

PROPOSED SUNOCO

Generalized Development Plan / Special Exception Amendment Plat

GOVERNMENTAL AGENCIES

STORM & SANITARY SEWER
 FAIRFAX COUNTY DEPARTMENT OF
 PUBLIC WORKS AND ENVIRONMENTAL
 SERVICES
 12055 GOVERNMENT CENTER PKWY,
 SUITE 659
 FAIRFAX, VA 22035-5502
 703-877-2800 (STORM)
 703-324-5030 (SANITARY)

VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY

629 EAST MAIN STREET
 P.O. BOX 1105
 RICHMOND VIRGINIA, 23218
 804-698-4000

NORTHERN VIRGINIA SOIL & WATER CONSERVATION DISTRICT

HERRITY BUILDING, SUITE 905
 12055 GOVERNMENT CENTER PKWY
 FAIRFAX, VA 22035
 703-324-1460

FAIRFAX COUNTY HEALTH DEPARTMENT

KELLY SQUARE ADMINISTRATION
 BUILDING
 10777 MAIN STREET
 FAIRFAX, VA 22030-6903
 703-246-2411

VIRGINIA DOT
 1401 E. BROAD STREET
 RICHMOND, VA 23219
 804-786-2801

UTILITY COMPANIES

ELECTRIC
 DOMINION VIRGINIA POWER
 120 TREDEGER STREET
 RICHMOND, VA 23219
 1-888-667-3000

FAIRFAX WATER
 8570 EXECUTIVE PARK
 AVENUE
 FAIRFAX, VA 22031
 703-698-5600

WASHINGTON GAS
 6801 INDUSTRIAL ROAD
 SPRINGFIELD, VA 22151
 703-750-1000

TELEPHONE
 VERIZON
 1-800-660-2215



Store #0207-7261

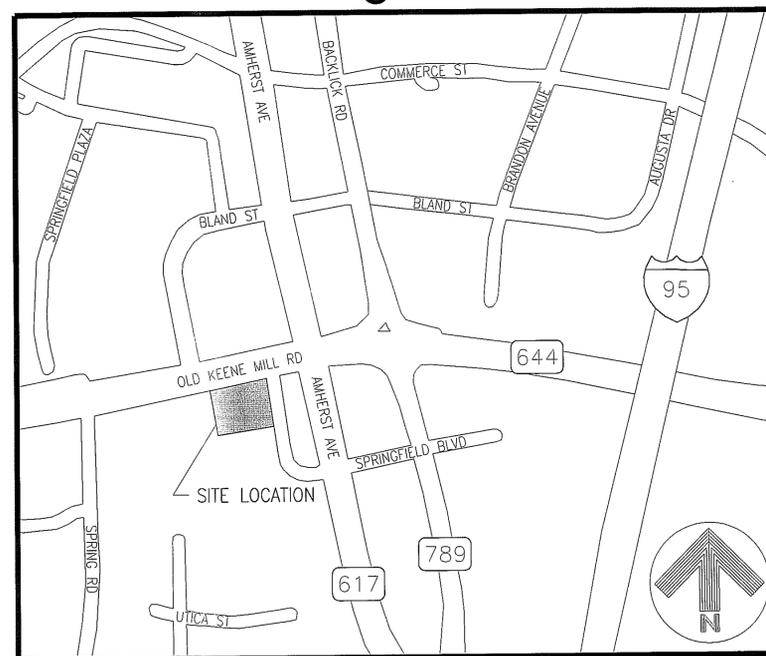
Tax Map #: 80-4((1)) 11 & 11A1

7025 Old Keene Mill Road

Springfield

Fairfax County

Virginia



LOCATION MAP

NOT TO SCALE

INDEX OF DRAWINGS

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DDPOST	POST-DEVELOPMENT DRAINAGE DIVIDE MAP
DE-4	SHED DETAILS
DE-8	TRASH ENCLOSURE DETAILS AND BULK PLANE DIAGRAM

PREPARED BY

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 King of Prussia, PA. 19406
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Engineers / Architects /Planners/ Surveyors

PREPARED FOR

SUNOCO, INC.
 10 INDUSTRIAL HIGHWAY
 LESTER, PA 19029
 (610) 833-3598

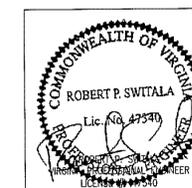
NOT FOR CONSTRUCTION

Application No PCA 90-L-050-03 Staff S.W.
 Approved Development Plan
 (DP) (GDP) (CDP) (FDP) (PRC) (CP)
 See PROFFERS dated 09-20-2012
 Date of (BZA) (BOS) (PC) approval 9-25-2012
 Sheet 1 of 14

Concurrent w/ SEA 90-L-045-03
 See Dev Conds dated 9-24-2012

NO.	DATE	DESCRIPTION	REV	CK'D
0	03/14/2012	ISSUED FOR GDP/SEA APPROVAL	AVN	RPS
1	04/26/2012	PER GDP/SEA COMMENTS	AVN	RPS
2	07/03/2012	VDOT/FDOT/CTY COMMENTS	AVN	RPS
3	08/09/2012	VDOT/FDOT/CTY COMMENTS	AVN	RPS

RECEIVED
 Department of Planning & Zoning
 AUG 13 2012
 Zoning Evaluation Division



