

COUNTY OF FAIRFAX, VIRGINIA

SPECIAL PERMIT RESOLUTION OF THE BOARD OF ZONING APPEALS

MICHAEL A. SMITH, SP 2011-MV-023 Appl. under Sect(s). 8-922 of the Zoning Ordinance to permit reduction of certain yard requirements to permit construction of a two-story addition 16.8 ft. from the rear lot line. Located at 8318 Woodacre St. on approx. 10,517 sq. ft. of land zoned R-3. Mt. Vernon District. Tax Map 102-4 ((14)) 1. Mr. Hart moved that the Board of Zoning Appeals adopt the following resolution:

WHEREAS, the captioned application has been properly filed in accordance with the requirements of all applicable State and County Codes and with the by-laws of the Fairfax County Board of Zoning Appeals; and

WHEREAS, following proper notice to the public, a public hearing was held by the Board on June 8, 2011; and

WHEREAS, the Board has made the following findings of fact:

1. The applicant is the owner of the land.
2. There is a favorable staff recommendation, and the Board adopts the rationale in the staff report.
3. This is a very shallow lot, only 99 feet deep.
4. The front of the house is over 40 feet from the street.
5. There is not a lot of area to work with.
6. This is the logical area to put an addition, if there is going to be one.
7. The impact would be minimal.
8. The addition is basically on top of an existing screened porch, so the applicant would not be cutting down any trees or anything.
9. It appears to be well screened from the neighbors with the existing mature vegetation.
10. The trees are very tall in the neighborhood.
11. The Board did not think there would be any significant negative impact on anyone.
12. The criteria in Section 8-922 all have been satisfied.

AND WHEREAS, the Board of Zoning Appeals has reached the following conclusions of law:

THAT the applicant has presented testimony indicating compliance with the general standards for Special Permit Uses as set forth in Sect. 8-006 and the additional standards for this use as contained in the Zoning Ordinance.

NOW, THEREFORE, BE IT RESOLVED that the subject application is **APPROVED** with the following limitations:

1. These conditions shall be recorded by the applicant among the land records of Fairfax County for this lot prior to the issuance of a building permit. A certified copy of the recorded conditions shall be provided to the Zoning Permit Review Branch, Department of Planning and Zoning.
2. This special permit is approved for the location and size (approximately 450 square feet) of the two-story addition (including a deck on the second floor), as shown on the plat prepared by Alexandria Surveys, International, LLC., dated February 23, 2011 and signed by Patrick A. Eckert on March 10, 2011, submitted with this application and is not transferable to other land.

Notwithstanding the notation on the plat, at the applicant's option, the play set may also be relocated on the lot to a location which would be in compliance with the Zoning Ordinance.

- 3. Pursuant to Paragraph 4 of Section 8-922 of the Zoning Ordinance, the resulting gross floor area of an addition to the existing principal structure may be up to 150 percent of the gross floor area of the dwelling that existed at the time of the first expansion (2,600 square feet existing + 3,900 square feet (150%) = 6,500 square feet maximum permitted on lot) regardless of whether such addition complies with the minimum yard requirement or is the subject of a subsequent yard reduction special permit. Notwithstanding the definition of gross floor area as set forth in the Ordinance, the gross floor area of a single family dwelling for the purpose of this paragraph shall be deemed to include the floor area of any attached garage. Subsequent additions that meet minimum yard requirements shall be permitted without an amendment to this special permit.
- 4. The addition shall be consistent with the architectural renderings and materials as shown on Attachment 1 to these conditions.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, thirty (30) months after the date of approval unless construction has commenced and has been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

Ms. Gibb seconded the motion, which carried by a vote of 7-0.

A Copy Teste:

