



APPLICATION ACCEPTED: September 10, 2012
BOARD OF ZONING APPEALS: December 5, 2012
TIME: 9:00 a.m.

County of Fairfax, Virginia

November 28, 2012

STAFF REPORT

SPECIAL PERMIT APPLICATION NO. SP 2012-SU-061

SULLY DISTRICT

APPLICANTS & OWNERS: Hao Tran
Hien T. Tran

SUBDIVISION: Pleasant Hill

STREET ADDRESS: 6214 Point Circle, Centreville, 20120

TAX MAP REFERENCE: 53-1 ((03)) (04) 75

LOT SIZE: 13,000 square feet

ZONING DISTRICT: R-C, WS

ZONING ORDINANCE PROVISIONS: 8-913

SPECIAL PERMIT PROPOSAL: To grant a modification to the minimum yard requirements to certain R-C lots to permit construction of an addition 16.1 feet from a side lot line.

A copy of the BZA's Resolution setting forth this decision will be mailed within five (5) days after the decision becomes final.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

O:\rhorner\Special Permits\Tran RC lot\Staff Report TRAN RC.doc

Rebecca Horner

For additional information, call Zoning Evaluation Division, Department of Planning and Zoning at 703-324-1280, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035. **Board of Zoning Appeals' meetings are held in the Board Room, Ground Level, Government Center Building, 12000 Government Center Parkway, Fairfax, Virginia 22035-5505.**



Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 7 days advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

Special Permit

SP 2012-SU-061
HAO & HIEN TRAN



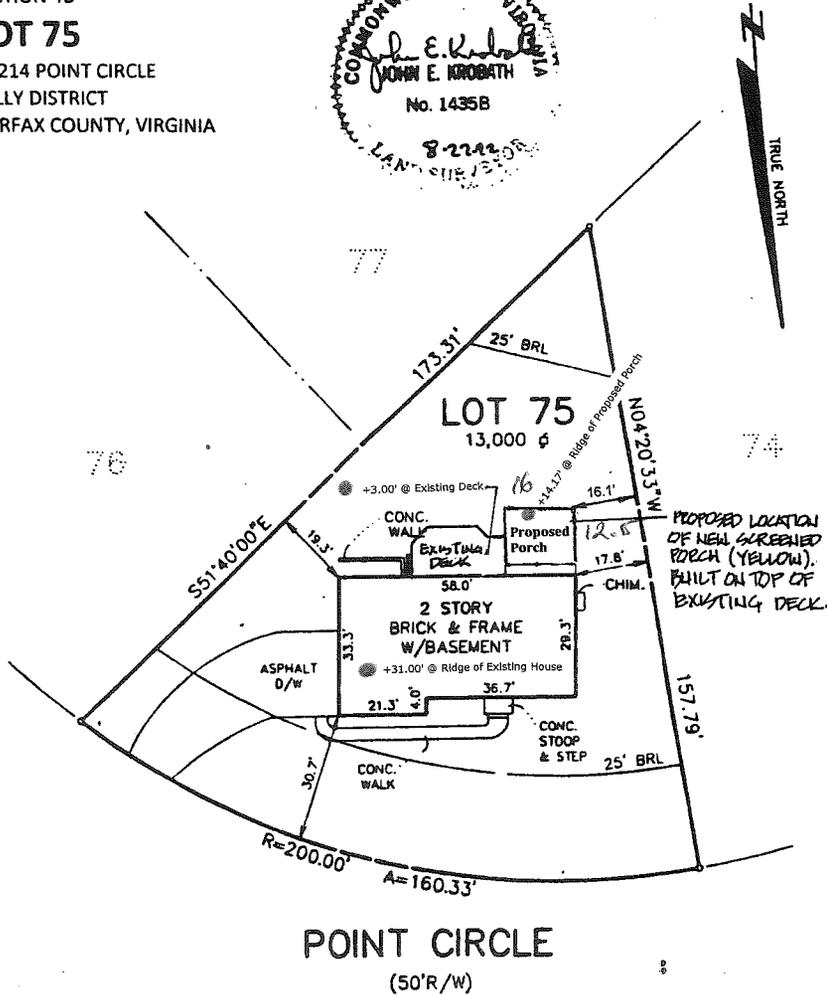
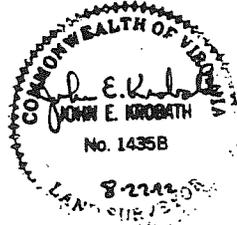
Special Permit

SP 2012-SU-061
HAO & HIEN TRAN



ATTACHMENT #3

SITE LOCATION SURVEY
PLEASANT HILL
 SECTION 4B
LOT 75
 # 6214 POINT CIRCLE
 SULLY DISTRICT
 FAIRFAX COUNTY, VIRGINIA



POINT CIRCLE
 (50'R/W)

FINAL PROPERTY CORNERS WILL BE SET AT SUCH TIME FINAL GRADING IS COMPLETED.

THIS PROPERTY DOES NOT LIE WITHIN A H.U.D. DESIGNATED SPECIAL FLOOD HAZARD AREA AS DELINEATED ON COMMUNITY MAP NO. 515525C, H & I 15 DATED MAY 14, 1976

THE PROPERTY IS CURRENTLY ZONED R-C, DEVELOPED AS R-2 CLUSTER, SIDEYARD SET-BACK MINIMUM 8' WITH A TOTAL OF 24'.

WALL CHECK	Drn. By: TMC	FINAL SURVEY	Drn. By: TMG	REPORT	Drn. By:
Date: 6-18-92	Chk By: JAD	Date: 8-25-92	Chk By:	Date:	Chk By:

SURVEYOR'S CERTIFICATE

I hereby certify that the position of all existing improvements on the above described property has been carefully established by a transit-tape survey and that unless otherwise shown, there are no encroachments and no title report has been furnished.



Charles P. Johnson & Associates, P.C.
 PLANNERS ENGINEERS LANDSCAPE ARCHITECTS SURVEYORS
 2200 PLEASANT HILL DRIVE SUITE 200 FAIRFAX, VIRGINIA 22031
 (703) 271-8900 FAX (703) 271-8902

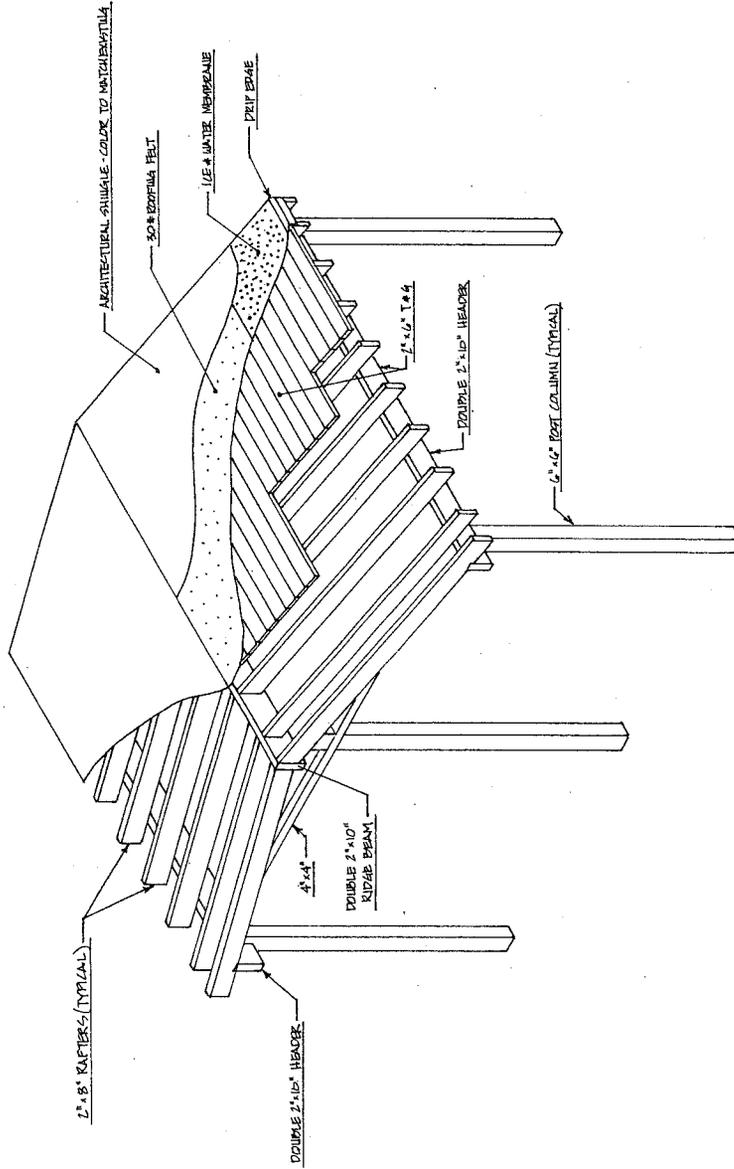
Reference	Scale	File No.
D.B.6657 PG. 952	1" = 30'	85-549-72

