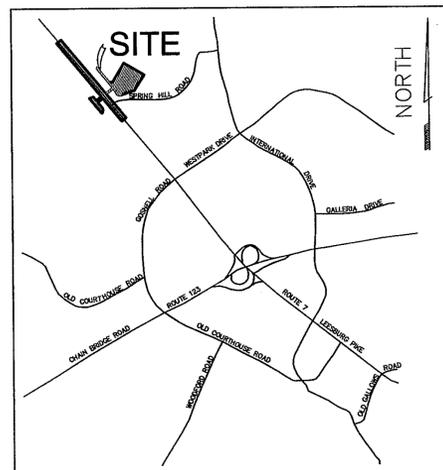


# TYSONS WEST STATION

## DULLES CORRIDOR METRORAIL PROJECT

Providence District and Hunter Mill District Fairfax County, Virginia  
 Special Exception Amendment Plat and 2232 Plan

SEA - 2008-MD-034



VICINITY MAP  
 SCALE : 1" = 2,000'

**Applicant:**  
 Metropolitan Washington Airports Authority  
 in coordination with the  
 Virginia Department of Rail and Public Transportation  
 on behalf of the Washington Metropolitan Area Transit Authority  
 1595 Spring Hill Road, Suite 600  
 Vienna, VA 22182

Application No. SEA 2008-MD-034 Staff: T. Strunk  
 APPROVED SE PLAN  
 SEE DEVCONDS DATED: 10/17/2011  
 Date of BOS approval: 11/01/2011  
 Sheet 1 of 8  
 2232-P-11-11 approved by PC 10/20/2011



Virginia Department of Rail and Public Transportation



SEAL



Revised October 13, 2011  
 Revised September 9, 2011  
 Revised August 16, 2011

June 20, 2011

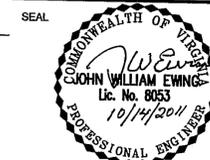
Tyson's West Station  
 Dulles Corridor Metrorail Project  
 Special Exception Amendment Plat  
 SEA 2008-MD-034  
 and 2232 Plan

M-10709

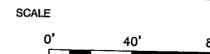
**Sheet Index**

1. COVER SHEET
2. SPECIAL EXCEPTION PLAT
3. LANDSCAPE PLAN AND SIGN PLAN
4. STATION PERSPECTIVE, NOTES & TABULATION
5. STATION PLAN VIEW DETAILS
6. SOUTH ENTRANCE PAVILION AND PEDESTRIAN BRIDGE DETAILS
7. PEDESTRIAN BRIDGE AND NORTH ENTRANCE PAVILION ELEVATIONS
8. ELEVATIONS AND SECTIONS

**TYSONS WEST STATION**  
 Dulles Corridor Metrorail Project  
**SPECIAL EXCEPTION**  
**AMANDMENT PLAT**  
 HUNTER HILL DISTRICT & PROVIDENCE DISTRICT  
 FAIRFAX COUNTY, VIRGINIA



KEY PLAN



No.	DATE	BY	Description
3	10.13.11	JMC	
2	09.09.11	JMC	
1	08.16.11	JMC	

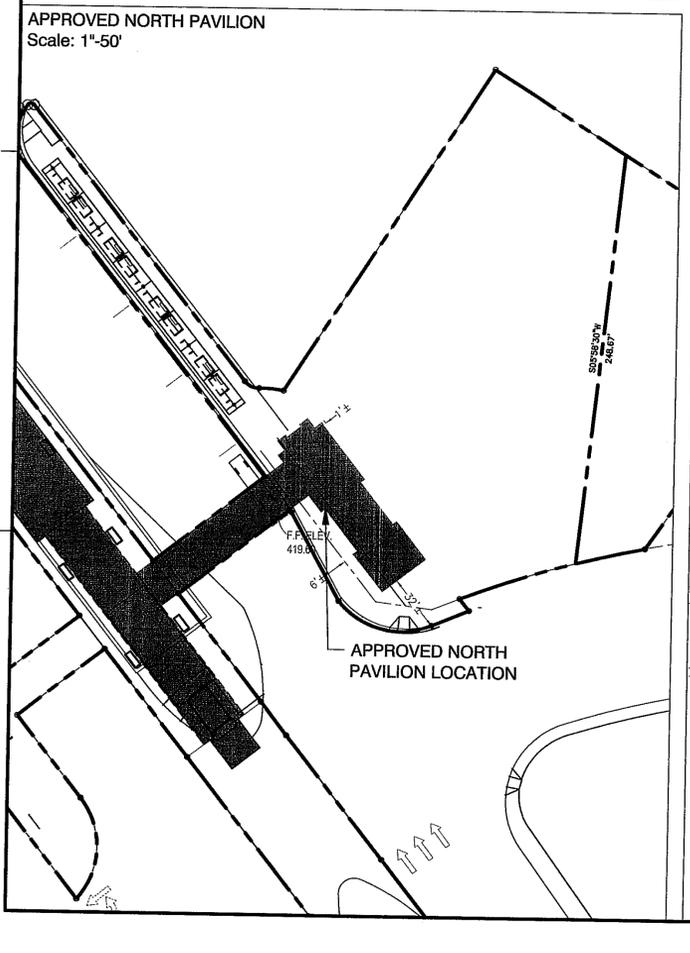
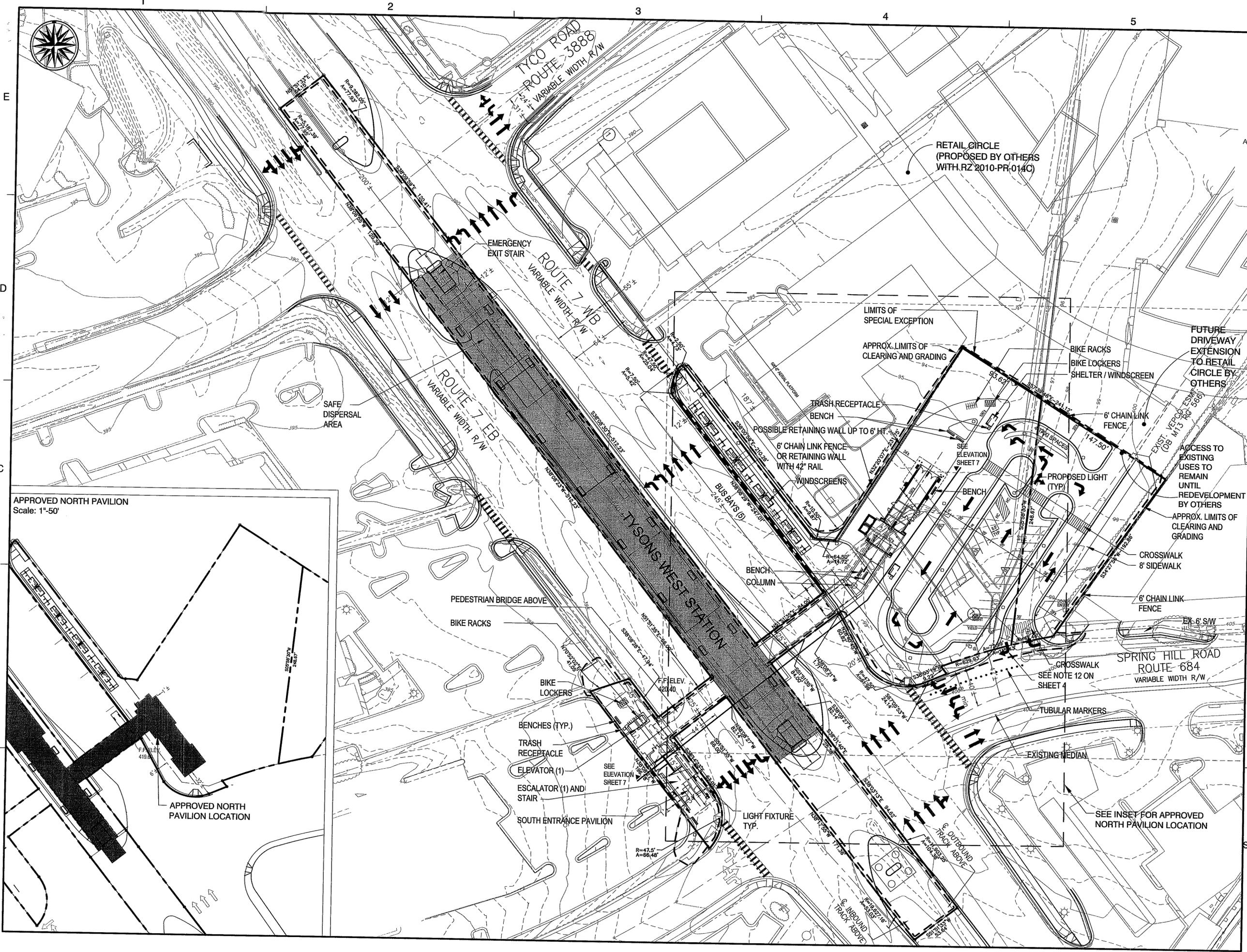
REVISIONS

