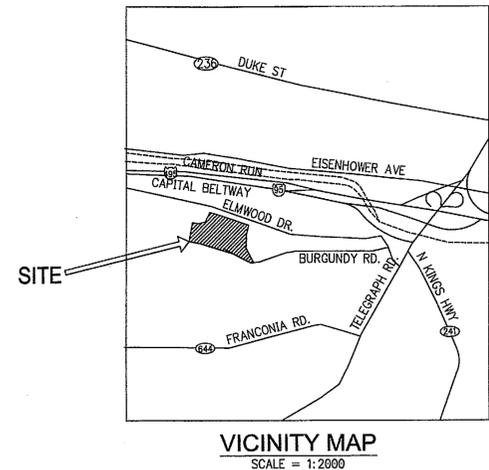


# BURGUNDY FARM COUNTRY DAY SCHOOL

3700 BURGUNDY RD.,  
ALEXANDRIA, VIRGINIA 22303

## SPECIAL EXCEPTION/SPECIAL PERMIT PLAT

RECEIVED  
Department of Planning & Zoning  
OCT 17 2012  
Zoning Evaluation Division



**SHEET INDEX:**

- C-1.00 COVER SHEET & NOTES
- C-1.01 EXISTING CONDITIONS PLAN
- C-1.02 EXISTING CONDITIONS PLAN
- C-1.03 SPECIAL EXCEPTION/PERMIT PLAT - PROPOSED CONDITIONS
- C-1.04 SPECIAL EXCEPTION/PERMIT PLAT - PROPOSED CONDITIONS
- C-1.05 STORMWATER MANAGEMENT PLAN
- C-1.06 STORMWATER MANAGEMENT PLAN
- C-1.07 STORMWATER MANAGEMENT DETAILS
- L-101 BIGHENTENTION PLANTING
- L-102 TREE PLANTING PLAN
- L-103 TREE PLANTING PLAN
- L-104 GABION WALL DETAILS
- LJ-101 EXISTING VEGETATION MAP
- LJ-102 EXISTING VEGETATION MAP
- LJ-201 TREE PRESERVATION PLAN
- LJ-202 TREE PRESERVATION PLAN
- LJ-501 TREE PRESERVATION NOTES & DETAILS
- LJ-502 TREE PRESERVATION NOTES & DETAILS
- LJ-503 TREE PRESERVATION NOTES & DETAILS

PREVIOUSLY APPROVED SE/SP PLAN  
SHEET 1 SPECIAL EXCEPTION/SPECIAL PERMIT AMENDMENT  
SHEET 2 SPECIAL EXCEPTION/SPECIAL PERMIT AMENDMENT

**SPECIAL EXCEPTION DATA**

OWNER/APPLICANT: BURGUNDY FARM COUNTRY DAY SCHOOL, INC.  
3700 BURGUNDY RD.  
ALEXANDRIA, VA 22303

DEED REFERENCE: DB: 711 PG: 113

ZONING: R-4 (RESIDENTIAL 4DU/AC)

TAX MAP NUMBERS:  
PARCEL 1: 0822 11 0001  
PARCEL 5: 0822 01 0005  
PARCEL 6: 0822 01 0006  
PARCEL 8: 0822 01 0008

LAND AREA:  
PARCEL 1 = 0.43 AC.  
PARCEL 5 = 4.20 AC.  
PARCEL 6 = 10.70 AC.  
PARCEL 8 = 8.33 AC.  
TOTAL = 23.66 AC.

EXISTING USE:  
PRIVATE SCHOOL (CATEGORY 3 S.E. USE)  
CHILD CARE CENTER (CATEGORY 3 S.E. USE)  
NURSERY (CATEGORY 3 S.E. USE)  
COMMUNITY POOL (GROUP 4 S.P. USE)

**SPECIAL EXCEPTION/SPECIAL PERMIT NOTES**

1. PUBLIC SANITARY AND WATER ARE AVAILABLE ON SITE. NO WELL OR SEPTIC FIELD EXISTS ON THE SITE
2. STORMWATER MANAGEMENT AND CHESAPEAKE BAY PRESERVATION ORDINANCE REQUIREMENTS FOR THIS PROPERTY ARE ACHIEVED BY COMPLIANCE WITH CHAPTER 118 OF THE CODE OF FAIRFAX COUNTY CHESAPEAKE BAY ORDINANCE. THE PROPERTY AS CURRENTLY SHOWN ON THIS APPLICATION HAS A 'C' FACTOR OF APPROXIMATELY 0.42. PER APPROVED SITE PLAN #8897-SP-01, STORMWATER MANAGEMENT AND BMP HAVE BEEN PROVIDED FOR ULTIMATE DEVELOPMENT NOT EXCEEDING C=0.43
3. THIS SITE CONTAINS A 100 YEAR FLOODPLAIN EASEMENT PER APPROVED PLAN#8897-FP-01 AND AN ENVIRONMENTAL QUALITY CORRIDOR AS SHOWN ON SPECIAL EXCEPTION #SE 93-L-014, NO RESOURCE PROTECTION AREA EXISTS ON THIS PROPERTY.
4. NO ADJACENT OR NEIGHBORING PROPERTIES WILL BE ADVERSELY EFFECTED BY THIS DEVELOPMENT.
5. A 25' TRANSITION YARD IS REQUIRED ALONG ALL SITE BOUNDARIES WITH A TYPE D, E OR F BARRIER, AS PART OF THE APPLICATION. THE APPLICANT IS HEREBY REQUESTING A MODIFICATION TO TRANSITIONAL SCREENING REQUIREMENTS TO PERMIT EXISTING LANDSCAPING AND CLEARING LIMITS AS SHOWN TO BE DEEMED TO SATISFY TRANSITIONAL SCREENING REQUIREMENTS. A 6' CHAINLINK BARRIER AND 4' WIRE BARRIER IS PROVIDED ALONG THE SITE PERIMETER. A MODIFICATION IS REQUESTED PER ZONING ORDINANCE SEC. 13-305(3) TO ALLOW BREAKS IN THE CONTINUITY OF THE BARRIERS BECAUSE THE EXISTING TOPOGRAPHY AND FOLIAGE PROVIDE AN ADEQUATE BARRIER TO LIMIT ADVERSE IMPACTS ON ADJACENT PROPERTIES. A MODIFICATION IS ALSO REQUESTED PER ZONING ORDINANCE SEC. 13-305(3) ALONG THE SOUTHERN EDGE OF THE PROPERTY ADJACENT TO THE MIDDLE SCHOOL BUILDING, THE MIDDLE SCHOOL BUILDING PARKING, AND THE FRONT ENTRY ROAD BECAUSE EXISTING BUILDING AND LANDSCAPE HAS BEEN SPECIFICALLY DESIGNED TO MINIMIZE ADVERSE IMPACTS THROUGH A COMBINATION OF ARCHITECTURAL AND LANDSCAPING TECHNIQUES.
6. IN ACCORDANCE WITH REVIEW OF THE FAIRFAX COUNTY TRAILS MAP, NO ADOPTED COMPREHENSIVE PLAN TRAILS ARE PROPOSED FOR THIS SITE.
7. TO THE BEST OF THE APPLICANTS KNOWLEDGE, NO GRAVES EXIST ON THIS SITE.
8. ALL SIGNS WILL CONFORM WITH ARTICLE 12 OF THE ZONING ORDINANCE.
9. ALL LIGHTING WILL CONFORM WITH ARTICLE 14 OF THE ZONING ORDINANCE.
10. THERE IS AN EXISTING CONSERVATION EASEMENT GREATER THAN 25' WITHIN THE PROPOSED SPECIAL EXCEPTION AMENDMENT LIMITS AS SHOWN.

**ZONING ORDINANCE TABULATION**

PROPOSED USE AND GROSS FLOOR AREA: PRIVATE SCHOOL

EXISTING BUILDINGS TO REMAIN	# STORIES	GSF
ADMINISTRATION	2.5	2,090
MEYER'S BARN	2	1,820
EAST BARN	2	6,330
WEST BARN	2	7,350
ANIMAL FARM	1	1,260
POOL HOUSE	1	1,290
MONARCH HAVEN (formerly WOODHALL)	1	3,270
HAWKS NEST (formerly BEECHWOOD)	1	3,270
CARETAKER'S RESIDENCE	2.5	1,450
STAGE	1	420
FIRST GRADE/ EXTENDED DAY	2	4,200
MIDDLE SCHOOL/ GYM	1	16,400
SCIENCE TRAILER	1	816
GARDEN SHED	1	58
ADMIN BUILDING AT MAIN ENTRANCE (NORTON HOUSE)	1	1,400
<b>TOTAL S.F.</b>		<b>51,424</b>

EXISTING BUILDINGS TO BE REMOVED	# STORIES	GSF
LOFT	1 w/ Basement & Mezzanine	12,830
DRAMA TRAILER	1	865
MAINTENANCE BUILDING	2	2,240
MAINTENANCE BUILDING LEAN-TO ROOF	1	550
SHED	1	390
SHED	1	310
<b>TOTAL S.F.</b>		<b>17,185</b>

TOTAL G.S.F. EXISTING BUILDING TO REMAIN: 51,424  
± TOTAL G.S.F. EXISTING BUILDINGS TO BE DEMOLISHED: 17,185  
TOTAL EXISTING G.S.F. OF BUILDINGS: 68,609

PROPOSED BUILDINGS	# STORIES	GSF
LOFT	2	25,000
MIDDLE SCHOOL/ GYM (addition)	1	3,000
OPEN AIR SCIENCE PAVILION	1	500
MAINTENANCE BUILDING	2	2,500
SHED	1	950
SHED	1	350
<b>TOTAL S.F.</b>		<b>32,300</b>

TOTAL G.S.F. EXISTING BUILDING TO REMAIN: 51,424  
TOTAL G.S.F. EXISTING BUILDINGS TO BE DEMOLISHED: 17,185  
TOTAL G.S.F. PROPOSED BUILDINGS: 32,300  
TOTAL FUTURE G.S.F. OF BUILDINGS: 83,724  
TOTAL SITE AREA(S.F.): 1,030,395  
PROPOSED F.A.R.: 0.081

**R-4 ZONING REQUIREMENTS**

**REQUIRED YARDS:**  
FRONT YARD: CONTROLLED BY A 35° ANGLE OF BULK PLANE, BUT NOT LESS THAN 25 FEET.  
SIDE YARD: CONTROLLED BY A 30° ANGLE OF BULK PLANE, BUT NOT LESS THAN 10 FEET.  
REAR YARD: CONTROLLED BY A 30° ANGLE OF BULK PLANE, BUT NOT LESS THAN 25 FEET.

**FLOOR TO AREA RATIO:**  
MAXIMUM PERMITTED F.A.R. = 0.35  
PROPOSED F.A.R. = (83,724/1,030,395) = 0.081

**BUILDING HEIGHT RESTRICTIONS:**  
MAXIMUM PERMITTED BUILDING HEIGHT. = 60'  
MAXIMUM EXISTING BUILDING HEIGHT. = 40'  
MAXIMUM RENOVATED BUILDING HEIGHT. = 40'

**LOT SIZE REQUIREMENTS:**  
REQUIRED MINIMUM LOT AREA = 8,400 S.F.  
PROPOSED LOT AREA = 1,030,395 S.F.  
MINIMUM LOT WIDTH = 70' INTERIOR 95' CORNER  
PROPOSED LOT WIDTH = 930± ADJACENT TO BURGUNDY VILLAGE, SECTION 2

**PARKING LOT LANDSCAPING:**  
PARKING LOT AREA: 44658 S.F.  
REQUIRED PARKING LOT LANDSCAPING (5%) = 2233 S.F.  
PARKING LOT LANDSCAPING PROVIDED = 4325 S.F. (10%)

**PARKING TABULATION**

REQUIRED PARKING: 1 SPACE PER FACULTY + 4 FOR VISITORS  
**PRIVATE SCHOOL OF GENERAL EDUCATION:**  
REQUIRED: 56 FACULTY/STAFF MEMBERS + 4 VISITORS = 60 SPACES  
PROVIDED (EXISTING): 90 SPACES TOTAL THROUGHOUT CAMPUS  
**CHILD CARE CENTER/NURSERY:**  
REQUIRED: 20 CHILDREN x 0.19 SPACES/CHILD = 4 SPACES  
PROVIDED (EXISTING): 90 SPACES TOTAL THROUGHOUT CAMPUS

**COMMUNITY POOL:**  
REQUIRED: 5 SPACES  
PROVIDED (EXISTING): 5 SPACES  
TOTAL REQUIRED = 83 SPACES

**ADMIN. BUILDING AT MAIN ENTRANCE (NORTON HOUSE):**  
REQUIRED: 5 SPACES  
PROVIDED (EXISTING): 5 SPACES  
TOTAL REQUIRED = 83 SPACES  
TOTAL EXISTING: REGULAR SPACES = 89  
HANDICAP SPACES = 6  
95  
PROPOSED/ FUTURE PARKING PROVIDED = 30  
TOTAL PARKING PROVIDED = 125

**PLAY AREA COMPUTATIONS:**

REQUIRED PLAY AREA: CHILD CARE CENTER/ NURSERY = 100 S.F. PER CHILD, GRADES K-3 = 200 S.F. PER CHILD, GRADES 4-12 = 430 S.F. PER CHILD.  
CHILD CARE CENTER/ NURSERY: 20 CHILDREN x 100 S.F. = 2,000 S.F.  
GRADES K-3: 125 CHILDREN x 200 S.F. = 25,000 S.F.  
GRADES 4-8: 155 CHILDREN x 430 S.F. = 66,650 S.F.  
TOTAL REQUIRED = 93,650 S.F.

PLAY AREA PROVIDED:  
EXISTING COURT: 1485 S.F.  
RENOVATED PLAY AREA BEHIND WEST BARN: 2,950 S.F.  
RENOVATED PLAY AREA BETWEEN WEST BARN & EAST BARN: 15,290 S.F.  
RENOVATED PLAY AREA WEST OF LOFT: 11,500 S.F.  
OPEN BALL FIELDS: 63,000 S.F.  
TOTAL PLAY AREA: 94,225 S.F.

Application No. SEA 93-L-014-02 Staff M. Brady  
Approved SEA Plan Dev Conds dated 10-25-12  
Date of (BZA) (BOS) (PC) 11-20-12  
Sheet 1 of 21  
Associated with SPA 93-L-015-02  
Dev Conds dated 10-17-2012 BZA date 10-17-2012

**BURGUNDY FARM COUNTRY DAY SCHOOL**  
1300 BURGUNDY ROAD  
FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD  
**O C U L U S**  
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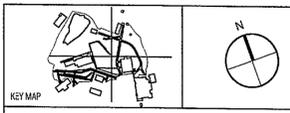
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SUBMISSIONS/ REVISIONS

DATE	REVISIONS
4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



DATE: AUGUST 31, 2012

PROJECT NUMBER: W1106

SCALE: 1"=50'

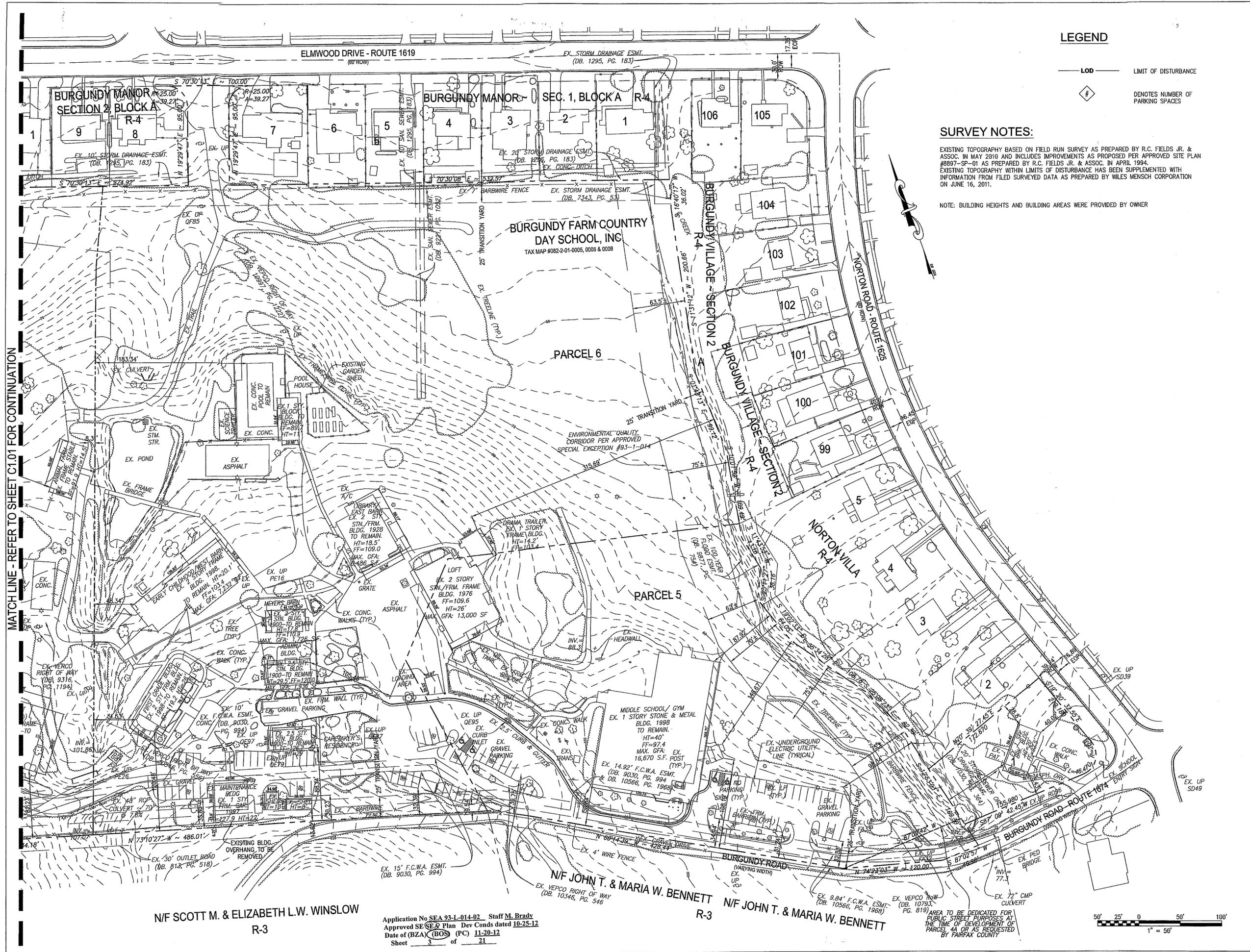
SPECIAL EXCEPTION/SPECIAL PERMIT PLAT

DRAWING TITLE:

**C-1.00**

SHEET NUMBER:





**LEGEND**

- LOD — LIMIT OF DISTURBANCE
- ◆ DENOTES NUMBER OF PARKING SPACES

**SURVEY NOTES:**

EXISTING TOPOGRAPHY BASED ON FIELD RUN SURVEY AS PREPARED BY R.C. FIELDS JR. & ASSOC. IN MAY 2010 AND INCLUDES IMPROVEMENTS AS PROPOSED PER APPROVED SITE PLAN #8897-SP-01 AS PREPARED BY R.C. FIELDS JR. & ASSOC. IN APRIL 1994. EXISTING TOPOGRAPHY WITHIN LIMITS OF DISTURBANCE HAS BEEN SUPPLEMENTED WITH INFORMATION FROM FILED SURVEYED DATA AS PREPARED BY WILES MENSCH CORPORATION ON JUNE 16, 2011.

NOTE: BUILDING HEIGHTS AND BUILDING AREAS WERE PROVIDED BY OWNER

MATCH LINE - REFER TO SHEET C1.01 FOR CONTINUATION

**BURGUNDY FARM COUNTRY DAY SCHOOL**

1300 BURGUNDY ROAD  
FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD  
**OCULUS**  
2410 17th STREET NW  
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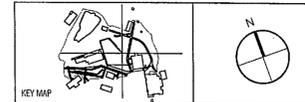
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SUBMISSIONS/ REVISIONS	
4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



DATE: AUGUST 31, 2012

PROJECT NUMBER: W1106

SCALE: 1"=50'

**EXISTING CONDITIONS PLAN**

DRAWING TITLE:

**C-1.02**

SHEET NUMBER:

N/F SCOTT M. & ELIZABETH L.W. WINSLOW  
R-3

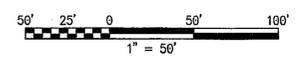
Application No SEA 93-L-014-02 Staff M. Brady  
Approved SE EAR Plan Dev Conds dated 10-25-12  
Date of (BZA) (BOS) (PC) 11-20-12  
Sheet 3 of 21

Associated with SPA 93-L-015-02  
Dev Conds dated 10-17-2012 BZA date 10-17-2012

N/F JOHN T. & MARIA W. BENNETT  
R-3

N/F JOHN T. & MARIA W. BENNETT  
R-3

AREA TO BE DEDICATED FOR PUBLIC STREET PURPOSES AT THE TIME OF DEVELOPMENT OF PARCEL 4A OR AS REQUESTED BY FAIRFAX COUNTY



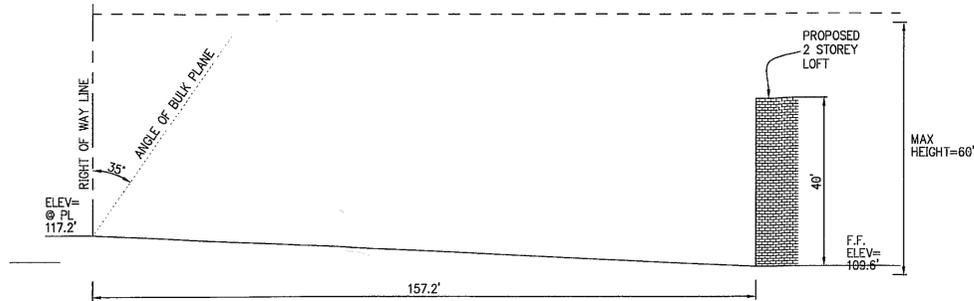
**LEGEND**

- LOD — LIMIT OF DISTURBANCE
- ◆ DENOTES NUMBER OF PARKING SPACES

**SURVEY NOTES:**

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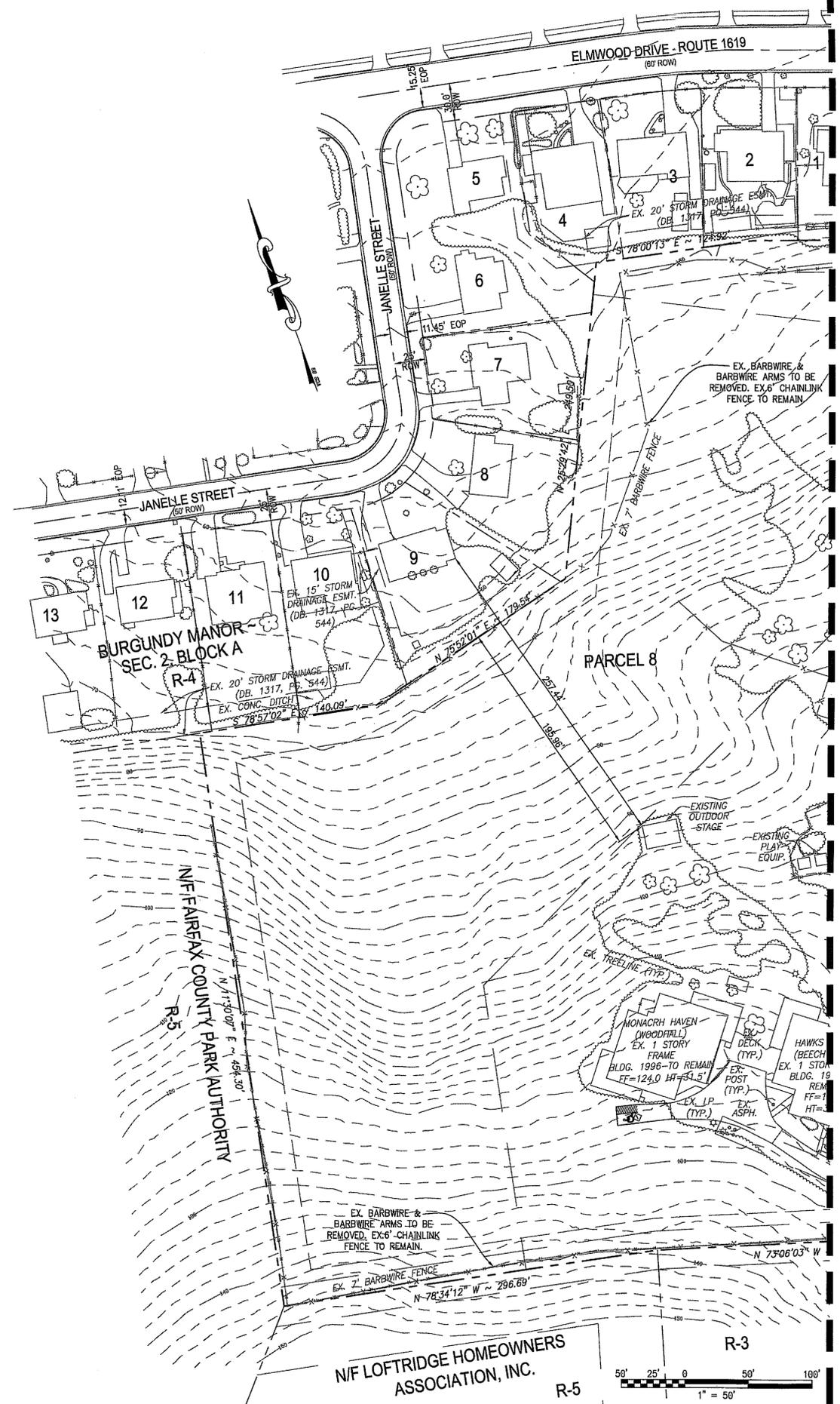
NOTE: BUILDING HEIGHTS AND BUILDING AREAS WERE PROVIDED BY OWNER



**PROPOSED 2 STORY LOFT  
GRAPHIC DEPICTION OF ANGLE  
OF BULK PLANE AT FRONT YARD - PARCEL 5**

SCALE: 1"=20'

Application No SEA 93-L-014-02 Staff M. Brady  
Approved SEA Plan Dev Conds dated 10-25-12  
Date of (BZA) (BOS) (PC) 11-20-12  
Sheet 4 of 21  
Associated with SPA 93-L-015-02  
Dev Conds dated 10-17-2012\_BZA date 10-17-2012



MATCH LINE - REFER TO SHEET C1.02 FOR CONTINUATION

**BURGUNDY FARM  
COUNTRY DAY SCHOOL**  
1300 BURGUNDY ROAD  
FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD  
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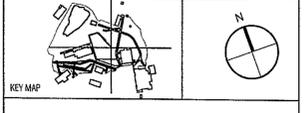
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SUBMISSIONS/ REVISIONS	
4/17/12	SPECIAL EXCEPTION AMENDMENT/SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