Submitted By: Hao Tran
 Hao Tran (Homeowner)

Date: 9/4/2012

TRAN SCREENED PORCH

6214 POINT CIRCLE
CENTREVILLE, VIRGINIA

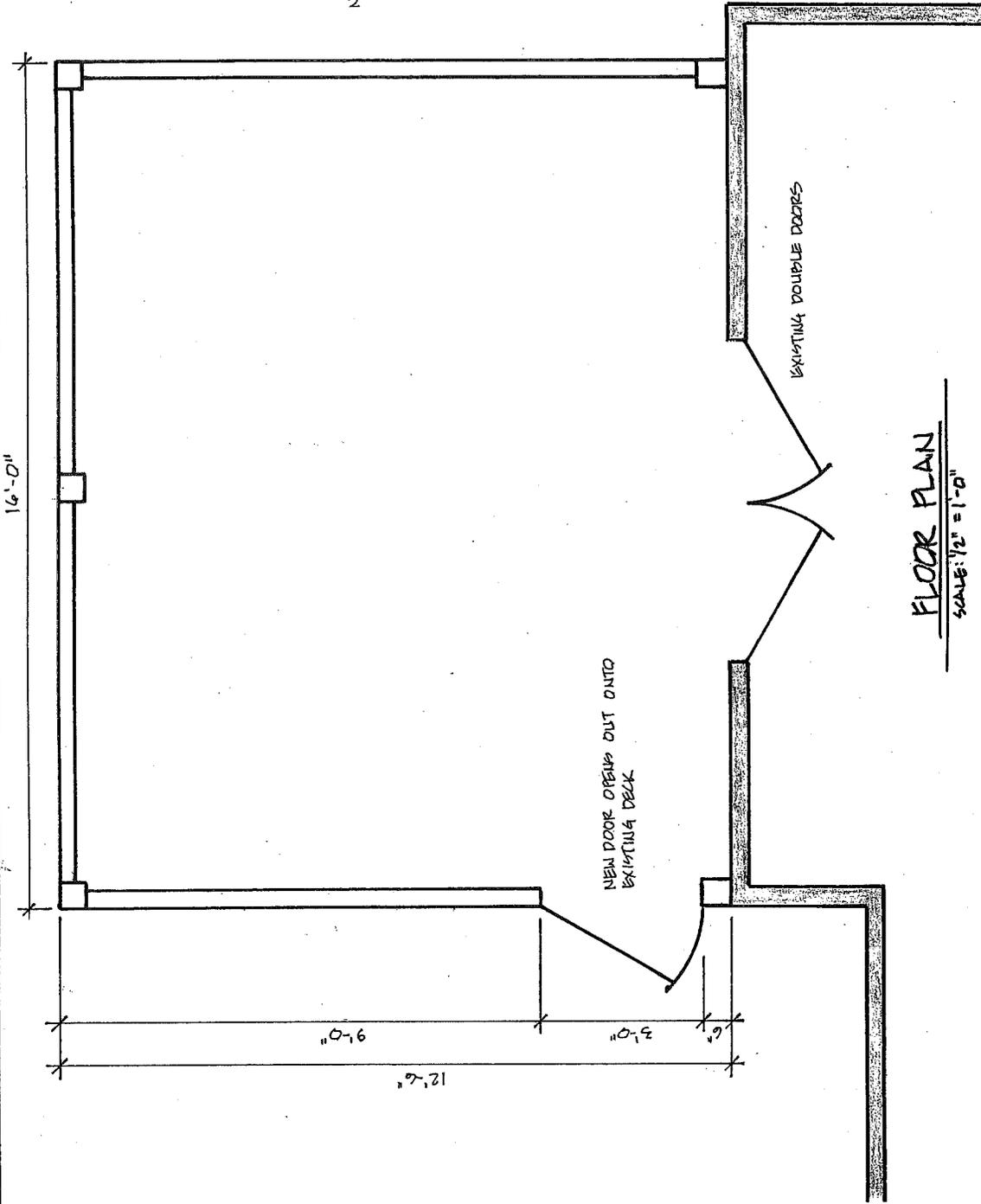


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NOTE - HEIGHT OF DECK FLOOR IS APPROXIMATELY
12" ABOVE GRADE. THEREFORE, NO
GUARDRAIL IS REQUIRED



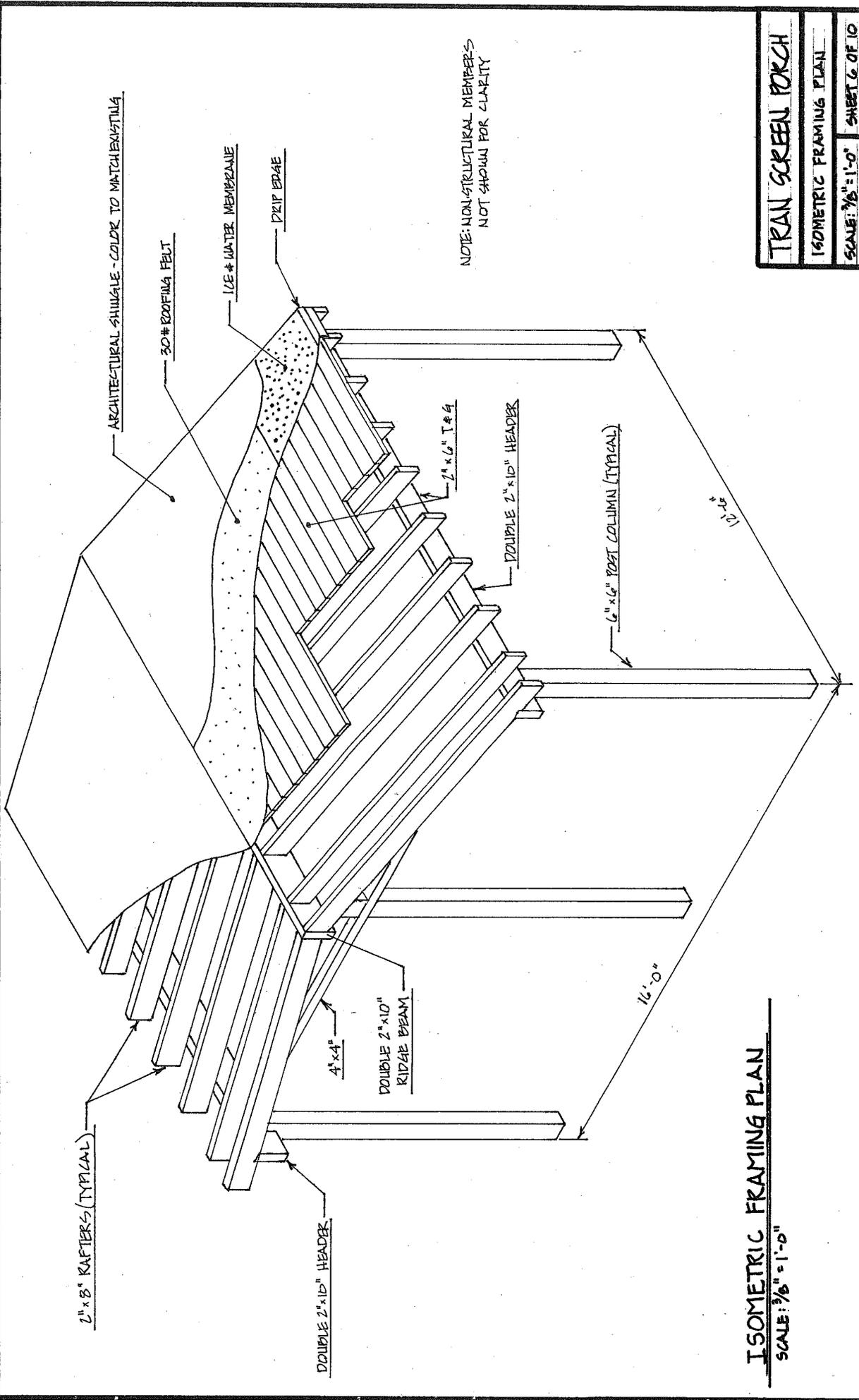
FLOOR PLAN
SCALE: 1/2" = 1'-0"

TRAN SCREEN PORCH

FLOOR PLAN

SCALE: 1/2" = 1'-0"

SHEET 4 OF 10



2" x 8" RAFTERS (TYPICAL)

ARCHITECTURAL SHINGLES - COLOR TO MATCH EXISTING

30# ROOFING FELT

ICE & WATER MEMBRANE

DROP EDGE

DOUBLE 2" x 10" HEADER

4" x 4"

DOUBLE 2" x 10" RIDGE BEAM

2" x 6" T#4

DOUBLE 2" x 10" HEADERS

6" x 6" POST COLUMN (TYPICAL)

16'-0"

12'-0"