DRAWN BY JMC  
 APPROVED BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 DATE June 20, 2011

TITLE  
**Tyson's West Station**  
 Dulles Corridor Metrorail Project

Special Exception Amendment Plat  
 and 2232 Plan

PROJECT NO.





NOTES:

NOTES:

1. THE PROPERTY THAT IS THE SUBJECT OF THIS SPECIAL EXCEPTION AMENDMENT IS IDENTIFIED ON THE FAIRFAX COUNTY ZONING MAP AS 29-3 (11) 53 PART, 53A, 57H PART AND 57J, AND IS ZONED C-7, I-5, HC AND SC.
2. THE TOTAL LAND AREA OF THIS SPECIAL EXCEPTION AMENDMENT APPLICATION IS APPROXIMATELY 3.23 ACRES.
3. THIS SPECIAL EXCEPTION AMENDMENT PLAT ACCOMPANIES AN APPLICATION TO PERMIT THE ESTABLISHMENT OF:
  - A. AN ELECTRICALLY-POWERED REGIONAL RAIL TRANSIT FACILITY; SPECIFICALLY, A RAIL STATION AND ACCESSORY USES THERETO AND
  - B. A CATEGORY 4, TRANSPORTATION FACILITY SPECIAL EXCEPTION; SPECIFICALLY A KISS AND RIDE FACILITY.
4. THE SPECIAL EXCEPTION LIMITS INFORMATION SHOWN HEREON IS ESTABLISHED TO INCLUDE ALL THE FACILITIES SUBJECT TO THIS SPECIAL EXCEPTION AS DEFINED BY DULLES TRANSIT PARTNERS, LLC. DURING SUPPLEMENTAL ENGINEERING.
5. THE TOPOGRAPHY SHOWN HEREON IS AT A CONTOUR INTERVAL OF ONE (1) FOOT FROM SURVEY INFORMATION PROVIDED BY DULLES TRANSIT PARTNERS, LLC.
6. A STATEMENT WHICH CONFIRMS THE OWNERSHIP OF THE SUBJECT PROPERTY AND THE NATURE OF THE APPLICANT'S INTEREST IN SAME IS PRESENTED IN A SEPARATE DOCUMENT.
7. MINIMUM YARD REQUIREMENTS FOR THE C-7 DISTRICT ARE AS FOLLOWS:
 

FRONT: CONTROLLED BY A 45°-ANGLE OF BULK PLANE, BUT NOT LESS THAN 40 FEET.

SIDE: NO REQUIREMENT.

REAR: 20 FEET

MINIMUM YARD REQUIREMENTS FOR THE I-5 DISTRICT ARE AS FOLLOWS:

FRONT: CONTROLLED BY A 45° ANGLE OF BULK PLANE, BUT NOT LESS THAN 40 FEET.

SIDE: NO REQUIREMENT.