*Suzanne Frazier*  
 Suzanne Frazier, Deputy Clerk  
 Board of Zoning Appeals

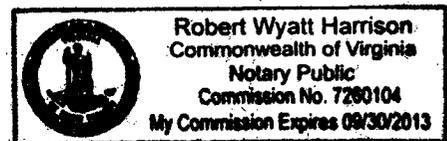
ACKNOWLEDGEMENT

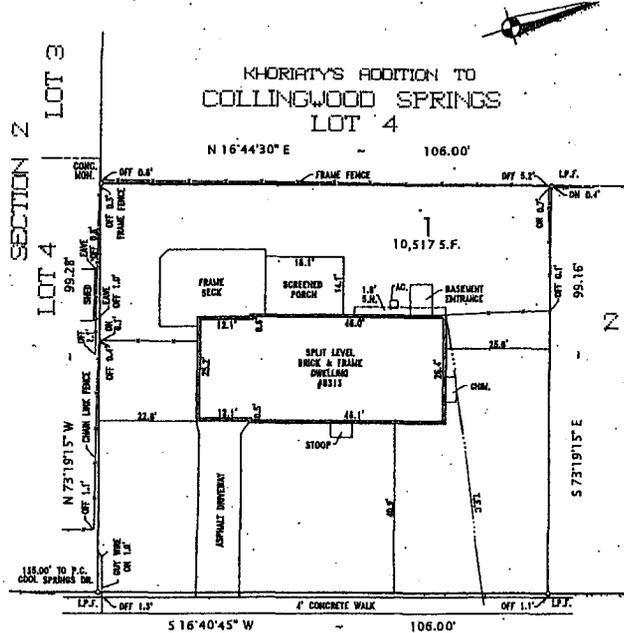
County of Fairfax,  
Commonwealth of Virginia:

The foregoing instrument was acknowledged before me this 20 day of June, 2011.

*Robert Wyatt Harrison*  
 Notary Public

My commission expires: 9-30-2013

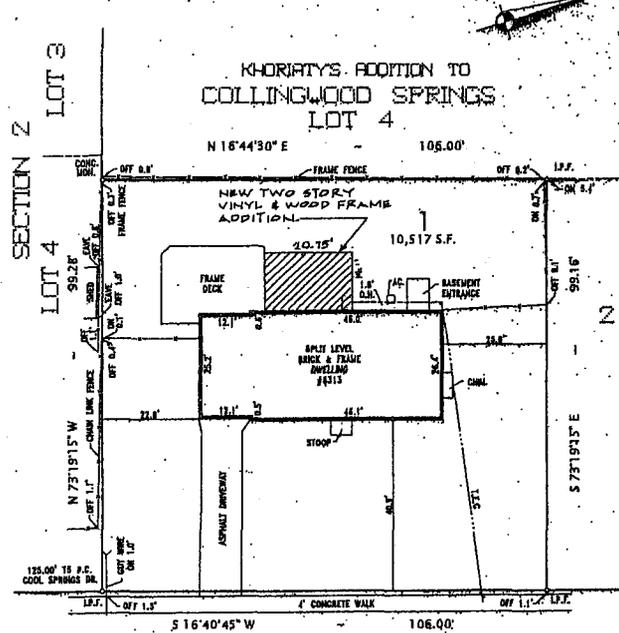




WOODACRE STREET  
50' R/W

PLAT  
SHOWING HOUSE LOCATION ON  
LOT 1 SECTION 4  
COLLINGWOOD SPRINGS  
FAIRFAX COUNTY, VIRGINIA  
SCALE: 1" = 20'  
APRIL 25, 2005

GRAPHIC SCALE  
0 20 40



WOODACRE STREET  
50' R/W

PLAT  
SHOWING HOUSE LOCATION ON  
LOT 1 SECTION 4  
COLLINGWOOD SPRINGS  
FAIRFAX COUNTY, VIRGINIA  
SCALE: 1" = 20'  
APRIL 25, 2005

GRAPHIC SCALE  
0 20 40

**EXISTING SITE PLAN**

**DRAWING LIST**

- A-1 • Site Plans
- A-2 • Existing Conditions, Removals & Demolition Floor Plans
- A-3 • Existing Elevations
- A-4 • Proposed Foundation Plan  
Proposed Roof Plan
- A-5 • Proposed Floor Plans
- A-6 • Proposed Elevations
- S-1 • Framing Plans
- S-2 • Typical Details  
Section 'A-A'
- E-1 • Electrical Plans

**PROPOSED AREA OF NEW CONSTRUCTION**

**NOTE:**

All plans and specifications to conform to 2006 Virginia Uniform Statewide Residential Building Code (USBC) and in accordance with IRC 2006.