DATE: AUGUST 31, 2012

PROJECT NUMBER: W1106

SCALE: 1"=50'

SPECIAL EXCEPTION/SPECIAL PERMIT PLAT

DRAWING TITLE:

**C-1.03**

SHEET NUMBER:

**BURGUNDY FARM  
COUNTRY DAY SCHOOL**

1300 BURGUNDY ROAD  
FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD  
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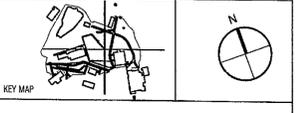
LAND USE ATTORNEY

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4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
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8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



DATE: AUGUST 31, 2012

PROJECT NUMBER: W1106

SCALE: 1"=50'

SPECIAL EXCEPTION/SPECIAL PERMIT PLAT

DRAWING TITLE:

**C-1.04**

SHEET NUMBER:

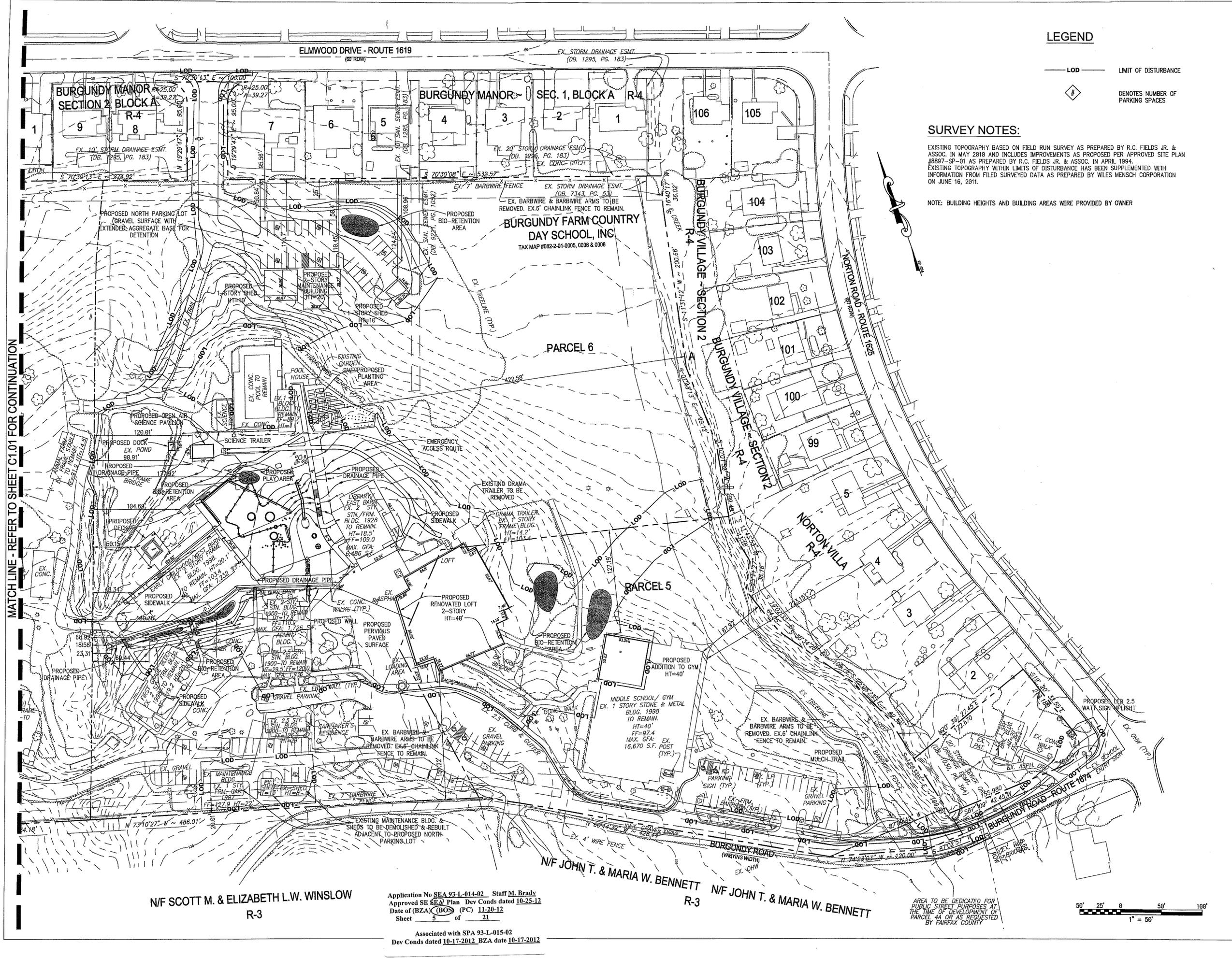
**LEGEND**

- LOD — LIMIT OF DISTURBANCE
- ◆ DENOTES NUMBER OF PARKING SPACES

**SURVEY NOTES:**

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NOTE: BUILDING HEIGHTS AND BUILDING AREAS WERE PROVIDED BY OWNER



MATCH LINE - REFER TO SHEET C1.01 FOR CONTINUATION

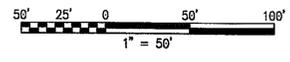
N/F SCOTT M. & ELIZABETH L.W. WINSLOW  
R-3

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Sheet 5 of 21

Associated with SPA 93-L-015-02  
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N/F JOHN T. & MARIA W. BENNETT  
R-3

AREA TO BE DEDICATED FOR PUBLIC STREET PURPOSES AT THE TIME OF DEVELOPMENT OF PARCELS 4A OR AS REQUESTED BY FAIRFAX COUNTY



# STORMWATER MANAGEMENT NARRATIVE

ZONING: R-4 ( RESIDENTIAL 4DU/AC)  
 LAND AREA: PARCEL 1= 0.43 AC  
 PARCEL 5= 4.20 AC  
 PARCEL 6=10.70 AC  
 PARCEL 8= 8.33 AC

- TOTAL SITE DRAINAGE AREA = 23.66 AC  
 EXISTING IMPERVIOUS AREA = 4.43 AC  
 PROPOSED TOTAL IMPERVIOUS AREA = 4.47 AC  
 PROPOSED PERVIOUS PAVEMENT AREA = 0.49 AC
- WEIGHTED "C" FACTOR CALCULATIONS:  
 IMPERVIOUS AREA RUNOFF COEFFICIENT ("C") = 0.90  
 PERVIOUS AREA RUNOFF COEFFICIENT ("C") = 0.30  
 PERVIOUS PAVEMENT RUNOFF COEFFICIENT ("C") = 0.84

$$C (PRE) = (4.43 \times 0.90) + (19.23 \times 0.30) / 23.66 = 0.41$$

$$C (POST) = (4.47 \times 0.90) + (0.49 \times 0.84) + (19.70 \times 0.30) / 23.66 = 0.42$$

### STORMWATER MANAGEMENT NARRATIVE:

STORMWATER MANAGEMENT QUANTITY CONTROL FOR THE MAJORITY OF THE DEVELOPED PORTION OF THE EXISTING SITE (PORTION DRAINING TO OUTFALL #1) IS PROVIDED BY AN EXISTING RETENTION POND AS DENOTED ON THE PLAN. RUNOFF DRAINING TO OUTFALLS #2 AND #3 IS NOT CURRENTLY CONVEYED TO A STORMWATER MANAGEMENT CONTROL FACILITY FOR QUANTITY CONTROL. ADDITIONALLY, THERE ARE NO KNOWN EXISTING QUALITY CONTROL FACILITIES LOCATED ON THE SITE.

FOR THE PROPOSED IMPROVEMENTS, ALL RUNOFF FROM NEW IMPERVIOUS AREAS WILL BE CONVEYED TO ONE OR MORE OF EIGHT NEW STORMWATER MANAGEMENT FACILITIES THAT WILL PROVIDE BOTH QUANTITY AND QUALITY CONTROL FOR EACH PROPOSED DRAINAGE SHED AS DESCRIBED BELOW.

### QUANTITY (DETENTION) CONTROL:

STORMWATER MANAGEMENT QUANTITY CONTROL FOR THE PROPOSED IMPROVEMENTS WILL BE PROVIDED IN THE FORM OF GRAVEL STORAGE AREAS LOCATED UNDER FIVE BIORETENTION FACILITIES (A-E) AND UNDER THE PROPOSED GRAVEL PARKING LOT LOCATED IN THE NORTHERN PORTION OF THE SITE. THESE FACILITIES WILL BE DESIGNED AT TIME OF SITE PLAN SUBMISSION IN ACCORDANCE WITH THE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL (PFM) TO PROVIDE STORAGE FOR 3<sup>rd</sup> OF RUNOFF OVER THE NET NEW IMPERVIOUS AREA FOR EACH DRAINAGE SHED AND WILL BE DESIGNED TO PROVIDE ADEQUATE VOLUME TO ATTENUATE THE POST-DEVELOPMENT PEAK RATES OF RUNOFF FROM THE 2-YR AND 10-YR STORM EVENTS TO LESS THAN OR EQUAL TO THE PRE-DEVELOPMENT PEAK RATES IN ACCORDANCE WITH THE PFM, THE VIRGINIA STORMWATER MANAGEMENT HANDBOOK (VSMH), AND THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH).

ALL EXISTING IMPERVIOUS AREAS WILL CONTINUE TO BE CONTROLLED BY THE EXISTING RETENTION POND OR UNCONTROLLED PER THEIR EXISTING CONDITION.

### QUALITY (BMP) CONTROL:

STORMWATER MANAGEMENT QUALITY CONTROLS FOR ALL IMPERVIOUS AREAS (EXISTING AND PROPOSED) LOCATED WITHIN THE DRAINAGE SHEDS OF THE PROPOSED STORMWATER MANAGEMENT FACILITIES WILL BE PROVIDED BY SIX PROPOSED BIORETENTION FACILITIES (A-F). AT TIME OF SITE PLAN SUBMISSION, THESE FACILITIES WILL BE DESIGNED TO PROVIDE STORAGE AND FILTRATION OF THE WATER QUALITY VOLUME (WQV) TO REDUCE THE POST-DEVELOPMENT POLLUTANT LOAD TO LESS THAN THE PRE-DEVELOPMENT RATES IN ACCORDANCE WITH THE PFM AND THE VSMH.

### SWM/BMP NOTE:

THE EXISTING RETENTION POND AND PROPOSED BMP FACILITIES SHOWN ARE FOR DEMONSTRATIVE PURPOSES ONLY. FINAL FACILITY SIZE, TYPE, CONFIGURATION, AND LOCATION WILL BE DETERMINED AT TIME OF SITE PLAN SUBMISSION FOR EACH AREA. FULL COMPLIANCE WITH WATER QUALITY AND DETENTION REQUIREMENTS SHALL BE PROVIDED OR A WAIVER REQUESTED AS NEEDED. SUBSTITUTIONS TO THE STORMWATER MANAGEMENT FACILITIES IF NEEDED WILL BE DESIGNED IN ACCORDANCE WITH THE PFM, VSMH, AND VESCH IF DEEMED ACCEPTABLE BY FAIRFAX COUNTY D.P.W. & E.S. AT THE TIME OF SITE PLAN APPROVAL.

### OUTFALL NARRATIVE:

STORMWATER RUNOFF IS CONVEYED FROM THE SITE VIA THREE SEPARATE OUTFALLS. ULTIMATELY, EACH OF THESE OUTFALLS DRAIN TO CAMERON RUN APPROXIMATELY 1200' NORTH OF THE SITE. AT THE POINT THAT EACH OUTFALL JOINS CAMERON RUN, THE TOTAL DRAINAGE AREA MEETS OR EXCEEDS 640 ACRES AS DEPICTED ON THE FLOODPLAIN MAP OF FAIRFAX COUNTY. THE EXISTING STORM SEWER DRAINAGE PIPES AND CONVEYANCE SYSTEMS ARE AND WILL REMAIN ADEQUATE POST DEVELOPMENT. UNCONTROLLED, THE DEVELOPMENT PRODUCES A SLIGHT INCREASE IN THE RUNOFF COEFFICIENT 70% (PRE = 0.41, POST = 0.42) AND WILL REQUIRE MINIMAL STORAGE VOLUME TO ATTENUATE POST-DEVELOPMENT PEAK RUNOFF RATES TO EQUAL TO OR LESS THAN THE PRE-DEVELOPMENT PEAK RUNOFF RATES. THE ADDITIONAL STORMWATER STORAGE VOLUME WILL BE PROVIDED BY THE FIVE BIORETENTION FACILITIES (A-E) AND THE GRAVEL STORAGE UNDER THE PARKING LOT AS DESCRIBED ABOVE.

### OUTFALL #1:

STORMWATER RUNOFF FROM AN ON-SITE SHED OF APPROXIMATELY 4.00 ACRES IS CONVEYED VIA DOWNSPOUTS, SHEET FLOW, AND A NATURAL CHANNEL TO PROPOSED BIORETENTION AREAS A, B, & C AND THE EXISTING ONSITE RETENTION POND. ADDITIONAL RUNOFF FROM AN OFF-SITE SHED OF APPROXIMATELY 11.41 ACRES IS CONVEYED THROUGH THE SITE AND INTO THE EXISTING RETENTION POND VIA AN EXISTING NATURAL CHANNEL. THE CONTROL STRUCTURE AND EMERGENCY OVERFLOW STRUCTURE OF THE EXISTING POND DRAINS INTO A NATURAL CHANNEL THAT OUTFALLS FROM THE SITE TO THE NORTH APPROXIMATELY 460 FEET DOWNSTREAM OF THE EXISTING RETENTION POND.

AFTER OUTFALLING FROM THE SITE, RUNOFF IS FURTHER CONVEYED VIA AN EXISTING CONCRETE DITCH THROUGH THE REAR YARDS OF 3709 AND 3711 ELMWOOD DRIVE, UNDER ELMWOOD DRIVE VIA AN EXISTING QUADRUPLE CULVERT, THEN THROUGH A NATURAL CHANNEL WHERE IT JOINS THE RUNOFF FROM OUTFALL #2, AND UNDER THE CAPITAL BELTWAY VIA AN EXISTING CULVERT BEFORE OUTFALLING INTO CAMERON RUN TO A POINT WITH AN APPROXIMATE DRAINAGE AREA OF 35 SQUARE MILES.

RUNOFF FROM ALL NEW IMPERVIOUS AREAS LOCATED IN THIS DRAINAGE SHED WILL BE CONVEYED TO PROPOSED DETENTION FACILITIES LOCATED IN BIORETENTION AREAS A, B, & C AND THE FLOWS ATTENUATED TO LESS THAN PRE-DEVELOPMENT RATES SUCH THAT THERE WILL BE NO NET INCREASE IN PEAK RATE OF RUNOFF FROM OUTFALL #1 THEREBY PROVIDING ADEQUATE OUTFALL IN ACCORDANCE WITH MS-19 C (3) BECAUSE THE SITE HAS BEEN DEVELOPED TO NOT CAUSE THE "PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TWO-YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A NATURAL CHANNEL OR WILL NOT CAUSE THE PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TEN-YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A MAN-MADE CHANNEL."

### OUTFALL #2:

STORMWATER RUNOFF FROM AN ON-SITE SHED OF APPROXIMATELY 4.85 ACRES IS CONVEYED VIA SHEET FLOW AND OUTFALLS FROM THE SITE TO THE NORTHWEST.

AFTER OUTFALLING FROM THE SITE, RUNOFF IS FURTHER CONVEYED VIA AN EXISTING OFFSITE YARD INLET INTO AN EXISTING 18" DIAMETER STORM SEWER. RUNOFF TRAVELS IN THIS STORM SEWER SYSTEM APPROXIMATELY 420 FEET ALONG THE WEST SIDE OF JANELL STREET AND ACROSS ELMWOOD DRIVE BEFORE DAYLIGHTING INTO AN EXISTING PAVED DITCH THAT CONVEYS THE RUNOFF APPROXIMATELY 130' NORTH OF ELMWOOD DRIVE AND INTO AN A TRIBUTARY OF CAMERON RUN WHERE IT JOINS THE RUNOFF FROM OUTFALL #1. THE TRIBUTARY CONTINUES UNDER THE CAPITAL BELTWAY VIA AN EXISTING CULVERT BEFORE OUTFALLING INTO CAMERON RUN TO A POINT WITH AN APPROXIMATE DRAINAGE AREA OF 35 SQUARE MILES.

THERE ARE NO PROPOSED IMPROVEMENTS IN THIS DRAINAGE SHED, THEREFORE, ADEQUATE OUTFALL IS PROVIDED IN ACCORDANCE WITH MS-19 C (3) BECAUSE THE SITE HAS BEEN DEVELOPED TO NOT CAUSE THE "PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TWO-YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A NATURAL CHANNEL OR WILL NOT CAUSE THE PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TEN-YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A MAN-MADE CHANNEL."

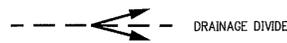
### OUTFALL #3:

STORMWATER RUNOFF FROM THE REMAINDER OF AND THE MAJORITY OF THE SITE OUTFALLS FROM THE SITE VIA SHEET FLOW AND CHANNEL FLOW TO A STREAM WHICH BORDERS THE EASTERN PROPERTY LINE. THIS CHANNEL SHOWS SIGNS OF EROSION LIKELY CAUSED BY THE INTENSELY DEVELOPED OFFSITE RESIDENTIAL DRAINAGE AREA LOCATED TO THE EAST AND SOUTH OF THE SITE.

AFTER OUTFALLING FROM THE SITE, RUNOFF IS FURTHER CONVEYED VIA EXISTING CONCRETE CHANNELS, CULVERTS, AND NATURAL STREAMS UNDER ELMWOOD DRIVE AND THE CAPITAL BELTWAY BEFORE OUTFALLING INTO CAMERON RUN AT A POINT WITH AN APPROXIMATE DRAINAGE AREA OF 35 SQUARE MILES.

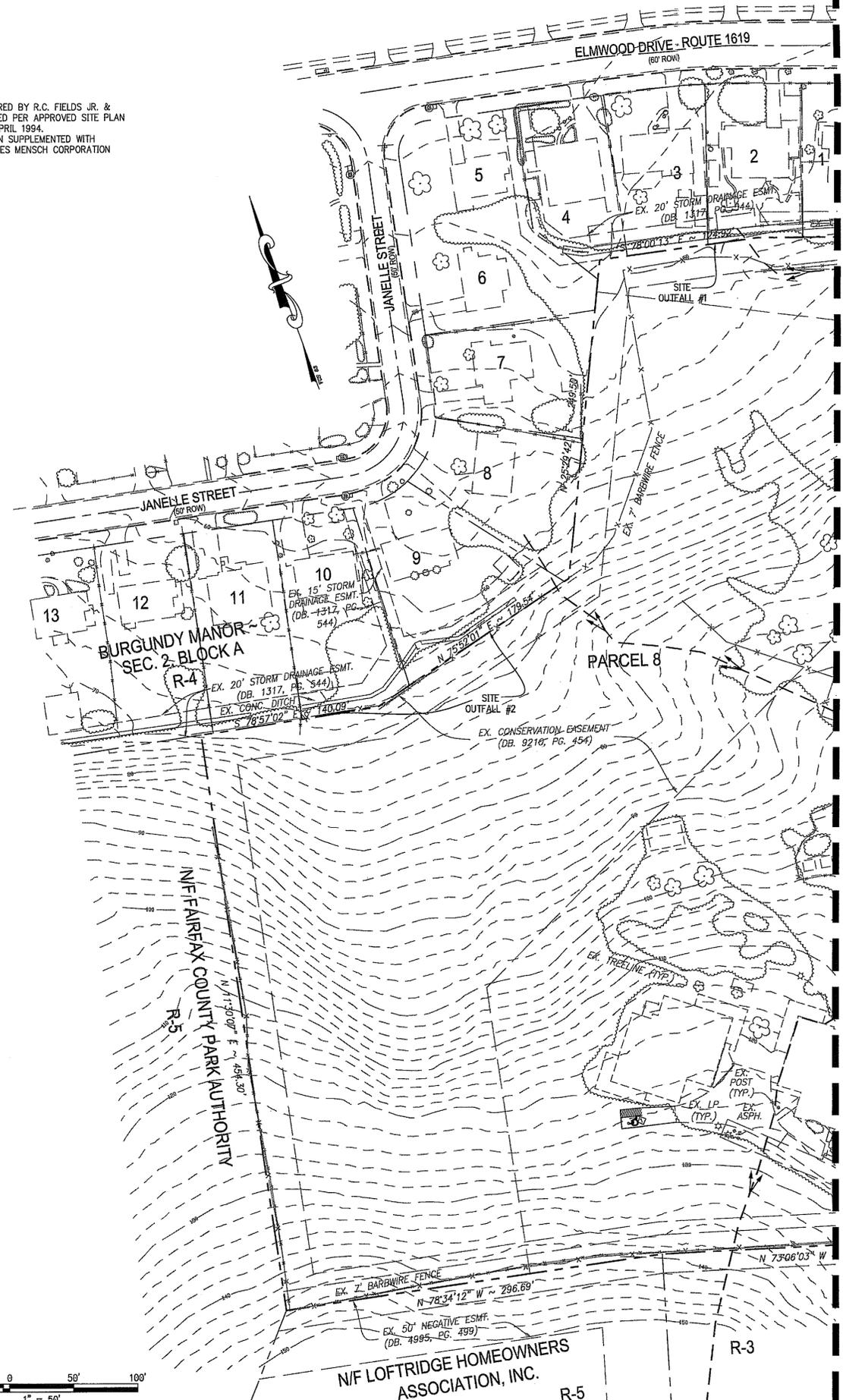
RUNOFF FROM ALL NEW IMPERVIOUS AREAS LOCATED IN THIS DRAINAGE SHED WILL BE CONVEYED TO PROPOSED DETENTION FACILITIES LOCATED IN BIORETENTION AREAS D & E AND THE GRAVEL STORAGE AREA LOCATED UNDER THE GRAVEL PARKING LOT TO THE NORTH AS DESCRIBED ABOVE. THE DEVELOPED FLOWS WILL BE ATTENUATED TO LESS THAN PRE-DEVELOPMENT RATES SUCH THAT THERE WILL BE NO NET INCREASE IN PEAK RATE OF RUNOFF FROM OUTFALL #1 THEREBY PROVIDING ADEQUATE OUTFALL IN ACCORDANCE WITH MS-19 C (3) BECAUSE THE SITE HAS BEEN DEVELOPED TO NOT CAUSE THE "PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TWO-YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A NATURAL CHANNEL OR WILL NOT CAUSE THE PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TEN-YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A MAN-MADE CHANNEL."

## LEGEND



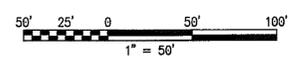
## SURVEY NOTES:

EXISTING TOPOGRAPHY BASED ON FIELD RUN SURVEY AS PREPARED BY R.C. FIELDS JR. & ASSOC. IN MAY 2010 AND INCLUDES IMPROVEMENTS AS PROPOSED PER APPROVED SITE PLAN #8897-SP-01 AS PREPARED BY R.C. FIELDS JR. & ASSOC. IN APRIL 1994. EXISTING TOPOGRAPHY WITHIN LIMITS OF DISTURBANCE HAS BEEN SUPPLEMENTED WITH INFORMATION FROM FILED SURVEYED DATA AS PREPARED BY WILES MENSCH CORPORATION ON JUNE 16, 2011.



MATCH LINE - REFER TO SHEET C1.06 FOR CONTINUATION

Application No SEA 93-L-014-02 Staff M. Brady  
 Approved SE/SE/ER Plan Dev Conds dated 10-25-12  
 Date of (BZA) (BOS) (PC) 11-20-12  
 Sheet 6 of 21  
 Associated with SPA 93-L-015-02  
 Dev Conds dated 10-17-2012 BZA date 10-17-2012



**BURGUNDY FARM  
 COUNTRY DAY SCHOOL**  
 1300 BURGUNDY ROAD  
 FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD  
**OCULUS**  
 2410 17th STREET NW  
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 P 202.588.5454  
 F 202.588.5449  
 WWW.OCULUS-DC.COM

CIVIL ENGINEER  
**WILES MENSCH CORPORATION**  
 11860 SUNRISE VALLEY DRIVE  
 SUITE 200  
 RESTON, VA 20191  
 P 703.391.7600  
 F 703.284.0595

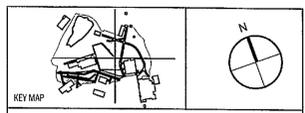
STRUCTURAL ENGINEER  
**MESEN ASSOCIATES**  
 8346 TRAFORD LANE  
 SUITE 108  
 SPRINGFIELD, VA 22162  
 P 703.866.7771  
 F 703.866.7756

ARBORIST  
**DAVEY RESOURCE GROUP**  
 2138 PRIEST BRIDGE CT  
 SUITE C  
 CROFTON, MD 21114  
 P 410.774.0224  
 F 301.858.0184

LAND USE ATTORNEY  
**WALSH, COLUCCI, LUBELEY,  
 EMRICH & WALSH, P.C.**  
 2200 CLARENDON BLVD.  
 SUITE 1300  
 ARLINGTON, VA 22201  
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 F 703.525.3197

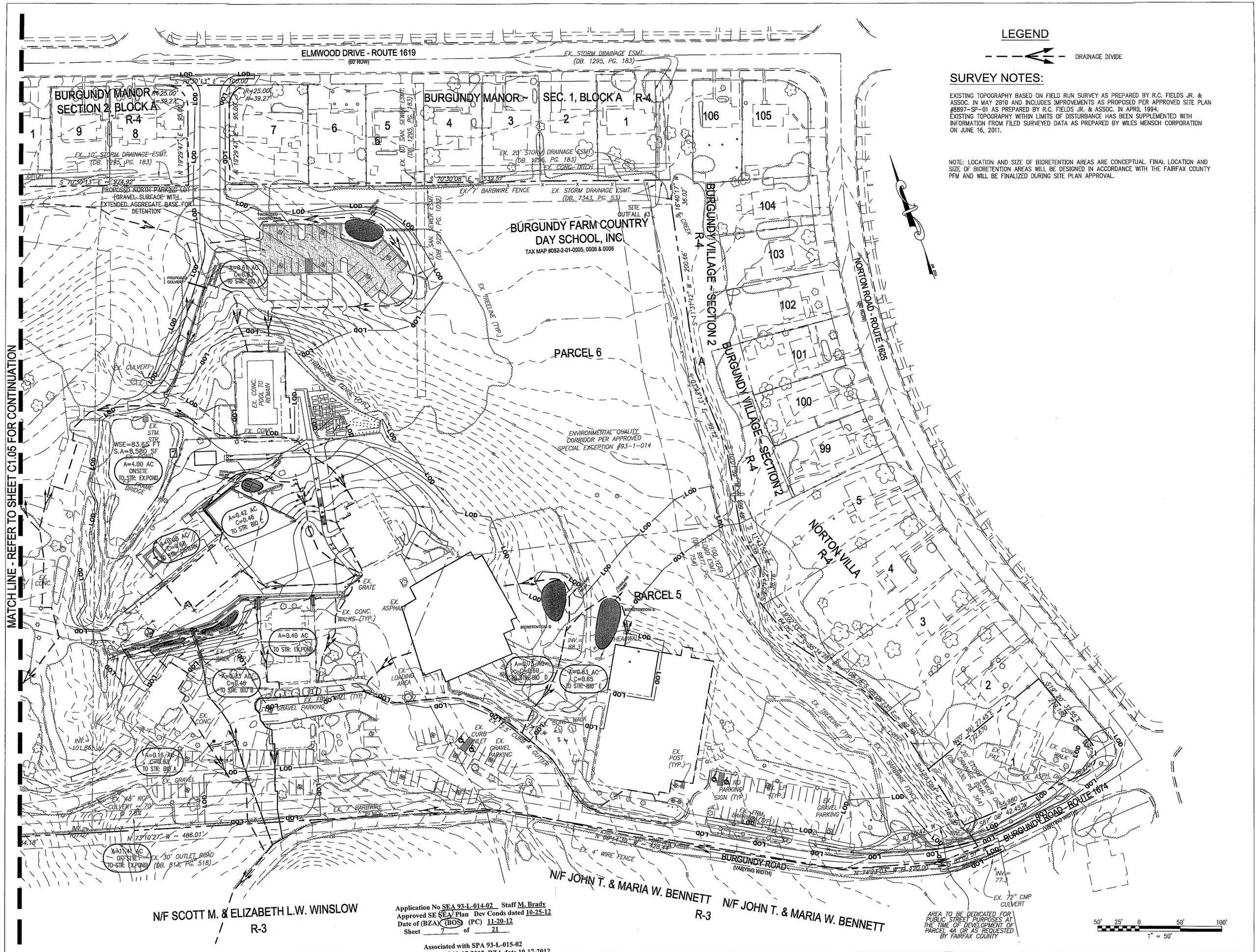


SUBMISSIONS/ REVISIONS	
4/17/12	SPECIAL EXCEPTION AMENDMENT/SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



DATE: AUGUST 31, 2012  
 PROJECT NUMBER: W1105  
 SCALE: 1"=50'  
**STORMWATER MANAGEMENT  
 PLAN**

DRAWING TITLE:  
**C-1.05**  
 SHEET NUMBER:



**LEGEND**



**SURVEY NOTES:**

EXISTING TOPOGRAPHY BASED ON FIELD RUN SURVEY AS PREPARED BY R.C. FIELDS JR. & ASSOC. IN MAY 2010 AND INCLUDES IMPROVEMENTS AS PROPOSED PER APPROVED SITE PLAN #8897-SP-01 AS PREPARED BY R.C. FIELDS JR. & ASSOC. IN APRIL 1994. EXISTING TOPOGRAPHY WITHIN LIMITS OF DISTURBANCE HAS BEEN SUPPLEMENTED WITH INFORMATION FROM FILED SURVEYED DATA AS PREPARED BY WILES MENSCH CORPORATION ON JUNE 16, 2011.