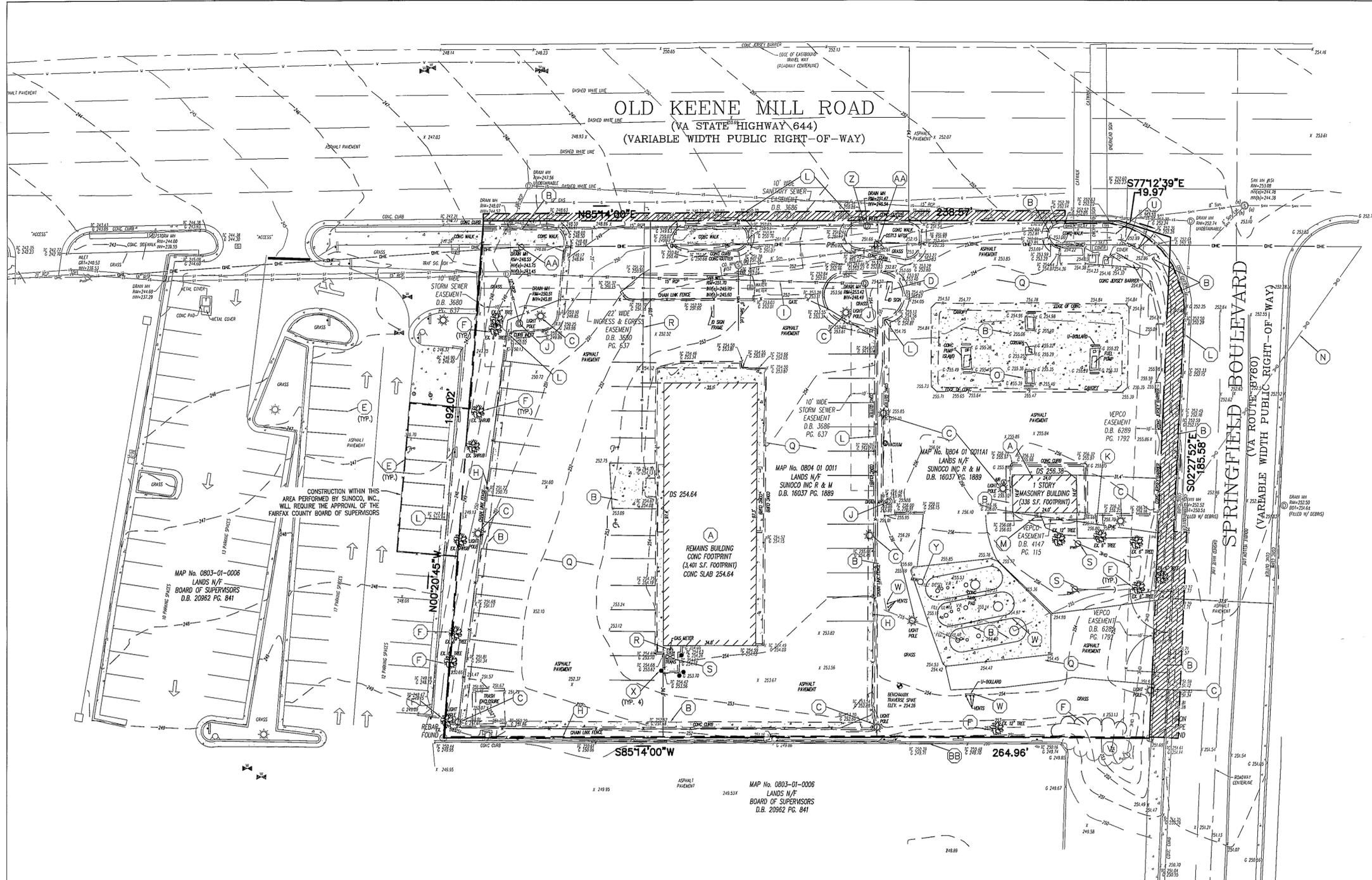
C-1

LEGEND

- (A) EXISTING 1-STORY BUILDING AND APPURTENANCES TO BE REMOVED
 - (B) EXISTING CONCRETE PAD AND/OR CONCRETE WALK TO BE REMOVED
 - (C) EXISTING YARD LIGHT TO BE REMOVED
 - (D) EXISTING SIGN TO BE REMOVED
 - (E) EXISTING PARKING STRIPING TO BE REMOVED
 - (F) EXISTING PLANTS AND LANDSCAPING TO BE REMOVED
 - (G) EXISTING MONITORING WELLS TO BE REMOVED
 - (H) EXISTING CHAINLINK FENCE TO BE REMOVED
 - (I) EXISTING STORM PIPE TO BE REMOVED
 - (J) EXISTING STORM STRUCTURES TO BE REMOVED
 - (K) EXISTING ELECTRIC LINE TO BE REMOVED
 - (L) EXISTING CURB TO BE REMOVED
 - (M) EXISTING ELECTRIC METER TO BE REMOVED. COORDINATE NEW METER LOCATION WITH ELECTRIC COMPANY
 - (N) EXISTING ELECTRIC LINE TO REMAIN - PROPOSED SERVICE TO BE EXTENDED OFF EXISTING ELECTRIC LINE
 - (O) EXISTING DISPENSERS, OVERHEAD CANOPY, COLUMN AND BOLLARDS TO BE REMOVED
 - (P) EXISTING HVAC EQUIPMENT TO BE REMOVED
 - (Q) EXISTING PAVEMENT TO BE REMOVED - EXISTING ASPHALT MAY BE MILLED AND REUSED UPON SUNOCO AND ENGINEER'S APPROVAL
 - (R) EXISTING NATURAL GAS LINE AND METER TO BE REMOVED. STUB CONNECTION AT DRIVEWAY FOR RE-USE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
 - (S) EXISTING UTILITY POLE, TRANSFORMER AND ASSOCIATED OVERHEAD POWER LINES TO BE REMOVED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY
 - (T) SAWCUT LIMITS/LIMITS OF PAVEMENT REMOVAL
 - (U) EXISTING CONCRETE WALK TO REMAIN
 - (V) NOT USED
 - (W) EXISTING UNDERGROUND TANKS, AND ASSOCIATED UNDERGROUND PIPES, ETC. TO BE REMOVED
 - (X) EXISTING BOLLARD TO BE REMOVED
 - (Y) EXISTING MONITORING WELL TO BE REMOVED
 - (Z) EXISTING VDOT MANHOLE TO BE REMOVED. ASSOCIATED STORM PIPING TO REMAIN. (SEE SHEET U-1)
 - (AA) EXISTING UTILITY POLE TO BE RELOCATED. COORDINATE WITH UTILITY COMPANY.
 - (BB) EXISTING SECTION OF TIMBER-TIE WALL TO BE REMOVED
- CONSTRUCTION FENCE - TO BE PLACED AROUND ENTIRE SITE AREA - SEE NOTE 4 BELOW
- SAWCUT LIMITS/LIMITS OF DEMOLITION
- ▨ SAWCUT LIMITS/LIMITS OF DEMOLITION WITHIN VDOT RIGHT OF WAY