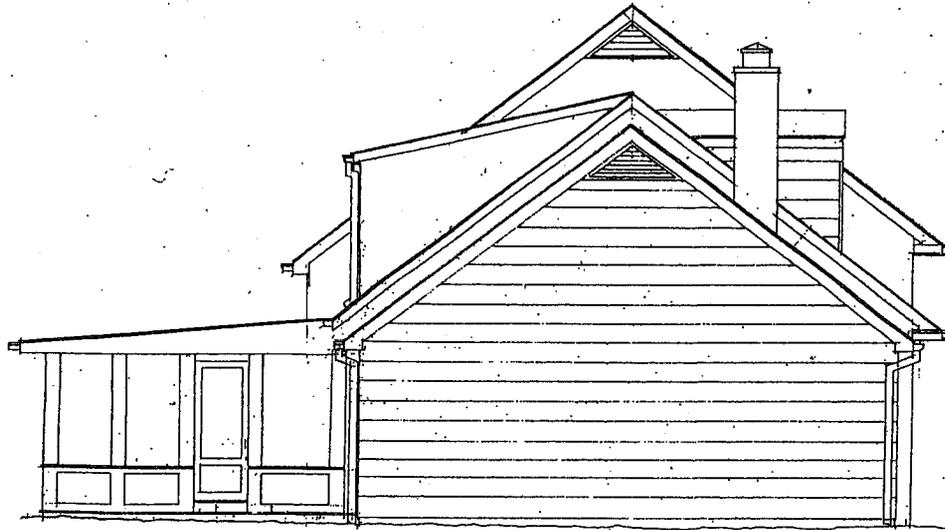
Date: April 30, 2010

**DESIGNER**  
**RLS BUILDERS**  
4605 Valerie Court, Annandale, Virginia 22003  
Phone: 703 426 1640  
Richard L. Saggio

**PROJECT LOCATION**  
**Smith/Ingram Residence**  
8328 Woodcrest Street, Alexandria, Virginia, 22305

**Site Plans**

DRAWING No.  
**A-1**



**EXISTING PARTIAL SIDE ELEVATION**

Scale 1/4" = 1'0"



**EXISTING PARTIAL REAR ELEVATION**

Scale 1/4" = 1'0"

**NOTE:**

All plans and specifications to conform to 2006 Virginia Uniform Statewide Residential Building Code (USBC) and in accordance with IRC 2006.

**DESIGNER**

**RLS BUILDERS**

4605 Waterloo Court, Annandale, Virginia, 22003  
Phone: 703 426 1640  
Richard L. Sapiro

**PROJECT LOCATION**

**Smith/Ingram Residence**

8318 Woodacre Street, Alexandria, Virginia, 22308

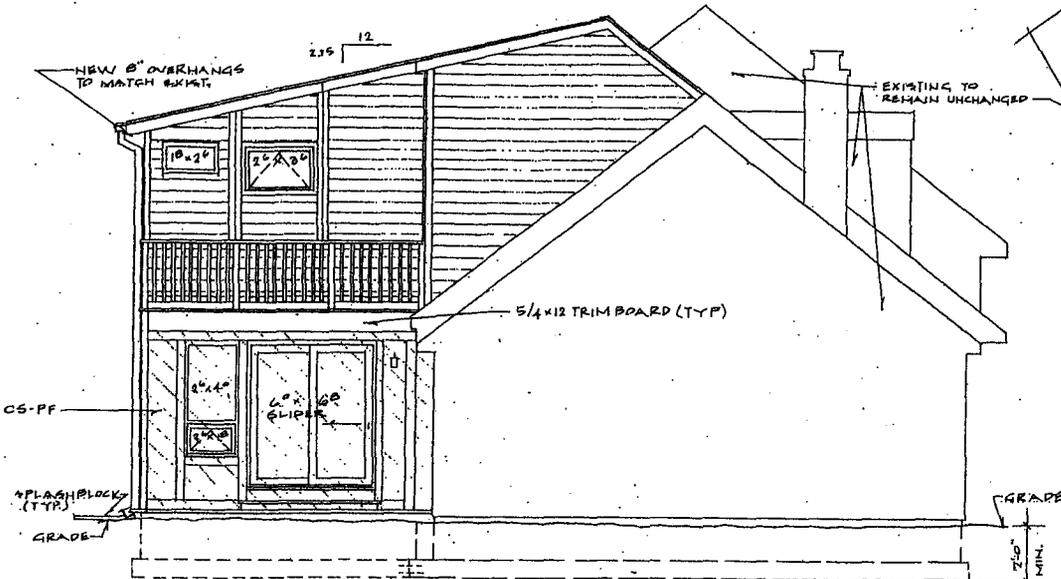
**Existing Elevations**

DRAWING No.