REAR: NO REQUIREMENT

8. AS STATED IN SECT. 9-404 AND 9-405 OF THE FAIRFAX COUNTY ZONING ORDINANCE THIS USE NEED NOT COMPLY WITH THE BULK REGULATIONS OR THE MINIMUM DISTRICT SIZE REQUIREMENTS OF THE ZONING DISTRICT IN WHICH THE USE IS LOCATED.
9. SANITARY SEWER AND PUBLIC WATER ARE AVAILABLE AND WILL BE EXTENDED TO THE SITE AS NEEDED.
10. THERE IS NO FLOODPLAIN, RESOURCE PROTECTION AREA (RPA) OR ENVIRONMENTAL QUALITY CORRIDOR (EQC) ON THE SUBJECT PROPERTY.
11. THE KISS AND RIDE FACILITY PROPOSES THIRTY (34) PARKING SPACES AND FOUR (4) TAXI STANDS
12. THE PROPOSED RIGHT-IN, RIGHT-OUT ENTRANCE FROM SPRINGHILL ROAD IS TEMPORARY UNTIL ALTERNATIVE ACCESS IS PROVIDED BY OTHERS DURING THE DEVELOPMENT OF ADJACENT PROPERTY. THE PROVISION AND DESIGN OF A DIRECTIONAL ISLAND, SIGNAGE AND/OR TUBULAR MARKERS AT THE SPRINGHILL ROAD ENTRANCE MAY BE USED TO LIMIT ACCESS TO WESTBOUND ROUTE 7 ONLY, SUBJECT TO VDOT APPROVAL.
13. STORMWATER MANAGEMENT HAS BEEN DESIGNED SYSTEM WIDE, INCLUDING THIS SITE, AND WILL BE REVIEWED BY THE DEPARTMENT OF CONSERVATION AND RECREATION (DCR), BASED ON FAIRFAX COUNTY CRITERIA, PER AGREEMENT BETWEEN THE COUNTY AND DCR. THEREFORE, A WAIVER OF PAR. J OF SECT. 9-011 OF THE ZONING ORDINANCE IS HEREBY REQUESTED.

STORMWATER DETENTION (QUANTITY): THE RUNOFF FROM THE DRAINAGE AREA FOR THE FAIRFAX COUNTY REGIONAL POND D67, IN WHICH THIS SITE IS INCLUDED, ADDRESS THE QUANTITY CONTROL REQUIREMENTS FOR THE SITE. THE PROPOSED KISS AND RIDE PORTION OF THIS SITE WILL REDUCE THE IMPERVIOUS AREA OF THE EXISTING CONDITION BY APPROXIMATELY 6,800± SF. THE COPY OF APPROVED PLANS FOR THIS EXISTING REGIONAL SWM FACILITIES HAVE BEEN SUBMITTED TO DCR UNDER CALCULATION #25235-000-COC-0004-0001 (STORMWATER MANAGEMENT (SWM) N03-N04).

BMP (WATER QUALITY): BMP IS BEING PROVIDED SYSTEM WIDE, INCLUDING THIS SITE. THE PROPOSED KISS AND RIDE PORTION OF THIS SITE WILL REDUCE THE IMPERVIOUS AREA OF THE EXISTING CONDITION BY APPROXIMATELY 6,800± SF. BASED ON THE EXISTING CONDITION AND THE PROPOSED DEVELOPMENT OF THE SITE, BMP MEASURES WILL BE MET ACCORDING TO THE REQUIREMENTS FOR REDEVELOPMENT UNDER PFM 6-0401.2. THE REMAINING BMP FACILITIES ARE PROVIDED IN THE RAIL CORRIDOR.

OUTFALL: THE EXISTING STORM SYSTEM FOR THIS PROJECT IS ADEQUATE AS APPROVED IN THE INFORMATION PROVIDED TO DCR. THE PROPOSED KISS AND RIDE PORTION OF THE PROJECT REDUCES THE IMPERVIOUS AREA FROM THE EXISTING CONDITION BY APPROXIMATELY 6,800± SF THUS REDUCING THE DEVELOPED RUNOFF. IT IS THE OPINION OF THE ENGINEER THAT THE STORM OUTFALL FOR THIS PROJECT IS ADEQUATE.

14. THERE IS AN EXISTING 40± OVERHEAD POWER UTILITY BASEMENT LOCATED ALONG THE EASTERN BOUNDARY OF THE SITE.
15. THE STREETScape DESIGN STANDARDS WITHIN THE URBAN DESIGN AREA-WIDE RECOMMENDATION OF THE TYSONS CORNER URBAN CENTER OF THE COMPREHENSIVE PLAN RECOMMENDS A MINIMUM OF 33' INCORPORATING A LANDSCAPE AMENITY, A SIDEWALK, AND A MULTI-USE ZONE ALONG ROUTE 7 AND A MINIMUM OF 20' OF THE SAME ALONG SPRING HILL ROAD. BECAUSE THE KISS AND RIDE LOT IS AN INTERIM USE AT THIS LOCATION, IN LIEU OF THE RECOMMENDED STREETScape DESIGN STANDARDS, LANDSCAPE AND SIDEWALK AREAS SHALL BE PROVIDED AS SHOWN ON SHEET 3.
16. SITE FEATURES SHALL BE PROVIDED IN ACCORDANCE WITH WMATA DESIGN STANDARDS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, BIKE RACKS, BIKE LOCKERS, LIGHTING, BENCHES, PHONES, WINDSCREENS, TRASH RECEPTACLES AND LANDSCAPING. THESE FEATURES MAY BE ADDED, LOCATED AND/OR RELOCATED SUBJECT TO FINAL DESIGN IN ACCORDANCE WITH WMATA GUIDELINES AND STANDARDS AS LONG AS THE NUMBER OF EACH FEATURE AS SHOWN ON THE PLAN IS NOT REDUCED.

WMATA MAY REPLACE BIKE LOCKERS WITH BIKE RACKS THAT WILL ACCOMMODATE AN EQUAL OR GREATER NUMBER OF BIKE RACKS. A MINIMUM OF 20 SPACES FOR BIKES IN LOCKERS/RACKS SHALL BE PROVIDED IN THE AREA OF THE NORTH PAVILION AND A MINIMUM OF 20 SPACES FOR BIKES IN LOCKERS AND RACKS SHALL BE PROVIDED IN THE AREA OF THE SOUTH PAVILION.