- ### DEMOLITION NOTES:
- CONTRACTOR SHALL OBTAIN ANY AND ALL REQUIRED DEMOLITION PERMITS FROM ALL REQUIRED AGENCIES PRIOR TO COMMENCEMENT OF WORK.
 - ANY ASBESTOS REMOVAL MUST BE DONE BY A CERTIFIED ASBESTOS REMOVAL CONTRACTOR.
 - ALL UTILITY COMPANIES MUST BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE OF DEMOLITION. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY UTILITY SHUT-OFFS OR DISCONNECTS.
 - PROPER FENCING OR PUBLIC PROTECTION DEVICES MUST BE CONSTRUCTED AND MAINTAINED AROUND THE PERIMETER OF THE SITE AT ALL TIMES DURING DEMOLITION PHASE.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL DUST, DIRT, AND DEBRIS DURING DEMOLITION AND CONSTRUCTION PHASES.
 - ALL REMOVED EXCESS MATERIALS SHALL BE HAULED OFF-SITE TO AN APPROVED FACILITY.
 - ALL INDIVIDUAL TREES TO BE PRESERVED AND ALL AREAS DESIGNATED TO BE LEFT UNDISTURBED SHALL BE PROTECTED BY TREE PROTECTION FENCING AND SIGNAGE DURING CONSTRUCTION ACTIVITIES. TREE PROTECTION FENCING SHALL BE ERECTED AT THE DRIP LINE OF INDIVIDUAL TREES TO BE PRESERVED AND AT THE LIMITS OF CLEARING AND GRADING.

NOTE: EXISTING CONDITIONS FROM FIELD RUN TOPOGRAPHIC AND BOUNDARY SURVEY BY FIRST ORDER, LLC DATED FEBRUARY 22, 2010 AND UPDATED ON FEBRUARY 14, 2012.



Application No **PCA 90-L-050-03** Staff **S.W.**
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 Sheet **2** of **14**
 Concurrent w/ SEA 90-L-045-03
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NOT FOR CONSTRUCTION

REV. NO.	DATE	REVISIONS	DESIGNED BY	CHECKED BY	APPROVED BY
3	08/9/12	VDOT/FDOT/CTY COMMENTS	AVN	TED	RPS
2	07/3/12	VDOT/FDOT/CTY COMMENTS	AVN	TED	RPS
1	04/26/12	PER GDP/SEA COMMENTS	AVN	TED	RPS

SUNOCO, INC.
Retail Engineering
Lester, PA

7025 OLD KEENE MILL ROAD
SPRINGFIELD, VA
FAIRFAX COUNTY

PROJECT NO.
99016.00

EXISTING CONDITION PLAN

APPROVED RPS
CHECKED TED
DRAWN AVN
DATE 03/07/2012

FACILITY NO.
0207-7261

DRAWING NO.
DM-1

REV. NO.
3

SCALE 1" = 20'

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Call 811 before you dig.
 Allow required time for marking.
 Respect the marks.
 Excavate carefully.

Check Ticket Status.....1-800-552-3120

Bergmann
associates
Engineers / Architects / Planners / Surveyors

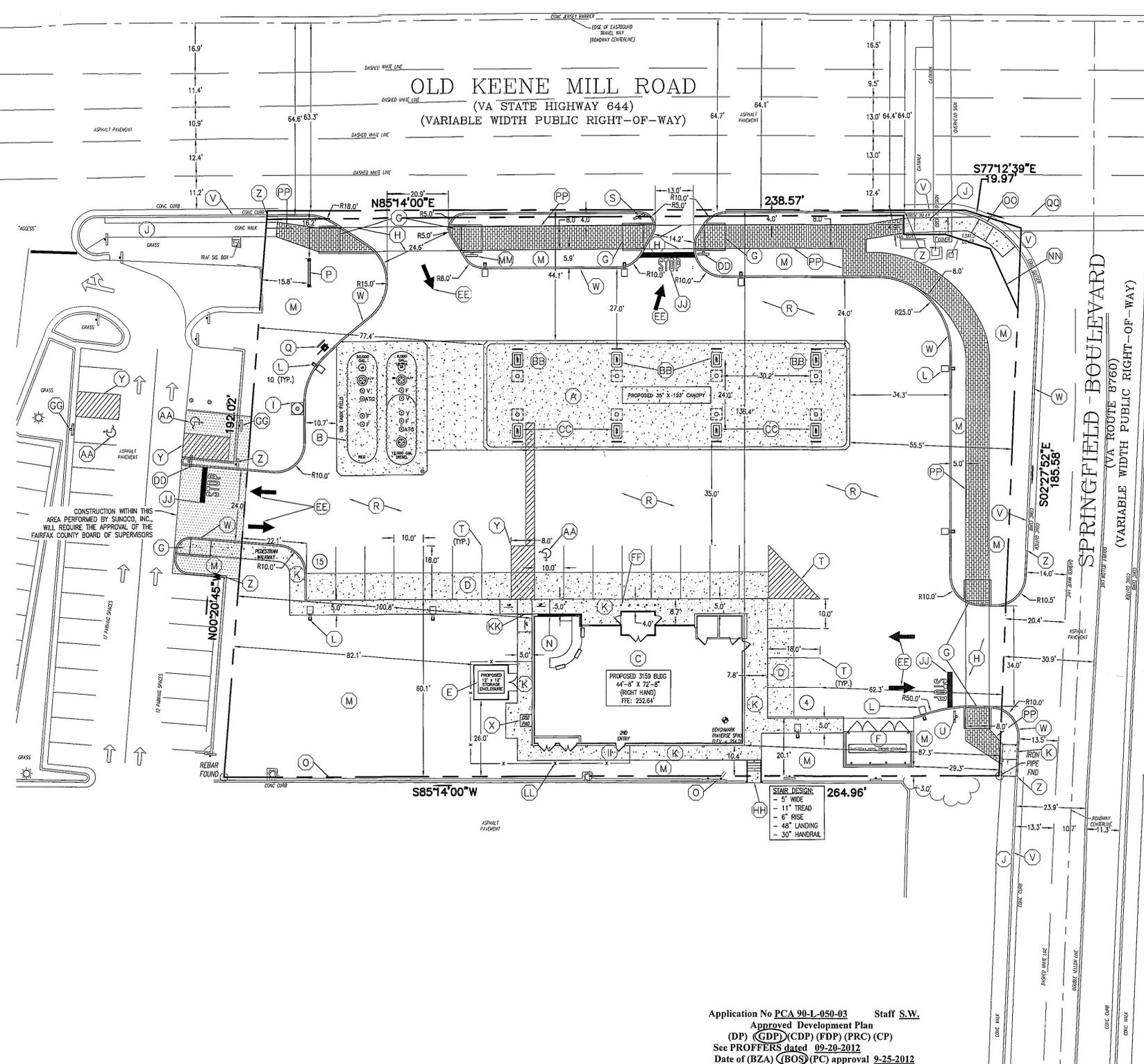
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www.bergmannpc.com