NOTE: LOCATION AND SIZE OF BIORETENTION AREAS ARE CONCEPTUAL. FINAL LOCATION AND SIZE OF BIORETENTION AREAS WILL BE DESIGNED IN ACCORDANCE WITH THE FAIRFAX COUNTY PFM AND WILL BE FINALIZED DURING SITE PLAN APPROVAL.

MATCH LINE - REFER TO SHEET C1.05 FOR CONTINUATION

**BURGUNDY FARM COUNTRY DAY SCHOOL**

1300 BURGUNDY ROAD  
FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD

**OCULUS**

2410 17th STREET NW  
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CIVIL ENGINEER

**WILES MENSCH CORPORATION**

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SUITE 200  
RESTON, VA 20191  
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F 703.264.0505

STRUCTURAL ENGINEER

**MESEN ASSOCIATES**

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F 703.866.7755

ARBORIST

**DAVEY RESOURCE GROUP**

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CROFTON, MD 21114  
P 410.774.0024  
F 301.856.0184

LAND USE ATTORNEY

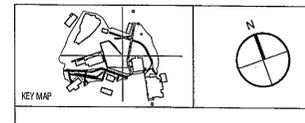
**WALSH, COLUCCI, LUBELEY, EMRICH & WALSH, P.C.**

2200 CLARENDON BLVD.  
SUITE 1200  
ARLINGTON, VA 22201  
P 703.528.4700  
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**SUBMISSIONS/ REVISIONS**

DATE	DESCRIPTION
4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



DATE: AUGUST 31, 2012

PROJECT NUMBER: W1106

SCALE: 1"=50'

**STORMWATER MANAGEMENT PLAN**

DRAWING TITLE:

**C-1.06**

SHEET NUMBER:

N/F SCOTT M. & ELIZABETH L.W. WINSLOW  
R-3

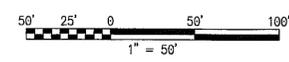
Application No SEA 93-L-014-02 Staff M. Brady  
Approved SE SEA Plan Dev Conds dated 10-25-12  
Date of (BZA) (BOS) (PC) 11-20-12  
Sheet 7 of 21

Associated with SPA 93-L-015-02  
Dev Conds dated 10-17-2012 BZA date 10-17-2012

N/F JOHN T. & MARIA W. BENNETT  
R-3

N/F JOHN T. & MARIA W. BENNETT  
R-3

AREA TO BE DEDICATED FOR PUBLIC STREET PURPOSES AT THE TIME OF DEVELOPMENT OF PARCEL 4A OR AS REQUESTED BY FAIRFAX COUNTY



**MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS**

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Zoning Ordinance paragraphs:  
 Special Permits (8-011.2J & 2L) Special Exceptions (9-011.2J & 2L)  
 Cluster Subdivision (9-615.1G & 1N) Commercial Revitalization Districts (9-622.2A (12) & (14))  
 Development Plans PRC District (16-302.3 & 4L) PRC Plan (16-303.1E & 1G)  
 FDP P Districts (except PRC) (16-502.1F & 1Q) Amendments (16-202.10F & 10I)

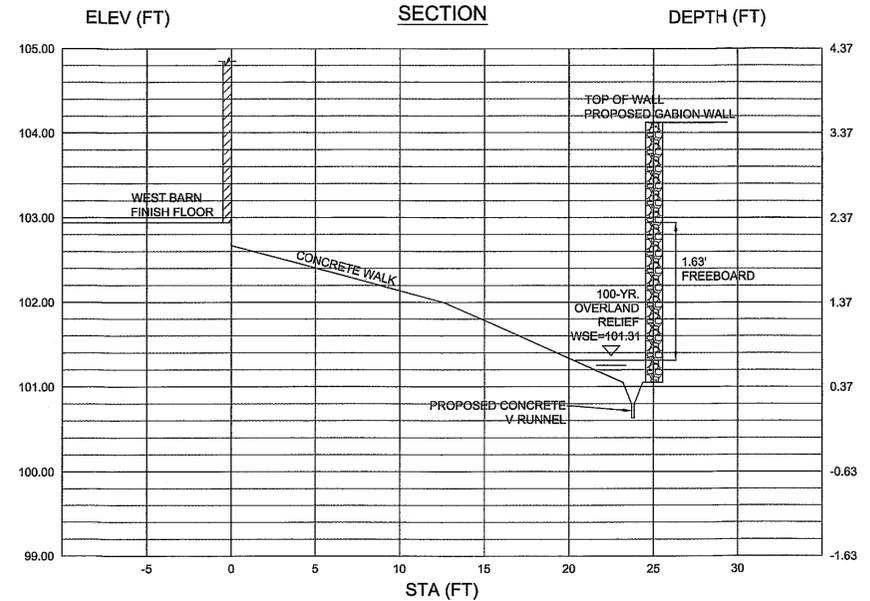
1. Plat is at a minimum scale of 1"=50' (unless it is depicted on one sheet with a minimum scale of 1"=100').
2. A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet C-1.03 and C-1.04.
3. Provide: See sheet C-1.07
 

Facility Name/Type & No.	On-site area served (acres)	Off-site area served (acres)	Drainage area (acres)	Footprint area (sf)	Storage Volume (cf)	If pond, dam height (ft)
Totals						
4. Onsite drainage channels, outfalls and pipe systems are shown on Sheet C-1.03 and C-1.04. Pond inlet and outlet pipe systems are shown on Sheet C-1.03 and C-1.04.
5. Maintenance access (road) to stormwater management facility(ies) are shown on Sheet C-1.04. Type of maintenance access road surface noted on the plat is GRAVEL (asphalt, geotextile, gravel, etc.).
6. Landscaping and tree preservation shown in and near the stormwater management facility is shown on Sheet L-1.01 & L-201 through L-204.
7. A 'stormwater management narrative' which contains a description of how detention and best management practices requirements will be met is provided on Sheet C-1.03.
8. A description of the existing conditions of each numbered site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet C-1.03 and C-1.04.
9. A description of how the outfall requirements, including contributing drainage areas of the Public Facilities Manual will be satisfied is provided on Sheet C-1.03.
10. Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheets C-1.03 and C-1.04.
11. A submission waiver is requested for \_\_\_\_\_.
12. Stormwater management is not required because \_\_\_\_\_.

STORMWATER MANAGEMENT FACILITIES						
FACILITY TYPE & NAME	ON-SITE AREA SERVED (acres)	OFF-SITE AREA SERVED (acres)	DRAINAGE AREA (acres)	FOOTPRINT AREA (sf)	STORAGE VOLUME (cf)	IF POND, DAM HEIGHT (ft)
Wet Pond, Existing Pond	4.00	11.41	15.41	8,580	≈ 45,615	3.95
Bioretention A	0.149	0.01	0.16	180	TBD	N/A
Bioretention B	0.322	0.01	0.33	282	TBD	N/A
Bioretention C	0.64	0.00	0.64	489	TBD	N/A
Bioretention D	0.73	0.00	0.68	1,113	TBD	N/A
Bioretention E	0.83	0.00	0.82	1,332	TBD	N/A
Bioretention F	0.61	0.00	0.61	923	TBD	N/A
North Parking lot Aggregate Detention	0.61	0.00	0.61	8,925	TBD	N/A

NOTE: LOCATION AND SIZE OF BIORETENTION AREAS ARE CONCEPTUAL. FINAL LOCATION AND SIZE OF BIORETENTION AREAS WILL BE DESIGNED IN ACCORDANCE WITH THE FAIRFAX COUNTY PFM AND WILL BE FINALIZED DURING SITE PLAN APPROVAL.

Application No SEA 93-L-014-02 Staff M. Brady  
 Approved SE SEA Plan Dev Conds dated 10-25-12  
 Date of (BZA) (BOS) (PC) 11-20-12  
 Sheet 8 of 21  
 Associated with SPA 93-L-015-02  
 Dev Conds dated 10-17-2012 BZA date 10-17-2012

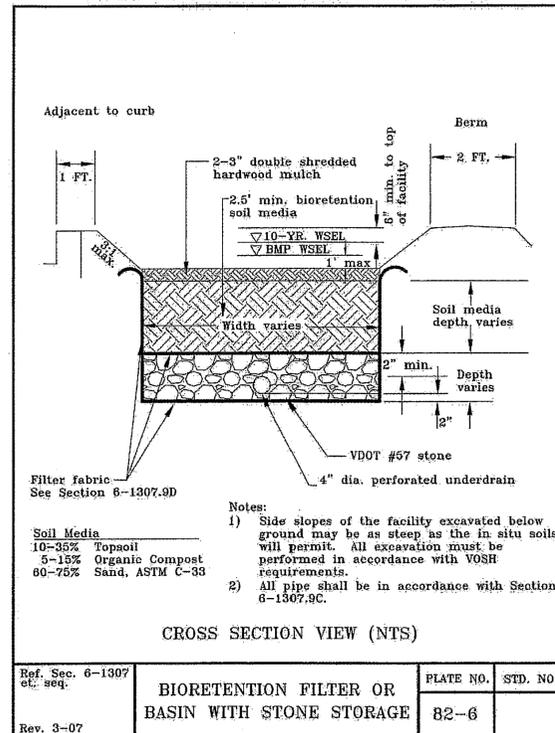


**OVERLAND RELIEF**  
 1 NOT TO SCALE

**OVERLAND RELIEF NARRATIVE**

THE PROPOSED CONDITIONS WILL MAINTAIN THE EXISTING OVERALL SITE DRAINAGE DIVIDES WHICH INCORPORATES THE EXISTING RETENTION POND. THE SIX PROPOSED BIORETENTION AREAS WERE THE FOCUS OF THE OVERLAND RELIEF ANALYSIS. DIRECTIONAL ARROWS AND LABELS HAVE BEEN PROVIDED TO ILLUSTRATE MEANS OF OVERLAND RELIEF FROM THE BIORETENTION AREAS. DUE TO THE PROXIMITY OF BUILDINGS, BIORETENTION "A" AND BIORETENTION "B" POSE THE GREATEST POTENTIAL RISK OF PROPERTY DAMAGE IF THE OVERFLOW STRUCTURES WERE TO FAIL DURING AN 100-YEAR STORM. PROPOSED BIORETENTION "A" AND BIORETENTION "B" OVERLAND RELIEF PATHS WILL OVERTOP ADJOINING PROPOSED GABION RETAINING WALLS TO THE NORTH AND ENTER A PROPOSED RUNNEL THAT SPANS THE LENGTH OF THE NORTH SIDE OF THE GABION WALLS. THE RUNNEL WILL CONVEY THE 100-YEAR STORM TO THE EXISTING RETENTION POND. OVERLAND RELIEF ANALYSIS WAS PERFORMED AT THE SOUTH WEST, FIRST FLOOR ENTRANCE TO THE WEST BARN (EARLY CHILDHOOD BUILDING). APPROXIMATELY 4.94 CFS OF RUNOFF FROM A 0.84 ACRES WATERSHED DRAINS TO THE POINT OF ANALYSIS SHOWN ON SHEET C-1.06. APPROXIMATELY 1.63' OF FREEBOARD SEPARATES THE 100-YEAR WATER SURFACE ELEVATION(101.31') AND THE LOWEST ENTRANCE TO THE WEST BARN (102.94'). PLEASE REFER TO OVERLAND RELIEF DETAIL ON THIS SHEET (C-1.07).

**FAIRFAX COUNTY PUBLIC FACILITIES MANUAL**



NOTE: ALL DIMENSIONS SHOWN AS "VARIES" IN THE ABOVE BIORETENTION FILTER DETAIL WILL BE DESIGNED IN ACCORDANCE WITH THE FAIRFAX COUNTY PFM AND WILL BE FINALIZED DURING SITE PLAN APPROVAL.

**BURGUNDY FARM COUNTRY DAY SCHOOL**

1300 BURGUNDY ROAD  
 FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD

**OCULUS**

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 WASHINGTON, DC 20009  
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CIVIL ENGINEER

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STRUCTURAL ENGINEER

**MESEN ASSOCIATES**

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ARBORIST

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LAND USE ATTORNEY

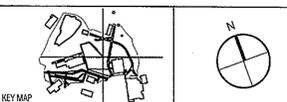
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2200 CLARENDON BLVD.  
 SUITE 1300  
 ARLINGTON, VA 22201  
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**SUBMISSIONS/REVISIONS**

DATE	REVISIONS
4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



DATE: AUGUST 31, 2012

PROJECT NUMBER: W1106

SCALE: NOT TO SCALE

**STORMWATER MANAGEMENT DETAILS**

DRAWING TITLE:

**C-1.07**

SHEET NUMBER:

**BURGUNDY FARM  
COUNTRY DAY SCHOOL**

3700 BURGUNDY ROAD  
FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD

**OCULUS**

2410 17th STREET NW  
SUITE 201  
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ARBORIST

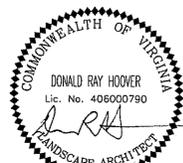
**DAVEY RESOURCE GROUP**

2138 PRIEST BRIDGE CT  
SUITE 4  
CROFTON, MD 21114  
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LAND USE ATTORNEY

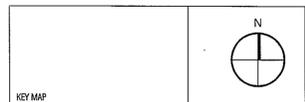
**WALSH, COLUCCI, LUBELEY,  
EMRICH & WALSH, P.C.**

2200 CLARENDON BLVD.  
SUITE 1300  
ARLINGTON, VA 22201  
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**SUBMISSIONS/ REVISIONS**

DATE	REVISIONS
4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



KEY MAP  
DATE: AUGUST 31, 2012

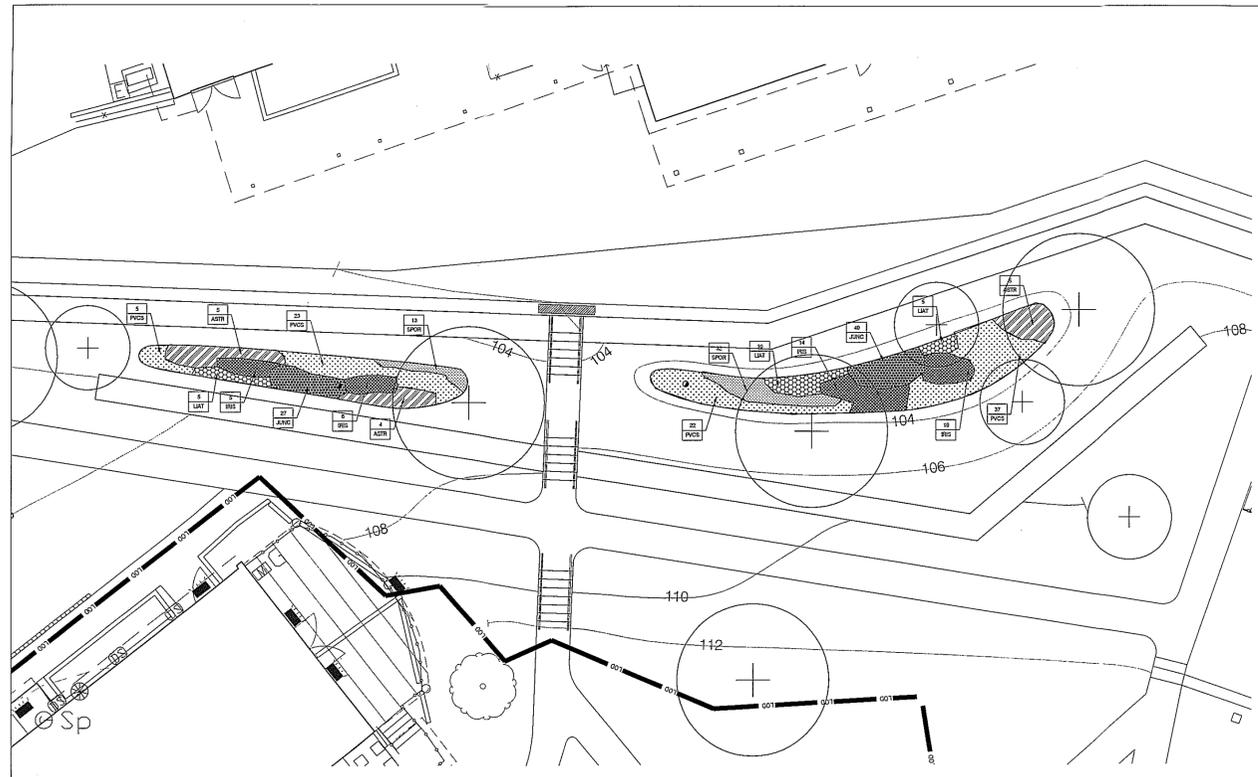
PROJECT NUMBER: W1106

SCALE:

**BIORETENTION PLANTING**

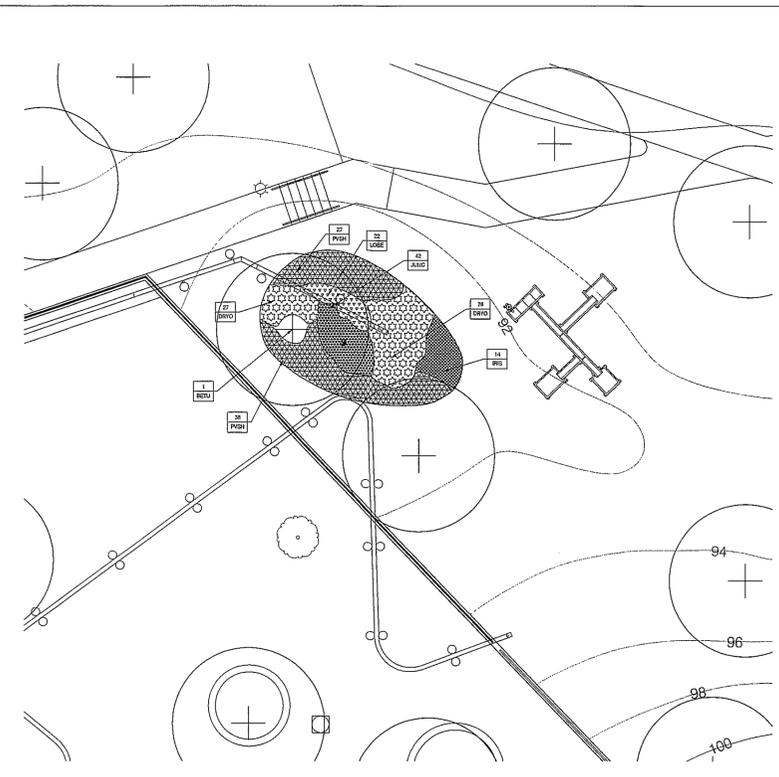
DRAWING TITLE:

**L-101**  
SHEET NUMBER:



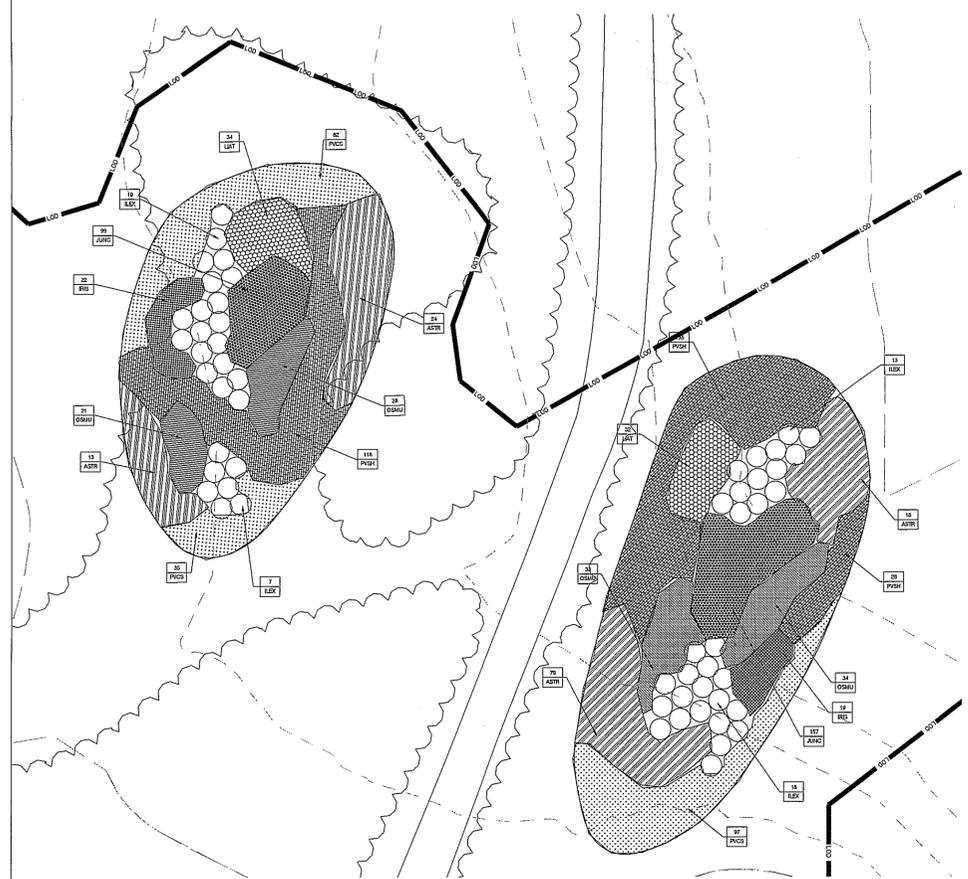
**BIORETENTION AREAS "A" & "B"**

SCALE 1" = 10'



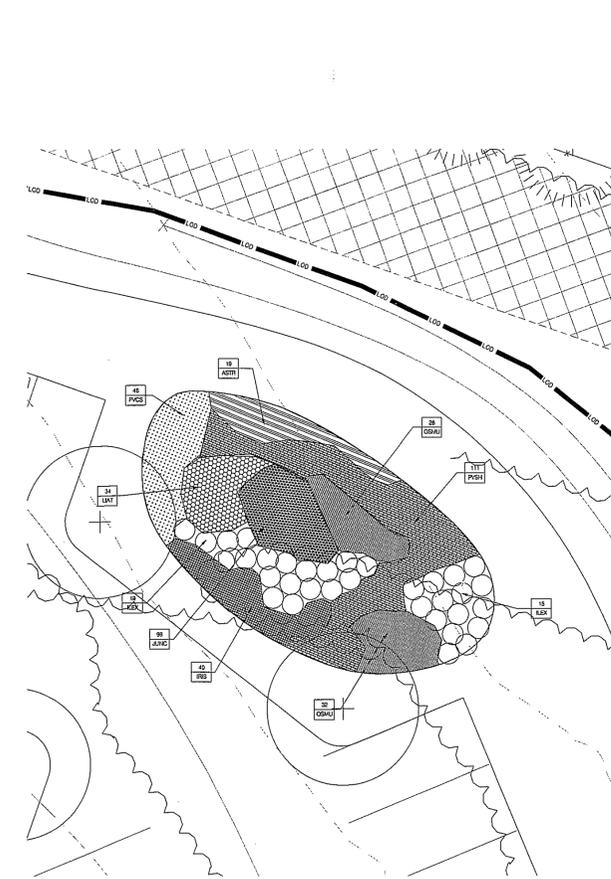
**BIORETENTION AREA "C"**

SCALE 1" = 10'



**BIORETENTION AREAS "D" & "E"**

SCALE 1" = 10'



**BIORETENTION AREA "F"**

SCALE 1" = 10'