17. SEE REFERENCE DRAWINGS, WHICH HAVE BEEN PROVIDED UNDER SEPARATE COVER, FOR THE LOCATIONS, NUMBER AND SIZES OF ALL PROPOSED SIGNS.
18. BASED ON HISTORICAL AND ARCHEOLOGICAL INVESTIGATIONS PERFORMED IN THE FEIS, THERE ARE NO GRAVES LOCATED ON THE SUBJECT PROPERTY.
19. THE PROPOSED USE WILL NOT GENERATE, UTILIZE, STORE, TREAT AND/OR DISPOSE OF ANY HAZARDOUS OR TOXIC SUBSTANCE AS SET FORTH IN TITLE 40, CODE OF FEDERAL REGULATIONS PARTS 116.4, 302.4 AND 355; ANY HAZARDOUS WASTE AS SET FORTH IN COMMONWEALTH OF VIRGINIA/DEPARTMENT OF WASTE MANAGEMENT VR 672-10-1 VIRGINIA HAZARDOUS WASTE MANAGEMENT REGULATIONS; AND/OR ANY PETROLEUM PRODUCTS DEFINED IN TITLE 40, CODE OF FEDERAL REGULATIONS PART 280. HOWEVER, ANY SUCH SUBSTANCES THAT MAY BE UTILIZED, STORED AND/OR DISPOSED OF IN CONJUNCTION WITH THE USE WILL BE IN ACCORDANCE WITH SAID REGULATIONS.
20. EXCEPT AS QUALIFIED ABOVE, THE PROPOSED DEVELOPMENT CONFORMS TO ALL CURRENT APPLICABLE LAND DEVELOPMENT ORDINANCES AND ADOPTED STANDARDS.

TABULATION:

TABULATION:

EXISTING/PROPOSED ZONING.....	C-7 AND I-5
TOTAL LAND AREA (140,857 SF).....	3.23 ± AC
C-7.....	1.13 ± AC
I-5.....	0.44 ± AC
VDOT R/W.....	1.66 ± AC

PARCEL 53 PART.....	0.57± AC.....	ZONING: C-7
PARCEL 53A.....	0.56± AC.....	ZONING: C-7
PARCEL 57H PART.....	0.37± AC.....	ZONING: I-5
PARCEL 57J.....	0.07± AC.....	ZONING: I-5

MAXIMUM FLOOR AREA RATIO PERMITTED.....	0.80*
PROPOSED FLOOR AREA RATIO.....	0.34

MAXIMUM GROSS FLOOR AREA PERMITTED.....	112,686 ± SF
PROPOSED GROSS FLOOR AREA.....	47,761 ± SF

MAXIMUM BUILDING HEIGHT PROPOSED..... 77± FT

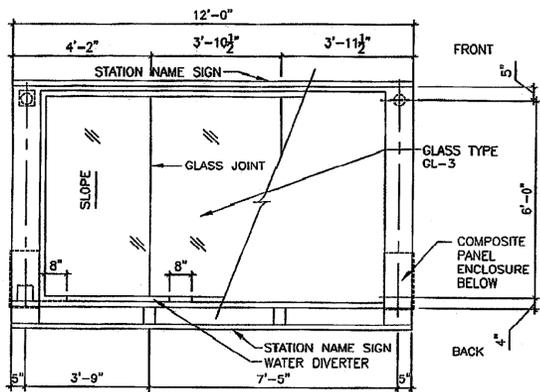
OPEN SPACE REQUIRED (15%).....	0.23± AC
OPEN SPACE PROVIDED (35%).....	0.55± AC **

\* MAY BE INCREASED TO 1.0 BY THE BOARD OF SUPERVISORS WITH THE PROVISIONS OF SECT 9-618 OF THE ZONING ORDINANCE.

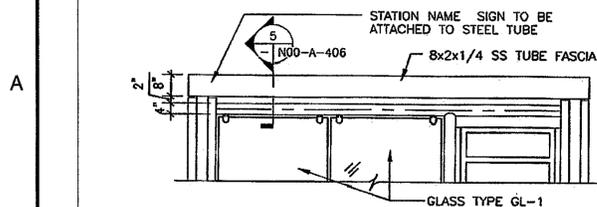
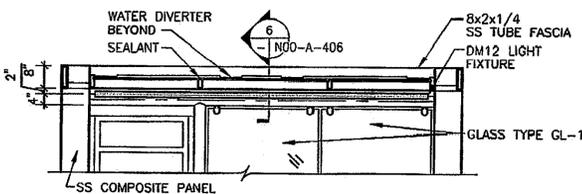
\*\* OPEN SPACE BASED ON NET SITE AREA OF 1.57 ACRES (3.23 AC. - 1.66 AC. IN THE VDOT R/W).



PERSPECTIVE VIEW OF STATION AND SOUTH PAVILION FROM THE SOUTH



NOTE: THE PERSPECTIVE VIEW SHOWN ON THIS SHEET IS FOR ILLUSTRATIVE PURPOSES TO SHOW THE CHARACTER OF THE PROPOSED RAIL STATION. ARCHITECTURE AND LANDSCAPING ARE SUBJECT TO CHANGE WITH FINAL DESIGN.

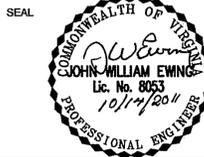


WIND SCREEN - TYPICAL ELEVATION

Dewberry & Davis LLC  
 8403 ARLINGTON BLVD.  
 FAIRFAX, VA 22031  
 PHONE: 703.949.0100  
 FAX: 703.949.0519  
 www.dewberry.com

Application No. SEA 2008-MD-034 Staff: T. Strunk  
 APPROVED SE PLAN  
 SEE DEV CONDS DATED: 10/17/2011  
 Date of BOS approval: 11/01/2011  
 Sheet 4 of 8  
 2232-P-11-11 approved by PC 10/20/2011

TYSONS WEST STATION  
 Dulles Corridor Metrorail Project  
 SPECIAL EXCEPTION AMENDMENT PLAT  
 2232 PLAN  
 HUNTER MILL DISTRICT & PROVIDENCE DISTRICT  
 FAIRFAX COUNTY, VIRGINIA



KEY PLAN

SCALE

No.	DATE	BY	Description
3	10.13.11	JMC	
2	09.09.11	JMC	
1	08.16.11	JMC	

REVISIONS

DRAWN BY JMC

APPROVED BY

CHECKED BY JWE

DATE June 20, 2011

TITLE

Tyson's West Station  
 Dulles Corridor Metrorail Project

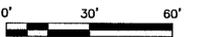
Station Perspective,  
 Notes, & Tabulation

PROJECT NO.