COMMONWEALTH OF VIRGINIA
 ROBERT P. SWITALA
 Lic. No. 47350
 PROFESSIONAL ENGINEER
 LICENSE # 47350



SITE LEGEND

- (A) PROPOSED CANOPY (10'-0" HEIGHT) AND GAS DISPENSERS
- (B) PROPOSED GASOLINE AND DIESEL TANKS, AND ASSOCIATED HEAVY DUTY CONCRETE PAD
- (C) PROPOSED 3,159 SF SUNOCO RETAIL CONVENIENCE STORE
- (D) CONCRETE PAD FOR PARKING SPACES - DYED CONCRETE TO BE USED PER SUNOCO STANDARDS
- (E) PROPOSED SHED ENCLOSURE
- (F) PROPOSED TRASH ENCLOSURE WITH CONCRETE PAD AND CMU BLOCK WALLS
- (G) CURB RAMP
- (H) PEDESTRIAN CROSSWALK STRIPING (TWO 6" LINES WITH 5' SPACING)
- (I) PROPOSED AIR PUMP/VACUUM ON CONCRETE PAD
- (J) EXISTING CONCRETE SIDEWALK TO REMAIN
- (K) PROPOSED CONCRETE SIDEWALK (WIDTH VARIES - SEE PLAN)
- (L) PROPOSED LIGHT POLE
- (M) PROPOSED LANDSCAPE AREA (SEE SHEET LS-1)
- (N) HANDICAPPED PARKING SIGN - TO BE PLACED ON BUILDING FACE
- (O) EXISTING 3' HIGH RETAINING WALL TO REMAIN
- (P) PROPOSED SIGN (TYPE TO BE RESOLVED) (SEE SHEET SN-1)
- (Q) PROPOSED TANK VENTS
- (R) STANDARD DUTY ASPHALT PAVEMENT
- (S) "DO NOT ENTER" SIGN
- (T) 4" WIDE PARKING STRIPE PAINTED WHITE
- (U) "STOP" SIGN
- (V) EXISTING CONCRETE CURB AND GUTTER (TO REMAIN, REPAIR IF NECESSARY)
- (W) PROPOSED CONCRETE CURB AND GUTTER
- (X) PROPOSED CO2 STORAGE AREA
- (Y) 4" WIDE BLUE PARKING STRIPE FOR NO PARKING AREAS
- (Z) MATCH EXISTING CURB IN ALIGNMENT AND ELEVATION
- (AA) PROPOSED HANDICAPPED PARKING SYMBOL
- (BB) 4+1 DISPENSER (4 TYP.)
- (CC) 4+0 DISPENSER (4 TYP.)
- (DD) PROPOSED "STOP" SIGN AND "NO LEFT TURN" SIGN
- (EE) DIRECTIONAL ARROWS
- (FF) PIPE BOLLARDS (5 TYP.)
- (GG) RELOCATE EXISTING HANDICAPPED SIGN TO NEW HANDICAPPED PARKING LOCATION
- (HH) PEDESTRIAN WALKWAY AND STAIRS TO ADJOINING PROPERTY
- (II) EMERGENCY EXIT FOR SALES AREA
- (JJ) PROPOSED STOP BAR
- (KK) PROPOSED HANDICAPPED CORNER RAMP
- (LL) PROPOSED 6" HIGH SLATTED VINYL CHAIN-LINK FENCE
- (MM) PROPOSED "NOT AN EXIT" SIGN
- (NN) PROPOSED ROADWAY DEDICATION - 973.6 SQFT
- (OO) PROPOSED VDOT TYPE B CURB RAMP
- (PP) PROPOSED BRICK STAMPED CONCRETE SIDEWALK
- (QQ) PROPOSED VDOT CROSSWALK
- CONCRETE PADS, SIDEWALKS AND PAVEMENT AREAS
- STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED ADJOINING PROPERTY ACCESS AREA