NOTE: NON-STRUCTURAL MEMBERS NOT SHOWN FOR CLARITY

ISOMETRIC FRAMING PLAN

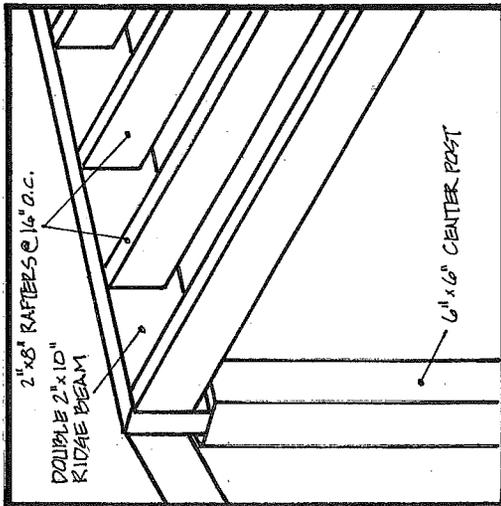
SCALE: 3/8" = 1'-0"

TRAN SCREEN PORCH

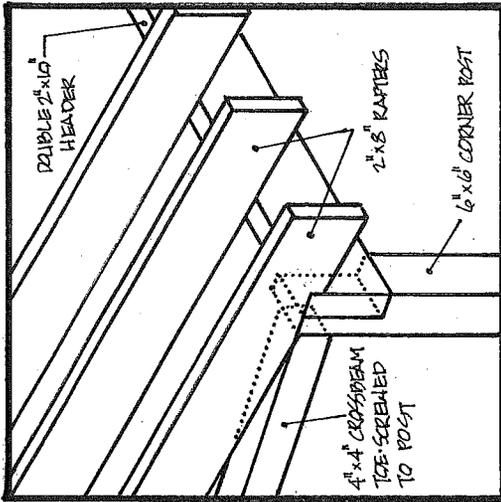
ISOMETRIC FRAMING PLAN

SCALE: 3/8" = 1'-0"

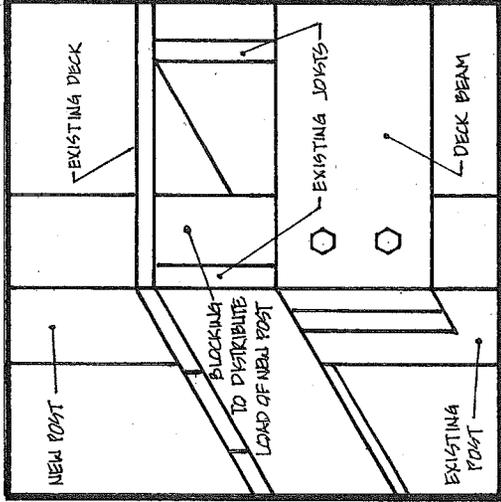
SHEET 6 OF 10



RAFTER TO RIDGE
SCALE: 3/4" = 1'-0"



RAFTER TO HEADER
SCALE: 3/4" = 1'-0"



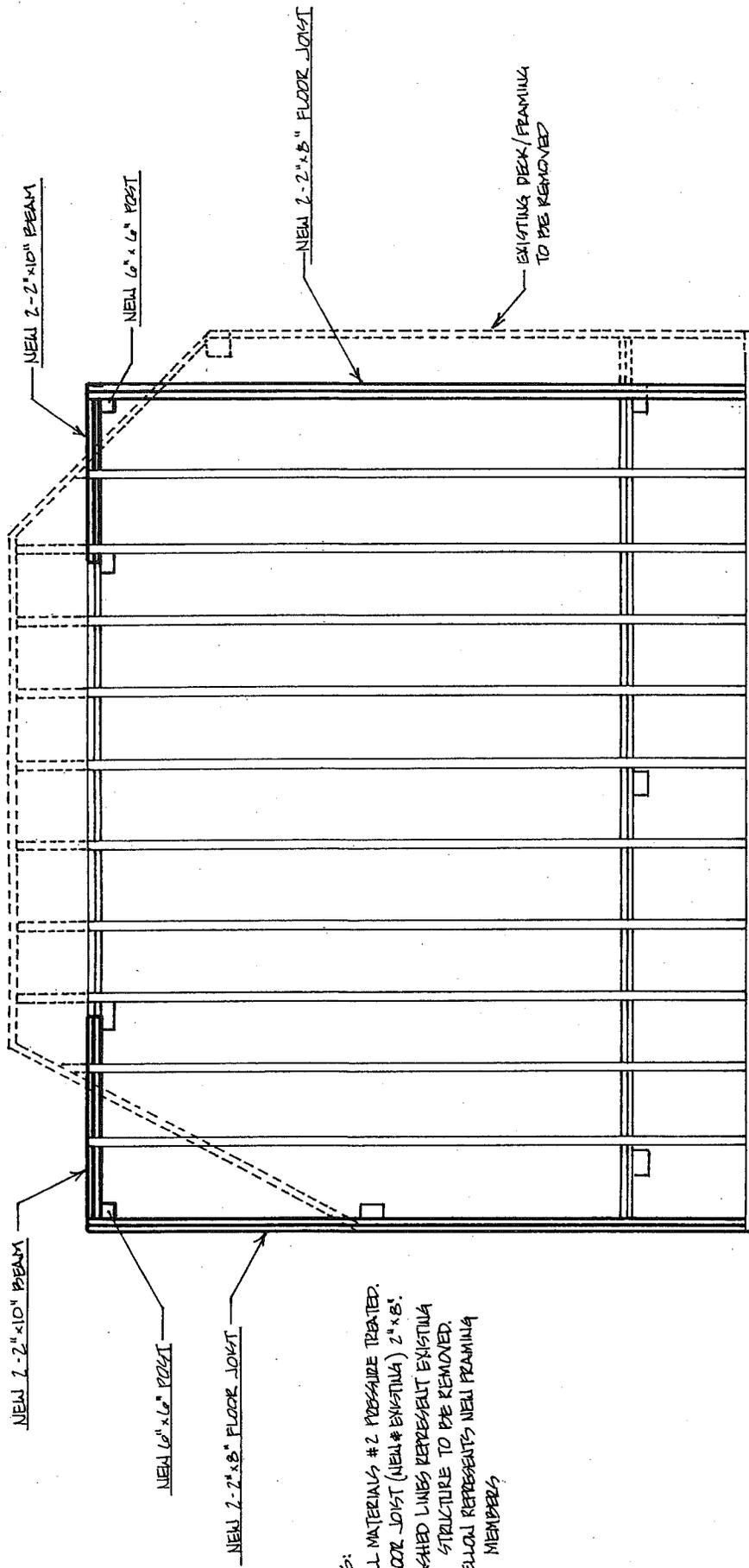
POST BASE
SCALE: 1/2" = 1'-0"

TRAN SCREEN PORCH	
FRAMING DETAILS	
SCALE: AS NOTED	SHEET 7 OF 10

TRAN SCREEN PORCH

STRUCTURAL FRAMING

SCALE: 1/2" = 1'-0" SHEET 8 OF 10



STRUCTURAL FRAMING PLAN - FLOOR

SCALE: 1/2" = 1'-0"