SEAL

KEY PLAN

SCALE



Application No. SEA 2008-MD-034 Staff: T. Strunk  
 APPROVED SE PLAN  
 SEE DEY CONDS DATED: 10/17/2011  
 Date of BOS approval: 11/01/2011  
 Sheet 5 of 8  
 2232-P-11-11 approved by PC 10/20/2011

No.	DATE	BY	Description
3	10.13.11	JMC	
2	09.09.11	JMC	
1	08.16.11	JMC	New Sheet

REVISIONS

DRAWN BY JMC  
 APPROVED BY JWE  
 CHECKED BY JWE  
 DATE May 4, 2011

TITLE  
**Tyson's West Station**  
 Dulles Corridor Metrorail Project  
 Station Plan View Details

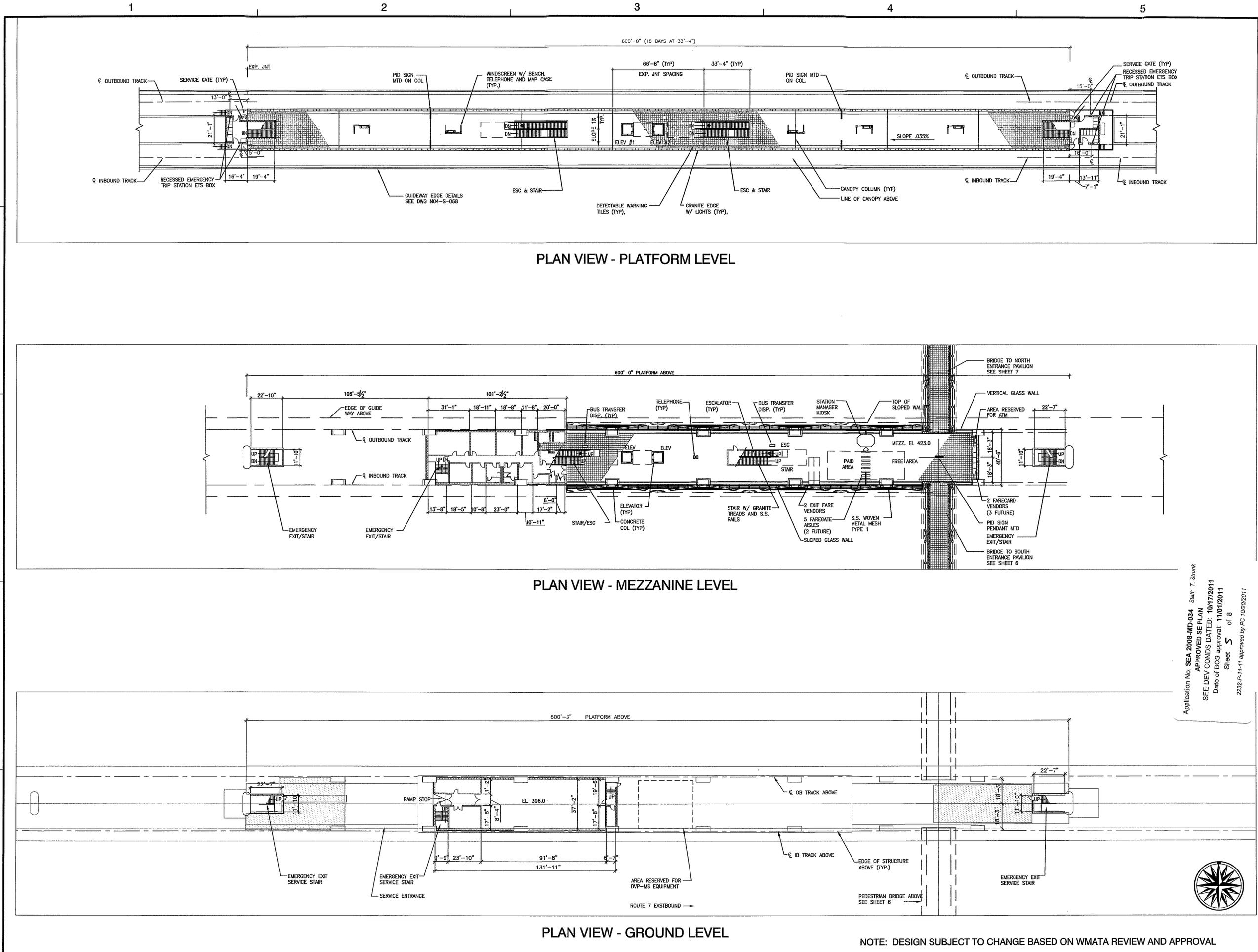
PROJECT NO.