BUILDING S.F. AND PARKING RATIO			
TOTAL AREA SQ. FT.	PARKING SPACES REQUIRED	REQUIRED RATIO	PARKING SPACES PROVIDED
PROPOSED BUILDING: 3,159 SF GFA TOTAL 1,784 SF GFA RETAIL	21*	45,000 SF OF GFA TOTAL	18 UNRESTRICTED 1 ADA ACCESSIBLE 19 TOTAL SPACES*

- ALL CALCULATIONS BASED ON TOTAL GROSS FLOOR AREA.
- THE FAIRFAX COUNTY ZONING ORDINANCE REQUIRED PARKING:
2 SPACES PER SERVICE BAY (0 SERVICE BAYS = 0 SPACES)
4.55 SPACES PER 1,000 SF OF TOTAL GFA (3,159 SF = 14 SPACES)
21 SPACES TOTAL REQUIRED (19 TOTAL SPACES PROVIDED)
- STALL REQUIREMENTS: 8.5 FT X 18 FT - PROPOSED SIZE = 10' X 18'
- INCLUDES 1 HANDICAP SPACE FOR TOTAL SITE AREA.

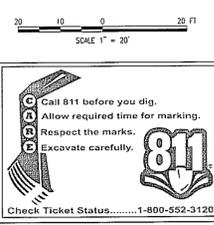
ZONING: C-6 COMMUNITY RETAIL COMMERCIAL	FAIRFAX COUNTY REQUIREMENTS	PROPOSED
MINIMUM LOT AREA:	40,000 SF	49,988 SF (1.1476 ACRES)
MINIMUM LOT WIDTH:	200 FT	238.57 FT
MAXIMUM BUILDING HEIGHT:	40 FT	17.5 FT
MINIMUM YARD REQUIREMENTS		
FRONT YARD:	40 FT	100.8 FT, 136.4 FT, 87.3 FT
SIDE YARD:	20 FT	10.4 FT BUILDING, 3.0' TRASH ENCLOSURE*
REAR YARD:		
MAXIMUM FLOOR AREA RATIO:	0.40	0.06
MINIMUM LANDSCAPED OPEN SPACE:	15%	EXISTING = 18.1% PROPOSED = 23.8% TOTAL INCREASE = 5.7%

- SITE NOTES:**
- GRASS AREAS IN POOR CONDITION SHALL BE RESTORED UPON COMPLETION OF PROPOSED WORK.
 - THIS PROPERTY IS SERVED BY PUBLIC WATER AND SEWER.
 - THIS SITE CONTAINS NO RESOURCE PROTECTION AREAS, ENVIRONMENTAL QUALITY CORRIDORS, OR FLOODPLANS.
 - MODIFICATIONS OF THE TRAIL, BIKE, AND SIDEWALK REQUIREMENTS ARE REQUESTED.
 - THERE ARE NO KNOWN GRAVES LOCATED ON THIS PROPERTY.
 - RIGHT-OF-WAY INFORMATION ON OLD KEENE MILL ROAD (STATE HIGHWAY 644) OBTAINED FROM SHEET NO. 61 OF I-95/I-395/I-495 INTERCHANGE IMPROVEMENTS RIGHT-OF-WAY PLAN FOR PROJECT NO. 0095-029-F20, RW-202.
 - RIGHT-OF-WAY INFORMATION ON SPRINGFIELD BOULEVARD OBTAINED FROM SHEETS NO. 61 & NO. 629 OF I-95/I-395/I-495 INTERCHANGE IMPROVEMENTS RIGHT-OF-WAY PLAN FOR PROJECT NO. 0095-029-F20, RW-202.
 - THERE ARE NO FLOODPLANS, EDG, OR SCENIC AREAS WORTH OF PROTECTION ON THE SITE.
 - DEVELOPMENT WILL OCCUR BASED UPON MARKET CONDITIONS.

- GENERAL NOTES:**
- THE CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENT. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE CONTROL AND RIGHT-OF-WAY MONUMENTS IN AREAS OF CONSTRUCTION.
 - THE LOCATION OF ALL UTILITY EASEMENTS HAVING A WIDTH OF TWENTY-FIVE (25) FEET OR MORE AND ALL MAJOR UNDERGROUND UTILITY EASEMENTS ARE SHOWN ON THE PLAN. THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THIS MAP HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS. THEY ARE NOT GUARANTEED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING 811 OR 1-800-852-7001.
 - THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (OSHA).
 - HIGHWAY DRAINAGE ALONG ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
 - REFER TO ARCHITECTURAL DRAWINGS FOR PRECISE BUILDING DIMENSIONS.
 - THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER BEFORE DEVIATING FROM THESE PLANS.
 - IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
 - IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION/CONSTRUCTION, ALL WORK SHALL STOP AND THE FAIRFAX COUNTY HEALTH DEPARTMENT AND THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OBTAINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.
 - EXCAVATED WASTE MATERIAL REMOVED FROM THE SITE SHALL BE PLACED AT A LOCATION ACCEPTABLE TO THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY.
 - THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MAINTAIN A MINIMUM OF 1' OF COVER OVER ALL EXISTING AND NEW STORM AND SANITARY PIPES.
 - ALL EXISTING SURFACE APPURTENANCES (I.E. WATER VALVES, CATCH BASIN FRAMES AND GRATES, MANHOLE COVERS) WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISHED GRADE. (NO SEPARATE PAYMENT).
 - AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECT'S CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
 - UNLESS COVERED BY THE CONTRACT SPECIFICATIONS OR AS NOTED ON THE PLANS, ALL WORK SHALL CONFORM TO THE VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
 - DEVELOPMENT WILL OCCUR BASED UPON MARKET CONDITIONS.

