

COUNTY OF FAIRFAX, VIRGINIA

SPECIAL PERMIT RESOLUTION OF THE BOARD OF ZONING APPEALS

STEPHEN SCOTT BOWERS, SP 2012-SP-030 Appl. under Sect(s). 8-922 of the Zoning Ordinance to permit reduction of certain yard requirements to permit construction of addition 15'9" from rear lot line. Located at 13707 Stonehunt Ct., Clifton, 20124, on approx. 12,005 sq. ft. of land zoned R-3 (Cluster) and WS. Springfield District. Tax Map 65-2 ((7)) 248. Mr. Hammack moved that the Board of Zoning Appeals adopt the following resolution:

WHEREAS, the captioned application has been properly filed in accordance with the requirements of all applicable State and County Codes and with the by-laws of the Fairfax County Board of Zoning Appeals; and

WHEREAS, following proper notice to the public, a public hearing was held by the Board on July 18, 2012; and

WHEREAS, the Board has made the following findings of fact:

1. The applicant is the owner of the land.
2. The applicant has satisfied the six required subsections set forth under the Ordinance.
3. The Board has a favorable recommendation by staff.
4. Testimony of the applicant supports justification to grant the special permit.
5. While it is a request to extend to within 15.9 feet of a rear lot line, there is an irregular lot size, the house is sited kind of at an angle to the rear, and only part of the requested application would require the special permit.
6. All things considered, the application is justified.

AND WHEREAS, the Board of Zoning Appeals has reached the following conclusions of law:

THAT the applicant has presented testimony indicating compliance with the general standards for Special Permit Uses as set forth in Sect. 8-006 and the additional standards for this use as contained in the Zoning Ordinance.

NOW, THEREFORE, BE IT RESOLVED that the subject application is **APPROVED** with the following limitations:

1. These conditions shall be recorded by the applicant among the land records of Fairfax County for this lot prior to the issuance of a building permit. A certified copy of the recorded conditions shall be provided to the Zoning Permit Review Branch, Department of Planning and Zoning.
2. This special permit is approved for the location and size (approximately 560 square feet) of the addition, as shown on the plat prepared by Howard Jay Rosenberg,

Professional Engineer, dated May 12, 2012, submitted with this application and is not transferable to other land.

3. Prior to commencement of and during the entire construction process, the applicant shall designate the area along the western property boundary as a tree save area to protect existing off-site vegetation and shall install tree protection fencing along the edge of the existing storm sewer easement (approximately 6 feet west of the proposed addition at the closest point) to protect the vegetation in this area from construction activities. The protective fencing shall remain intact during the entire construction process and shall be the maximum limit for clearing and grading. The applicant shall monitor the site to ensure that inappropriate activity such as the storage of construction equipment does not occur in this area.
4. Pursuant to Paragraph 4 of Section 8-922 of the Zoning Ordinance, the resulting gross floor area of an addition to the existing principal structure may be up to 150 percent of the gross floor area of the dwelling that existed at the time of the first expansion (3,151 square feet existing + 4,726.5 square feet (150%) = 7,877.5 square feet maximum permitted on lot) regardless of whether such addition complies with the minimum yard requirement or is the subject of a subsequent yard reduction special permit. Notwithstanding the definition of gross floor area as set forth in the Ordinance, the gross floor area of a single family dwelling for the purpose of this paragraph shall be deemed to include the floor area of any attached garage. Subsequent additions that meet minimum yard requirements shall be permitted without an amendment to this special permit.
5. The addition shall generally be consistent with the architectural renderings and materials as shown on Attachment 1 to these conditions.
6. Construction shall be completed within 12 months of issuance of a building permit, weather permitting.
7. Existing vegetation on the applicant's property within the tree preservation area in Condition 3 shall be maintained in good condition. If trees die in the tree preservation area, the applicant shall replace them with appropriate material as may be directed by the Urban Forester.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, thirty (30) months after the date of approval unless construction has commenced and has been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with

the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

Mr. Beard seconded the motion, which carried by a vote of 5-0. Mr. Smith and Mr. Byers were absent from the meeting.