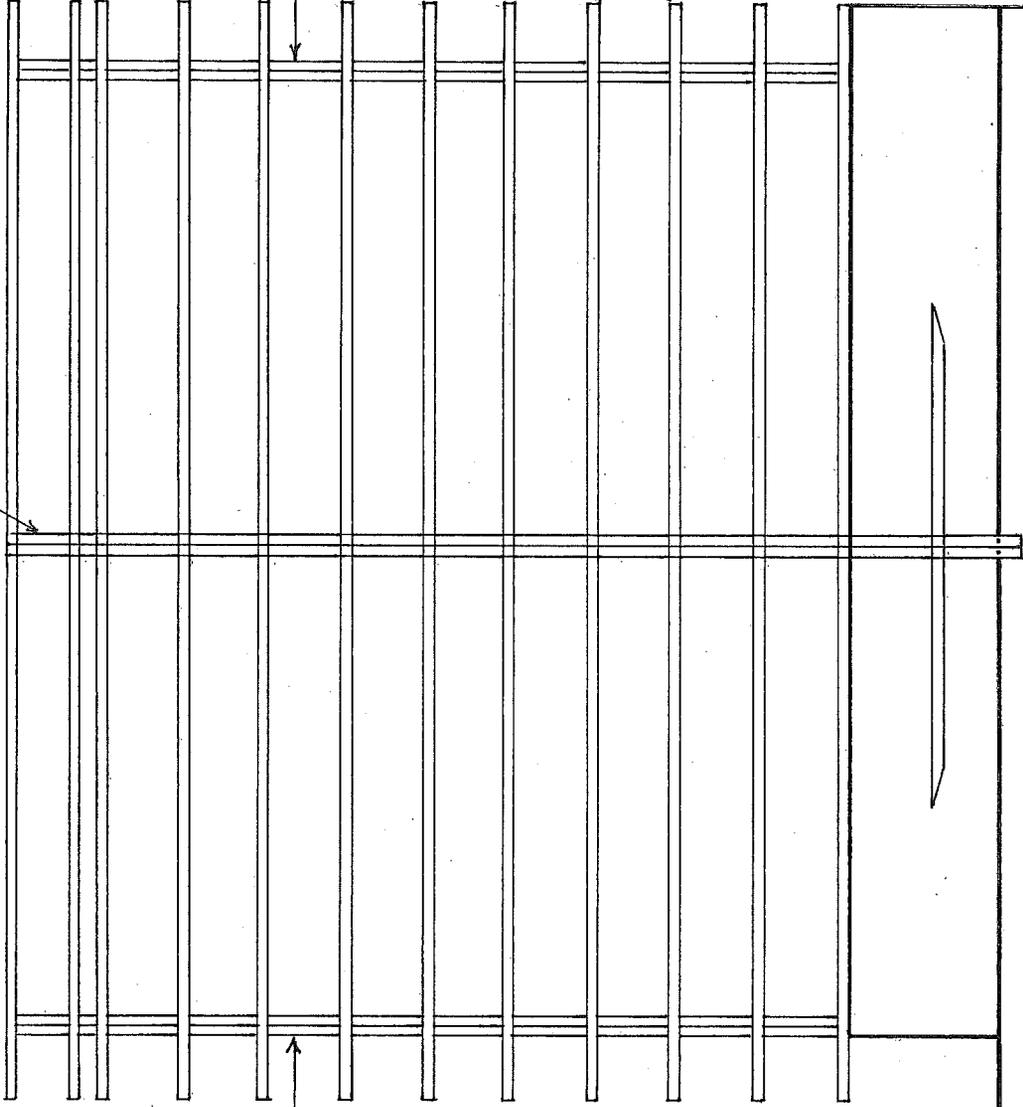
- NOTES:
1. ALL MATERIALS #2 PRESSURE TREATED.
 2. FLOOR JOIST (NEW # EXISTING) 2" x 8".
 3. DASHED LINES REPRESENT EXISTING STRUCTURE TO BE REMOVED.
 4. YELLOW REPRESENTS NEW FRAMING MEMBERS.

DOUBLE 2" x 10" HEADER

DOUBLE 2" x 10" HEADER

2" x 8" RAFTERS 16" O.C. TRIMAL

DOUBLE 2" x 10" HEADER



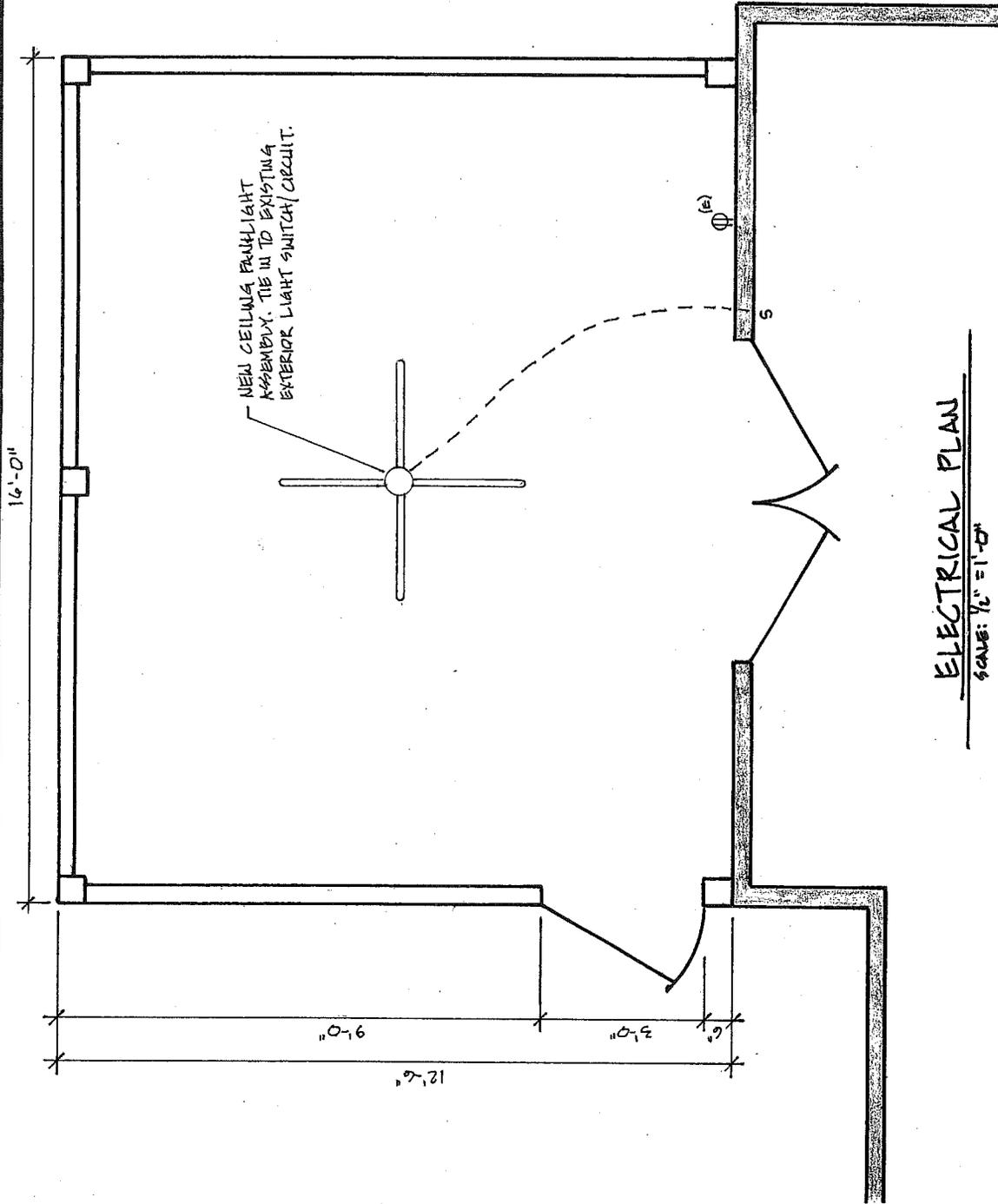
TRAN SCREEN PORCH
ROOF FRAMING PLAN
SCALE: 1/2" = 1'-0"
SHEET 3 OF 10

ROOF FRAMING PLAN
SCALE: 1/2" = 1'-0"

TRAN SCREEN PORCH

ELECTRICAL PLAN

SCALE: 1/2" = 1'-0" SHEET NO. OF 10



ELECTRICAL PLAN
SCALE: 1/2" = 1'-0"

NOTES:

1. ALL COLORS TO MATCH EXISTING HOUSE COLORS.
2. ALL CONSTRUCTION TO COMPLY WITH FAIRFAX COUNTY "TYPICAL DECK DETAILS."
3. ALL FRAMING MATERIALS TO BE #2 OR BETTER SOUTHERN PINE, A-C, CA-B OR CUN-N PRESSURE TREATED.
4. FLOOR DECKING SHALL BE WOOD-PLASTIC COMPOSITE WITH LABEL INDICATING PERFORMANCE CRITERIA AND COMPLIANCE WITH ASTM-D 7032.
5. SCREWS SHALL BE HOT DIPPED GALVANIZED, APPROVED FOR USE WITH PRESSURE TREATED LUMBER.
6. HEIGHT OF DECK FLOOR IS ROUGHLY 18" ABOVE GRADE. THEREFORE, NO GUARDRAIL IS REQUIRED.

TRAN SCREEN PORCH

NOTES

SCALE: - SHEET 3 OF 10

ITEM 3.0
PHOTOGRAPH OF APPLICATION PROPERTY AND
ABUTTING PROPERTIES

All Photographs Taken on August 1, 2012
Reference Attachment #1 for Plat indicating direction of each
photograph taken



PHOTOGRAPY R1 – Backyard (facing North) looking at the back of our house.