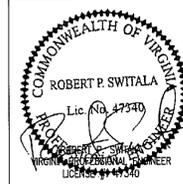
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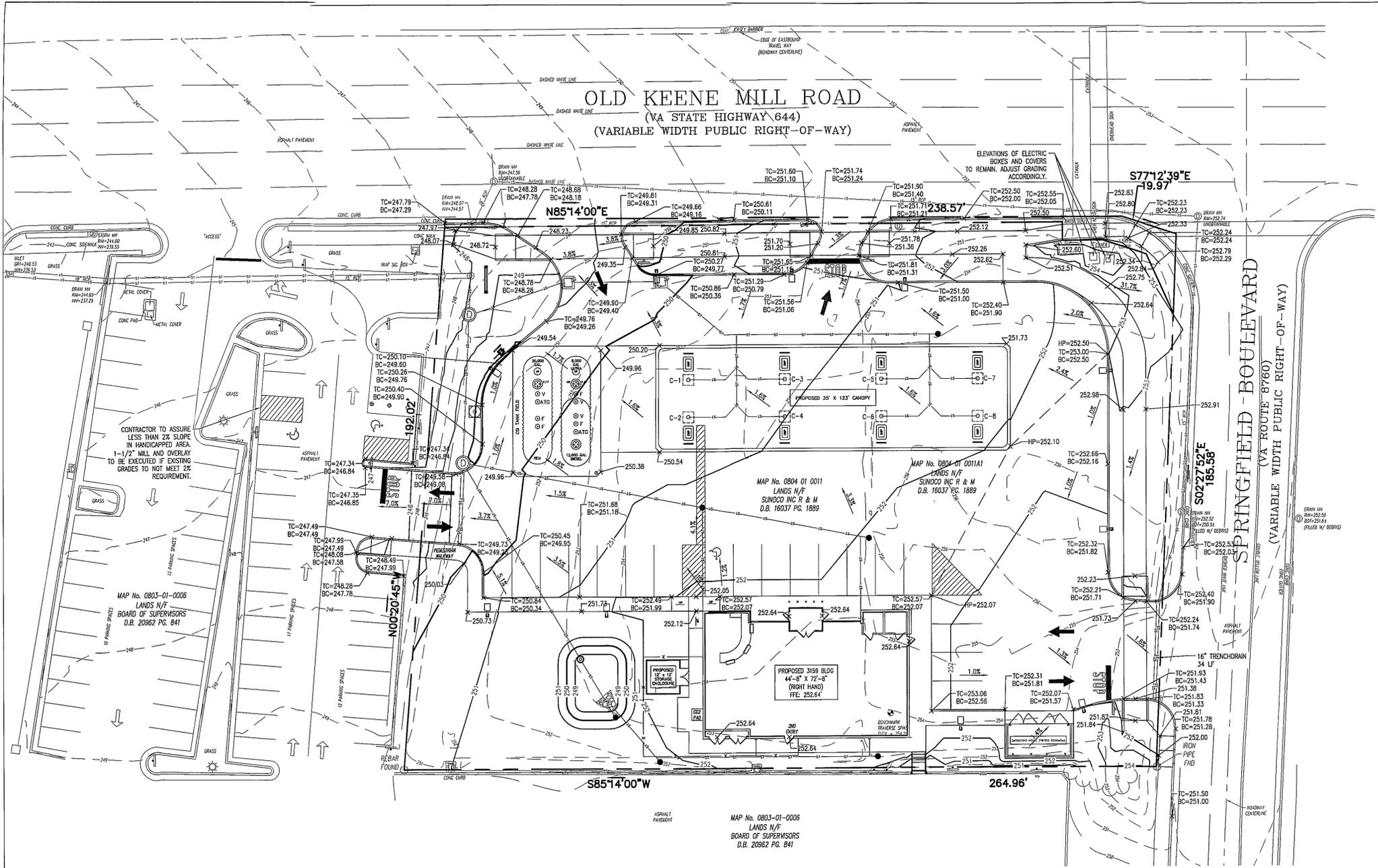
SUNOCO, INC. Retail Engineering Lester, PA		PROJECT NO. 99016.00
7025 OLD KEENE MILL ROAD SPRINGFIELD, VA FAIRFAX COUNTY		GENERALIZED DEVELOPMENT PLAN / SPECIAL EXCEPTION PLAT
APPROVED RPS CHECKED TED DRAWN AVN DATE 03/07/2012	FACILITY NO. 0207-7261	DRAWING NO. D-1 REV. NO. 3

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LEGEND

- - - - - EXISTING CONTOUR
- — — — — PROPOSED MAJOR CONTOUR
- — — — — PROPOSED MINOR CONTOUR
- × TC=462.50 BC=462.00 PROPOSED TOP OF CURB / BOTTOM OF CURB ELEVATION (6\"/>
- × HP=462.10 PROPOSED SPOT ELEVATION
- × HP=462.10 PROPOSED HIGH POINT ELEVATION
- 1.6% PROPOSED SLOPE
- — — — — PROPOSED STORM PIPE
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED CLEANOUT
- PROPOSED TRENCHDRAIN BREAKLINE

GRADING NOTES:

- REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER. REPLACE TOPSOIL TO A MINIMUM 4\"/>
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF ALL TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE VEGETATION HAS OCCURRED COMPLETELY.
- ALL SEDIMENT BARRIERS AND FILTER BAGS TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NORTHERN VIRGINIA SOIL AND WATER CONSERVATION DISTRICT.
- LINEAR STRAW BALES OR EROSION CONTROL BLANKET WILL BE USED ON STEEP SLOPES AND WHEREVER NECESSARY TO CONTROL EROSION AND SILTATION OF EXISTING DRAINAGE SYSTEMS AS ORDERED BY THE ENGINEER.
- THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE PROTECTED FROM EROSION EITHER BY MULCH OR TEMPORARY SEEDING WITHIN 2 WEEKS OF DISTURBANCE.
- EXISTING GRADE TO REMAIN AROUND EXISTING ELECTRICAL TRANSFORMERS LOCATED AT THE CORNER OF OLD KEENE MILL ROAD AND SPRINGFIELD BOULEVARD.