PLAN VIEW - PLATFORM LEVEL

PLAN VIEW - MEZZANINE LEVEL

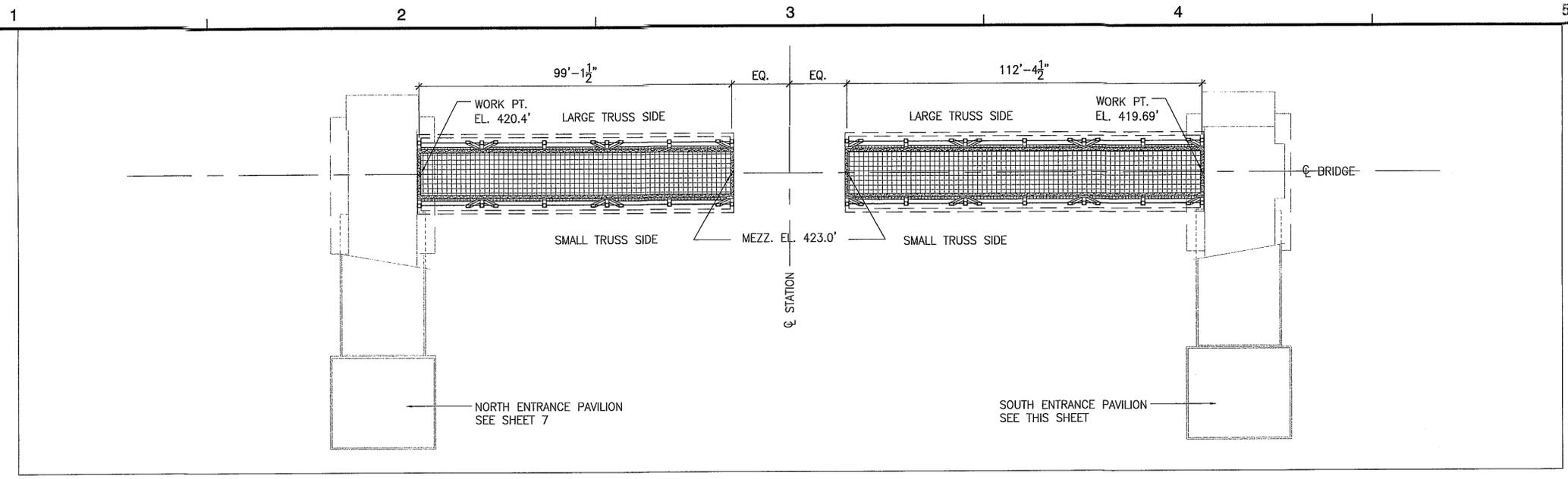
PLAN VIEW - GROUND LEVEL

NOTE: DESIGN SUBJECT TO CHANGE BASED ON WMATA REVIEW AND APPROVAL

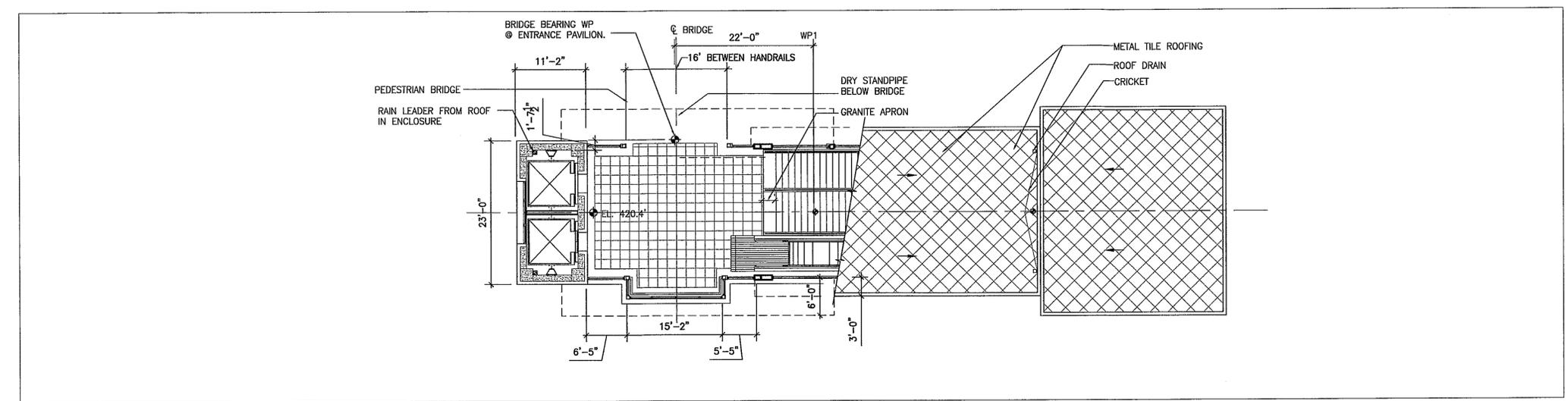
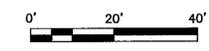




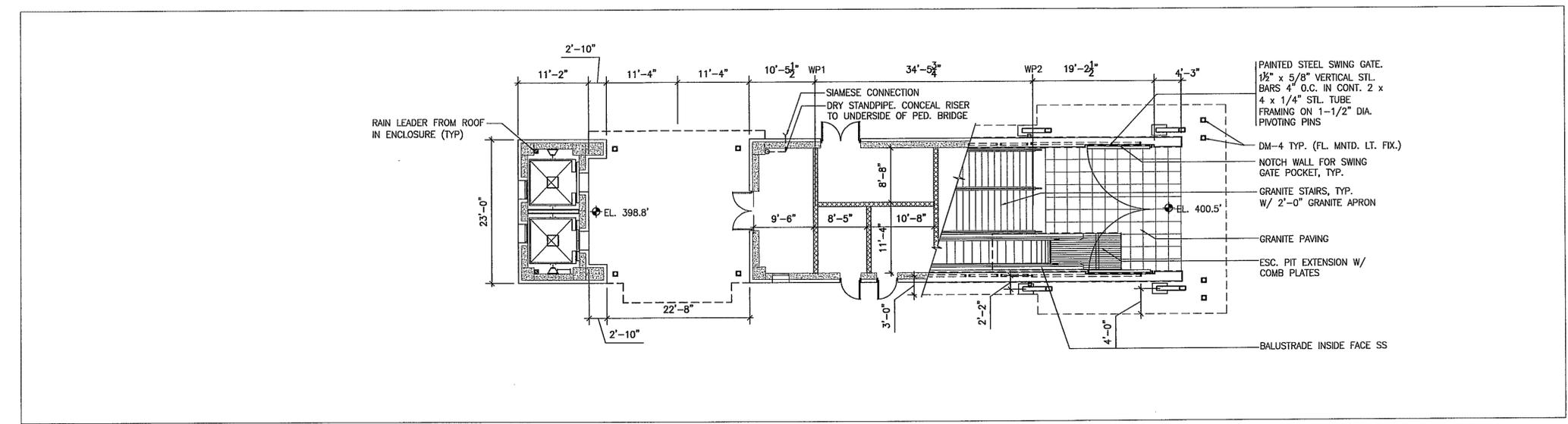
**TYSONS WEST STATION**  
 Dulles Corridor Metrorail Project  
 SPECIAL EXCEPTION AMENDMENT PLAN  
 2232 PLAN  
 HUNTER MILL DISTRICT & PROVIDENCE DISTRICT  
 FAIRFAX COUNTY, VIRGINIA



**BRIDGE LEVEL FLOOR PLAN**



**SOUTH ENTRANCE PAVILION - BRIDGE LEVEL**



**SOUTH ENTRANCE PAVILION - GROUND LEVEL**



NOTE: DESIGN SUBJECT TO CHANGE BASED ON WMATA REVIEW AND APPROVAL

SEAL

KEY PLAN

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1	08.16.11	JMC	New Sheet

REVISIONS

DRAWN BY JMC

APPROVED BY

CHECKED BY JWE

DATE May 4, 2011

TITLE

**Tyson's West Station**  
 Dulles Corridor Metrorail Project  
 South Entrance Pavilion and  
 Pedestrian Bridge Details

PROJECT NO.