**BIORETENTION PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	QTY.
<b>BIOFILTER PLANTING BED A</b>						
ASTR	<i>Aster oblongifolius</i> 'Raydon's Favorite'	Raydon's Favorite Aster	1 qt.	2'-0" o.c.	container	9
IRIS	<i>Iris versicolor</i>	Blueflag Iris	1 qt.	1'-6" o.c.	container	11
JUNC	<i>Juncus effusus</i>	Soft Rush	1 qt.	1'-0" o.c.	container	27
LIAT	<i>Liatris spicata</i>	Spiked Gayflower	1 qt.	1'-6" o.c.	container	5
PVCS	<i>Panicum virgatum</i> 'Cheyenne Sky'	Cheyenne Sky Switch Grass	1 qt.	1'-6" o.c.	container	28
SPOR	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 qt.	1'-0" o.c.	container	13
<b>BIOFILTER PLANTING BED B</b>						
ASTR	<i>Aster oblongifolius</i> 'Raydon's Favorite'	Raydon's Favorite Aster	1 qt.	2'-0" o.c.	container	5
IRIS	<i>Iris versicolor</i>	Blueflag Iris	1 qt.	1'-6" o.c.	container	24
JUNC	<i>Juncus effusus</i>	Soft Rush	1 qt.	1'-0" o.c.	container	40
LIAT	<i>Liatris spicata</i>	Spiked Gayflower	1 qt.	1'-6" o.c.	container	15
PVCS	<i>Panicum virgatum</i> 'Cheyenne Sky'	Cheyenne Sky Switch Grass	1 qt.	1'-6" o.c.	container	59
SPOR	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 qt.	1'-0" o.c.	container	32
<b>BIOFILTER PLANTING BED C</b>						
BETU	<i>Betula nigra</i> 'Heritage'	Heritage River Birch	10'-12' ht.	As shown	B&B, multistem	1
DRYO	<i>Dryopteris marginalis</i>	Marginal Fern	1 qt.	1'-0" o.c.	container	103
IRIS	<i>Iris versicolor</i>	Blueflag Iris	1 qt.	1'-6" o.c.	container	14
JUNC	<i>Juncus effusus</i>	Soft Rush	1 qt.	1'-0" o.c.	container	42
LOBE	<i>Lobelia cardinalis</i>	Cardinal Flower	1 qt.	1'-0" o.c.	container	22
PVSH	<i>Panicum virgatum</i> 'Shenandoah'	Cheyenne Shenandoah	1 qt.	1'-6" o.c.	container	65
<b>BIOFILTER PLANTING BED D</b>						
ASTR	<i>Aster oblongifolius</i> 'Raydon's Favorite'	Raydon's Favorite Aster	1 qt.	2'-0" o.c.	container	37
ILGL	<i>Ilex glabra</i> 'Compacta'	Compact Inkberry Holly	24"-30" spr.	2'-6" o.c.	container	26
IRIS	<i>Iris versicolor</i>	Blueflag Iris	1 qt.	1'-6" o.c.	container	22
JUNC	<i>Juncus effusus</i>	Soft Rush	1 qt.	1'-0" o.c.	container	99
LIAT	<i>Liatris spicata</i>	Spiked Gayflower	1 qt.	1'-6" o.c.	container	34
PVSH	<i>Panicum virgatum</i> 'Shenandoah'	Cheyenne Shenandoah	1 qt.	1'-6" o.c.	container	59
PVCS	<i>Panicum virgatum</i> 'Cheyenne Sky'	Cheyenne Sky Switch Grass	1 qt.	1'-6" o.c.	container	49
<b>BIOFILTER PLANTING BED E</b>						
ASTR	<i>Aster oblongifolius</i> 'Raydon's Favorite'	Raydon's Favorite Aster	1 qt.	2'-0" o.c.	container	97
ILGL	<i>Ilex glabra</i> 'Compacta'	Compact Inkberry Holly	24"-30" spr.	2'-6" o.c.	container	31
IRIS	<i>Iris versicolor</i>	Blueflag Iris	1 qt.	1'-6" o.c.	container	19
JUNC	<i>Juncus effusus</i>	Soft Rush	1 qt.	1'-0" o.c.	container	157
LIAT	<i>Liatris spicata</i>	Spiked Gayflower	1 qt.	1'-6" o.c.	container	32
OSMU	<i>Osmunda cinnamomea</i>	Cinnamon Fern	1 qt.	1'-6" o.c.	container	67
PVSH	<i>Panicum virgatum</i> 'Shenandoah'	Cheyenne Shenandoah	1 qt.	1'-6" o.c.	container	163
PVCS	<i>Panicum virgatum</i> 'Cheyenne Sky'	Cheyenne Sky Switch Grass	1 qt.	1'-6" o.c.	container	97
<b>BIOFILTER PLANTING BED F</b>						
ASTR	<i>Aster oblongifolius</i> 'Raydon's Favorite'	Raydon's Favorite Aster	1 qt.	2'-0" o.c.	container	19
ILGL	<i>Ilex glabra</i> 'Compacta'	Compact Inkberry Holly	24"-30" spr.	2'-6" o.c.	container	34
IRIS	<i>Iris versicolor</i>	Blueflag Iris	1 qt.	1'-6" o.c.	container	40
JUNC	<i>Juncus effusus</i>	Soft Rush	1 qt.	1'-0" o.c.	container	99
LIAT	<i>Liatris spicata</i>	Spiked Gayflower	1 qt.	1'-6" o.c.	container	34
OSMU	<i>Osmunda cinnamomea</i>	Cinnamon Fern	1 qt.	1'-6" o.c.	container	60
PVSH	<i>Panicum virgatum</i> 'Shenandoah'	Cheyenne Shenandoah	1 qt.	1'-6" o.c.	container	111
PVCS	<i>Panicum virgatum</i> 'Cheyenne Sky'	Cheyenne Sky Switch Grass	1 qt.	1'-6" o.c.	container	46

Application No SEA 93-L-014-02 Staff M. Brady  
Approved SE SEA Plan Dev Conds dated 10-25-12  
Date of (BZA) (BOS) (PC) 11-20-12  
Sheet 2 of 21

Associated with SPA 93-L-015-02  
Dev Conds dated 10-17-2012 BZA date 10-17-2012

**BURGUNDY FARM  
COUNTRY DAY SCHOOL**  
3700 BURGUNDY ROAD  
FAIRFAX COUNTY, VIRGINIA

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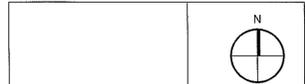
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ARLINGTON, VA 22201  
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SUBMISSIONS/ REVISIONS	
4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



KEY MAP  
DATE: AUGUST 31, 2012  
PROJECT NUMBER: W1106  
SCALE: 1" = 50'  
**TREE PLANTING PLAN**  
DRAWING TITLE:  
SHEET NUMBER:

**L-102**

**KEY**

	TREE TO BE COUNTED TOWARDS INTERIOR PARKING CANOPY		TREE TO BE COUNTED TOWARDS TRANSITIONAL SCREENING		EXISTING CANOPY TO BE COUNTED TOWARDS TRANSITIONAL SCREENING
--	--	--	---	--	--

**INTERIOR PARKING LOT LANDSCAPING - Parking Area 'A'**

AREA TO BE COUNTED	= 8823 SF	10 yr. CANOPY	
INTERIOR LANDSCAPING REQUIRED	= 441 SF	COVERAGE	
TOTAL SHADE TREE CANOPY PROVIDED	= 1500 SF		
(6 trees @ 250 SF ea.)			
TOTAL AREA REQUIRED	= 441 SF		
TOTAL AREA PROVIDED	= 1500 SF		

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COVERAGE
6	ACER	<i>Acer rubrum</i>	Red Maple	3" cal.	250 sf
					TOTAL = 1500 sf of CANOPY COVERAGE

**INTERIOR PARKING LOT LANDSCAPING - Parking Area 'B'**

AREA TO BE COUNTED	= 9138 SF	10 yr. CANOPY	
INTERIOR LANDSCAPING REQUIRED	= 457 SF	COVERAGE	
EXISTING 32" OAK (ASSUME 1' CANOPY PER 1' DIA.)	= 804 SF		
MINUS 42% EXISTING 32" OAK BEING COUNTED TOWARDS BARRIER CREDIT	= (336 SF)		
EXISTING 23" MAPLE (ASSUME 1' CANOPY PER 1' DIA.)	= 415 SF		
TOTAL AREA REQUIRED	= 457 SF		
TOTAL AREA PROVIDED THROUGH EXISTING TREES	= 863 SF		

**INTERIOR PARKING LOT LANDSCAPING - Parking Area 'C'**

AREA TO BE COUNTED	= 17,717 SF	10 yr. CANOPY	
INTERIOR LANDSCAPING REQUIRED	= 886 SF	COVERAGE	
EX. 16" ASH (ASSUME 1' CANOPY PER 1' DIA.)	= 201 SF		
EX. 17" ASH (ASSUME 1' CANOPY PER 1' DIA.)	= 227 SF		
EX. 18" ASH (ASSUME 1' CANOPY PER 1' DIA.)	= 201 SF		
EX. 16" ASH (ASSUME 1' CANOPY PER 1' DIA.)	= 113 SF		
1 ADDITIONAL SHADE TREE @ 200 SF	= 200 SF		
TOTAL AREA REQUIRED	= 886 SF		
TOTAL AREA PROVIDED	= 942 SF		

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COVERAGE
1	ACER	<i>Acer rubrum</i>	Red Maple	2" cal.	200 sf
					TOTAL = 200 sf of CANOPY COVERAGE

**INTERIOR PARKING LOT LANDSCAPING - Parking Area 'D'**

AREA TO BE COUNTED	= 8980 SF	10 yr. CANOPY	
INTERIOR LANDSCAPING REQUIRED	= 449 SF	COVERAGE	
EXISTING 8" OAK WITH PROJECTED 10 YR. CANOPY	= 250 SF		
EXISTING 9" OAK WITH PROJECTED 10 YR. CANOPY	= 250 SF		
EXISTING 11" OAK WITH PROJECTED 10 YR. CANOPY	= 250 SF		
EXISTING 11" OAK WITH PROJECTED 10 YR. CANOPY	= 250 SF		
TOTAL AREA REQUIRED	= 449 SF		
TOTAL AREA PROVIDED THROUGH EXISTING TREES	= 1000 SF		

**TRANSITIONAL SCREENING AND BARRIER - North Boundary**

PRIVATE SCHOOL AND DWELLINGS, DETACHED  
TYPE 1 SCREENING: A 25 FOOT WIDE BUFFER IS SHOWN ALONG THE PROPERTY EDGE. THE AREA OF THIS BUFFER IS 9930 SF. EXISTING TREE CANOPY COVERS 9790 SF OF THIS AREA ALREADY. THEREFORE 99% OF THE AREA IS COVERED WITH EXISTING FOREST CANOPY. PER SHEET C1.00 A WAIVER IS REQUESTED FOR THIS AREA BECAUSE EXISTING TOPOGRAPHY AND FOLIAGE PROVIDE AN ADEQUATE BARRIER.  
BARRIER: TYPE D OR E IS REQUIRED, HOWEVER THERE IS AN EXISTING 6' CHAIN LINK FENCE ALONG THE PROPERTY LINE (TYPE G).

**TRANSITIONAL SCREENING AND BARRIER - Northwest Boundary**

PRIVATE SCHOOL AND DWELLINGS, DETACHED  
TYPE 1 SCREENING: A 25 FOOT WIDE BUFFER IS SHOWN ALONG THE PROPERTY EDGE. THE AREA OF THIS BUFFER IS 14,000 SF. EXISTING TREE CANOPY COVERS 14,000 SF OF THIS AREA ALREADY. THEREFORE 100% OF THE AREA IS COVERED WITH EXISTING FOREST CANOPY. PER SHEET C1.00 A WAIVER IS REQUESTED FOR THIS AREA BECAUSE EXISTING TOPOGRAPHY AND FOLIAGE PROVIDE AN ADEQUATE BARRIER.  
BARRIER: TYPE D OR E IS REQUIRED, HOWEVER THERE IS AN EXISTING 6' CHAIN LINK FENCE ALONG THE PROPERTY LINE (TYPE G).

**TRANSITIONAL SCREENING AND BARRIER - West Boundary**

PRIVATE SCHOOL AND DWELLINGS, DETACHED  
TYPE 1 SCREENING: A 25 FOOT WIDE BUFFER IS SHOWN ALONG THE PROPERTY EDGE. THE AREA OF THIS BUFFER IS 10,475 SF. EXISTING TREE CANOPY COVERS 10,475 SF OF THIS AREA ALREADY. THEREFORE 100% OF THE AREA IS COVERED WITH EXISTING FOREST CANOPY. PER SHEET C1.00 A WAIVER IS REQUESTED FOR THIS AREA BECAUSE EXISTING TOPOGRAPHY AND FOLIAGE PROVIDE AN ADEQUATE BARRIER.  
BARRIER: TYPE D OR E IS REQUIRED, HOWEVER THERE IS AN EXISTING 6' CHAIN LINK FENCE ALONG THE PROPERTY LINE (TYPE G).

**TRANSITIONAL SCREENING AND BARRIER - Southern Boundary**

PRIVATE SCHOOL AND DWELLINGS, DETACHED  
TYPE 1 SCREENING: A 25 FOOT WIDE BUFFER IS SHOWN ALONG THE PROPERTY EDGE. THE AREA OF THIS BUFFER IS 14,500 SF. EXISTING TREE CANOPY COVERS 14,500 SF OF THIS AREA ALREADY. THEREFORE 100% OF THE AREA IS COVERED WITH EXISTING FOREST CANOPY. PER SHEET C1.00 A WAIVER IS REQUESTED FOR THIS AREA BECAUSE EXISTING TOPOGRAPHY AND FOLIAGE PROVIDE AN ADEQUATE BARRIER.  
BARRIER: TYPE D OR E IS REQUIRED, HOWEVER THERE IS AN EXISTING 6' CHAIN LINK FENCE ALONG THE PROPERTY LINE (TYPE G).

**TRANSITIONAL SCREENING AND BARRIER - Southern Boundary Along Parking Areas 'B & C'**

PRIVATE SCHOOL AND DWELLINGS, DETACHED  
TYPE 1 SCREENING: A 25 FOOT WIDE BUFFER IS SHOWN ALONG THE PROPERTY EDGE. THE AREA OF THIS BUFFER IS 10,295 SF. EXISTING TREE CANOPY COVERS 5915 SF OF THIS AREA ALREADY. THEREFORE 57% OF THE AREA IS COVERED WITH EXISTING FOREST CANOPY. AN ADDITIONAL 1850 SF OF CANOPY IS PROPOSED, CREATING A TOTAL OF 76% COVERAGE. THE LENGTH OF THE ENTIRE BUFFER BETWEEN PARKING AREAS 'B & C' IS 418 FT. HOWEVER PER SHEET C1.00 A WAIVER IS REQUESTED FOR THIS AREA BECAUSE EXISTING TOPOGRAPHY AND FOLIAGE PROVIDE AN ADEQUATE BARRIER ALONG 110 FT OF THE BUFFER. HOWEVER ADDITIONAL SHRUBS ARE PROVIDED FOR 172 FT. ALONG THE BARRIER NEAR PARKING LOT 'B' BECAUSE THE EXISTING FOLIAGE IS MUCH LESS DENSE IN THAT AREA. A TOTAL OF 52 SHRUBS ARE PROVIDED IN THAT AREA.  
BARRIER: TYPE D OR E IS REQUIRED, HOWEVER THERE IS AN EXISTING 6' CHAIN LINK FENCE ALONG THE PROPERTY LINE (TYPE G).

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS	10 yr. CANOPY COVERAGE (SQ FT)	10 yr. CANOPY COVERAGE (SQ FT)
JUNI	<i>Juniperus virginiana</i>	Eastern Redcedar	3	8' ht.	B&B	100	300
MAGN	<i>Magnolia grandiflora</i>	Southern Magnolia	2	10' ht.	B&B	250	500
PICE	<i>Picea abies</i>	Norway Spruce	2	8' ht.	B&B	150	300
QUHP	<i>Quercus phellos</i>	Willow Oak	1	3" cal.	B&B	250	250
ACER	<i>Acer rubrum</i>	Red Maple	2	3" cal.	B&B	250	500
						total coverage proposed:	1850
Length of buffer (along open area by parking lot B): 172 feet						total existing coverage:	5915
52 shrubs required (3 shrubs per every 10')						total coverage provided:	7765
Evergreen Shrubs						total buffer area:	10295
Deciduous Shrubs						percent buffer canopy coverage:	75%
total shrubs:							52

**ADDITIONAL PLANTING - PLAYGROUND AND ENVIRONS**

TREE PLANT LIST - PLAYGROUND AND ENVIRONS					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QTY.
ACER	<i>Acer rubrum</i>	Red Maple	3'-3 1/2" cal.	B&B	10
AMEL	<i>Amelanchier laevis</i>	Serviceberry	7-8' ht.	B&B	2
ASIM	<i>Asimina triloba</i>	Paw Paw	6' ht.	B&B	3
BETU	<i>Betula nigra</i>	River Birch	10-12' ht.	B&B	5
CEFC	<i>Cercis canadensis</i>	Redbud	7-8' ht.	B&B	1
NYSS	<i>Nyssa sylvatica</i>	Black Gum	2 1/2'-3' cal.	B&B	7
QUPA	<i>Quercus palustris</i>	Shingle Oak	3'-3 1/2" cal.	B&B	3
QURU	<i>Quercus rubra</i>	Red Oak	3'-3 1/2" cal.	B&B	7

Application No SEA 93-L-014-02 - Staff M. Brady  
Approved SE & P Plan - Dev Conds dated 10-25-12  
Date of (BZA) (BOS) (PC) 11-20-12  
Sheet 10 of 21

Associated with SPA 93-L-015-02  
Dev Conds dated 10-17-2012. BZA date 10-17-2012



**TRANSITIONAL SCREENING AND BARRIER - Along Parking Area 'A'**

PRIVATE SCHOOL AND DWELLINGS, DETACHED  
 TYPE 1 SCREENING: A 25 FOOT WIDE BUFFER IS SHOWN ALONG THE PROPERTY EDGE. THE AREA OF THIS BUFFER IS 6000 SF. EXISTING TREE CANOPY COVERS 4160 SF OF THIS AREA ALREADY. THEREFORE 69% OF THE AREA IS COVERED WITH EXISTING FOREST CANOPY. AN ADDITIONAL 650 SF OF TREE CANOPY IS PROPOSED, CREATING A TOTAL OF 80% COVERAGE. THE LENGTH OF THE BUFFER IS 237 FEET, REQUIRING A TOTAL OF 71 ADDITIONAL SHRUBS. THE SHRUBS ARE LOCATED IN OPEN POCKETS ALONG THE BUFFER.  
 BARRIER: TYPE D OR E IS REQUIRED, HOWEVER THERE IS AN EXISTING 6' CHAIN LINK FENCE ALONG THE PROPERTY LINE (TYPE G).

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS	10 yr. CANOPY COVERAGE (SQ FT)	10 yr. CANOPY COVERAGE SUBTOTAL (SQ FT)
JUNI	<i>Juniperus virginiana</i>	Eastern Redcedar	2	8' ht.	B&B	100	200
ILOP	<i>Ilex opaca</i>	American Holly	2	6' ht.	B&B	75	150
PICE	<i>Picea abies</i>	Norway Spruce	2	8' ht.	B&B	150	300
						total coverage proposed:	650
						total existing coverage:	4160
						total coverage provided:	4810
						total buffer area:	6000
						percent buffer canopy coverage:	80%

**TRANSITIONAL SCREENING AND BARRIER - North Boundary**

PRIVATE SCHOOL AND DWELLINGS, DETACHED  
 TYPE 1 SCREENING: A 25 FOOT WIDE BUFFER IS SHOWN ALONG THE PROPERTY EDGE. THE AREA OF THIS BUFFER IS 7380 SF. EXISTING TREE CANOPY COVERS 6860 SF OF THIS AREA ALREADY. THEREFORE 93% OF THE AREA IS COVERED WITH EXISTING FOREST CANOPY. PER SHEET C1.00 A WAIVER IS REQUESTED FOR THIS AREA BECAUSE EXISTING TOPOGRAPHY AND FOLIAGE PROVIDE AN ADEQUATE BARRIER.  
 BARRIER: TYPE D OR E IS REQUIRED, HOWEVER THERE IS AN EXISTING 6' CHAIN LINK FENCE ALONG THE PROPERTY LINE (TYPE G).

**TRANSITIONAL SCREENING AND BARRIER - Eastern Boundary**

PRIVATE SCHOOL AND DWELLINGS, DETACHED  
 TYPE 1 SCREENING: A 25 FOOT WIDE BUFFER IS SHOWN ALONG THE PROPERTY EDGE. THE AREA OF THIS BUFFER IS 19,820 SF. EXISTING TREE CANOPY COVERS 19,770 SF OF THIS AREA ALREADY. THEREFORE NEARLY 100% OF THE AREA IS COVERED WITH EXISTING FOREST CANOPY. PER SHEET C1.00 A WAIVER IS REQUESTED FOR THIS AREA BECAUSE EXISTING TOPOGRAPHY AND FOLIAGE PROVIDE AN ADEQUATE BARRIER.  
 BARRIER: TYPE D OR E IS REQUIRED, HOWEVER THERE IS AN EXISTING 6' CHAIN LINK FENCE ALONG THE PROPERTY LINE (TYPE G).

**TRANSITIONAL SCREENING AND BARRIER - Norton House Boundary**

PRIVATE SCHOOL AND DWELLINGS, DETACHED  
 TYPE 1 SCREENING: A 25 FOOT WIDE BUFFER IS SHOWN ALONG THE PROPERTY EDGE. THE AREA OF THIS BUFFER IS 4350 SF. EXISTING TREE CANOPY COVERS 2460 SF OF THIS AREA ALREADY. THEREFORE 57% OF THE AREA IS COVERED WITH EXISTING FOREST CANOPY. AN ADDITIONAL 1000 SF OF TREE CANOPY IS PROPOSED, CREATING A TOTAL OF 80% COVERAGE. THE LENGTH OF THE BUFFER IS 170 FEET, REQUIRING A TOTAL OF 51 ADDITIONAL SHRUBS. THE SHRUBS ARE LOCATED IN OPEN POCKETS ALONG THE BUFFER.  
 BARRIER: TYPE D - THERE IS AN EXISTING 42' CHAIN LINK FENCE ALONG THE PROPERTY LINE.

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS	10 yr. CANOPY COVERAGE (SQ FT)	10 yr. CANOPY COVERAGE SUBTOTAL (SQ FT)
NYSS	<i>Nyssa sylvatica</i>	Black Gum	2	3" cal.	B&B	175	350
JUNI	<i>Juniperus virginiana</i>	Eastern Redcedar	2	8' ht.	B&B	100	200
ILOP	<i>Ilex opaca</i>	American Holly	2	6' ht.	B&B	75	150
PICE	<i>Picea abies</i>	Norway Spruce	2	8' ht.	B&B	150	300
						total coverage proposed:	1000
						total existing coverage:	2460
						total coverage provided:	3460
						total buffer area:	4350
						percent buffer canopy coverage:	80%

**TRANSITIONAL SCREENING AND BARRIER - Southern Boundary Entry Road**

PRIVATE SCHOOL AND DWELLINGS, DETACHED  
 TYPE 1 SCREENING: A 25' BUFFER IN THIS AREA IS 8615 SF. PER SHEET C1.00 A WAIVER IS REQUESTED FOR THIS AREA BECAUSE EXISTING LANDSCAPE HAS BEEN DESIGNED TO MINIMIZE ADVERSE IMPACTS THROUGH LANDSCAPING TECHNIQUES. THERE IS A TOTAL OF 3535 SF OF EXISTING CANOPY COVERAGE. HOWEVER, FURTHER ENHANCEMENTS ARE ALSO PROPOSED TO IMPROVE PEDESTRIAN SAFETY AND TO ENHANCE THE ENTRY ARRIVAL EXPERIENCE. THESE IMPROVEMENTS WILL ADD AN ADDITIONAL 2300 SF OF CANOPY COVERAGE. IN ADDITION, AN EVERGREEN HEDGE IS PROPOSED ALONG THE NORTON ROAD HOUSE PROPERTY.  
 BARRIER: TYPE D OR E IS REQUIRED, THERE IS AN EXISTING 4' CHAIN LINK FENCE THE SOUTHERN SIDE OF THE ROAD.

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS	10 yr. CANOPY COVERAGE (SQ FT)	10 yr. CANOPY COVERAGE SUBTOTAL (SQ FT)
AMEL	<i>Amelanchier laevis</i>	Serviceberry	4	2" cal.	B&B	100	400
CERC	<i>Cercis canadensis</i>	Eastern Redbud	10	2" cal.	B&B	100	1000
ILOP	<i>Ilex opaca</i>	American Holly	4	6' ht.	B&B	75	300
JUNI	<i>Juniperus virginiana</i>	Eastern Redcedar	8	6' ht.	B&B	75	600
						total coverage proposed:	2300
						total existing coverage:	3535
						total coverage provided:	5835
						total buffer area:	8615
						percent buffer canopy coverage:	68%

**TRANSITIONAL SCREENING AND BARRIER - Southern Boundary Along Parking Area 'D'**

PRIVATE SCHOOL AND DWELLINGS, DETACHED  
 TYPE 1 SCREENING: A 25' BUFFER IN THIS AREA IS 4900 SF. PER SHEET C1.00 A WAIVER IS REQUESTED FOR THIS AREA BECAUSE EXISTING LANDSCAPE HAS BEEN SPECIFICALLY DESIGNED TO MINIMIZE ADVERSE IMPACTS THROUGH LANDSCAPING TECHNIQUES. THERE ARE 3 EXISTING 6' OAKS ALONG THIS EDGE, WITH A COMBINED PROJECTED 10 YR. CANOPY COVERAGE OF 750 SF. A TOTAL OF 650 SF IS PROPOSED IN ADDITIONAL PLANTING.  
 BARRIER: TYPE D OR E IS REQUIRED; THERE IS AN EXISTING 4' CHAIN LINK FENCE THE SOUTHERN SIDE OF THE ROAD.