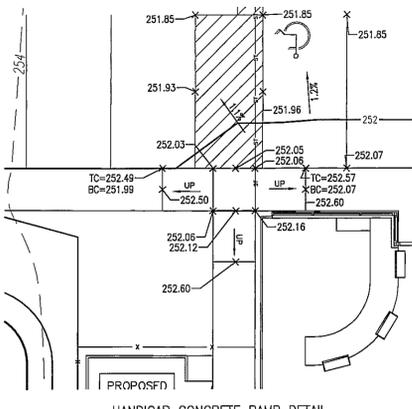
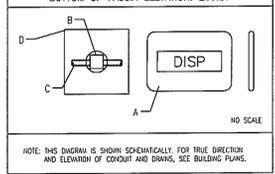
SEQUENCE OF CONSTRUCTION:

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- CLEAR AND GRUB THE "LIMITS OF CLEARING" PORTIONS OF PROJECT SITE. ALL TREES THAT ARE TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR.
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- CONSTRUCT THE PROPOSED INLETS AND INSTALL PROTECTION ON INLETS AS THEY ARE INSTALLED.
- INSTALL UTILITIES AND STABILIZE. STORM PIPING SHOULD BE CONSTRUCTED FROM A DOWN SLOPE TO UP SLOPE MANNER.
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- FINAL GRADE SITE AND INSTALL CURBS, PAVEMENT, SIDEWALKS AND LANDSCAPING.
- ALL EROSION CONTROL MEASURES CAN BE REMOVED ONCE 70% OF EACH SQUARE YARD OF DISTURBED AREA IS STABILIZED WITH A PERMANENT STAND OF VEGETATION OR PAVEMENT, IF APPROVED IN WRITING BY THE FAIRFAX COUNTY ENGINEER.
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COLUMN GRADE SCHEDULE

COLUMN NUMBER	COLUMN GRADE SCHEDULE			
	A	B	C	D
C-1	251.36	250.91	249.91	248.91
C-2	251.52	251.07	250.07	248.91
C-3	251.64	251.19	250.19	248.91
C-4	251.76	251.31	250.31	248.91
C-5	251.92	251.47	250.47	248.91
C-6	252.04	251.59	250.59	248.91
C-7	252.20	251.75	250.75	248.91
C-8	252.32	251.87	250.87	248.91

BOTTOM OF FASCIA ELEVATION: 269.87



Application No **PCA 90-L-050-03** Staff **S.W.**
 Approved Development Plan
 (DP) (GDP) (CDP) (FDP) (PRC) (CP)
 See PROFFERS dated **09-20-2012**
 Date of (BZA) (BOS) (PC) approval **9-25-2012**
 Sheet **4** of **14**

Concurrent w/SEA 90-L-045-03
 See Dev Conds dated **9-24-2012**

NOTE: EXISTING CONDITIONS FROM FIELD RUN TOPOGRAPHIC AND BOUNDARY SURVEY BY FIRST ORDER, LLC DATED FEBRUARY 22, 2010 AND UPDATED ON FEBRUARY 14, 2012

NOT FOR CONSTRUCTION

REV.	DATE	REVISIONS	BY	CHKD.	APP'D.
3	08/9/12	VDDT/FDDT/CTY COMMENTS	AWN	TED	RPS
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SUNOCO, INC.
 Retail Engineering
 Lester, PA

7025 OLD KEENE MILL ROAD
 SPRINGFIELD, VA
 FAIRFAX COUNTY

PROJECT NO.
 99016.00

GRADING PLAN

APPROVED RPS
 CHECKED TED
 DRAWN AWN
 DATE 03/07/2012

FACTORY NO.
 0207-7261

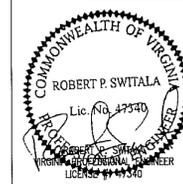
DRAWING NO.
 G-1

REV. NO.
 3

SCALE 1" = 20'