Application No. SEA 2008-MD-034 Staff: T. Strunk  
 APPROVED SE PLAN  
 SEE DEY CONDS DATED: 10/17/2011  
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 Sheet 6 of 8  
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SEAL

KEY PLAN

SCALE

NOT TO SCALE

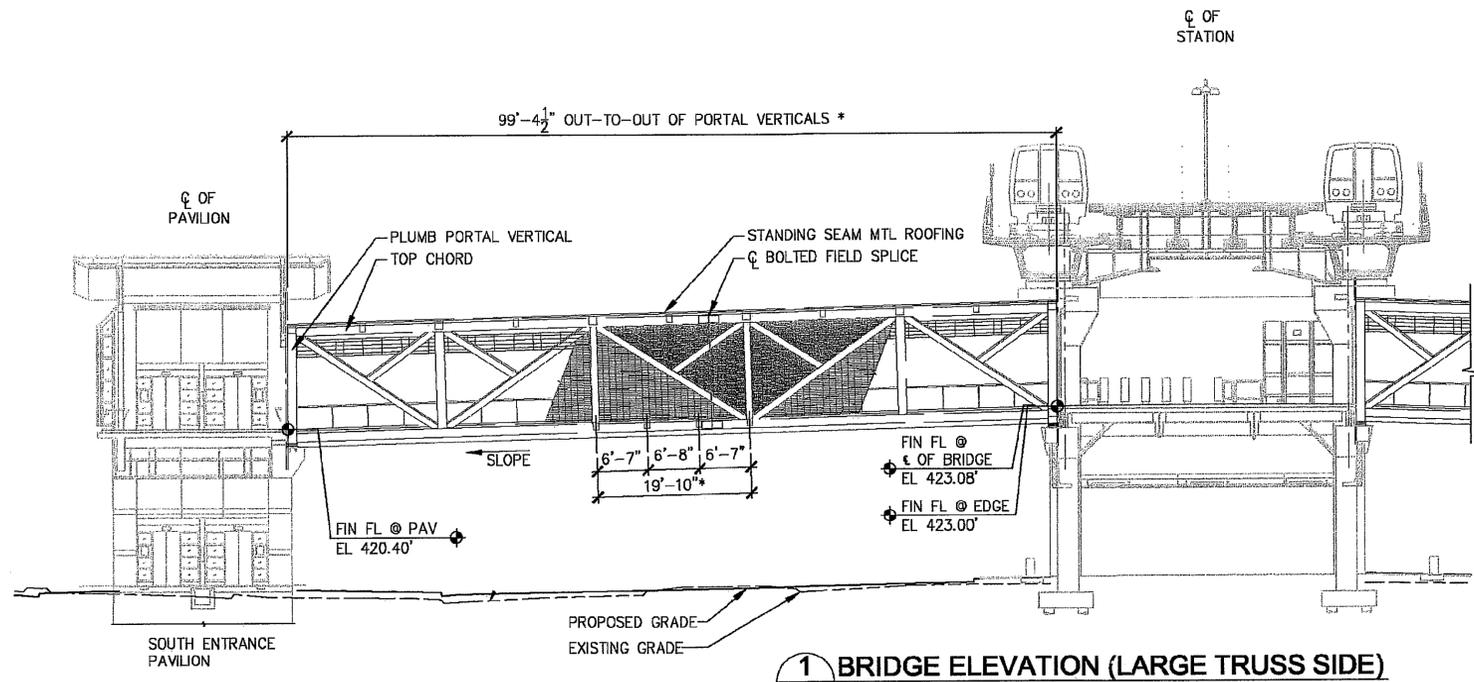
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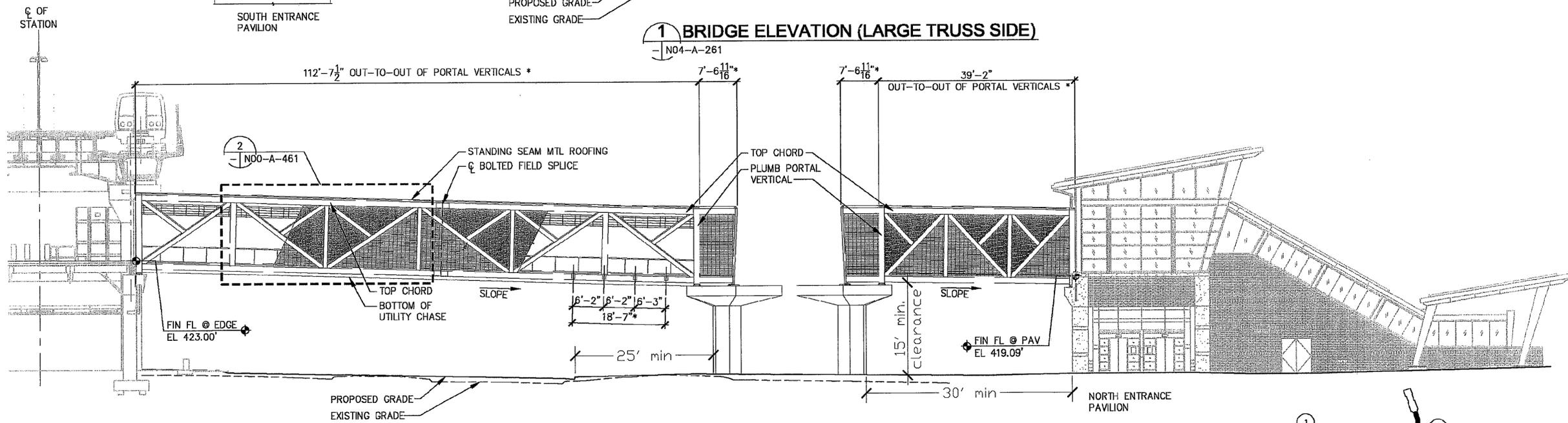
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 APPROVED BY \_\_\_\_\_  
 CHECKED BY JWE  
 DATE May 4, 2011

TITLE  
**Tyson's West Station**  
 Dulles Corridor Metrorail Project  
 Pedestrian Bridge and North  
 Entrance Pavilion Elevations

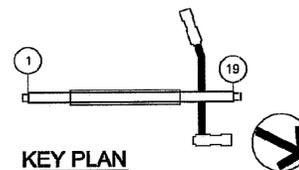
PROJECT NO.