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS	10 yr. CANOPY COVERAGE (SQ FT)	10 yr. CANOPY COVERAGE SUBTOTAL (SQ FT)
JUNI	<i>Juniperus virginiana</i>	Eastern Redcedar	3	6' ht.	B&B	75	225
CERC	<i>Cercis canadensis</i>	Eastern Redbud	4	2" cal.	B&B	100	400
QUPA	<i>Quercus palustris</i>	Shingle Oak	1	3" cal.	B&B	250	250
						total coverage proposed:	875
						total existing coverage:	750
						total coverage provided:	1625
						total buffer area:	4900
						percent buffer canopy coverage:	33%

**TRANSITIONAL SCREENING AND BARRIER - Southern Boundary Along Middle School**

PRIVATE SCHOOL AND DWELLINGS, DETACHED  
 TYPE 1 SCREENING: A 25 FOOT WIDE BUFFER IS SHOWN BETWEEN THE ROAD AND THE BUILDING. THE AREA OF THIS BUFFER IS 2870 SF. PER SHEET C1.00 A WAIVER IS REQUESTED FOR THIS AREA BECAUSE EXISTING BUILDING AND LANDSCAPE HAS BEEN SPECIFICALLY DESIGNED TO MINIMIZE ADVERSE IMPACTS THROUGH A COMBINATION OF ARCHITECTURAL AND LANDSCAPING TECHNIQUES. EXISTING TREES PROVIDE 1176 SF CANOPY. ADDITIONALLY, THE BUILDING IS DESIGNED SO THAT THE FIRST FLOOR OF BUILDING SITS LOWER THAN THE GRADE OF THE ROAD, THEREBY HELPING TO REDUCE THE APPEARANCE OF THE OVERALL HEIGHT OF THE BUILDING.  
 BARRIER: TYPE D OR E IS REQUIRED; THERE IS AN EXISTING 4' CHAIN LINK FENCE THE SOUTHERN SIDE OF THE ROAD.  
 BUFFER AREA = 2870 SF  
 EXISTING 15' JUNIPER (ASSUME 1" CANOPY PER 1" DIA) = 176 SF  
 EXISTING 8' MAPLE WITH PROJECTED 10 YR. CANOPY = 250 SF  
 EXISTING 4' MAPLE WITH PROJECTED 10 YR. CANOPY = 250 SF  
 EXISTING 3' MAPLE WITH PROJECTED 10 YR. CANOPY = 250 SF  
 EXISTING 2' MAPLE WITH PROJECTED 10 YR. CANOPY = 250 SF  
 TOTAL AREA PROVIDED THROUGH EXISTING TREES = 1176 SF

**ADDITIONAL PLANTING - ENTRY DRIVE**  
 NOTE THIS PLANTING IS OUTSIDE THE 25' BUFFER PLANTING

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
AMEL	<i>Amelanchier laevis</i>	Serviceberry	4	2" cal.	B&B
CERC	<i>Cercis canadensis</i>	Redbud	4	2" cal.	B&B
ILOP	<i>Ilex opaca</i>	American Holly	1	7' ht.	B&B
JUNI	<i>Juniperus virginiana</i>	Redcedar	9	6' ht.	B&B

Application No SEA 93-L-014-02 Staff M. Brady  
 Approved SR SEA Plan Dev Conds dated 10-25-12  
 Date of (BZA) (BOS) (PC) 11-20-12  
 Sheet 11 of 21  
 Associated with SPA 93-L-015-02  
 Dev Conds dated 10-17-2012 BZA date 10-17-2012

**BURGUNDY FARM COUNTRY DAY SCHOOL**  
 3700 BURGUNDY ROAD  
 FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD  
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SUBMISSIONS/ REVISIONS

4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS

KEY MAP

DATE: AUGUST 31, 2012

PROJECT NUMBER: W1106

SCALE: 1" = 50'

**TREE PLANTING PLAN**

DRAWING TITLE:

**L-103**

SHEET NUMBER:

LANDSCAPE ARCHITECT / DESIGN LEAD

**O C U L U S**

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ARBORIST

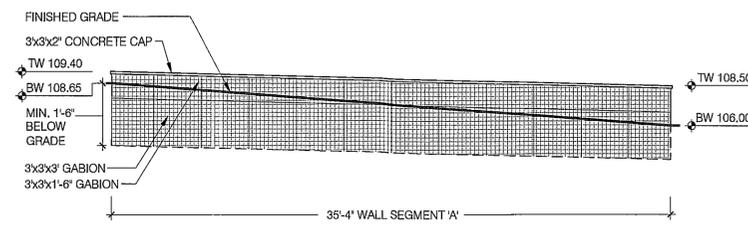
**DAVEY RESOURCE GROUP**

2138 PRIEST BRIDGE CT  
SUITE 4  
CROFTON, MD 21114  
P 410.774.0924  
F 301.858.0184

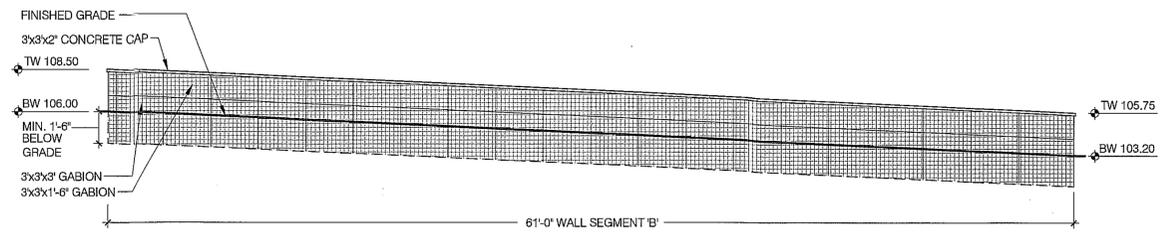
LAND USE ATTORNEY

**WALSH, COLUCCI, LUBELEY,  
EMRICH & WALSH, P.C.**

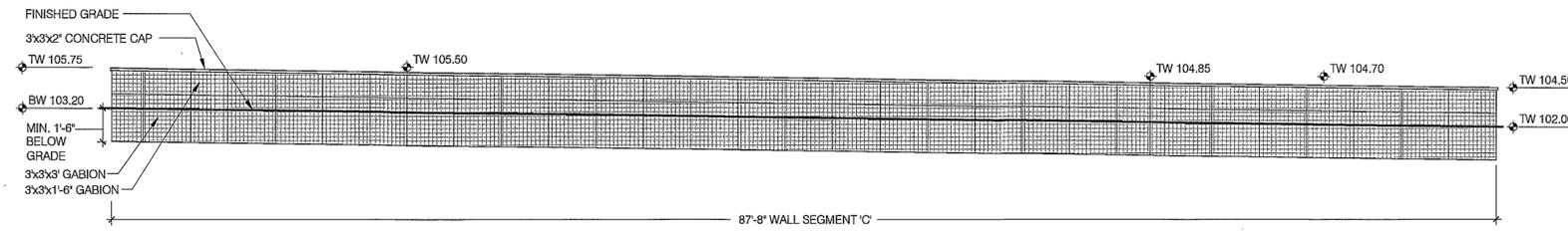
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SUITE 1300  
ARLINGTON, VA 22201  
P 703.528.4700  
F 703.525.3197



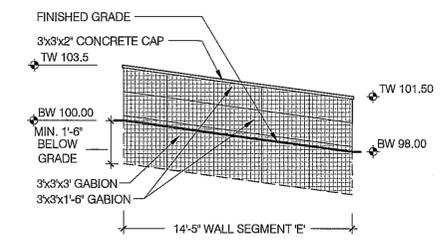
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SCALE: 3/16" = 1'-0"



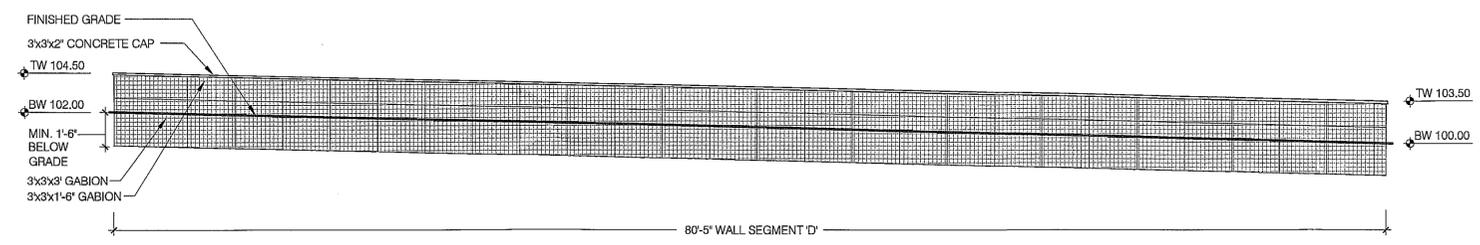
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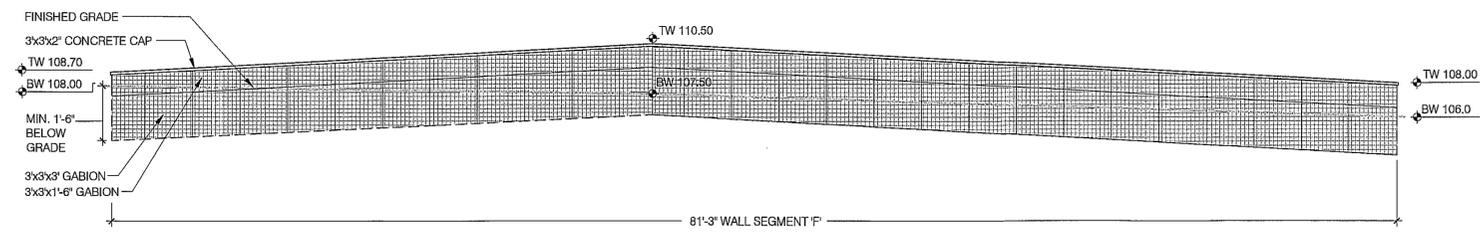
**3 GABION WALL SEGMENT 'C' ELEVATION**  
SCALE: 3/16" = 1'-0"



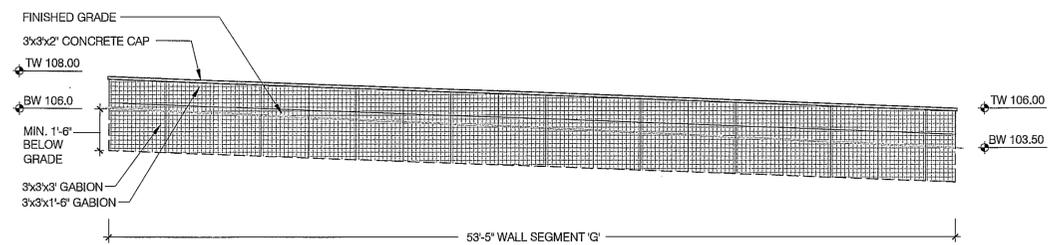
**5 GABION WALL SEGMENT 'E' ELEVATION**  
SCALE: #####



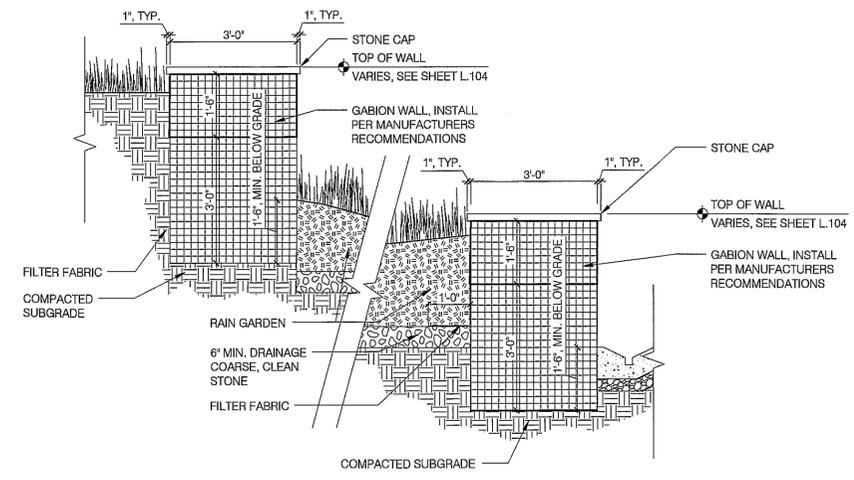
**4 GABION WALL SEGMENT 'D' ELEVATION**  
SCALE: 3/16" = 1'-0"



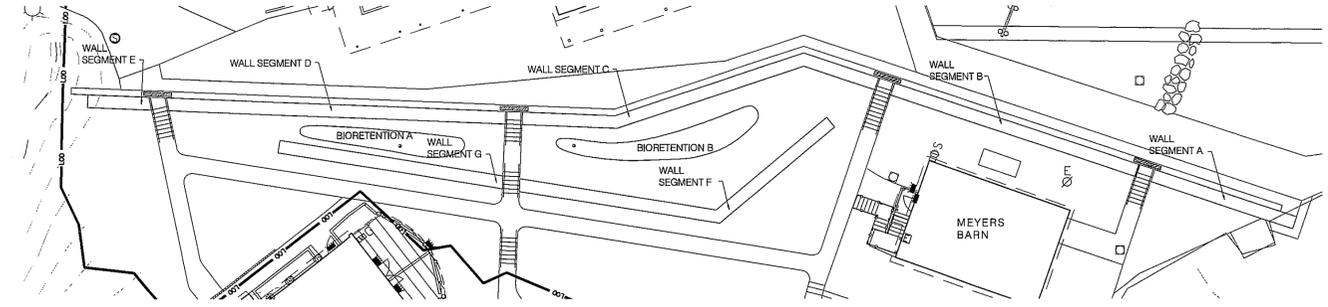
**6 GABION WALL SEGMENT 'F' ELEVATION**  
SCALE: #####



**7 GABION WALL SEGMENT 'G' ELEVATION**  
SCALE: #####



**8 GABION WALL SECTION**  
SCALE: 1/2" = 1'-0"



**9 GABION WALL PLAN KEY**  
SCALE: 1" = 20'

Application No SEA 93-L-014-02 Staff M. Brady  
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Date of (BZA) (BOS) (PC) 11-20-12  
Sheet 12 of 21  
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Dev Conds dated 10-17-2012 BZA date 10-17-2012

SUBMISSIONS/ REVISIONS	
4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS

KEY MAP	N
DATE:	AUGUST 31, 2012
PROJECT NUMBER:	W1106
SCALE:	
GABION WALL DETAILS	
DRAWING TITLE:	
L-104	
SHEET NUMBER:	

**EXISTING VEGETATION MAP  
EVM LEGEND**

KEY	COVER TYPE	PRIMARY SPECIES	CONDITION	SUCCESSIONAL STAGE	COMMENTS	BURGUNDY FARM AREA	NORTON VILLA LOT 1 AREA
	DEVELOPED LAND	N/A	N/A	N/A	EXISTING STRUCTURES, HARDSCAPE AND IMPROVED AREAS	4.49 AC.	3,036 SQ.FT
	UPLAND FOREST	WHITE OAK	GOOD	CLIMAX	INCLUDES RED OAK, BEECH AND HICKORY, OPEN UNDERSTORY	6.30 AC.	N/A
	BOTTOMLAND FOREST	RED MAPLE, ASH	FAIR	CLIMAX	INCLUDES SOME TULIP POPLAR AND SYCAMORE, MANY INVASIVE VINES, DENSE UNDERSTORY	5.71 AC.	6,733 SQ.FT
	AGRICULTURAL AREAS	N/A	N/A	N/A	INCLUDES GARDEN AND PASTURE AREAS	0.88 AC.	N/A
	OPEN WATER	N/A	N/A	N/A		0.19 AC.	N/A
	MAINTAINED LAWN AND LANDSCAPE	TURF	N/A	N/A	INCLUDES OPEN LAWN, PLAYING FIELDS AND LANDSCAPE BEDS	12.21 AC.	8,928 SQ.FT



**BURGUNDY FARM  
COUNTRY DAY SCHOOL**  
1300 BURGUNDY ROAD  
FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD  
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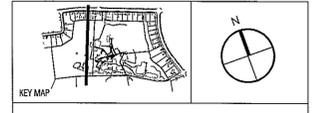
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4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
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8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



DATE: AUGUST 31, 2012

PROJECT NUMBER:

SCALE: 1" = 50'

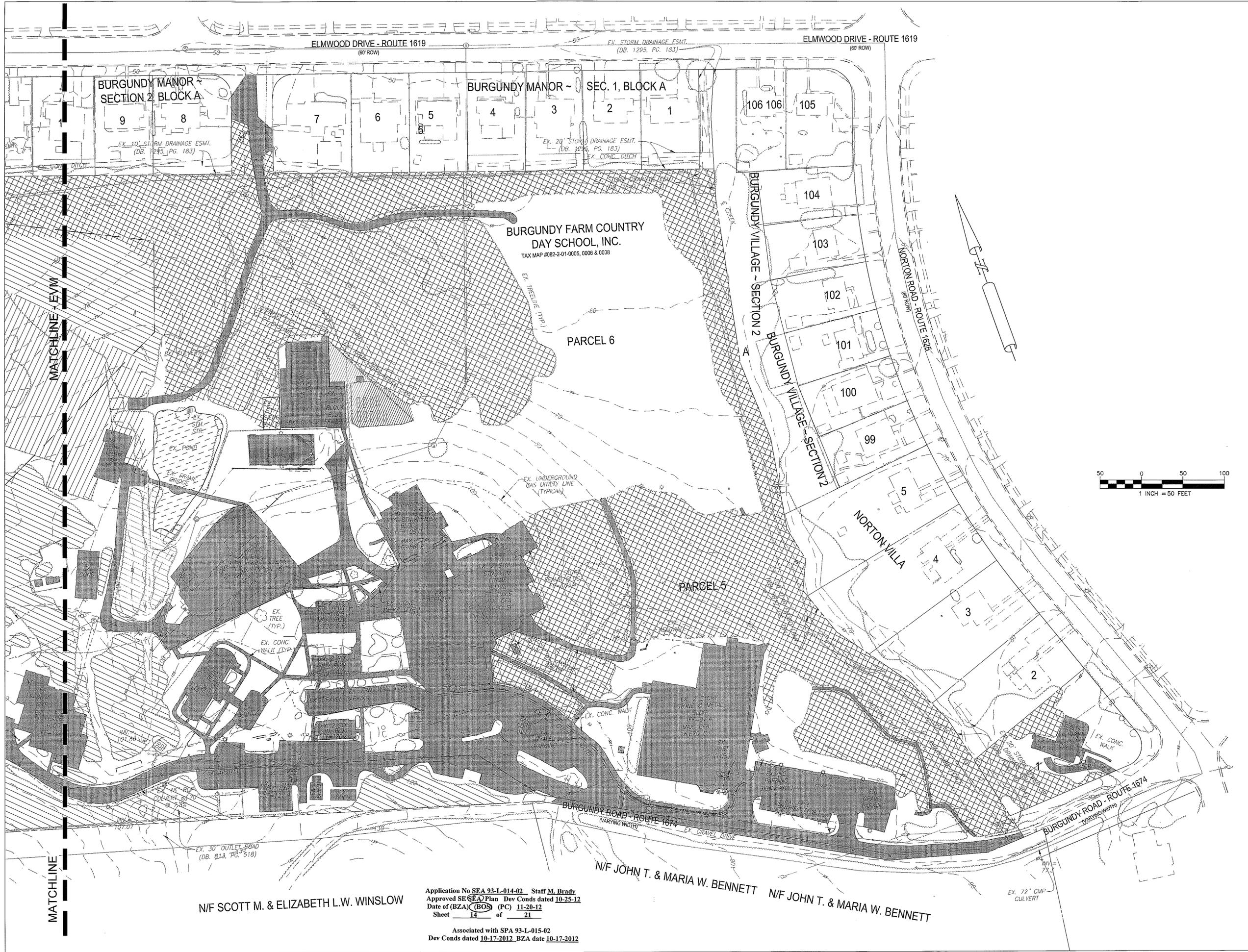
EXISTING VEGETATION  
MAP

**LJ-101**

Application No SEA 93-L-014-02 Staff M. Brady  
Approved SE/SEA Plan Dev Conds dated 10-25-12  
Date of (BZA) (BOS) (PC) 11-20-12  
Sheet 13 of 21  
Associated with SPA 93-L-015-02  
Dev Conds dated 10-17-2012, BZA date 10-17-2012



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**BURGUNDY FARM  
COUNTRY DAY SCHOOL**

1300 BURGUNDY ROAD  
FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD  
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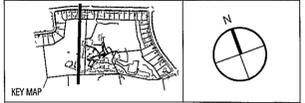
LAND USE ATTORNEY  
**WALSH, COLUCCI, LUBELEY,  
EMRICH & WALSH, P.C.**

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SUBMISSIONS / REVISIONS

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8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



DATE: AUGUST 31, 2012

PROJECT NUMBER:

SCALE: 1" = 50'

EXISTING VEGETATION  
DRAWING TITLE: MAP

**LJ-102**

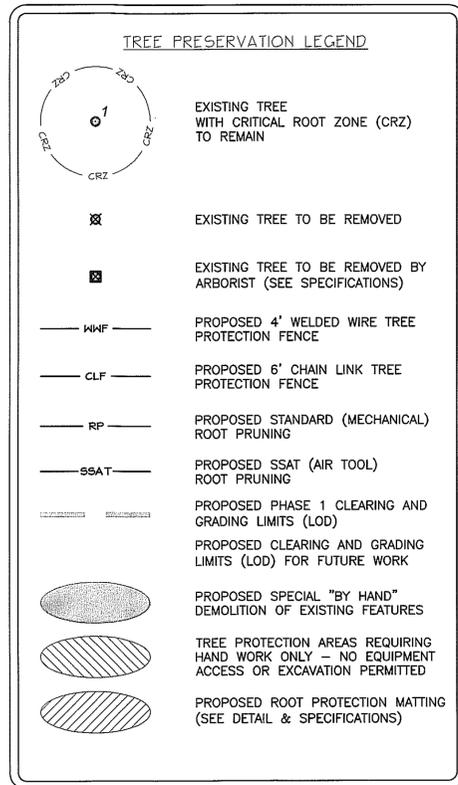
SHEET NUMBER:

N/F SCOTT M. & ELIZABETH L.W. WINSLOW

Application No SEA 93-L-014-02 Staff M. Brady  
Approved SE/SEA Plan Dev Conds dated 10-25-12  
Date of BZA (BOS) (PC) 11-20-12  
Sheet 14 of 21  
Associated with SPA 93-L-015-02  
Dev Conds dated 10-17-2012, BZA date 10-17-2012

N/F JOHN T. & MARIA W. BENNETT N/F JOHN T. & MARIA W. BENNETT

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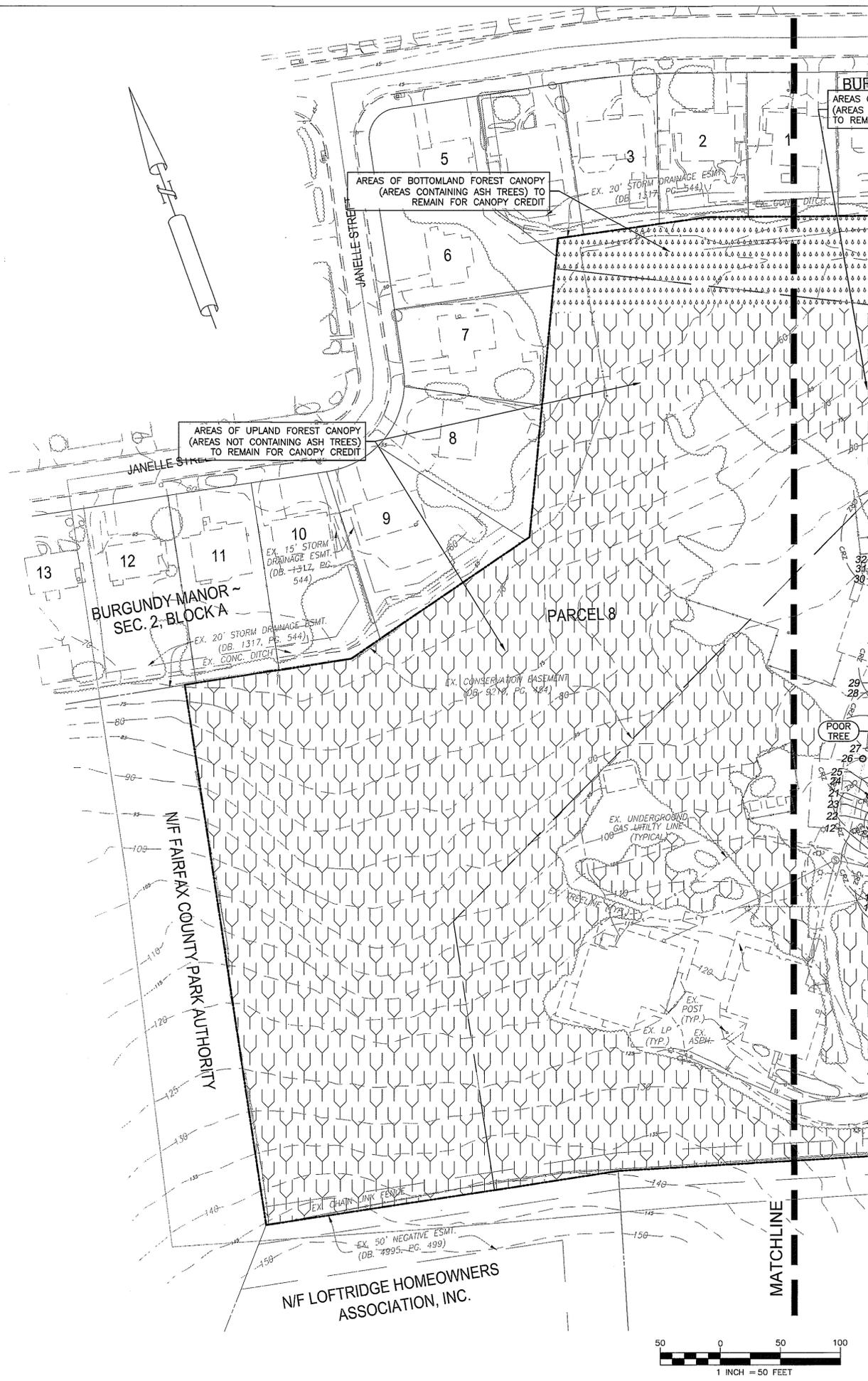


**FOREST CANOPY NOTES:**

- TOTAL AREA OF UPLAND FOREST TO REMAIN IS 258,092 SQUARE FEET
- UPLAND FOREST AREAS DO NOT CONTAIN ASH TREES
- TOTAL AREA OF BOTTOMLAND FOREST TO REMAIN IS 149,126 SQUARE FEET
- BOTTOMLAND FOREST AREAS CONTAIN ASH TREES
- REFER TO EVM TABLE (SHEET LJ-101) AND 10-YEAR TREE CANOPY CALCULATION WORKSHEET (SHEET LJ-503) FOR ADDITIONAL INFORMATION
- ADDITIONAL FORESTED AREAS AND INDIVIDUAL TREES MAY BE RETAINED ON SITE, BUT ARE NOT INCLUDED IN THESE CALCULATIONS.
- ALL FORESTED CANOPY AREAS SHOWN TO REMAIN FOR CANOPY CREDIT WILL REMAIN PROTECTED THROUGHOUT ALL PHASES OF CONSTRUCTION.