A Copy Teste:

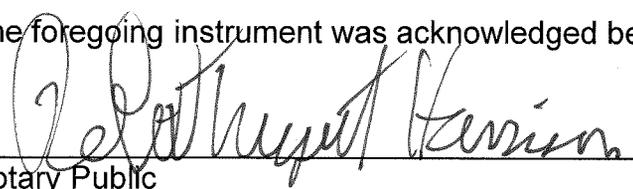


John W. Cooper, Deputy Clerk
Board of Zoning Appeals

ACKNOWLEDGEMENT

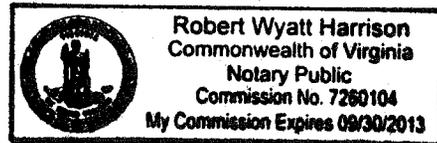
County of Fairfax
Commonwealth of Virginia

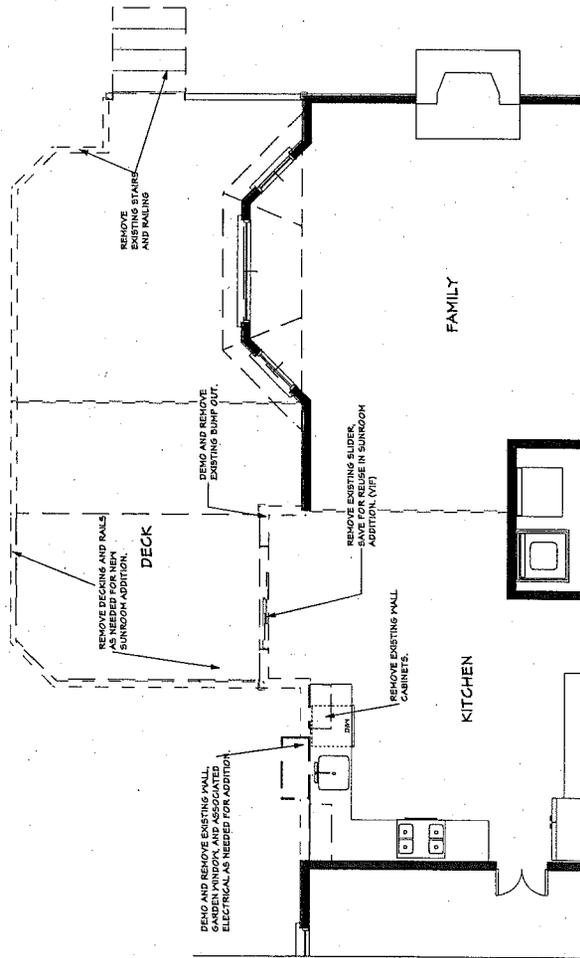
The foregoing instrument was acknowledged before me this 24 day of July, 2012.



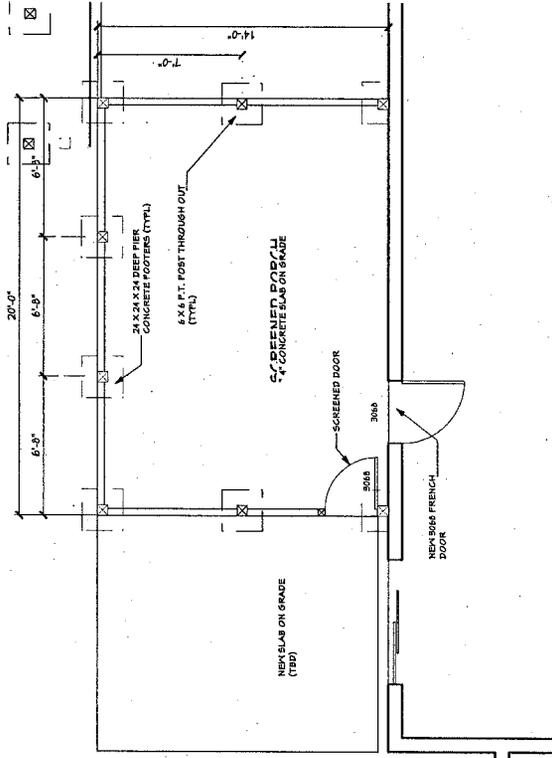
Notary Public

My commission expires: 9-30-2013





PARTIAL 1ST FLOOR DEMO
1/4"=1'-0"