**A-3**

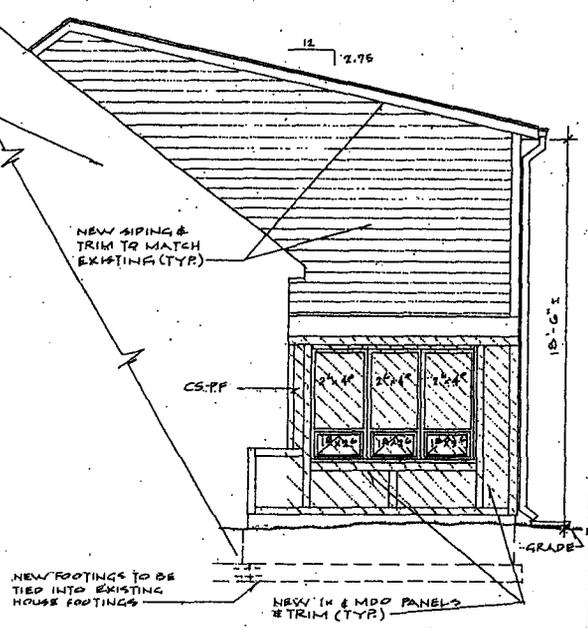
DATE: April 20, 2010





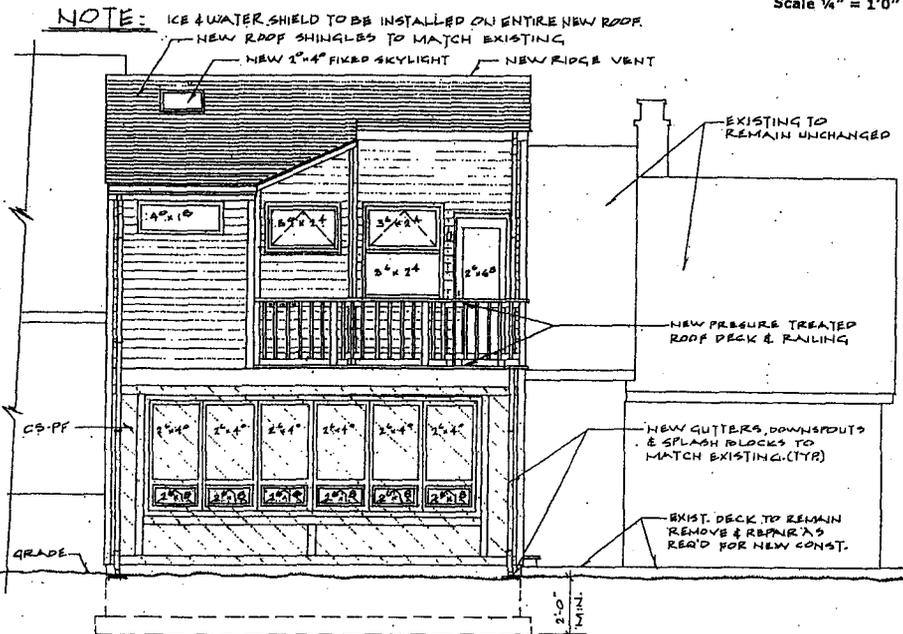
**PROPOSED LEFT SIDE ELEVATION**

Scale 1/4" = 1'0"



**PROPOSED RIGHT SIDE ELEVATION**

Scale 1/4" = 1'0"



**PROPOSED REAR ELEVATION**

Scale 1/4" = 1'0"

**WIND BRACING**

All wind bracing as indicated, to conform to all wall bracing provisions of the 2006 Virginia Residential Code and Fairfax County wind bracing publication last updated 8.22.08, and in accordance with IRC 2006.

**NOTE**

All deck construction to conform to Fairfax County typical standard deck details.

**Existing Footings:**

Existing footings and soil conditions to meet all applicable building codes and to be confirmed by Contractor.

**NOTE:**

All plans and specifications to conform to 2006 Virginia Uniform Statewide Residential Building Code (USBC) and in accordance with IRC 2006.

DESIGNER

**RLS BUILDERS**

4605 Valerie Court, Annandale, Virginia 22003  
Phone: 703 426 1640  
Richard L. Sapiro

PROJECT LOCATION

**Smith/Ingram Residence**

8318 Woodshire Street, Alexandria, Virginia, 22308

Proposed Elevations

DRAWING No.

**A-5**