Application No SEA 93-L-014-02 Staff M. Brady  
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 Date of (BZA) (BOS) (PC) 11-20-12  
 Sheet 15 of 21

Associated with SPA 93-L-015-02  
 Dev Conds dated 10-17-2012 BZA date 10-17-2012



**BURGUNDY FARM COUNTRY DAY SCHOOL**  
 1300 BURGUNDY ROAD  
 FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD  
**OCULUS**  
 2410 17th STREET NW  
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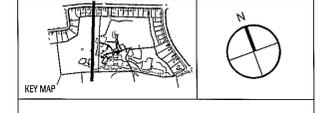
STRUCTURAL ENGINEER  
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SUBMISSIONS/ REVISIONS	
4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



DATE: AUGUST 31, 2012  
 PROJECT NUMBER:  
 SCALE: 1" = 50'

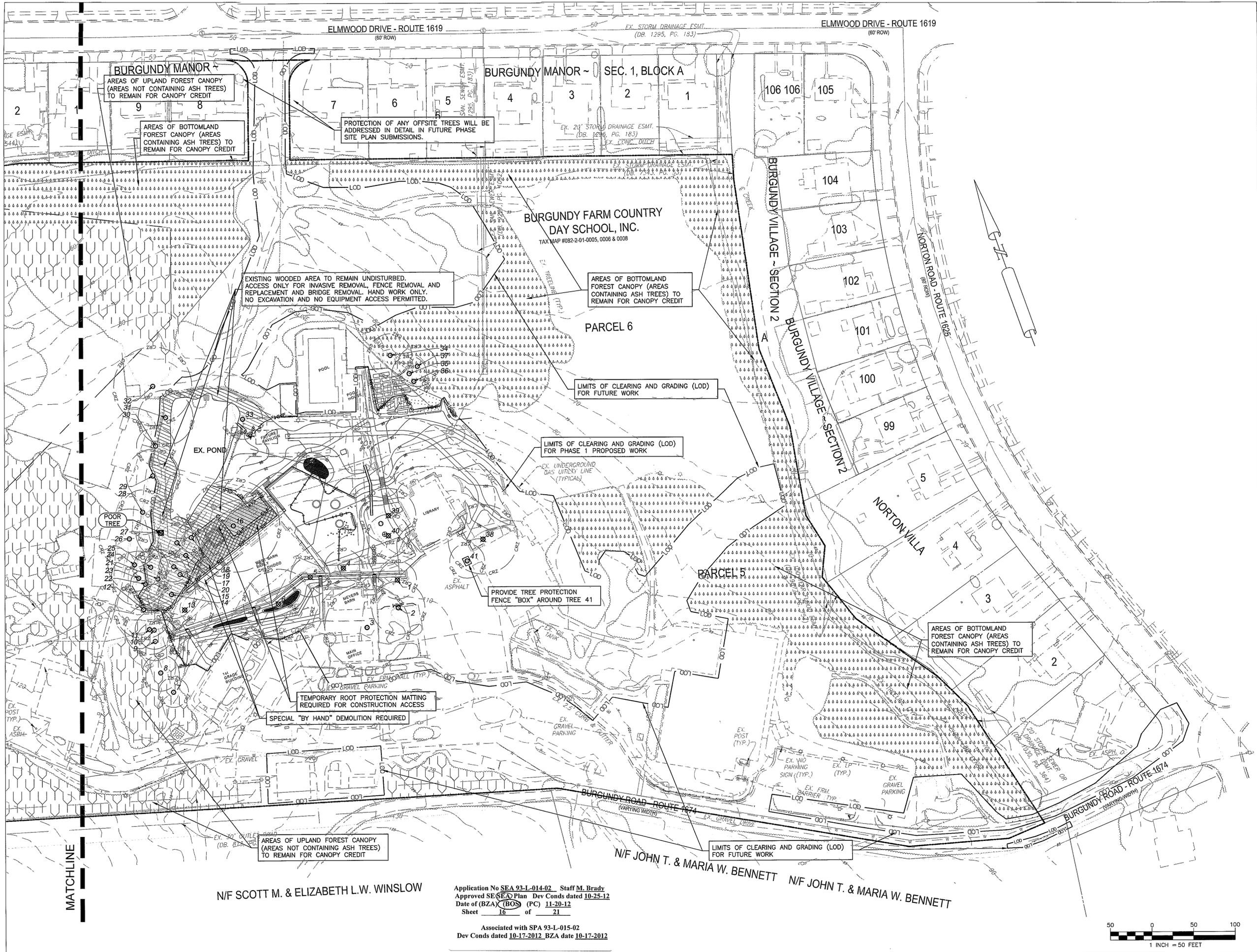
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**LJ-201**

SHEET NUMBER:



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**BURGUNDY FARM  
COUNTRY DAY SCHOOL**  
1300 BURGUNDY ROAD  
FAIRFAX COUNTY, VIRGINIA

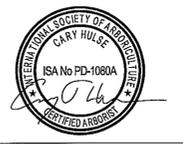
LANDSCAPE ARCHITECT / DESIGN LEAD  
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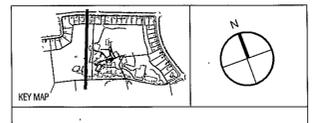
STRUCTURAL ENGINEER  
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SUBMISSIONS / REVISIONS	
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8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



DATE: AUGUST 31, 2012

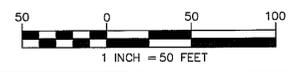
PROJECT NUMBER:

SCALE: 1" = 50'

TREE PRESERVATION  
DRAWING TITLE: PLAN

**LJ-202**  
SHEET NUMBER:

Application No SEA 93-L-014-02 Staff M. Brady  
Approved SEA Plan Dev Conds dated 10-25-12  
Date of (BZA) (BOS) (PC) 11-20-12  
Sheet 16 of 21  
Associated with SPA 93-L-015-02  
Dev Conds dated 10-17-2012, BZA date 10-17-2012



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**TREE PRESERVATION SPECIFICATIONS**

**1. GENERAL**

- 1.1. ALL MEASURES WILL BE REVIEWED AFTER INSTALLATION AND APPROVED BY OWNER AND UFM.
- 1.2. SUBSTITUTIONS OR ALTERNATIVE METHODS OR MATERIALS SHALL BE REVIEWED AND APPROVED BY PROJECT ARBORIST AND UFM.
- 1.3. ALL TREE PROTECTION MEASURES MUST BE IN PLACE PRIOR TO COMMENCEMENT OF DEMOLITION, SITE CLEARING OR CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION. TREE PROTECTION MEASURES MAY ONLY BE REMOVED WITH UFM APPROVAL.
- 1.4. REFER TO THE TREE PROTECTION ACTION KEY (TPAK) FOR SPECIFIC RECOMMENDATIONS FOR EACH TREE.

**2. REMOVAL BY ARBORIST**

- 2.1. TREES DESIGNATED AS "REMOVAL BY ARBORIST" SHALL BE REMOVED BY A QUALIFIED ARBORIST "BY HAND", TO MINIMIZE POTENTIAL FOR DAMAGE TO REMAINING TREES AND ROOTS.
- 2.2. CREWS SHALL BE DIRECTLY SUPERVISED BY A CERTIFIED ARBORIST.
- 2.3. TRUCKS AND MECHANIZED EQUIPMENT SHALL NOT ENTER THE FENCED TREE PROTECTION AREAS.
- 2.4. STUMPS SHALL BE LEFT IN PLACE OR GROUND OUT AT THE OWNERS DISCRETION, STUMPS IN TURF/LANDSCAPE AREAS OR WITHIN ROOT AERATION MATTING AREAS SHALL BE GROUND.
- 2.5. STUMP GRINDING SHALL BE WITH SMALL MACHINES SPECIFICALLY DESIGNED FOR THAT PURPOSE. NO STUMPS SHALL BE EXCAVATED EXCEPT AS DESCRIBED HEREIN. STUMPS SHALL BE GROUND NOT MORE THAN 6" BELOW GRADE AND CARE MUST BE TAKEN TO MINIMIZE DAMAGE TO ROOTS OF RETAINED TREES.

**3. TREE PROTECTION FENCE**

- 3.1. TYPICALLY, INSTALL AFTER ROOT PRUNING AND PRIOR TO CLEARING & GRADING.
- 3.2. FENCE SHALL BE ONE OF THE FOLLOWING: (SEE DETAIL)
  - 3.2.1. 4' HIGH, 14 GAUGE WELDED WIRE FENCE MOUNTED ON 6" STEEL "T" POSTS SPACED NOT MORE THAN 10' APART. FENCE SHALL BE ATTACHED TO POSTS USING GALVANIZED STEEL CLIPS OR ALUMINUM TIES. PLASTIC "ZIP" TIES SHALL NOT BE USED.
  - 3.2.2. 6' HIGH CHAIN LINK FENCE FABRIC MOUNTED ON 8", 1.5"Ø GALVANIZED STEEL PIPE LINE POSTS. CORNER POSTS SHALL BE 2"Ø. FENCE SHALL BE ATTACHED TO POSTS USING ALUMINUM TIES. PLASTIC "ZIP" TIES SHALL NOT BE USED.
  - 3.2.3. SUPER SILT FENCE INSTALLED AS SPECIFIED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
- 3.3. TREE PROTECTION AREA SIGNS SHALL BE AFFIXED TO ALL TREE PROTECTION FENCE AT 30' SPACING AVERAGE, SIGNS SHALL BE BILINGUAL (ENGLISH AND SPANISH). SIGNS SHALL NOT BE AFFIXED DIRECTLY TO TREES. SEE DETAIL.
- 3.4. SILT FENCE SHALL BE COORDINATED FOR INSTALLATION TO ENHANCE PROTECTION AND AVOID UNNECESSARY ROOT CUTS BY SILT FENCE INSTALLATION.
- 3.5. FENCE MAY BE REMOVED ONLY AFTER ALL CONSTRUCTION AND FINAL LANDSCAPING IS COMPLETE AND WITH UFM APPROVAL.

**4. ROOT PRUNE**

- 4.1. THE EXACT LOCATION AND DEPTH WILL BE DETERMINED DURING THE PRE-CONSTRUCTION MEETING. SPECIFIC EQUIPMENT & METHODS WILL BE DETERMINED BY UFM BASED UPON DEPTH & TREE IMPACT. (SEE DETAIL)
- 4.2. HAND PRUNE ROOTS OVER 1" DIAMETER WITHIN CRZS OF SIGNIFICANT TREES. STEEP SLOPES, DEEP EXCAVATIONS AND PAVEMENT/CURB REMOVAL WILL BE REVIEWED WHEN OPEN FOR HAND ROOT PRUNING DURING CONSTRUCTION.
- 4.3. COORDINATE WITH SILT FENCE INSTALLATION TO MINIMIZE UNNECESSARY ROOT DAMAGE.
- 4.4. ROOT PRUNING SHALL BE PERFORMED BY A CERTIFIED ARBORIST.

**5. WOOD CHIP MULCH**

- 5.1. INSTALL MULCH BED RINGS FOR DESIGNATED SIGNIFICANT TREES OR PROVIDE CONTINUOUS MULCH STRIP 10' TO 15' WIDE ALONG LOD WITHIN PRESERVED CRZ AREAS.
- 5.2. MULCH SHALL BE INSTALLED TO A DEPTH OF 4".
- 5.3. MULCH SHALL BE DOUBLE GROUND SHREDDED HARDWOOD, AGED FOR AT LEAST 6 MONTHS FROM AN APPROVED SOURCE. INSUFFICIENTLY OR IMPROPERLY AGED MULCH CONTAINING HIGH BACTERIAL COUNTS OR HIGH LEVELS OF BARK OR OTHER MATERIALS RESISTANT TO DECOMPOSITION SHALL NOT BE USED. MULCH SHALL NOT CONTACT TRUNK OF TREES.
- 5.4. EDGING IS NEITHER NECESSARY NOR DESIRABLE FOR THIS OPERATION.

**6. CONSTRUCTION MONITORING/INSPECTIONS**

- 6.1. A CERTIFIED ARBORIST SHALL MAKE REGULAR MONTHLY INSPECTIONS DURING ACTIVE CONSTRUCTION AND DEMOLITION AND PROVIDE REPORTS TO THE OWNER AND UFM. REPORTS SHALL DOCUMENT CONDITION OF TREE PROTECTION DEVICES AND PROVIDE RECOMMENDATIONS FOR MAINTENANCE AND/OR ADDITIONAL CARE.

**7. MISCELLANEOUS TREE PROTECTION REQUIREMENTS**

- 7.1. NO TOXIC MATERIALS SHALL BE STORED WITHIN 100' OF TREE PROTECTION AREAS.
- 7.2. ALL WORK IN OR NEAR TREE PROTECTION AREAS SHALL BE PERFORMED IN A MANNER TO MINIMIZE DAMAGE TO TREES, SHRUBS, GROUND COVER, SOIL AND ROOT SYSTEMS.
- 7.3. MECHANIZED EQUIPMENT SHALL NOT BE PERMITTED TO ENTER ANY TREE PROTECTION AREAS.

**8. CANOPY PRUNING & SUPPORT CABLES**

- 8.1. CANOPY PRUNING SHALL BE CLEANING PRUNING AND/OR RESTORATION PRUNING AND SHALL BE IN CONFORMANCE WITH CURRENT ANSI A300 STANDARDS AND ISA BEST MANAGEMENT PRACTICES.
- 8.2. PRUNING SHALL REMOVE ONLY DEAD, DYING, DAMAGED OR BROKEN BRANCHES GREATER THAN 1" IN DIAMETER. PRUNING OF SMALL TREES MAY INCLUDE REMOVAL OF LIMBS TO IMPROVE STRUCTURE.
- 8.3. FOLIAGE REMOVAL SHALL NOT BE MORE THAN 25% OF THE TOTAL LIVE CANOPY VOLUME OF ANY TREE IN ANY ONE SEASON. PRUNING SHALL NOT REMOVE INTERIOR BRANCHING EXCEPT AS OTHERWISE STATED.
- 8.4. PRUNING FOR SPECIFIC CLEARANCE (FOR CONSTRUCTION ACCESS OR PROPOSED IMPROVEMENTS) SHALL BE REVIEWED AND APPROVED BY THE OWNER AND UFM.
- 8.5. SUPPORT CABLES SHALL BE INSTALLED IN CONFORMANCE WITH CURRENT ANSI A300 STANDARDS AND ISA BEST MANAGEMENT PRACTICES.

**9. CONSTRUCTION STRATEGIES FOR TREE PROTECTION**

- 9.1. CONSTRUCTION STAGING, STOCKPILING EQUIPMENT STORAGE, ETC. SHALL BE LIMITED TO AREAS OF EXISTING PAVEMENT/GRAVEL AND AREAS WITHIN THE LOD EXCEPT AS OTHERWISE NOTED.
- 9.2. CONSTRUCTION EQUIPMENT ACCESS BETWEEN VARIOUS WORK AREAS SHALL REMAIN ON EXISTING PAVEMENT/IMPROVED SURFACES TO THE GREATEST EXTENT POSSIBLE. WHERE THIS IS NOT POSSIBLE AND WITHIN THE CRITICAL ROOT ZONE (CRZ) OF ANY TREE TO REMAIN, ACCESS SHALL BE MADE ON ROOT PROTECTION MATTING (RPM)(SEE DETAIL) OR APPROVED ALTERNATIVE. CONTRACTOR TO DETERMINE ACCESS NEEDS AND COORDINATE RPM INSTALLATION WITH THE CONTRACT ARBORIST AT THE PRE-CONSTRUCTION MEETING OR BEFORE.
- 9.3. PROPOSED LANDSCAPE PLANTINGS OUTSIDE THE LOD AND/OR WITHIN "HAND WORK ONLY" AREAS SHALL BE INSTALLED BY HAND. MECHANIZED EQUIPMENT SHALL NOT BE USED OUTSIDE THE LOD, WITHIN "HAND WORK ONLY" AREAS OR OFF OF EXISTING PAVED AREAS TO EXCAVATE FOR PLANTINGS OR FOR STAGING PLANT MATERIAL.
- 9.4. COORDINATE PLANTING LOCATIONS WITHIN CRZS WITH THE CONTRACT ARBORIST TO AVOID UNNECESSARY ROOT DAMAGE. PLANTING PITS WITHIN CRZS SHOULD BE DUG BY HAND. ROOTS GREATER THAN 1.5" SHOULD NOT BE CUT.

**10. ROOT PROTECTION MATTING**

- 10.1. TEMPORARY MATTING TO PROTECT EXISTING ROOTS AND SOILS FROM PROPOSED SHORT TERM CONSTRUCTION TRAFFIC IMPACTS.
- 10.2. TO PREPARE SITE, REMOVE ANY DEBRIS BY HAND AND SPREAD AN EVEN LAYER OF WOOD CHIP MULCH 4-6" THICK OVER THE ENTIRE AREA TO RECEIVE MATTING.
- 10.3. MATTING SHALL BE INSTALLED IN A SINGLE LAYER ON MULCH.
- 10.4. TOPSOIL SHALL NOT BE DISTURBED OR REMOVED. NO GRUBBING, GRADING, EXCAVATION OR EQUIPMENT TRAFFIC SHALL BE ALLOWED IN THE AREA TO RECEIVE RPM. EQUIPMENT MAY TRAVEL ON RPM AFTER IT IS INSTALLED, BUT SHOULD BE MINIMIZED. TRACKED EQUIPMENT SHOULD NOT TURN ON RPM TO AVOID DAMAGE.
- 10.5. MATTING MATERIAL SHALL BE TENAX TENDRAIN 770/2 OR APPROVED EQUIVALENT.
- 10.6. RPM SHALL BE INSTALLED BY A CERTIFIED ARBORIST.
- 10.7. RPM SHALL NOT BE REMOVED BY SITE CONTRACTORS.

**11. SPECIAL DEMOLITION PROCEDURES**

- 11.1. DEMOLITION OF EXISTING IMPROVEMENTS WITHIN TREE PROTECTION AREAS (TPAS) SHALL BE PERFORMED BY THE CONTRACT ARBORIST OR DIRECTLY SUPERVISED BY A CERTIFIED ARBORIST.
- 11.2. MECHANIZED EQUIPMENT SHALL NOT ENTER THE TPAS.
- 11.3. BACKFILL OF VOIDS FROM DEMOLITION WITHIN THE TPAS SHALL BE LOOSELY PLACED TOPSOIL. ONLY THE AMOUNT OF SOIL NECESSARY TO FILL THE VOID WITHOUT SPREADING OVER EXISTING ADJACENT GRADES SHALL BE ALLOWED.
- 11.4. ROOTS ENCOUNTERED DURING DEMOLITION SHALL BE REVIEWED ON A CASE-BY-CASE BASIS BY THE CONTRACT ARBORIST. THE ARBORIST SHALL PROVIDE APPROPRIATE TREATMENT OR PRUNING METHODS AS NEEDED AND IN GENERAL CONFORMANCE WITH ACCEPTED INDUSTRY STANDARDS AND THIS SECT

**12. SSAT EXCAVATION WITHIN CRZS**

- 12.1. PROPOSED EXCAVATIONS (FOR UTILITIES, DECK PIERS, ETC) WITHIN TREE PROTECTION AREAS (TPAS) SHALL BE EXCAVATED BY SUPERSONIC AIRTOOL (SSAT) TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
- 12.2. OWNER, CONTRACTOR, CONTRACT ARBORIST, AND UFM SHALL REVIEW THE PROPOSED LOCATION(S) DURING THE PRE-CONSTRUCTION MEETING.
- 12.3. PRE-WATERING OF THE PROPOSED AREAS OF EXCAVATION DURING SUMMER AND FALL MONTHS IS RECOMMENDED TO MAINTAIN ROOT / SOIL MOISTURE.
- 12.4. THE CONTRACT ARBORIST SHALL PROVIDE A QUALIFIED ARBORIST CREW EXPERIENCED WITH THE SSAT AND UTILITY EXCAVATION TO PROTECT ADJACENT TREES, OPEN THE EXCAVATION, HAND PRUNE MINOR ROOTS, AND IDENTIFY AND PROTECT PRIORITY ROOTS TO REMAIN. COORDINATION WITH THE APPROPRIATE SUB-CONTRACTOR SHALL BE MADE TO DETERMINE APPROPRIATE WIDTH, DEPTH & SEQUENCING, UTILITY INSTALLATION, BACKFILL, COMPLETION, AND COVER.

**13. SSAT LANDSCAPE PLANTING EXCAVATION**

- 13.1. PROPOSED LANDSCAPE PLANTING OF B&B PLANTS WITHIN CRITICAL ROOT ZONES WITHIN TPAS SHALL BE REVIEWED BY THE CONTRACT ARBORIST, CONTRACTOR, AND UFM IN THE FIELD TO DETERMINE POTENTIAL FOR DAMAGE TO PRIORITY ROOTS SYSTEMS OF SELECT TREES AND LAYOUT THE LIMIT OF WORK.
- 13.2. PRE-WATERING OF THE PROPOSED AREAS OF EXCAVATION DURING SUMMER AND FALL MONTHS IS RECOMMENDED TO MAINTAIN ROOT / SOIL MOISTURE.
- 13.3. THE CONTRACT ARBORIST SHALL PROVIDE A QUALIFIED ARBORIST CREW EXPERIENCED WITH THE SSAT AND LANDSCAPE PLANTING EXCAVATION TO PROTECT ADJACENT NATURAL RESOURCES AND CONSTRUCTION WORK, OPEN THE EXCAVATION, HAND PRUNE MINOR ROOTS, AND IDENTIFY AND PROTECT PRIORITY ROOTS TO REMAIN. COORDINATION WITH THE APPROPRIATE SUB-CONTRACTOR SHALL BE MADE TO DETERMINE APPROPRIATE WIDTH, DEPTH, SEQUENCING.

**14. SOIL CARE / FERTILIZATION**

- 14.1. INITIAL SOIL TESTING WITHIN TREE PROTECTION AREAS IS REQUIRED. CONDUCT INDIVIDUAL SOIL TESTS FOR SEPARATE TREE PROTECTION AREAS (SMALL ADJACENT AREAS MAY BE TESTED TOGETHER). SOIL TEST SHALL BE A REPRESENTATIVE SAMPLE FROM EACH AREA.
- 14.2. TREATMENTS TO THE TREE PROTECTION AREAS FOR SPECIFIED TREES (SEE TPAK) SHALL BE BASED ON THE RESULTS OF THE SOIL ANALYSIS. FERTILIZATION SHALL BE CONSISTENT WITH THE RECOMMENDATIONS OF THE ANSI A-300 (PART 2) TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE - STANDARD PRACTICES (FERTILIZATION) 2004.
- 14.3. APPLICATION RATES SHALL NOT EXCEED A RATE OF 1 POUND OF ACTUAL NITROGEN PER 1,000 SQUARE FEET ANNUALLY. FERTILIZER USED SHOULD INCLUDE HUMIC ACIDS, SOLUBLE SEAWEED EXTRACTS AND SOIL BIOLOGICAL INOCULANTS.
15. **TREE CONDITION MONITORING INSPECTIONS**
  - 15.1. CONTRACT ARBORIST SHALL PROVIDE MONITORING OF THE CONDITION OF RETAINED TREES IN TREE PROTECTION AREAS, AND TREATMENT OF DETRIMENTAL CONDITIONS (INSECTS, DISEASES, NUTRIENT DEFICIENCIES, SOIL MOISTURE, ETC.), AS THEY OCCUR, OR AS APPROPRIATE FOR EFFECTIVE MANAGEMENT.
  - 15.2. INSPECTIONS SHALL BE PERFORMED AT LEAST MONTHLY DURING THE GROWING SEASON, BEGINNING PRIOR TO CONSTRUCTION AND CONTINUING THROUGHOUT CONSTRUCTION AND FOR AT LEAST ONE YEAR SUBSEQUENT TO COMPLETION OF CONSTRUCTION ACTIVITIES.
  - 15.3. A WRITTEN SUMMARY REPORT INCLUDING SPECIFIC TREATMENTS MADE AND RECOMMENDATIONS FOR ADDITIONAL TREATMENTS SHALL BE PROVIDED TO THE OWNER AND PROJECT ARBORIST SUBSEQUENT TO EACH INSPECTION.

**16. TREE GROWTH REGULATOR (TGR)**

- 16.1. PACLOBUTRAZOL SOIL APPLIED TREE GROWTH REGULATOR (CAMBISTAT® OR EQUIVALENT) SHALL BE APPLIED TO INDICATED TREES. APPLICATIONS SHALL FOLLOW MANUFACTURER'S LABEL AND APPLICABLE LAWS.
- 16.2. TGR REDUCES CANOPY GROWTH WHICH CAN INCREASE FIBROUS ROOT SYSTEM GROWTH OVER 2-3 YEARS. THIS CAN INCREASE TOLERANCE TO DROUGHT STRESS AND IMPROVE ABSORPTION OF NUTRIENTS AND MOISTURE DURING THE STRESS RECOVERY PERIOD.

**17. TREE TRUNK PROTECTION WRAP**

- 17.1. TRUNKS OF TREES IN CLOSE PROXIMITY TO CONSTRUCTION SHALL BE PROTECTED WITH A SINGLE WRAP OF GEOCOMPOSITE. GEOCOMPOSITE SHALL BE DOUBLE SIDED, GEONET CORE WITH NON-WOVEN COVERING (SUCH AS TENAX TENDRAIN 770/2) OR EQUIVALENT.
- 17.2. WRAP SHALL BE NOT LESS THAN 10' HIGH ON TRUNK OR UP TO THE LOWEST LIMB (WHICHEVER IS LESS). EXPOSED ROOT FLARE SHALL ALSO BE FULLY COVERED.
- 17.3. WRAP SHALL BE TIED WITH ROPE OR WIRE. TIE MATERIAL SHALL NOT CONTACT TRUNK.
- 17.4. WRAP SHALL BE REMOVED PROMPTLY AFTER CONSTRUCTION.

**18. INVASIVE SPECIES CONTROL / HUMAN HEALTH RISK MANAGEMENT**

- 18.1. A CERTIFIED ARBORIST SHALL INSPECT TREE PROTECTION AREAS FOR INVASIVE AND/OR EXOTIC PLANT SPECIES. FINDINGS SHALL BE DOCUMENTED AND SUBMITTED TO OWNER AND UFM.
- 18.2. ANY INVASIVE SPECIES FOUND SHALL BE REMOVED/TREATED BY THE CONTRACT ARBORIST TO MINIMIZE THE SPREAD OF NON-DESIREABLE SPECIES. TREATMENTS AND REMOVAL METHODS SHALL CONFORM TO LOCAL, STATE AND FEDERAL REGULATIONS AND ACCEPTED INDUSTRY STANDARDS. REFER TO ISA BEST MANAGEMENT PRACTICES. A TREATMENT PLAN SHALL BE DEVELOPED AND SUBMITTED TO OWNER AND UFM.
- 18.3. INVASIVE VINES SHALL BE HAND CUT AWAY FROM ALL RETAINED TREES.
- 18.4. OWNER SHALL REMOVE FROM TREE PROTECTION AREAS, ALL DEBRIS THAT MAY POSE A HUMAN HEALTH RISK (SUCH AS METAL, WIRE OR GLASS). ANY OTHER CONDITION FOUND TO BE A POTENTIAL RISK SHALL BE REPORTED TO THE OWNER FOR FURTHER MANAGEMENT.

