXIMATELY 32%.
 - THE TEMPORARY CONSTRUCTION ACCESS ROUTE ENCROACHES INTO THE 25' TRANSITIONAL SCREENING YARD. ANY TREES OR SHRUBS REMOVED FROM THE TRANSITIONAL SCREENING YARD WILL BE REPLACED IN KIND AT THE COMPLETION OF CONSTRUCTION.

APPROVED PLAT
 Application No. SPA 80-V-089
 Date of Approval April 20, 2011
 Sheet 14 of 14



BC ARCHITECTS ENGINEERS
 FALLS CHURCH, VA
 LANDSCAPE PLAN
 DRAWING NUMBER 10062876- L-1
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SPECIAL PERMIT
BELLE HAVEN_MOUNT VERNON METHODIST CHURCH
 10127916_3771
 2006 BELLE VIEW BLVD.
 ALEXANDRIA, VA 22307



NO.	DATE	REVISIONS	BY	CHK	APP'D
6	02-24-11	COUNTY COMMENTS	DR	CDM	BMQ
5	02-07-11	COUNTY COMMENTS	DR	CDM	BMQ
4	12-22-10	COUNTY COMMENTS	DR	CDM	BMQ
3	09-29-10	COUNTY COMMENTS	DR	CDM	BMQ
2	08-04-10	COUNTY COMMENTS	DR	CDM	BMQ
1	06-24-10	COUNTY COMMENTS	AGT	CDM	BMQ
0					

SCALE: AS SHOWN DESIGNED C. MORIN DRAWN AWS