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Zoning Evaluation Division



PHOTOGRAPH F2 - Front yard (facing west) looking at Lot 74



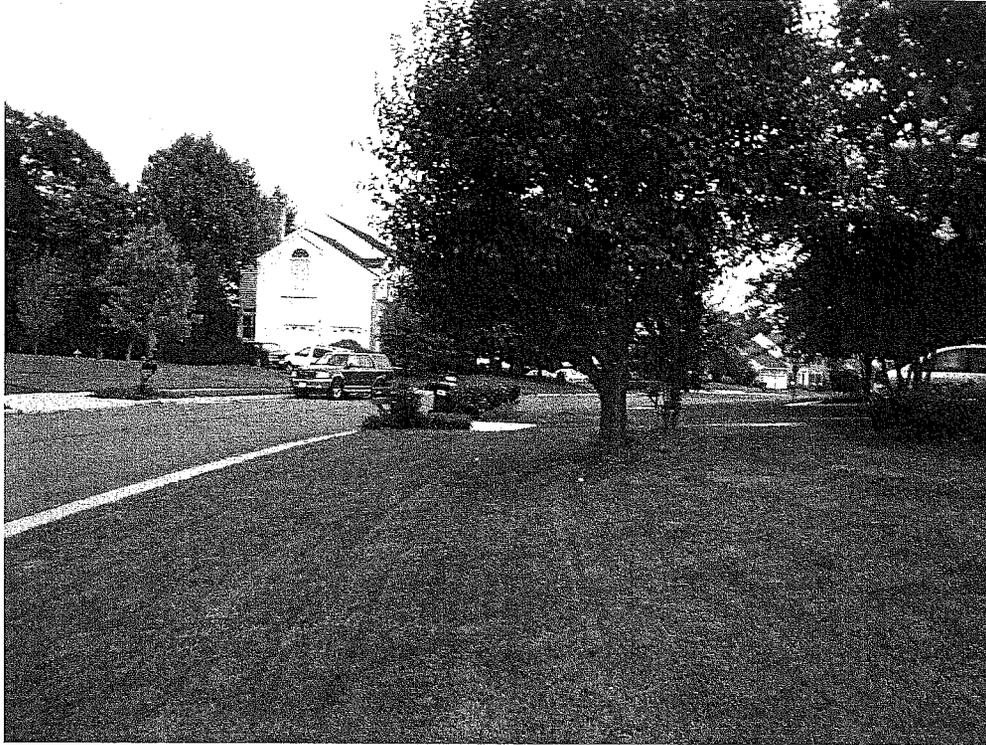
PHOTOGRAPH F3 - Front yard (facing North)



PHOTOGRAPH R4 - Backyard (facing West) looking at Lot 74



PHOTOGRAPH F1 - Front yard (facing south) looking at front of our house.

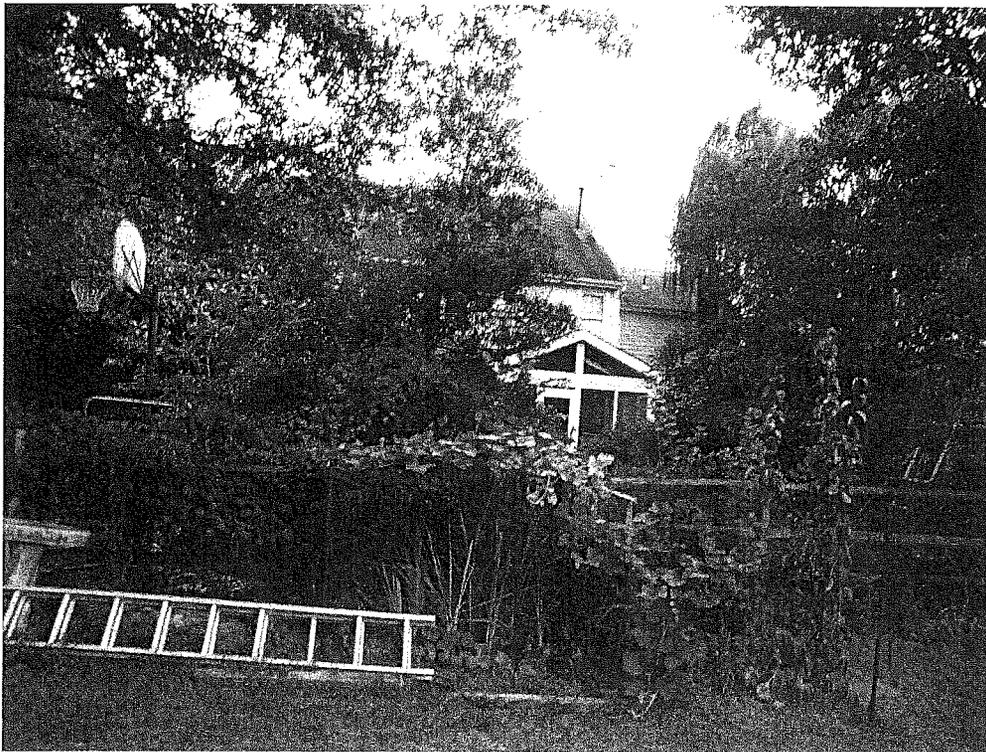


PHOTOGRAPH F4 – Front Yard (facing East)

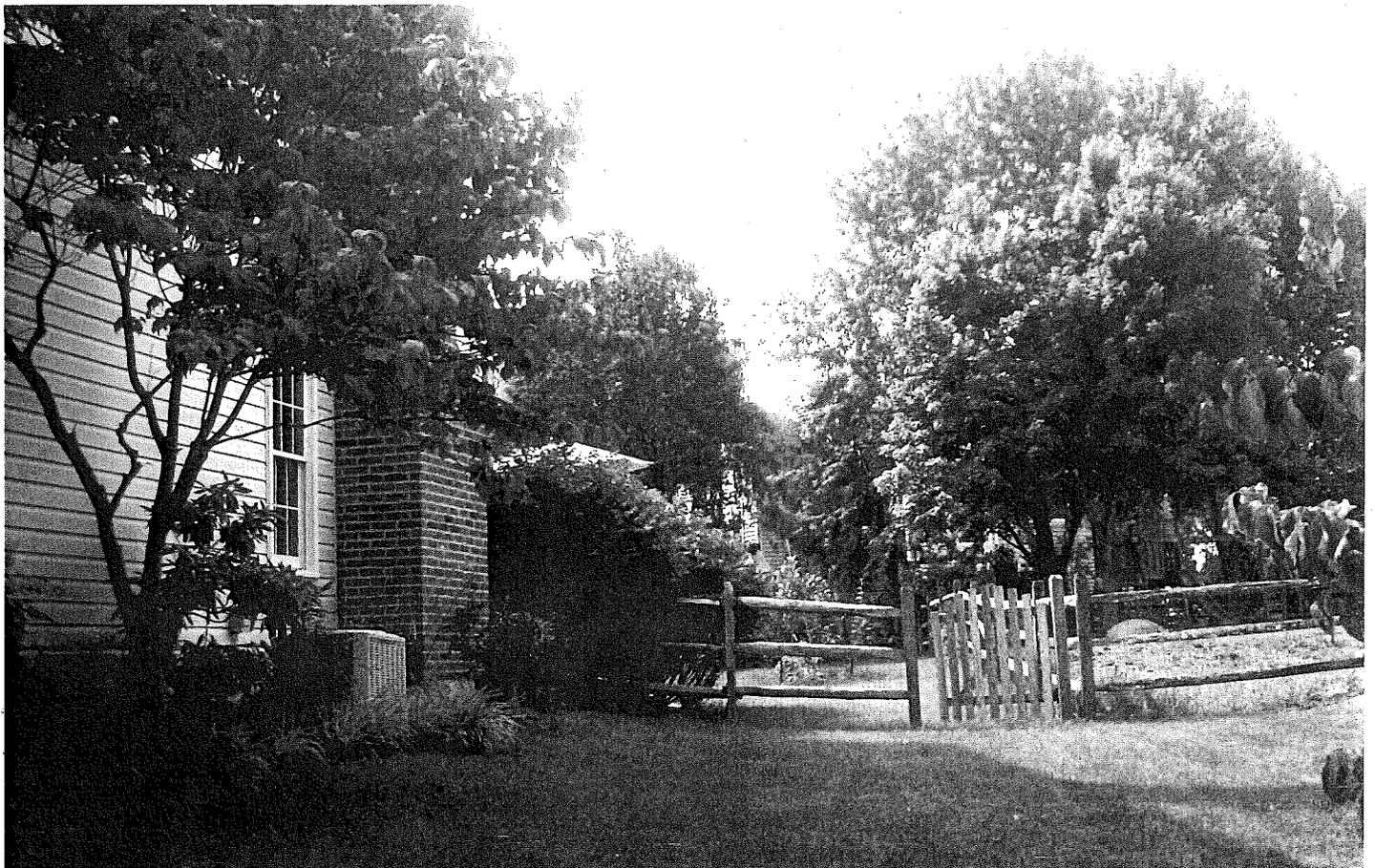
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Department of Planning & Zoning
SEP 07 2012
Zoning Evaluation Division