**ADDITIONAL NOTES:**

1. TREE LOCATIONS MAY BE APPROXIMATE. OWNER AND CONTRACT ARBORIST SHALL VERIFY ALL TREE LOCATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND/OR TREATMENT OR REMOVAL.
2. PRE-CONSTRUCTION MEETING AND TREE PRESERVATION WALK THROUGH SHALL BE HELD PRIOR TO COMMENCEMENT OF DEMOLITION/CONSTRUCTION ACTIVITY. UFM, OWNER, DESIGN TEAM MEMBERS (PROJECT ARBORIST, LANDSCAPE ARCHITECT, ENGINEER AND ARCHITECT), CONTRACT ARBORIST, SITE AND LANDSCAPE CONTRACTORS SHALL ATTEND. THE LOD SHALL BE CLEARLY MARKED IN THE FIELD FOR THIS MEETING.
3. THE INSPECTION OF THESE TREES CONSISTED SOLELY OF A VISUAL INSPECTION FROM THE GROUND. WHILE MORE THOROUGH TECHNIQUES ARE AVAILABLE FOR INSPECTION AND EVALUATION, THEY WERE NEITHER REQUESTED NOR CONSIDERED NECESSARY OR APPROPRIATE AT THIS TIME.
4. TREES RATED "POOR" OR "DEAD" THAT ARE NOT RECOMMENDED FOR REMOVAL DUE TO CONSTRUCTION IMPACT MAY WARRANT FURTHER EVALUATION AND/OR TREATMENT OR REMOVAL.
5. UFM SHALL BE NOTIFIED AFTER TREE PROTECTION FENCE INSTALLATION AND ROOT PRUNING IS COMPLETE. UFM SHALL BE GIVEN THE OPPORTUNITY TO INSPECT AND APPROVE THESE MEASURES BEFORE ANY SITE CLEARING OR DEMOLITION WORK MAY BEGIN.

**Definitions**

- **Certified Arborist:** Credential of an individual arborist issued and administered by the International Society of Arboriculture. This credential must be current and valid to qualify to use the copyrighted designation of "Certified Arborist". Refer to [www.isa-arbor.com](http://www.isa-arbor.com) for additional information.
- **Project Arborist:** Arboricultural firm contracted to provide site investigation and documentation (tree inventories, assessments, forest stand delineations, etc.) and develop tree preservation plans, methods, details and specifications in collaboration with the project design team.
- **Contract Arborist:** Arboricultural firm contracted to implement the approved tree preservation plans on site. All crews conducting arboricultural operations on site shall consist of at least one Certified Arborist who directly oversees all work by that crew. Arboricultural operations include, but are not limited to, pruning, tree protection device installation and maintenance (fence, matting, etc.), root pruning, air tool root excavation/exploration, soil care activities, soil testing, mulch application, tree inspections, pesticide/chemical applications and tree removal.

Application No SEA 93-L-014-02 Staff M. Brady  
 Approved SEA Plan Dev Conds dated 10-25-12  
 Date of (BZA) (BO) (PC) 11-20-12  
 Sheet 17 of 21

Associated with SPA 93-L-015-02  
 Dev Conds dated 10-17-2012 BZA date 10-17-2012

**BURGUNDY FARM  
COUNTRY DAY SCHOOL**

1300 BURGUNDY ROAD  
FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD

**O C U L U S**

2413 17th STREET NW  
SUITE 201  
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**MESSEN ASSOCIATES**

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ARBORIST

**DAVEY RESOURCE GROUP**

2138 PRIEST BRIDGE CT  
SUITE 4  
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LAND USE ATTORNEY

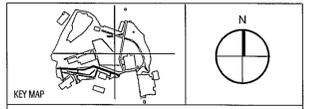
**WALSH, COLUCCI, LUBELEY,  
EMRICH & WALSH, P.C.**

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ARLINGTON, VA 22201  
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**SUBMISSIONS/ REVISIONS**

DATE	REVISION
4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



DATE: AUGUST 31, 2012

PROJECT NUMBER:

SCALE: 1" = 10'

TREE PRESERVATION  
NOTES & DETAILS

**LJ-501**

SHEET NUMBER:

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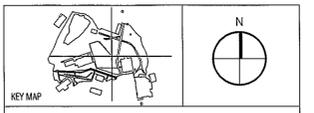
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SUBMISSIONS/ REVISIONS	
4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS

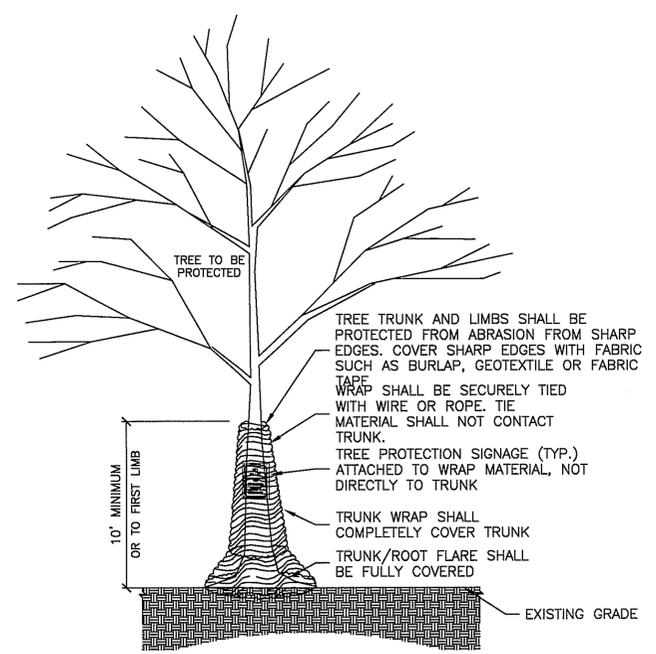


DATE: AUGUST 31, 2012  
PROJECT NUMBER:  
SCALE: 1" = 10'

TREE PRESERVATION  
NOTES & DETAILS

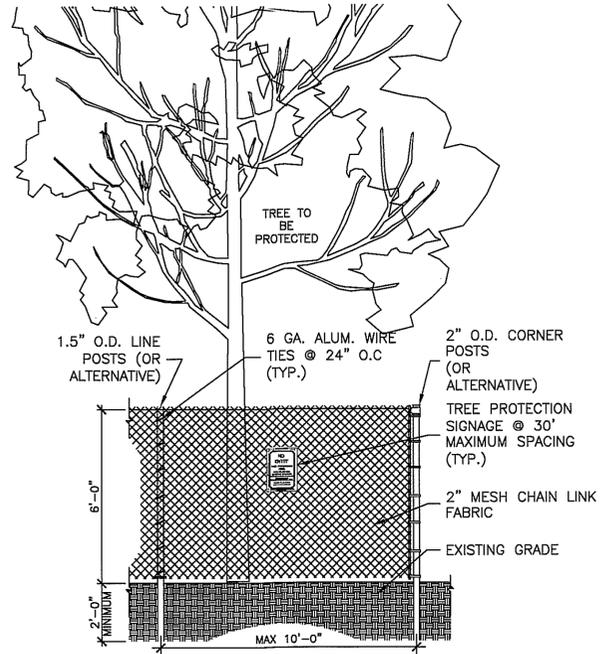
**LJ-502**

SHEET NUMBER:



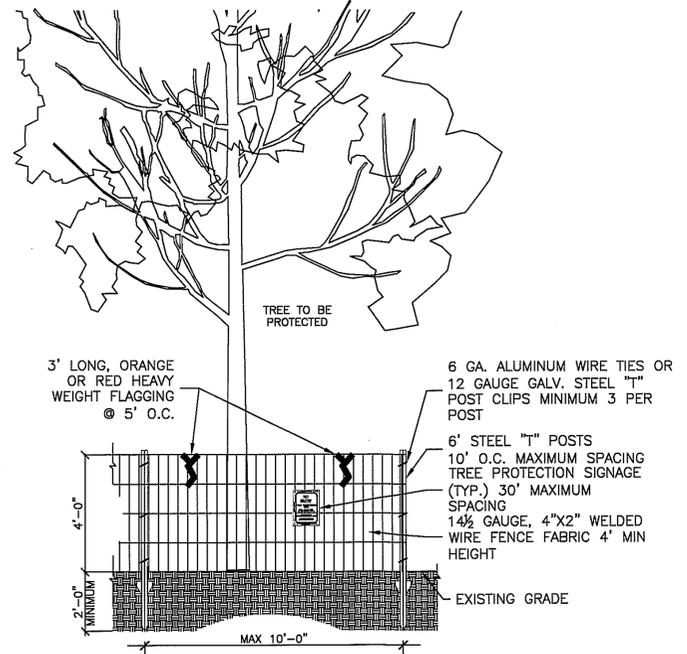
- NOTES:
1. TRUNK WRAP MATERIAL SHALL BE DOUBLE SIDED GEOCOMPOSITE, GEONET CORE WITH NON-WOVEN COVERING (SUCH AS TENAX TENDRAIN 770/2) OR EQUIVALENT.
  2. WRAP SHALL BE INSTALLED BY A CERTIFIED ARBORIST.
  3. WRAP SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. REMOVE WRAP ONLY WITH APPROVAL AND AFTER ALL SITE WORK HAS BEEN COMPLETED.
  4. WRAP SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. REMOVE WRAP ONLY WITH APPROVAL AND AFTER ALL SITE WORK HAS BEEN COMPLETED.
  5. WRAP SHALL BE REMOVED PROMPTLY AFTER CONSTRUCTION.
  6. MAJOR SCAFFOLD LIMBS MAY ALSO REQUIRE THIS PROTECTION AS DIRECTED BY THE PROJECT ARBORIST.

**3 TREE TRUNK & LIMB PROTECTION WRAP (TYP)**  
SCALE: NTS



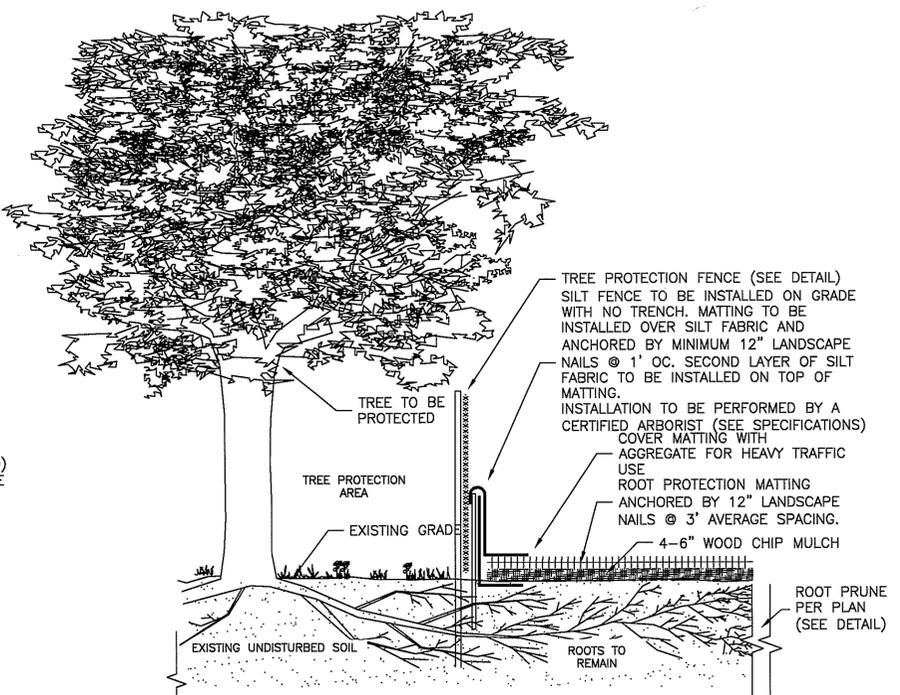
- NOTES:
1. TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING OR DEMOLITION.
  2. SUPER SILT FENCE MAY BE USED IN LIEU OF WELDED WIRE FOR TREE PROTECTION PROVIDED IT IS INSTALLED AND MAINTAINED AS A TREE PROTECTION MEASURE AND IS POSTED WITH TREE PROTECTION SIGNS.
  3. TREE PROTECTION FENCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. REMOVE FENCE ONLY WITH APPROVAL AND AFTER ALL SITE WORK HAS BEEN COMPLETED.

**2 CHAIN LINK TREE PROTECTION FENCE (TYP)**  
SCALE: NTS



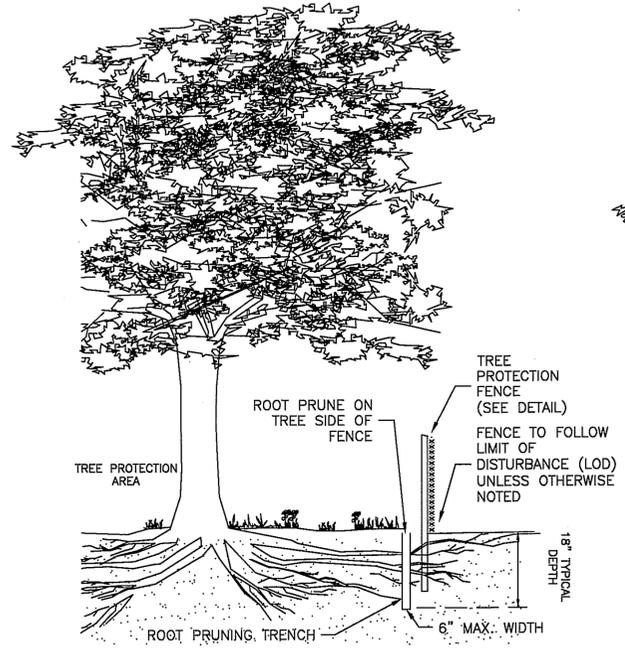
- NOTES:
1. TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING OR DEMOLITION.
  2. WHERE REQUIRED, SUPER SILT FENCE MAY BE USED IN LIEU OF WELDED WIRE FOR TREE PROTECTION PROVIDED IT IS INSTALLED AND MAINTAINED AS A TREE PROTECTION MEASURE AND IS POSTED WITH TREE PROTECTION SIGNS.
  3. TREE PROTECTION FENCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. REMOVE FENCE ONLY WITH APPROVAL AND AFTER ALL SITE WORK HAS BEEN COMPLETED.

**1 WELDED WIRE TREE PROTECTION FENCE (TYPICAL)**  
SCALE: NTS



- NOTES:
1. MATTING MATERIAL SHALL BE DOUBLE SIDED GEOCOMPOSITE, GEONET CORE WITH NON-WOVEN COVERING (SUCH AS TENAX TENDRAIN 770/2) OR APPROVED EQUIVALENT.
  2. RPM SHALL BE INSTALLED BY A CERTIFIED ARBORIST.
  3. TO BE USED FOR DESIGNATED TEMPORARY CONSTRUCTION ACCESS AND STOCKPILE AREAS.
  4. MATTING SHALL BE PLACED ON 4-6\"/>

**5 TEMPORARY ROOT PROTECTION MATTING (TYPICAL)**  
SCALE: NTS



- NOTES:
1. TREE PROTECTION AREA WILL BE DETERMINED AS PART OF THE PLAN REVIEW PROCESS. EXACT LOCATION, DEPTH AND METHODS OF ROOT PRUNING TO BE DETERMINED IN THE FIELD BY PROJECT ARBORIST.
  2. EXACT LOCATION OF TREE PROTECTION AREAS SHALL BE STAKED OR FLAGGED PRIOR TO TRENCHING.
  3. TRENCH SHOULD BE BACKFILLED IMMEDIATELY OR INCORPORATED WITH SILT FENCE INSTALLATION.
  4. ROOTS SHOULD BE SEVERED BY TRENCHER, VIBRATORY FLOW OR APPROVED EQUIVALENT. ROOTS OVER 1.5\"/>

**4 ROOT PRUNING (TYPICAL)**  
SCALE: NTS

Application No **SEA 93-L-014-02** Staff **M. Brady**  
Approved SE **SEA Plan** Dev Conds dated **10-25-12**  
Date of **(BZA) (BOS) (PC) 11-20-12**  
Sheet **18** of **21**

Associated with SPA 93-L-015-02  
Dev Conds dated **10-17-2012**, BZA date **10-17-2012**

Y:\2012\BurgundyFarm\dwg\DRG\DRG-BURGUNDY FARM\_2012.09.10\_SEA\_rev3.dwg, 9/10/2012 3:53:40 PM, hulek, DWG to PDF.pc3, ARCH full bleed D (24.00 x 36.00 inches), Davey Resource Group, Land Development Solutions

TREE PROTECTION ACTION KEY (TPAK)

Tree #	DBH (Diameter at 4.5 feet above grade)	Common Name	Botanical Name	Condition Rating %	Condition Rating	CRZ Critical Root Zone Radius in Ft. (1.5 x 1.5 x DBH)	Recommended Preservation Measures												Comments	Additional Notes	Condition Notes
							Removal	Root Prune	SBK (B) / H&M / Root Prune	Tree Protection Fence	Mulch	Year 1 Soil Care	Year 2 Soil Care	Year 3-5 Soil Care	Tree Growth Regulator	Tree Condition Inspections	Temp Root Protection Mat.	Demolition Oversight/Monitoring			
1	15	oak, willow	Quercus phellos	71	Good	23	X												restricted space	Large DW (3+), Weak Union, Stressed,	
2	21	ash, white	Fraxinus americana	66	Fair	32				X	X										
3	34	ash, white	Fraxinus americana	71	Good	51				X	X										
4	15	pear, common	Pyrus communis	64	Fair	23	X												dead leader in wall	Large DW (3+),	
5	16	redcedar, eastern	Juniperus virginiana	66	Fair	24	X													Stressed,	
6	26	ash, white	Fraxinus americana	61	Fair	42	X													Narrow Crown,	
7	12	tuliptree	Liriodendron tulipifera	73	Good	18				X										streambank, lean	
8	14.5	ash, white	Fraxinus americana	54	Fair	22				X										One Sided, Overhead Utility,	
9	15	sweetgum, American	Liquidambar styraciflua	68	Fair	23				X										Small DW (1-2'), Suppressed, Vines,	
10	15	sweetgum, American	Liquidambar styraciflua	68	Fair	23				X										Small DW (1-2'), Excessive Lean,	
11	20	hickory, spp.	Carya spp.	68	Fair	30				X											
12	23	tuliptree	Liriodendron tulipifera	54	Fair	35				X											
13	16, 17	ash, white	Fraxinus americana	61	Fair	33	X													dead leader	
14	19	ash, white	Fraxinus americana	57	Fair	29				X	X	X									
15	15	ash, white	Fraxinus americana	66	Fair	23				X	X	X									
16	37	ash, white	Fraxinus americana	68	Fair	56				X	X	X	X	X	X	X	X				
17	13	ash, white	Fraxinus americana	70	Good	20				X	X	X									
18	12	cherry, black	Prunus serotina	54	Fair	18				X	X	X									
19	15	tuliptree	Liriodendron tulipifera	66	Fair	23				X											
20	12	cherry, sweet	Prunus avium	68	Fair	18				X											
21	24	ash, white	Fraxinus americana	68	Fair	36				X											
22	12	oak, chestnut	Quercus prinus	73	Good	18				X											
23	22	tuliptree	Liriodendron tulipifera	71	Good	33				X											
24	21	oak, southern red	Quercus falcata	61	Fair	32				X											
25	14	oak, chestnut	Quercus prinus	71	Good	21				X											
26	24	oak, chestnut	Quercus prinus	63	Fair	36				X											
27	20	oak, chestnut	Quercus prinus	46	Poor	30				X											
28	18	hickory, spp.	Carya spp.	68	Fair	27				X											
29	21	oak, white	Quercus alba	71	Good	32				X											
30	15	beech, American	Fagus grandifolia	71	Good	23				X											
31	22	willow, weeping	Salix babylonica	69	Fair	33				X											
32	31	oak, black	Quercus velutina	70	Good	47				X											
33	16	sycamore, American	Platanus occidentalis	73	Good	24				X	X	X									
34	16, 10	royal paulownia	Paulownia tomentosa	55	Fair	26				X											
35	14	royal paulownia	Paulownia tomentosa	50	Fair	21				X											
36	12	royal paulownia	Paulownia tomentosa	50	Fair	18				X											
37	16	ash, white	Fraxinus americana	50	Fair	24				X											
38	28	mulberry, spp.	Morus spp.	70	Good	42	X														
39	22	redcedar, eastern	Juniperus virginiana	72	Good	33	X														
40	17	redcedar, eastern	Juniperus virginiana	72	Good	26	X														
41	14	oak, willow	Quercus phellos	71	Good	21				X	X										

Application No SEA 93-L-014-02 Staff M. Brady  
 Approved SE SEA Plan Dev Conds dated 10-25-12  
 Date of (BZA) (BOS) (PC) 11-20-12  
 Sheet 19 of 21

Associated with SPA 93-L-015-02  
 Dev Conds dated 10-17-2012, BZA date 10-17-2012

**Table 12.3 Tree Preservation Target Calculations and Statement**

A	Pre-development area of existing tree canopy (from Existing Vegetation Map) =	523,158
B	Percentage of gross site area covered by existing tree canopy =	40.33%
C	Percentage of 10-year tree canopy required for site (see Table 12.4) =	25.00%
D	Percentage of the 10-year tree canopy requirement that should be met through tree preservation =	10.08%
E	Proposed percentage of canopy requirement that will be met through tree preservation =	145.46%
F	Has the Tree Preservation Target minimum been met?	YES
G	If No for line F, then a request to deviate from the Tree preservation Target shall be provided on the plan that states one or more of the justification listed in §12-0507.3 along with a narrative that provides a site-specific explanation of why the Tree Preservation target cannot be met. Provide Sheet Number where deviation request is located.	
H	If step G requires a narrative, it shall be prepared in accordance with §12-0507.4	
I	Place this information prior to the 10-year Tree Canopy Calculations as per instructions in Table 12.12	

**Table 12.12 10-year Tree Canopy Calculation Worksheet**

Step	Total	Reference
<b>A. Tree Preservation Target and Statement</b>		
A 1	Place the Tree Preservation Target calculations and statement here preceding the 10-year tree canopy calculations	see § 12-0507.2 for list of required elements and worksheet
<b>B. Tree Canopy Requirements</b>		
B 1	Identify gross site area =	1,297,251 § 12-0510.1A
B 2	Subtract area dedicated to parks and road frontage =	0 § 12-0510.1B
B 3	Subtract area of exemptions =	0 § 12-0510.1C(1-6) see below
B 4	Adjusted gross site area (B1-B2) =	1,297,251
B 5	Identify site's zoning and/or use	R-4
B 6	Percentage of 10-year tree canopy required =	25.00% § 12-509.1 & Table 12.4
B 7	Area of 10-year tree canopy required (B4 x B6) =	324,313
B 8	Modification of 10-year Tree Canopy Requirements requested?	NO Yes or No
B 9	If B8 is yes, then list plan sheet where modification request is located	Sheet Number
<b>C. Tree Preservation</b>		
C 1	Tree Preservation Target Area =	130,789
C 2	Total canopy area to remain meeting standards of § 12-0200 =	258,092
C 3	C 2 x 1.25 =	322,615 § 12-509.3B
C 3a	Total canopy area to remain including an ash component =	149,126
C 3b	C 3a x 1.0 =	149,126 No additional credit taken for areas with ash trees
C 4	Total canopy area provided by unique or valuable forest or woodland communities =	0
C 5	C 4 x 1.5 =	0 § 12-509.3B(1)
C 6	Total of canopy area provided by "Heritage," "Memorial," "Specimen," or "Street" trees =	0
C 7	C 6 x 1.5 to 3.0 =	0 § 12-509.3B(2)
C 8	Canopy area of trees within Resource Protection Areas and 100-year floodplains =	0
C 9	C 8 x 1.0 =	0 § 12-509.3C(1)
C 10	Total of C3, C5, C7 and C9 =	471,741 If area of C10 is less than B7 remainder of requirement must be met through tree planting - go to D
<b>D. Tree Planting</b>		
D 1	Area of canopy to be met through tree planting (B7-C10) =	0
D 2	Area of canopy planted for air quality benefits =	0
D 3	x 1.5 =	0 § 12-509.4B(1)
D 4	Area of canopy planted for energy conservation =	0
D 5	x 1.5 =	0 § 12-509.4B(2)
D 6	Area of canopy planted for water quality benefits =	0
D 7	x 1.25 =	0 § 12-509.4B(3)
D 8	Area of canopy planted for wildlife benefits =	0
D 9	x 1.5 =	0 § 12-509.4B(4)
D 10	Area of canopy provide by native trees =	0
D 11	x 1.5 =	0 § 12-509.4B(5)
D 12	Area of canopy provided by improved cultivars and varieties =	0
D 13	x 1.25 =	0 § 12-509.4B(6)
D 14	Area of canopy provided through tree seedlings =	0 § 12-509.4D(1)
D 15	Area of canopy provided through native shrubs or woody seed mix =	0 § 12-509.4D(1)(a)
D 16	x 1.0 =	0 § 12-509.4D(1)(a)
D 17	Percentage of D14 represented by D15 =	0 Must not exceed 33% of D14
D 18	Total of canopy area provided through tree planting =	0
D 19	Is an offsite planting relief requested?	NO Yes or No
D 20	Tree Bank or Tree Fund?	§ 12-5011
D 21	Canopy area requested to be provided through offsite banking or tree fund =	0
D 22	Amount to be deposited into the Tree Preservation and Planting Fund =	0
<b>E. Total of 10-year Tree Canopy Provided</b>		
E 1	Total of canopy area provided through tree preservation (C10) =	471,741
E 2	Total of canopy area provided through tree planting (D17) =	0
E 3	Total of canopy area provided through offsite mechanism (D19) =	0
E 4	Total of 10-year Tree Canopy Provided =	471,741 Total of E1 through E3. Area should meet or exceed area in B6

**BURGUNDY FARM COUNTRY DAY SCHOOL**  
 1300 BURGUNDY ROAD  
 FAIRFAX COUNTY, VIRGINIA

LANDSCAPE ARCHITECT / DESIGN LEAD  
**OCULUS**  
 2410 17th STREET NW  
 SUITE 201  
 WASHINGTON, DC 20009  
 P 202.588.5454  
 F 202.588.5449  
 WWW.OCULUS-DC.COM

CIVIL ENGINEER  
**WILES MENSCH CORPORATION**  
 11860 SUNRISE VALLEY DRIVE  
 SUITE 200  
 RESTON, VA 20191  
 P 703.391.7600  
 F 703.284.0995

STRUCTURAL ENGINEER  
**MESEN ASSOCIATES**  
 8346 TRAFORD LANE  
 SUITE 100  
 SPRINGFIELD, VA 22152  
 P 703.866.7771  
 F 703.866.7766

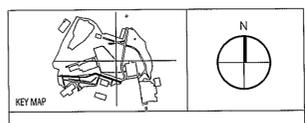
ARBORIST  
**DAVEY RESOURCE GROUP**  
 2138 PRIEST BRIDGE CT  
 SUITE 4  
 CROFTON, MD 21114  
 P 410.774.0024  
 F 301.858.0184

LAND USE ATTORNEY  
**WALSH, COLUCCI, LUBELEY, EMRICH & WALSH, P.C.**  
 2200 CLARENDON BLVD.  
 SUITE 1300  
 ARLINGTON, VA 22201  
 P 703.526.4700  
 F 703.526.3197



SUBMISSIONS/ REVISIONS

4/17/12	SPECIAL EXCEPTION AMENDMENT/ SPECIAL PERMIT
8/17/12	REVISED PER COUNTY COMMENTS
8/31/12	REVISED PER COUNTY COMMENTS
9/12/12	REVISED PER COUNTY COMMENTS



DATE: AUGUST 31, 2012  
 PROJECT NUMBER:  
 SCALE: 1" = 10'

TREE PRESERVATION NOTES & DETAILS

**LJ-503**

SHEET NUMBER

**NOTE:**  
 UNDERGROUND UTILITIES LOCATED FROM EXISTING RECORDS, ACTUAL LOCATION MAY VARY. EXISTING TOPOGRAPHY BASED ON FIELD RUN SURVEY AS PREPARED BY LARRY E. NEWMAN, C.L.S., OF STERLING, VA, IN AUGUST 1992, AS UPDATED TO INCLUDE PROPOSED IMPROVEMENTS PER APPROVED SITE PLAN # 8897-SP-01 AS PREPARED BY R.C. FIELDS JR. & ASSOC. IN APRIL, 1994.