LOWER LEVEL FOUNDATION/PORCH PLAN
1/4"=1'-0"

SHEET
A.1

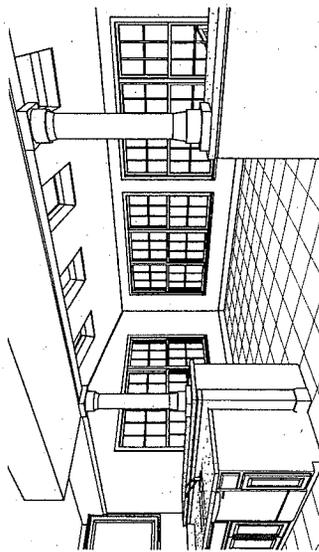
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NO.	REVISIONS
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3	

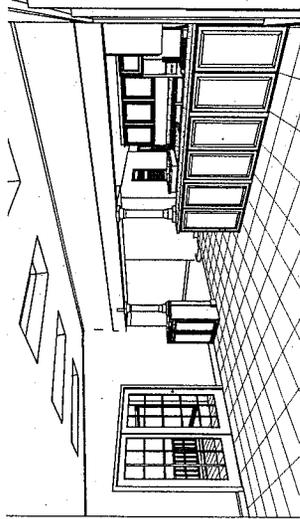
CLIENT NAME & ADDRESS
BOXERS RESIDENCE
 13707 STONEHUNT CT.
 CLIFTON, VA. 20124

DISCLAIMER
 WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL DIMENSIONS SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSION AND CONDITIONS. DRAWINGS ARE ONLY A REPRESENTATION OF THE FINAL PRODUCT. THEY ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES.

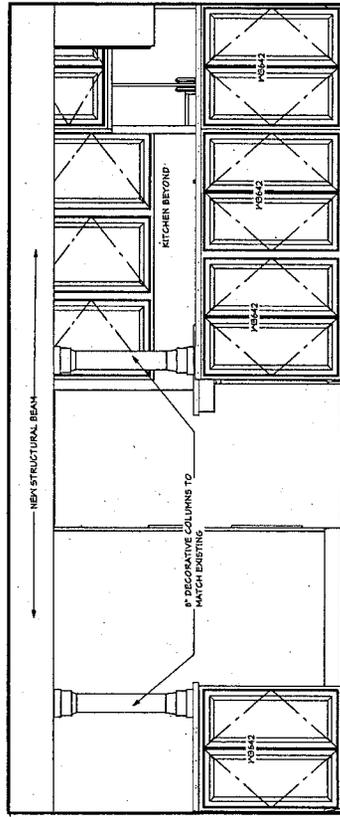
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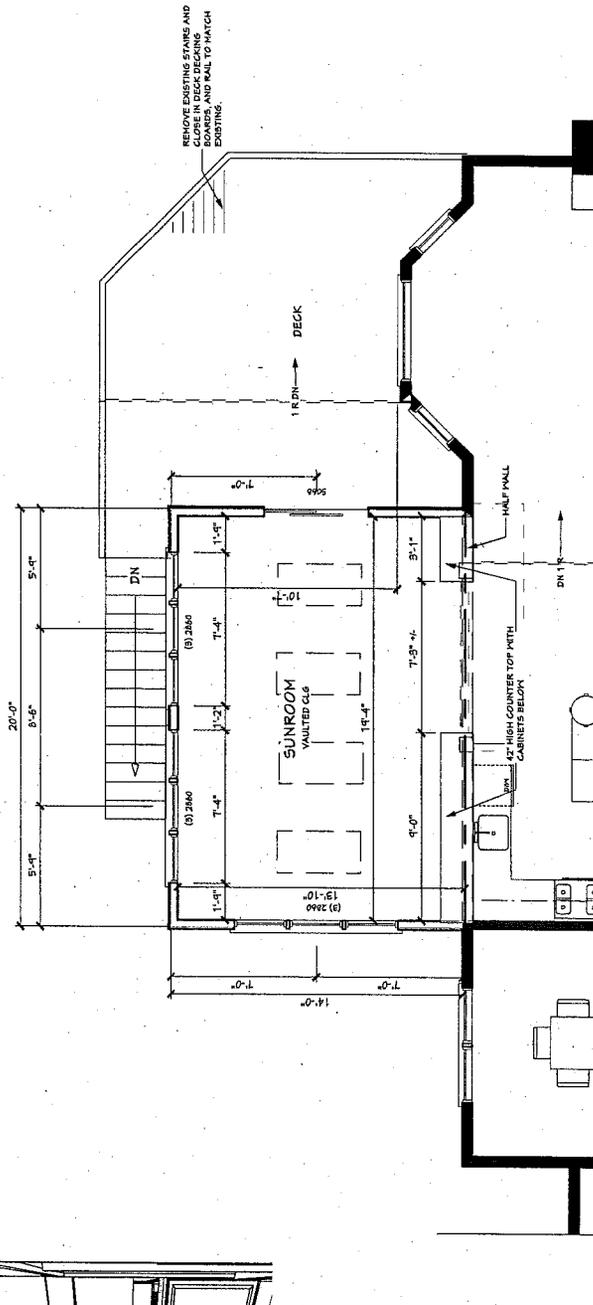
VIEW FROM FAMILY RM
N.T.S.