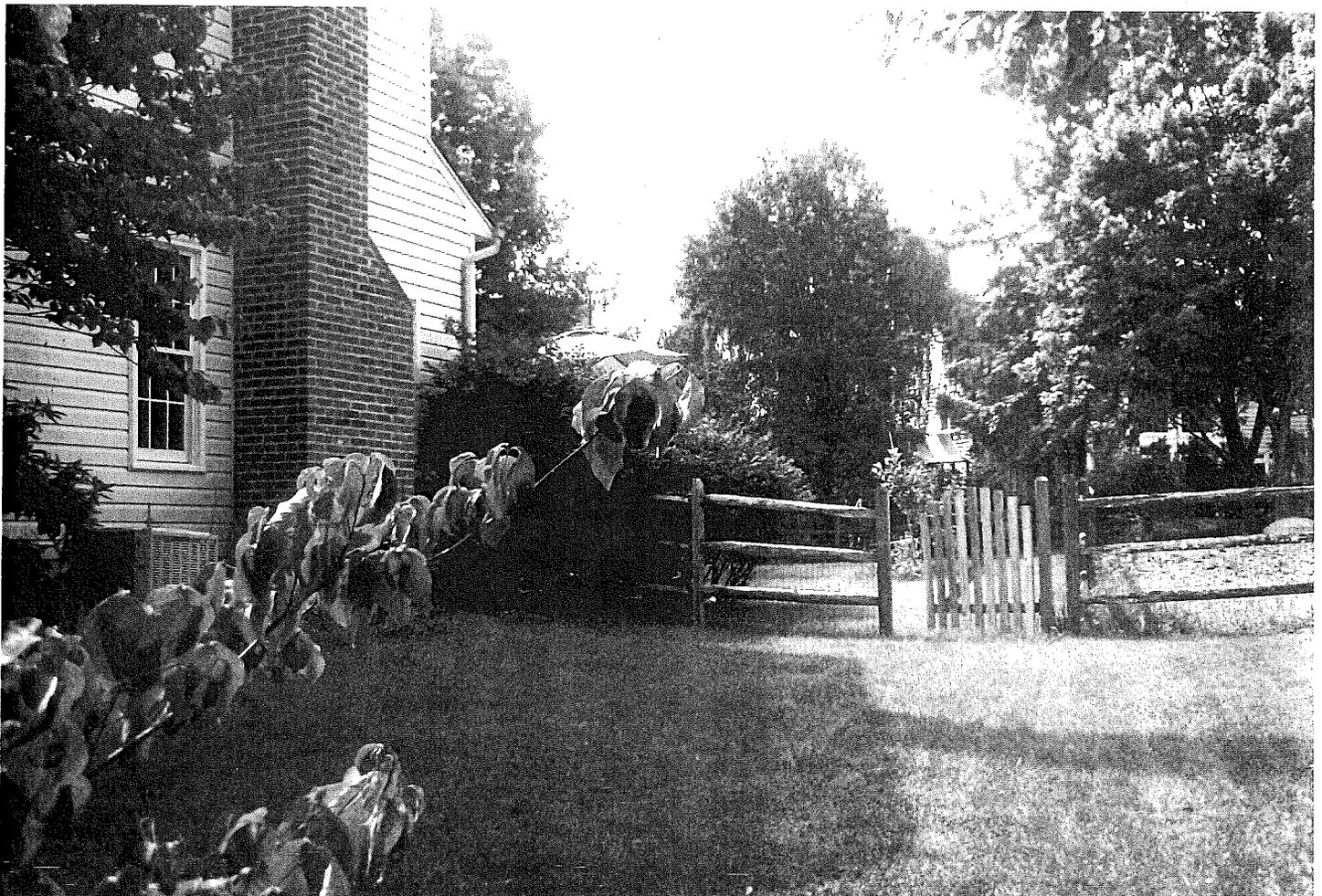
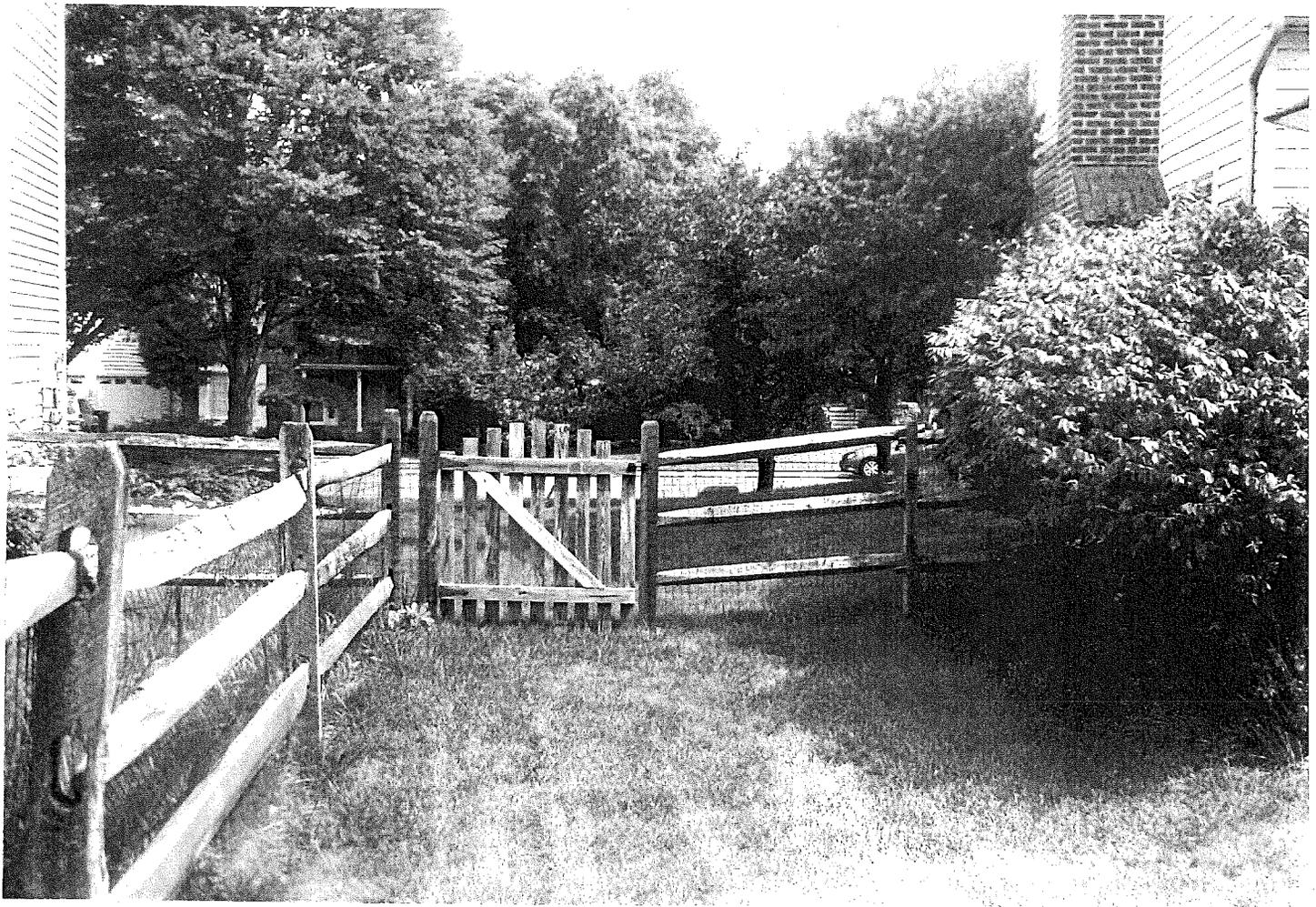