**SPECIAL EXCEPTION DATA:**

**OWNER/APPLICANT:**  
 BURGUNDY FARM COUNTRY DAY SCHOOL, INC.  
 3700 BURGUNDY ROAD  
 FAIRFAX COUNTY, VIRGINIA  
 ATTN: LOUISE GARYEY  
 TELE: 960-3431  
 FAX: 960-5056

PROPERTY IS CURRENTLY IN THE NAME OF BURGUNDY FARM COUNTRY DAY SCHOOL, INC. AS RECORDED A/E:  
 DB: 1034 P. 0339  
 DB: 0711 P. 0113  
 DB: 1225 P. 36

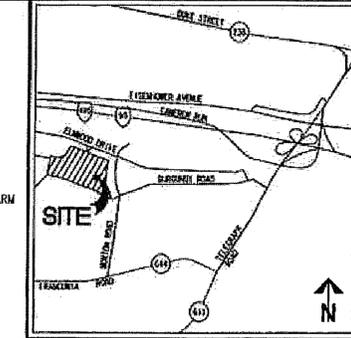
ZONE: R-4

SITE AREA OF SPECIAL EXCEPTION: 1,011,787 S.F.  
 OR 23,227.4 ACRES

EXISTING USE: PRIVATE SCHOOL (CATEGORY 3 S.E. USE)  
 COMMUNITY POOL (GROUP 5 S.P. USE)

SEE SHEET 2 OF 2 FOR ZONING ORDINANCE TABULATION AND SPECIAL EXCEPTION NOTES

**VICINITY MAP**  
 SCALE: 1"=2000'



**NOTES:**

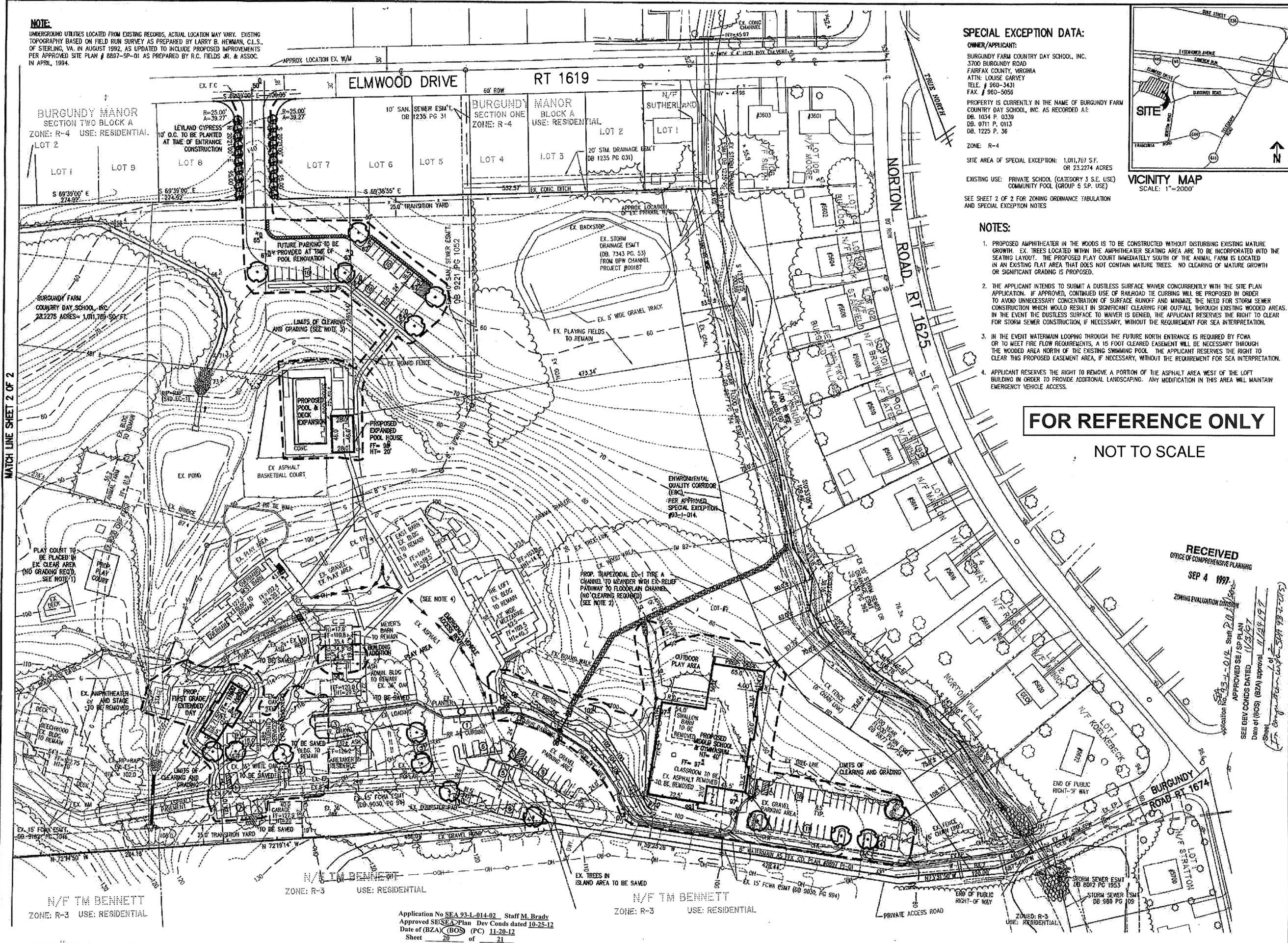
- PROPOSED AMPHITHEATER IN THE WOODS IS TO BE CONSTRUCTED WITHOUT DISTURBING EXISTING MATURE GROWTH. EX. TREES LOCATED WITHIN THE AMPHITHEATER SEATING AREA ARE TO BE INCORPORATED INTO THE SEATING LAYOUT. THE PROPOSED PLAY COURT IMMEDIATELY SOUTH OF THE ANNUAL FARM IS LOCATED IN AN EXISTING FLAT AREA THAT DOES NOT CONTAIN MATURE TREES. NO CLEARING OF MATURE GROWTH OR SIGNIFICANT GRADING IS PROPOSED.
- THE APPLICANT INTENDS TO SUBMIT A DUSTLESS SURFACE WAIVER CONCURRENTLY WITH THE SITE PLAN APPLICATION. IF APPROVED, CONTINUED USE OF RAILROAD TIE CURBING WILL BE PROPOSED IN ORDER TO AVOID UNNECESSARY CONCENTRATION OF SURFACE RUNOFF AND MINIMIZE THE NEED FOR STORM SEWER CONSTRUCTION WHICH WOULD RESULT IN SIGNIFICANT CLEARING FOR OUTFALL THROUGH EXISTING WOODED AREAS. IN THE EVENT THE DUSTLESS SURFACE TO WAIVER IS DENIED, THE APPLICANT RESERVES THE RIGHT TO CLEAR FOR STORM SEWER CONSTRUCTION, IF NECESSARY, WITHOUT THE REQUIREMENT FOR SEA INTERPRETATION.
- IN THE EVENT WATERMAIN LOOPING THROUGH THE FUTURE NORTH ENTRANCE IS REQUIRED BY FCWA OR TO MEET FIRE FLOW REQUIREMENTS, A 15 FOOT CLEARED EASEMENT WILL BE NECESSARY THROUGH THE WOODED AREA NORTH OF THE EXISTING SWIMMING POOL. THE APPLICANT RESERVES THE RIGHT TO CLEAR THIS PROPOSED EASEMENT AREA, IF NECESSARY, WITHOUT THE REQUIREMENT FOR SEA INTERPRETATION.
- APPLICANT RESERVES THE RIGHT TO REMOVE A PORTION OF THE ASPHALT AREA WEST OF THE LOFT BUILDING IN ORDER TO PROVIDE ADDITIONAL LANDSCAPING. ANY MODIFICATION IN THIS AREA WILL MAINTAIN EMERGENCY VEHICLE ACCESS.

**FOR REFERENCE ONLY**

NOT TO SCALE

**BURGUNDY MANOR**  
 SECTION TWO BLOCK A  
 ZONE: R-4 USE: RESIDENTIAL

MATCH LINE SHEET 2 OF 2



**RECEIVED**  
 OFFICE OF COMPREHENSIVE PLANNING  
 SEP 4 1997  
 ZONING EVALUATION DIVISION

Application No. 93-L-014-02 Staff M. Brady  
 Approved SE/SEA Plan Dev Conds dated 10-25-12  
 Date of (BZA) (BOS) (PC) 11-20-12  
 Sheet 20 of 21

**SPECIAL EXCEPTION/SPECIAL PERMIT AMENDMENT**

**BURGUNDY FARM COUNTRY DAY SCHOOL, INC.**  
 LEE DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

NO.	DESCRIPTION	DATE	APPROVED BY



**WALTER L. PHILLIPS**  
 INCORPORATED  
 CIVIL ENGINEERS LAND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS  
 207 PARK AVENUE FALLS CHURCH, VIRGINIA 22046  
 (703) 582-0885 FAX (703) 538-1801  
 DATE: 4-28-97, 9/1/97  
 SCALE: 1"=50'

**ZONING ORDINANCE TABULATION**

PROPOSED USE AND GROSS FLOOR AREA:	PRIVATE SCHOOL	GSE
BUILDINGS	# OF STORES	
ADMINISTRATION	2.5	2,090
MEYER'S BARN	2	1,820
EAST BARN	2	6,330
WEST BARN	2	7,350
THE LOFT	1 WITH BASEMENT & MEZZANINE	12,830
DRAMA TRAILER	1	865
ANIMAL FARM	1	1,260
POOL HOUSE (PROPOSED)	1	1,290
WOODHALL	1	3,270
BEECHWOOD	1	3,270
CARETAKER'S RESIDENCE	2.5	1,450
STAGE	1	420
GARAGE	2	2,240
FIRST GRADE/EXTENDED DAY	2	4,200
MIDDLE SCHOOL/GYM (PROPOSED)	1	16,400
<b>TOTAL</b>		<b>85,085</b>

**R-4 REQUIREMENTS:**  
 REQUIRED YARDS: FRONT= CONTROLLED BY A 35' ANGLE OF BULK PLANE, BUT NOT LESS THAN 25'  
 SIDE= CONTROLLED BY A 30' ANGLE OF BULK PLANE, BUT NOT LESS THAN 10'  
 REAR= CONTROLLED BY A 30' ANGLE OF BULK PLANE, BUT NOT LESS THAN 25'  
 PROPOSED YARDS: FRONT= 90' (MIDDLE SCHOOL)  
 SIDE= 18' (GARAGE)  
 REAR= 270'± (ANIMAL FARM)

MAX. PERMITTED F.A.R.= 0.3  
 PROPOSED F.A.R. WITHIN SPECIAL EXCEPTION LIMITS= 0.065 (85,085/1,011,789)  
 MAX. PERMITTED BUILDING HEIGHT= 60'  
 PROPOSED BUILDING HEIGHT= 40'

**LOT SIZE REQUIREMENTS:**  
 REQUIRED MINIMUM LOT AREA: 8,400 S.F.  
 PROPOSED LOT AREA: 1,011,789 S.F.  
 MINIMUM LOT WIDTH: 70' INTERIOR 95' CORNER  
 PROPOSED LOT WIDTH: 930± ADJACENT TO BURGUNDY VILLAGE SEC. 2  
 REQUIRED LANDSCAPE OPEN SPACE (15%)= 1,011,789 X 0.15= 151,769 S.F.  
 PROVIDED LANDSCAPE OPEN SPACE = 672,200 S.F.= 15.0 Ac.

**PARKING LOT LANDSCAPING:**  
 PARKING LOT AREA: 53,100 S.F.  
 REQUIRED PARKING LOT LANDSCAPING (5%): 2,655 S.F.  
 PARKING LOT LANDSCAPING PROVIDED: 5,400 S.F. (10%)

**PARKING TABULATION:**  
 REQUIRED PARKING:  
 FAIRFAX COUNTY ZONING ORDINANCE p.11-14 REQUIRES NOT LESS THAN 1 SPACE PER FACILITY AND STAFF PLUS 4 SPACES FOR VISITORS FOR A PRIVATE ELEMENTARY SCHOOL. FOR A DAYCARE/NURSERY CENTER WITH AN ENROLLMENT OF 99 OR LESS 0.19 SPACES PER CHILD ARE REQUIRED.

PRIVATE DAY SCHOOL	DAY CARE/NURSERY	COMMUNITY POOL
48 FACILITY/STAFF MEMBERS	20 CHILDREN	78 SWIMMERS
4 VISITORS	X:0.19 SP/CHILD	X:1 SP/4 SWIMMERS
52 SPACES REQUIRED	4 SPACES REQUIRED	20 SPACES REQUIRED

**TOTAL REQUIRED PARKING: 76 SPACES**

PARKING PROVIDED:  
 REGULAR SPACES 76  
 HANDICAP SPACES 6  
**TOTAL SPACES PROVIDED: 82**

FUTURE ADDITIONAL PARKING TO BE PROVIDED UPON POOL RENOVATION: 30 SPACES  
**TOTAL: 112 SPACES**

**PLAY AREA COMPUTATIONS:**  
 FAIRFAX COUNTY ZONING ORDINANCE p. 9-25 and p. 9-26 REQUIRED 100 S.F./CHILD FOR A DAY CARE, 200 S.F./CHILD FOR GRADES K-3 AND 400 S.F./CHILD FOR GRADES 4-8.

DAYCARE/NURSERY	20 CHILDREN X 100 SF/CHILD:	2,000 S.F.
GRADES K-3	125 CHILDREN X 200 SF/CHILD:	25,000 S.F.
GRADES 4-8	155 CHILDREN X 400 SF/CHILD:	66,650 S.F.
<b>TOTAL</b>	<b>300 CHILDREN:</b>	<b>93,650 S.F.</b>

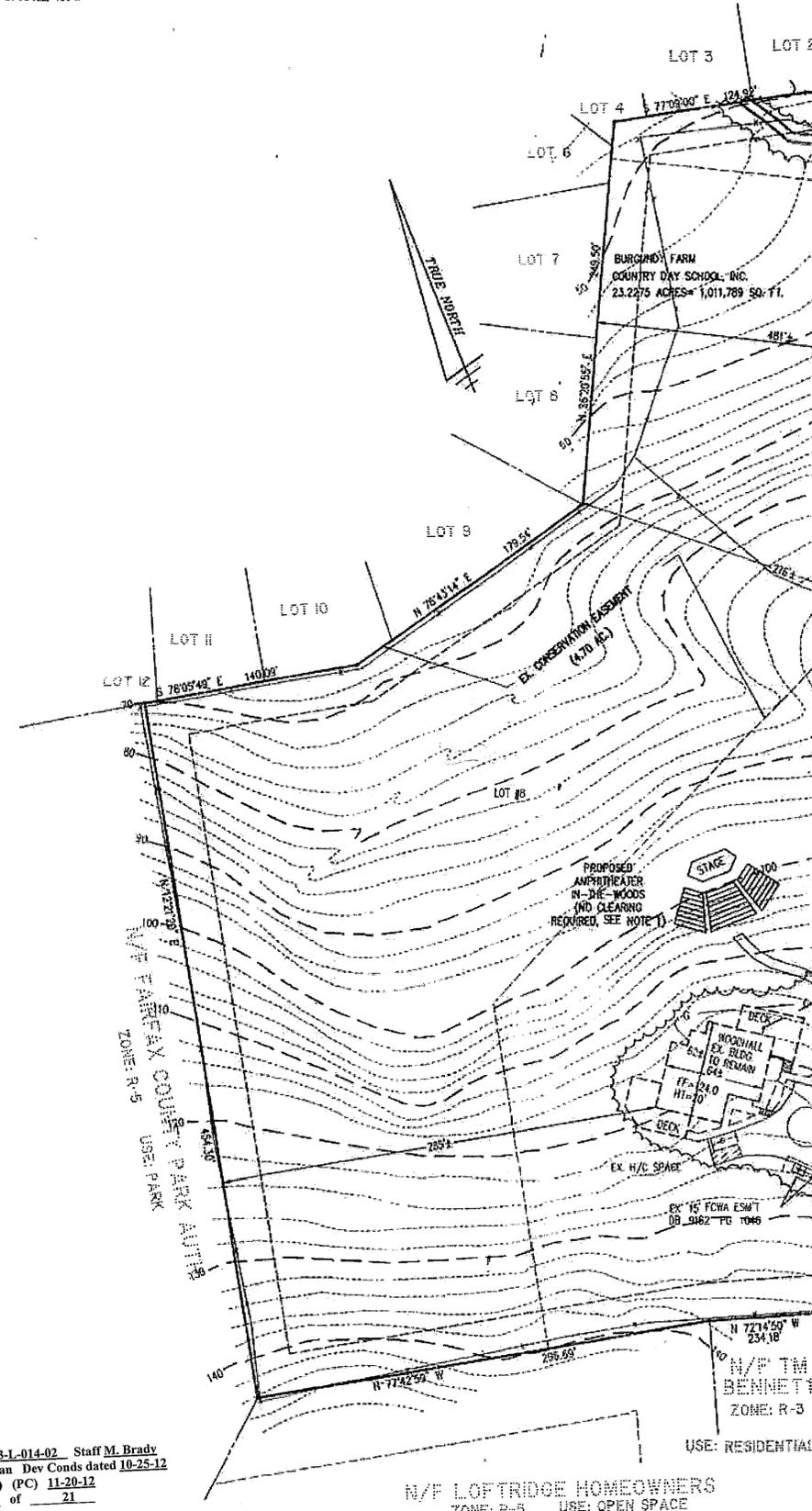
EX. BASKETBALL COURT 5,000 S.F.  
 EX. PLAY AREA (BEHIND WEST BARN) 4,280 S.F.  
 EX. PLAY AREA (BESIDE WEST BARN) 6,300 S.F.  
 EX. PLAY AREA (WEST OF THE LOFT) 15,080 S.F.  
 SOCCER FIELD AREA 53,000 S.F.  
**TOTAL PLAY AREA PROVIDED: 93,680 S.F.**

**SPECIAL EXCEPTION/SPECIAL PERMIT NOTES**

- PUBLIC SANITARY AND WATER ARE AVAILABLE ON-SITE.
- STORMWATER MANAGEMENT AND CHESAPEAKE BAY PRESERVATION ORDINANCE REQUIREMENTS FOR THIS PROPERTY ARE ACHIEVED BY COMPLIANCE WITH CHAPTER 11B OF THE CODE OF FAIRFAX COUNTY CHESAPEAKE BAY ORDINANCE. THE PROPERTY AS CURRENTLY SHOWN ON THIS APPLICATION HAS A 'C' FACTOR OF APPROXIMATELY 0.36. PER APPROVED SITE PLAN #8897-SP-01, STORMWATER MANAGEMENT AND BMP HAVE BEEN PROVIDED FOR ULTIMATE DEVELOPMENT NOT EXCEEDING C= 0.30.
- THIS SITE CONTAINS A 100 YEAR FLOOD PLAIN EASEMENT PER APPROVED PLAN #8897-SP-01 AND AN ENVIRONMENTAL QUALITY CORRIDOR AS SHOWN ON SPECIAL EXCEPTION #SE 93-L-014. NO RESOURCE PROTECTION AREA EXISTS ON THIS PROPERTY.
- NO ADJACENT OR NEIGHBORING PROPERTIES WILL BE ADVERSELY AFFECTED BY THIS DEVELOPMENT.
- A 25' TRANSITION YARD IS REQUIRED ALONG ALL SITE BOUNDARIES WITH A TYPE D,E OR F BARRIER. AS PART OF THE APPLICATION, THE APPLICANT IS HEREBY REQUESTING A MODIFICATION TO TRANSITIONAL SCREENING REQUIREMENTS TO PERMIT EXISTING LANDSCAPING AND CLEARING LIMITS AS SHOWN TO BE HELD TO SATISFY TRANSITIONAL SCREENING REQUIREMENTS. A 3' CHAIN LINK BARRIER IS PROVIDED ALONG THE SITE PERIMETER.
- IN ACCORDANCE WITH REVIEW OF THE FAIRFAX COUNTY TRAILS MAP, NO ADOPTED COMPREHENSIVE PLAN TRAILS ARE PROPOSED FOR THIS SITE.
- TO THE BEST OF THE APPLICANT'S KNOWLEDGE, NO GRAVES EXIST ON THIS SITE.
- ALL SIGNS WILL CONFORM WITH ARTICLE 12 OF THE FAIRFAX COUNTY ZONING ORDINANCE.
- ALL LIGHTING WILL CONFORM WITH ARTICLE 14 OF THE FAIRFAX COUNTY ZONING ORDINANCE.
- THERE IS AN EXISTING CONSERVATION EASEMENT GREATER THAN 25' WITHIN THE PROPOSED SPECIAL EXCEPTION AMENDMENT LIMITS AS SHOWN.

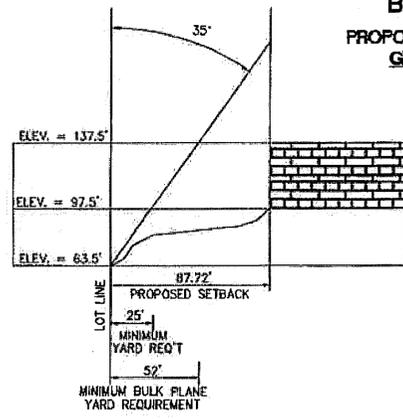
**NOTE:**  
 UNDERGROUND UTILITIES LOCATED FROM EXISTING RECORDS. ACTUAL LOCATION MAY VARY. EXISTING TOPOGRAPHY BASED ON FIELD RUN SURVEY AS PREPARED BY OTHERS IN AUGUST 1992 AS UPDATED TO INCLUDE PROPOSED IMPROVEMENTS PER APPROVED SITE PLAN # 8897-SP-01 AS PREPARED BY R.C. FIELDS JR. & ASSOC. IN APRIL, 1994.

BURGUNDY MANOR  
 SECTION TWO BLOCK A  
 ZONE: R-4 USE: RESIDENTIAL

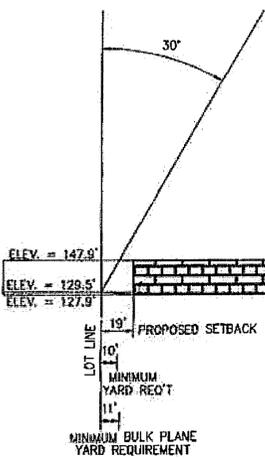


MATCH LINE SHEET 1 OF 2

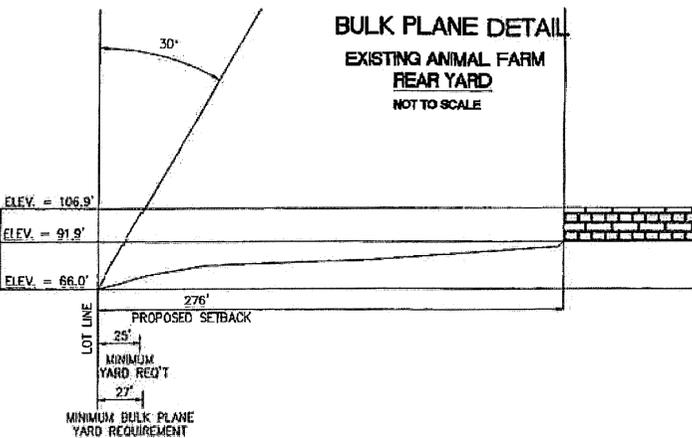
**BULK PLANE DETAIL**  
 PROPOSED MIDDLE SCHOOL AND GYMNASIUM FRONT YARD  
 NOT TO SCALE



**BULK PLANE DETAIL**  
 EXISTING GARAGE SIDE YARD  
 NOT TO SCALE



**BULK PLANE DETAIL**  
 EXISTING ANIMAL FARM REAR YARD  
 NOT TO SCALE



**LANDSCAPE SCHEDULE**

SYMBOL	COMMON/BOTANICAL NAMES	SIZE	QTY.	TOTAL
☉	SHADE TREE	2-2 1/2" B&B 8'	16	
○	MEDIUM SHRUB	18"-24" CONT.	70	
☉	LEYLAND CYPRESS (TO BE PLACED AT TIME OF NORTH ENTRANCE CONSTRUCTION)	6' B&B	20	

NOTE: PROPOSED 2:1 SLOPES TO BE STABILIZED WITH GROUND COVER.

Application No SEA 93-L-014-02 Staff M. Brady  
 Approved SE/SA Plan Dev Conds dated 10-25-12  
 Date of (BZA) (BOS) (PC) 11-20-12  
 Sheet 21 of 21  
 Associated with SPA 93-L-015-02  
 Dev Conds dated 10-17-2012, BZA date 10-17-2012

NOT TO SCALE

FOR REFERENCE ONLY

SPECIAL EXCEPTION/SPECIAL PERMIT AMENDMENT

BURGUNDY FARM COUNTRY DAY SCHOOL, INC.

LEE DISTRICT FAIRFAX COUNTY, VIRGINIA

WALTER L. PHILLIPS  
 INCORPORATED  
 CIVIL ENGINEERS AND SURVEYORS PLANNERS LANDSCAPE ARCHITECTS  
 207 PARK AVENUE FALLS CHURCH, VIRGINIA 22046  
 (703) 582-5165 FAX (703) 582-6001  
 DATE: 11-20-12  
 SCALE: 1"=50'



NO.	DESCRIPTION	DATE	APPROVED BY	DATE