**1 BRIDGE ELEVATION (LARGE TRUSS SIDE)**  
 - N04-A-261



**2 BRIDGE ELEVATION (LARGE TRUSS SIDE)**  
 - N04-A-261



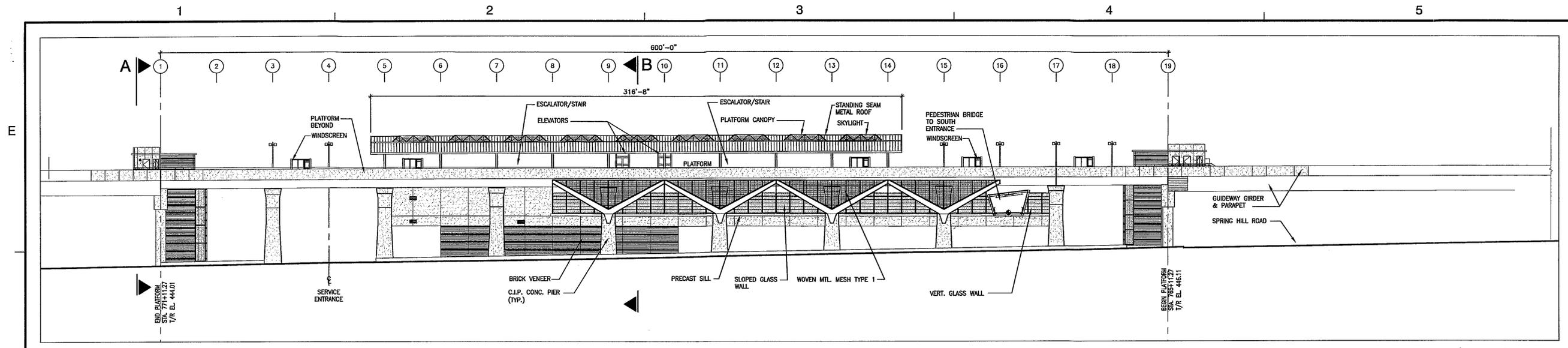
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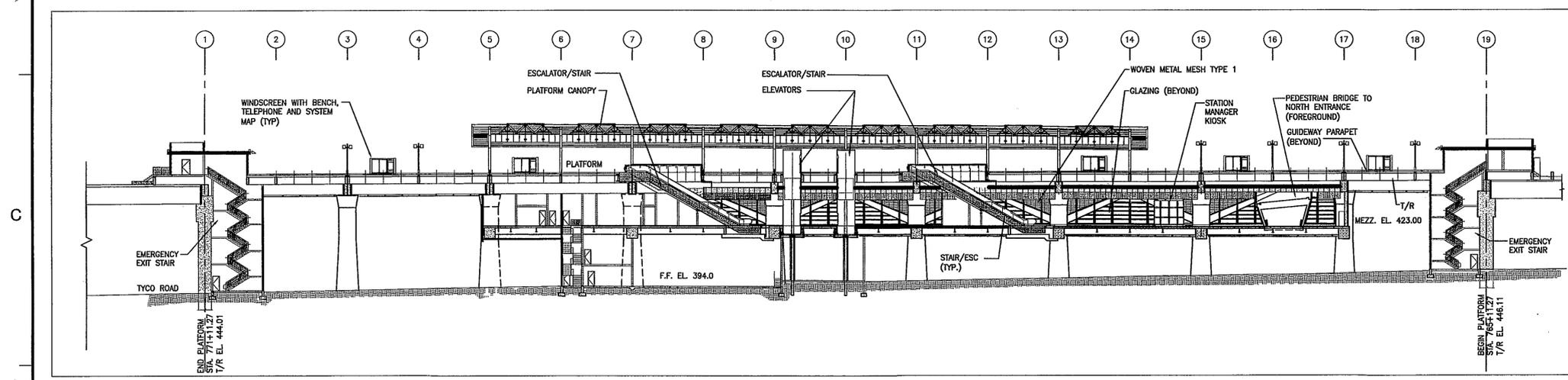
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Dewberry & Davis LLC  
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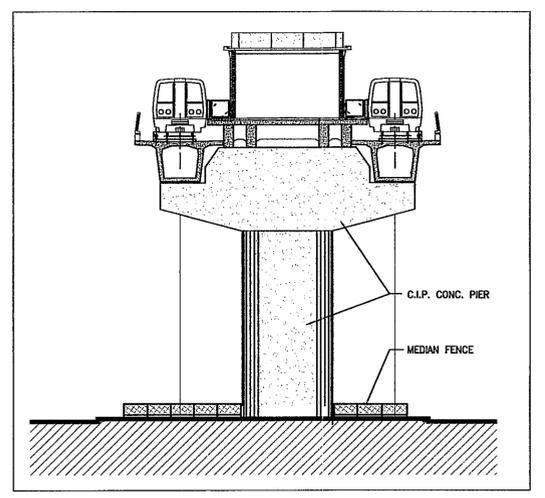
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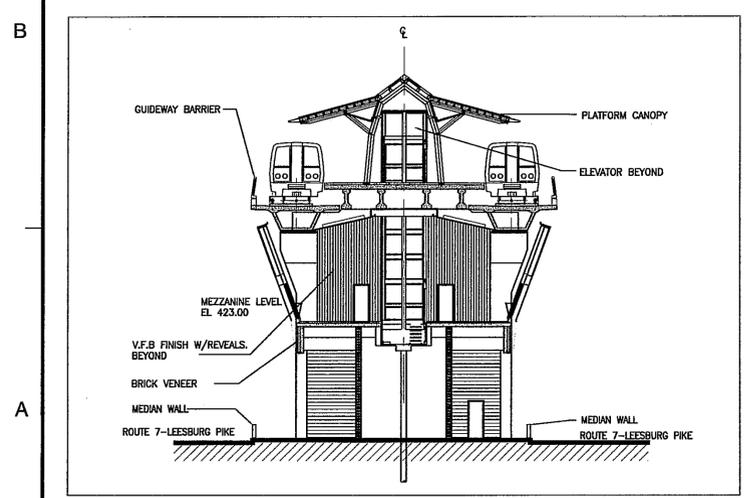
STATION ELEVATION - SOUTH



LONGITUDINAL SECTION



SECTION A WEST OF COLUMN 1



SECTION B BETWEEN COLUMNS 9 & 10

SEAL

KEY PLAN

SCALE

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2	09.09.11	JMC	
1	08.16.11	JMC	New Sheet

REVISIONS

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 APPROVED BY JWE  
 CHECKED BY JWE  
 DATE May 4, 2011

TITLE  
**Tyson's West Station**  
 Dulles Corridor Metrorail Project  
 Elevations and Sections

PROJECT NO.

SHEET NO. 8 OF 8

Application No. SEA 2008-MD-034 Staff: T. Strunk  
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