PHOTOGRAPH R2 – Backyard (facing East) looking toward Lot 76



PHOTOGRAPG R3 – Backyard (facing south) looking at Lot 77

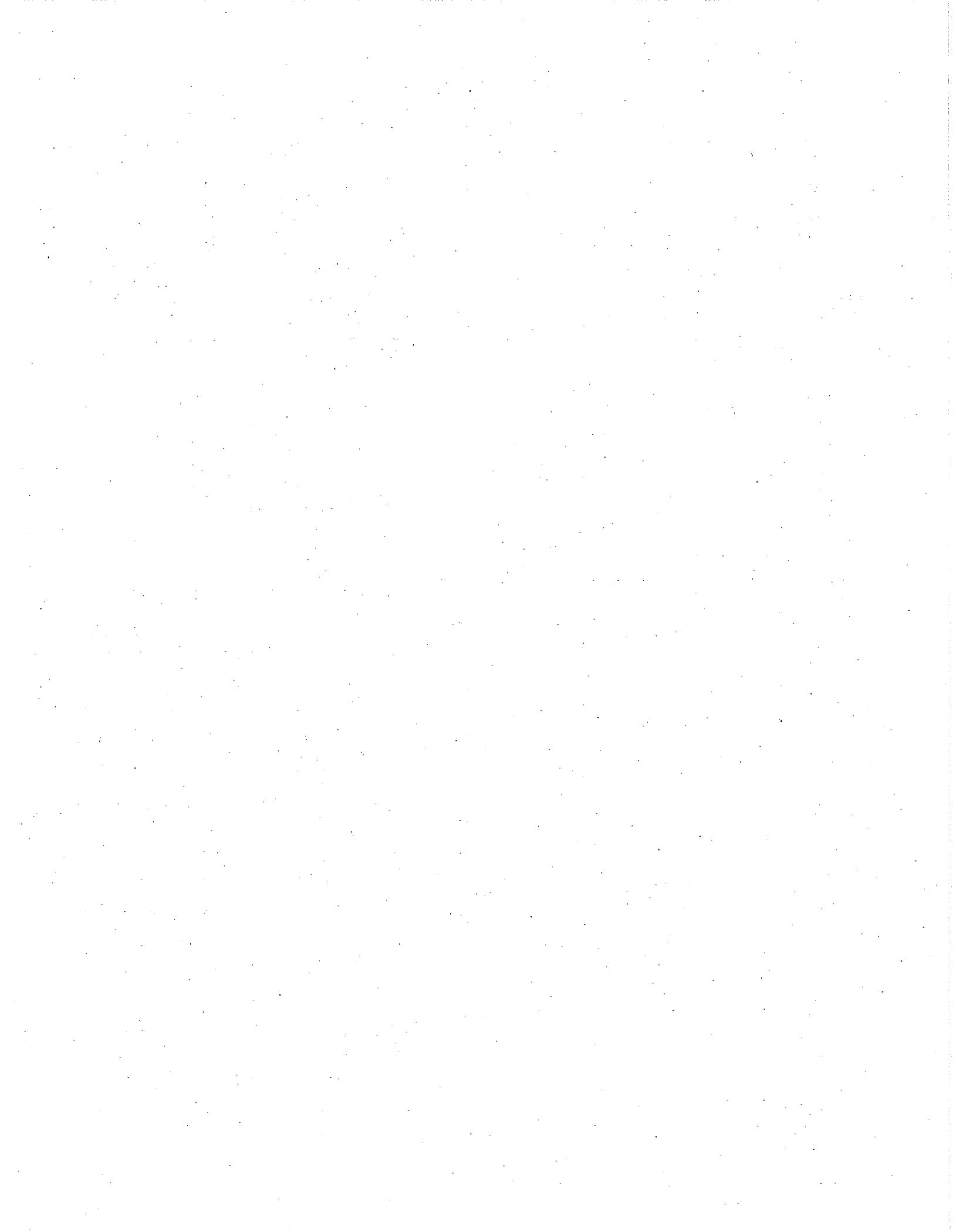












DESCRIPTION OF THE APPLICATION

The applicant is seeking approval of a special permit to modify minimum yard requirements to certain R-C lots to permit the construction of an addition, a screened porch, to be located 16.1 feet from the western side lot line. The screened porch would be built over portions of an existing deck off the rear of the dwelling adjacent to the western side lot line. The 16 x 12.5 addition will cover an open deck at the rear of the house and will be approximately 13 feet in height and 200 square feet in size. The addition is proposed to be located 16.1 feet from the western side lot line.

	Structure	Yard	Min. Yard Req.*	Structure Location	Proposed Reduction	Percent of Reduction
Special Permit	Addition	Side (West)	20 feet	16.1 feet	3.9 feet	19.5%

* Minimum yard requirement per Sect. 3-C07.

EXISTING SITE DESCRIPTION

The 13,000 square foot lot is currently zoned R-C and developed with a two-story, single family detached dwelling. The minimum lot size in an R-C district is five (5) acres.

Structure	
Floor Area	2,518* square feet
Year Constructed	1992
Access	hard-surfaced driveway that extends from Point Circle
Site Features	Mature trees, foundation plantings, rear deck, and wood fencing.
Easements	None shown on plat.

*According to Fairfax County tax records.

CHARACTER OF THE AREA

	Zoning	Use
North	R-C	Single-Family Detached Dwellings
East	R-C	Single-Family Detached Dwellings
South	R-C	Single-Family Detached Dwellings
West	R-C	Single-Family Detached Dwellings

BACKGROUND

The Pleasant Hill subdivision was originally zoned R-2 and developed under the cluster provisions of the Zoning Ordinance. The R-2 Cluster regulations specified a minimum required side yard of eight feet, with total minimum side yards of 24 feet. At the time the dwelling was constructed, it met the R-2 Cluster regulations. On July 26, 1982, the subdivision was rezoned to the R-C District as part of rezoning RZ 82-W-054. With the adoption of RZ 82-W-054, the property was subject to the R-C Zoning District regulations, which specify a minimum side yard of 20 feet.

Following the adoption of the current Ordinance, the BZA has heard the following special permit and variance applications in the vicinity of the application parcel:

- Special Permit SP 00-Y-046 was approved on October 17, 2000 for Tax Map 53-1 ((03)) (06) 9 at 6154 Ridgemont Drive to permit construction of addition 12 feet from a side lot line.
- Special Permit SP 01-Y-035 was approved on February 10, 2001 for Tax Map 53-1 ((03)) (06) 33 at 15463 Waters Creek Drive to permit construction of an addition 26.7 feet from the front lot line.
- Special Permit SP 92-Y-042 was approved on October 2, 1992 for Tax Map 53-1 ((03)) (06) 57 at 6124 Hidden Canyon Road to permit construction of an addition 12.6 feet from the side lot line.
- Special Permit SP 94-Y-042 was approved on November 18, 1994 for Tax Map 53-1 ((03)) (06) 68 at 6102 Hidden Canyon Road to permit construction of addition 15 feet from a side lot line.
- Special Permit SP 95-Y-045 was approved on October 4, 1994 for Tax Map 53-1 ((03)) (05) 112 at 15411 Cedarhurst Court to permit construction of addition 16 feet 2 inches from a side lot line.

- Special Permit SP 98-Y-023 was approved on August 19, 1998 for Tax Map 53-1 ((03)) (05) 40 at 6172 Hidden Canyon Road to permit construction of addition 14 feet from a side lot line.

PLAT	
Special Permit Plat	Attached
Title of SP Plat:	Site Location Survey, Pleasant Hill, Section 48, Lot 75
Prepared By:	Charles P. Johnson & Associates, P.C., dated June 18, 1992 as revised through September 4, 2012 by Hoa Tran, Homeowner.

ZONING ORDINANCE REQUIREMENTS

Applicable bulk regulation(s) and additional location regulations are set forth on Page 1.

The application meets all of the following standards, copies of which are attached as Appendix 4:

- Sect. 8-006, General Standards
- Sect. 8-903, Standards for all Group 9 Uses
- Sect. 8-913, Provisions for Approval of Modifications to the Minimum Yard Requirements for Certain R-C Lots

CONCLUSION

If it is the intent of the BZA to approve this application, the BZA should condition its approval by requiring conformance with the conditions set forth in Appendix 1 of this report, Proposed Development Conditions.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

APPENDICES

1. Proposed Development Conditions with Attachment 1
2. Applicant's Affidavit
3. Applicant's Statement of Justification
4. Applicable Zoning Ordinance Provisions

PROPOSED DEVELOPMENT CONDITIONS

SP 2012-SU-061

November 28, 2012

1. This special permit is approved for the location and size (approximately 200 square feet) of the addition (screened porch), as shown on the site location survey prepared by Charles P. Johnson & Associates, P.C., as revised by Hao Tran, homeowner on September 4, 2012, submitted with this application and is not transferable to other land.
2. All applicable permits shall be obtained prior to any construction and approval of final inspections shall be obtained.
3. The deck shall generally be consistent with the architectural renderings and materials as shown on Attachment 1 to these conditions.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, thirty (30) months after the date of approval unless construction has commenced and has been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

Application No.(s): _____
 (county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 6/22/2012
 (enter date affidavit is notarized)

I, HAO TRAN & HIEN T. TRAN, do hereby state that I am an
 (enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below

116976

and that, to the best of my knowledge and belief, the following is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,* and, if any of the foregoing is a **TRUSTEE,**** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
HAO TRAN	6214 point circle Centreville, VA 20120	Applicants/Title owner
HIEN T. TRAN	6214 point circle Centreville, VA 20120	Applicants/Title OWNER

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Special Permit/Variance Attachment to Par. 1(a)" form.

* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.
 ** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 6/22/2012
(enter date affidavit is notarized)

116976

1(b). The following constitutes a listing*** of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

(NOTE: Include SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF SHAREHOLDERS: (enter first name, middle initial, and last name)

(check if applicable) There is more corporation information and Par. 1(b) is continued on a "Special Permit/Variance Attachment 1(b)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 6/22/2012
(enter date affidavit is notarized)

116976

1(c). The following constitutes a listing*** of all of the **PARTNERS**, both **GENERAL** and **LIMITED**, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state, and zip code)

(check if applicable) The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. **General Partner**, **Limited Partner**, or **General and Limited Partner**)

(check if applicable) There is more partnership information and Par. 1(c) is continued on a "Special Permit/Variance Attachment to Par. 1(c)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: Jun 22-12
(enter date affidavit is notarized)

116976

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land.

2. That no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on the line below.)

NONE HT HT

(check if applicable) There are more interests to be listed and Par. 2 is continued on a "Special Permit/Variance Attachment to Par. 2" form.

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 6/22/2012
(enter date affidavit is notarized)

116976

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

NONE HT HT

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [] There are more disclosures to be listed and Par. 3 is continued on a "Special Permit/Variance Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

[Signature]

(check one)

Applicant

Applicant's Authorized Agent

HAO TRAN
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 22 day of June 2012, in the State/Comm. of Fairfax, County/City of Fairfax.