VIEW FROM SUNROOM
N.T.S.



WALL ELEVATION FROM SUNROOM
1/2"=1'-0"



1ST FLOOR PLAN
1/4"=1'-0"

DISCLAIMER
WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PREFERENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. ANY AND ALL PERSPECTIVE DRAWINGS ENCLOSED IN THESE DRAWINGS ARE FOR ILLUSTRATION PURPOSES ONLY. THEY ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES.

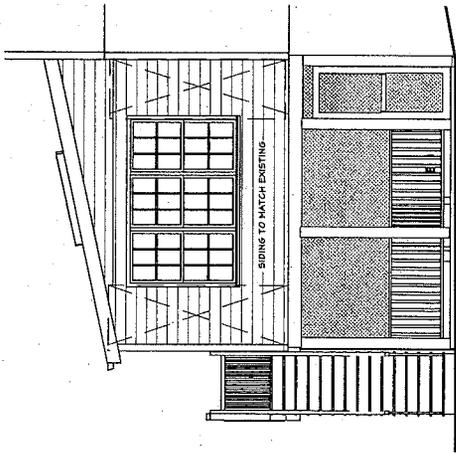
CLIENT NAME & ADDRESS
BOWERS RESIDENCE
13701 STONEHUNT CT.
CLIFTON, VA. 20124

REVISIONS
1
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3

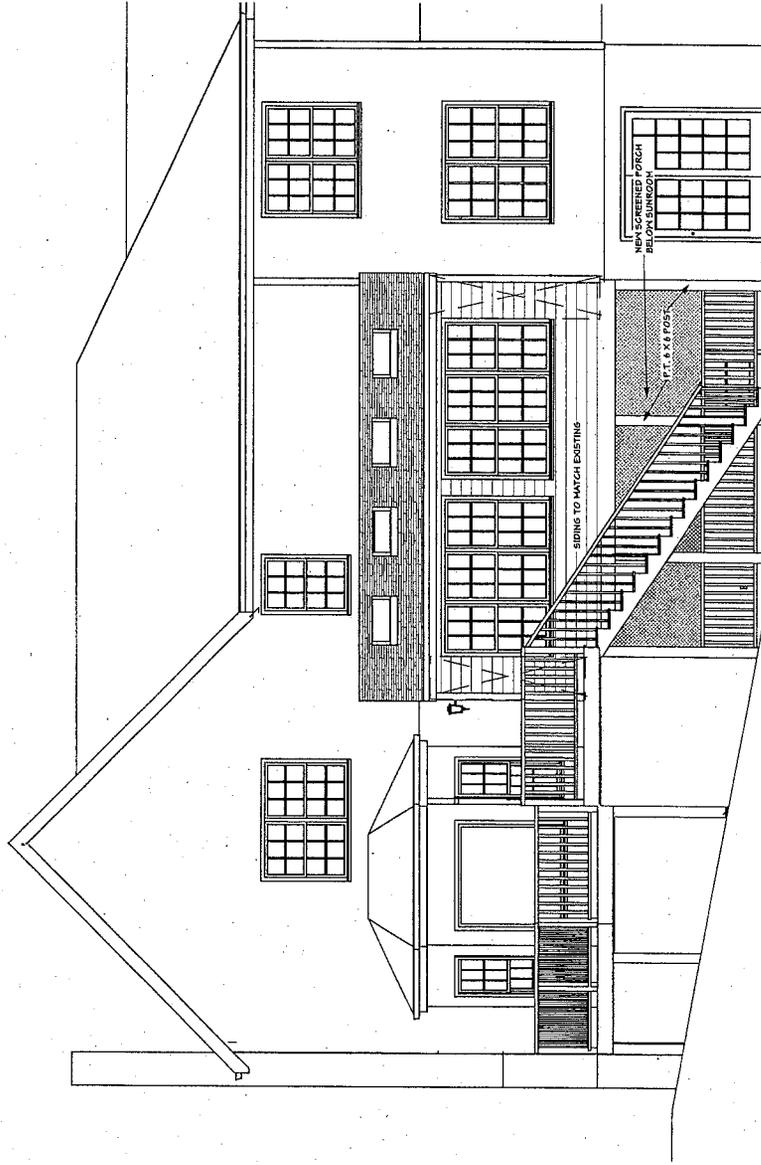
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DRAWN BY:	NHP
FILE NAME:	BOWERS REAR
ADD. PERMIT 1A24	

SHEET
A.2

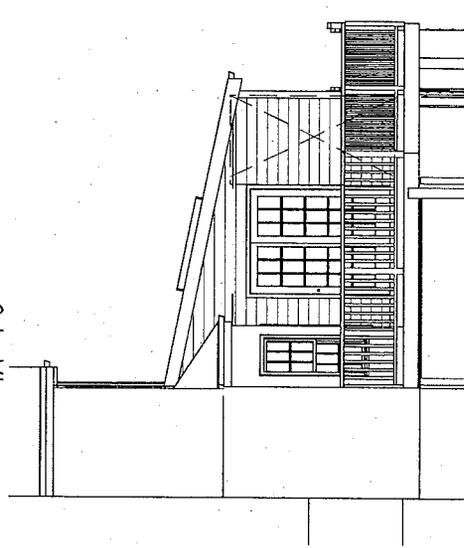
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LEFTSIDE ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"



RIGHTSIDE ELEVATION
1/4"=1'-0"

DISCLAIMER
WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ALL DIMENSIONS SHOWN ON THESE DRAWINGS. THE ARCHITECT SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE ARCHITECT'S WORK IS BASED ON THE INFORMATION PROVIDED IN THE DRAWINGS AND IS ONLY A REPRESENTATION OF THE FINAL PRODUCT. THEY ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES.

CLIENT NAME & ADDRESS
BOWERS RESIDENCE
13707 STONEHUNT CT.
CLIFTON, VA. 20124

REVISIONS
1
2
3

DATE: 08-24-2011
SCALE: AS SHOWN
DRAWN BY: NHH
FILE NAME: BOWERS REAR
ADD. PERMIT 18204

SHEET
A.4

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