[Signature]

Notary Public

My commission expires:

WILLIAM E. PATTON
NOTARY PUBLIC
COMMONWEALTH OF VIRGINIA
MY COMMISSION EXPIRES OCTOBER 31, 2015
NOTARY REGISTRATION NUMBER: 7100589

ITEM 5.0**Written Statement Describing the Proposed Use,
Specifically Addressing Items Identified as Deficient**

Item 5.08 – To the best of our knowledge, there are no known hazardous or toxic substances as set forth in title 40, Code of Federal Regulations parts 116.4, 302.4 and 355; or hazardous waste as set forth in Commonwealth of Virginia / Department of Waste Management Regulations VR 672-10-1 Virginia Hazardous Waste Management Regulations; or petroleum products as defined in title 40, Code of Federal Regulations Part 280; to be generated, utilized, stored, treated and/or disposed of on site. Additionally, there are no known contents of any existing or proposed storage tanks or containers.

Item 5.09 – The proposed development conforms to the provisions of all applicable ordinances, regulations and adopted standards with exception to the current setback requirements. Setbacks will conform to the provisions in effect at the time the house was originally constructed (R2 Cluster). Our lot is currently zoned R-C, but was built in accordance with the R-2 Cluster provisions. It should also be noted that WE ARE THE ORIGINAL HOMEOWNERS. This addition will meet all the provisions of Section 8-913.

Item 7.0 – Please refer to ATTACHMENT #2 for an 8 ½" x 11" reduction of the Special Permit Plat.

Item 901.00 – 901.30 – RZ 82-W-054 comprehensively rezoned our property to the R-C District on July 26, 1982 and was the subject of Final Plat Approval prior to July 26, 1982.

Item 902.00 – The porch addition we are constructing will not result in less than the minimum yard requirements of the zoning district which was applicable to the lot on July 25, 1982.

Item 903.01 – The modifications proposed will be harmonious with the existing development in the neighborhood. Our neighborhood also has an Architectural Review Board. Plans of the porch were submitted to the ARB for approval and to ensure the design is in conformance to the ARB Guidelines. The plans were approved by the Virginia Run ARB at their July 2012 meeting.

Item 903.02 – The modifications proposed will have no adverse impact on the public health, safety and welfare of the area.

Item 904.00 - 904.07– Please find Attachment #3 which are ten (10) copies of the Plat that include:

- ❖ Location, dimensions and height of any building, structure or additions (904.02).
- ❖ Distance from all property lines to the proposed porch addition (904.03).
- ❖ Signature and Date of Revised Plat (904.07).

RECEIVED
Department of Planning & Zoning
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Zoning Evaluation Division

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Zoning Evaluation Division

TRAN'S SCREEN PORCH
6214 POINT CIRCLE
CENTREVILLE, VA 20120

WHY:

There are multiple of reasons why we desire to build our screened porch and why this location was selected. The following are a few of those reasons:

- **Enjoyment** - We enjoy the outdoors and we enjoy spending time outside. Throughout the year we routinely go camping, hiking and biking. This porch will afford us the opportunity to continue our love of the outdoors in a relaxed setting, at our own home.
- **Southern Exposure** - The back of our house has a southern exposure. As such, from mid-morning until sunset, the back of the house is fully exposed to the sun. During the summer and early fall, the temperature on the deck reaches as high as 100-degrees, making the deck far too hot to utilize. A porch would provide the needed shade to significantly reduce those temperatures and allow the deck to be used throughout the majority of the year.
- **Protection for Bugs** - A screened porch would provide welcome separation for the numerous bugs that inhabit this area including mosquitoes, knats, bees and flies. And with Lyme disease at an all times high in Fairfax County, it will provide a similar separation from ticks.
- **Location Relative to House** - The location selected for the porch was made with serious consideration to functionality

and architectural aesthetics. It is located directly off of our family room. As such, it serves as an extension to this room. There is an existing double door that would lead directly from the family room to the porch. Situating the porch at other locations along the back of the house simply does not make sense logically or economically. The only other rooms on the back of our house are the kitchen, a small hallway and a bedroom. None of these rooms lend themselves architecturally to having a porch directly off them. And even if they did, it would be cost prohibitive to do so since major elements within the spaces would have to be relocated (for example, in the kitchen, the sink, cabinets and dishwasher would all have to be relocated in order to install a door).

- **Location Relative to Existing Deck** - Approximately eighteen years ago, we constructed a deck off the rear of the house. The location selected for that deck was made for the same architectural and functionality described above. By building our new porch at this location, we will be able to utilize almost the entire deck and incorporate into the new porch with only minimal work. This includes the footings, beams, joists and decking.
- **Cost** - By utilizing the existing deck, we are significantly reducing the overall cost of construction. The deck and structural elements will be reused, negating the need to spend additional funds to install from scratch. No other location along the back of the house will afford such an opportunity.

HOW:

The following is a brief description of how the deck would be constructed.

- First, it is important to state that all construction would comply with FairFax County "Typical Deck Details,". The plans were designed by a Virginia Class A contractor with over twenty-five years of experience.

- As stated above, the majority of the existing deck, joists, beams, posts and foundation will be incorporated into the new porch. Only two additional posts will be required and these are necessary only because the outer corners of the existing deck were installed with 45 degree angles rather than square. Since the porch will have square corners, two additional posts will be installed. New joists will be spliced to the existing and extended, forming the square corners.

- Performing the actual construction will follow this path:
 - New posts installed, beams extended and joists added to fill in existing 45 degree corners.
 - Outside center post will be installed and center ridge beam will be installed on it.
 - Corner posts and beams will be installed.
 - The rafter against the house will be located and appropriate blocking installed.
 - Rafters will be installed next, completing the structural framing of the porch.
 - Roof decking will be installed next, followed by the roofing system (ice/water shield, felt paper and shingles.)
 - Minor finish elements will be installed last to include the door and screening.

8-006 General Standards

In addition to the specific standards set forth hereinafter with regard to particular special permit uses, all special permit uses shall satisfy the following general standards:

1. The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.
2. The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations.
3. The proposed use shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.
4. The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.
5. In addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13.
6. Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.
7. Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11.
8. Signs shall be regulated by the provisions of Article 12; however, the BZA, under the authority presented in Sect. 007 below, may impose more strict requirements for a given use than those set forth in this Ordinance.

8-903 Standards For All Group 9 Uses

In addition to the general standards set forth in Sect. 006 above, all Group 9 special permit uses shall satisfy the following standards:

1. All uses shall comply with the lot size and bulk regulations of the zoning district in which located, except as may be qualified below.
2. All uses shall comply with the performance standards specified for the zoning district in which located.
3. Before establishment, all uses, including modifications or alterations to existing uses, shall be subject to the provisions of Article 17, Site Plans, or other appropriate submission as determined by the Director.

8-913 Provisions for Approval of Modifications to the Minimum Yard Requirements for Certain R-C Lots

The BZA shall approve a special permit to allow a modification to the minimum yard requirements of the R-C District, but only in accordance with the following provisions:

1. The proposed dwelling or addition thereto is on a lot which was comprehensively rezoned to the R-C District on July 26, 1982 or August 2, 1982 and such lot was: (a) the subject of final plat approval prior to July 26, 1982, or (b) recorded in accordance with a final consent decree entered in Chancery No. 78451 by the Fairfax County Circuit Court on September 17, 1985, or (c) recorded in accordance with a final consent decree entered in Chancery Nos. 78425, 78452, 78454, 78461, 78462 and 78465 by the Fairfax County Circuit Court on September 17, 1985, as amended by a final consent decree entered on November 25, 1991 by the Fairfax County Circuit Court in Chancery No. 123887.
2. Such modification shall result in a yard not less than the minimum yard requirement of the zoning district which was applicable to the lot on July 25, 1982.
3. Such a modification shall be approved if it is established that the resultant development will be harmonious with existing development in the neighborhood and will not adversely impact the public health, safety and welfare of the area.
4. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by ten (10) copies of a plat. Such plat shall be prepared by a certified land surveyor or registered engineer except plats submitted for additions to existing single family dwellings or accessory structures related to existing single family dwellings may be prepared by the applicant. Such plat shall contain the following information:
 - A. The dimensions of the lot or parcel, the lot lines thereof, and the area of land contained therein.
 - B. The location, dimensions and height of any building, structure or addition, whether existing or proposed. In addition, for decks, the height of the finished floor above finished ground level and for accessory structures, the height of the highest point of the structure from finished ground level.
 - C. The distance from all property lines to the proposed building, structure or addition, shown to the nearest one-tenth of a foot.
 - D. The existing and intended use of each building or structure or part thereof, including the number of dwelling units within a dwelling.
 - E. The location and configuration of any existing or proposed off-street parking space(s), the number of spaces proposed to be provided, and information as to the proposed surfacing of such areas.
 - F. The delineation of any Resource Protection Area and Resource Management Area.
 - G. The signature and certification number, if applicable, of the person preparing the plat.