Bergmann associates
 Engineers / Architects / Planners / Surveyors

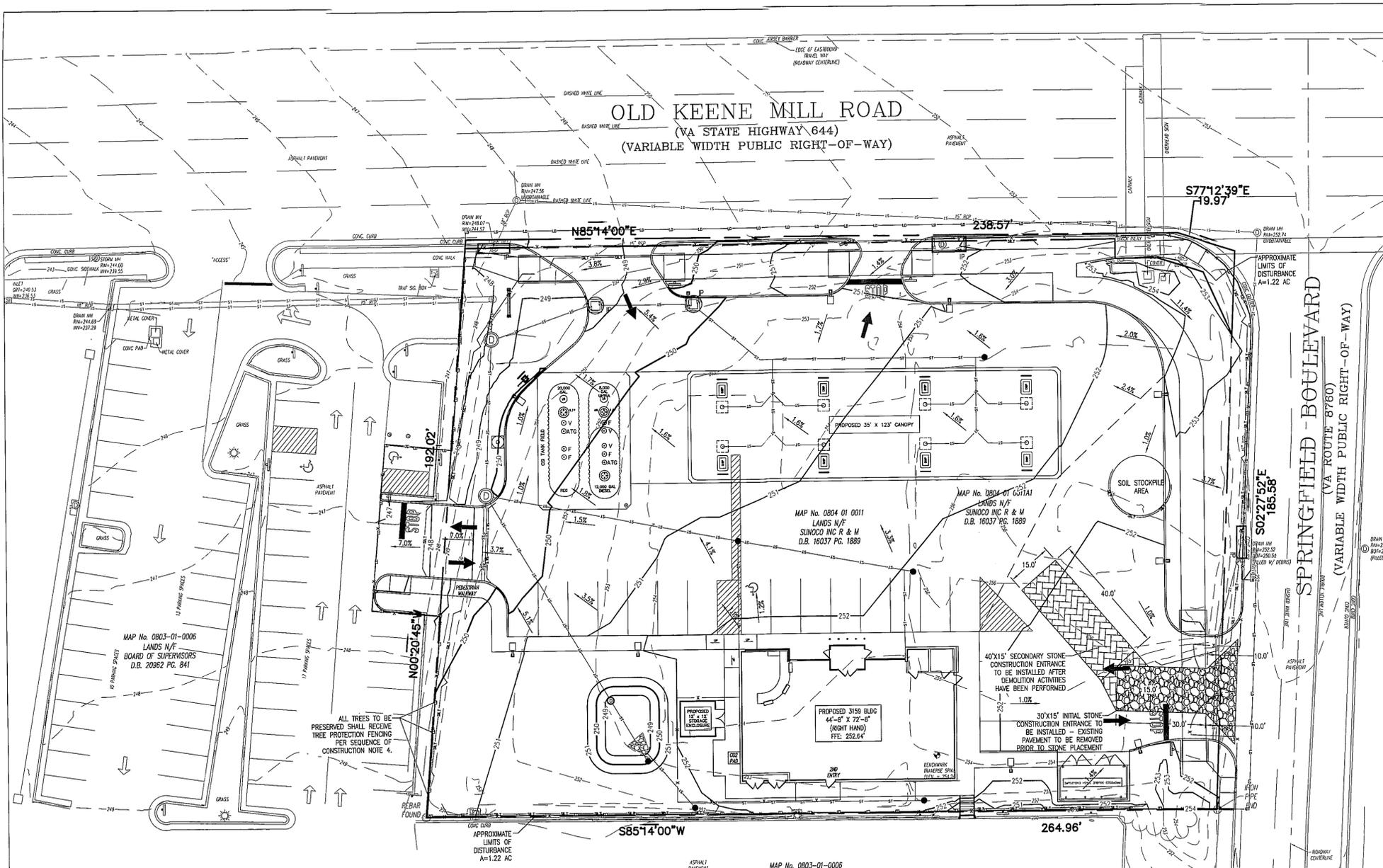
1040 First Ave, Suite 100
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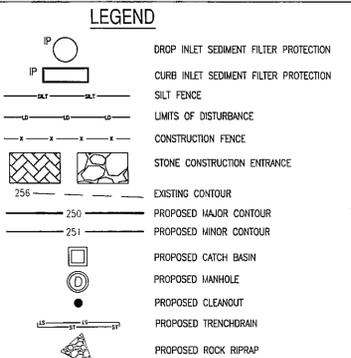
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EROSION AND SEDIMENT CONTROL MATERIALS	
SILT FENCE	540 LF
DROP INLET PROTECTION	2
CURB INLET PROTECTION	3
CONSTRUCTION FENCE W/ GATE	995 LF
ROCK RIPRAP D50=6"	25 SF



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- INLET PROTECTION NOTE:**
- INLETS SHOULD BE INSPECTED AND CLEANED OUT AFTER EVERY STORMWATER RAINFALL EVENT.
- MAINTENANCE PROGRAM NOTES:**
- UNTIL THE SITE IS STABILIZED, ALL BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BMP'S AFTER EACH STORM EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, REMULCHING AND RENITING, MUST BE PERFORMED IMMEDIATELY.
 - SHOULD ANY BMP'S CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ONSITE FLOWS PRIOR TO DISCHARGE OR STABILIZING THE SURFACES INVOLVED, ADDITIONAL BMP'S MUST BE IMMEDIATELY IMPLEMENTED BY THE PROPERTY OWNER TO ELIMINATE ALL SUCH PROBLEMS.
 - AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY BMP'S MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMP'S MUST BE STABILIZED.
 - SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH ONE-THIRD THE ABOVE GROUND HEIGHT OF SILT FENCE BARRIER.
 - STORMWATER INLETS MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED AND CONTROL MEASURES MAINTAINED AFTER EACH STORM EVENT.
 - ROCK CONSTRUCTION ENTRANCES WILL BE MAINTAINED IN A MANNER SO THAT CLEAN STONE IS ALWAYS VISIBLE ON THE SURFACE. SOIL ENCRUSTED ROCK CONSTRUCTION ENTRANCES MUST BE REMOVED AND REPLACED.

TEMPORARY/PERMANENT SEEDING

AREAS DISTURBED BY ON-SITE GRADING AND/OR THAT WILL NOT BE CONSTRUCTED UPON, SHALL BE STABILIZED WITH A PERMANENT VEGETATIVE COVER, USING THE FOLLOWING SEEDING SCHEDULE:

PLANTING DATES	SPECIES	LBS. PER ACRE	LBS. PER 1,000 SF
SEPT 1 - FEB 15	50/50 MIX OF ANNUAL RYEGRASS (LOLIUM MULTI-FLOSUM) & CEREAL (WINTER) RYE (SECALE CEREALE)	50-100	1-2
FEB 16 - APR 30	ANNUAL RYEGRASS (LOLIUM MULTI-FLOSUM)	60-100	1.4-2
MAY 1 - AUG 31	GERMAN WILLET (SETARIA ITALICA)	50	1

AREAS TO BE LEFT EXPOSED FOR GREATER THAN 20 DAYS SHALL BE TEMPORARILY STABILIZED WITH PERENNIAL RYE GRASS APPLIED AT THE RATE OF 100 LBS. PER ACRE OR 1 LB. PER 1,000 SF

ALL SEEDED AREAS ARE TO HAVE AN APPLICATION OF THE FOLLOWING:
 LIME - AMOUNT NEEDED TO OBTAIN A PH OF 5.0 (80-100 LBS./1,000 SF)
 FERTILIZER - 11 LBS. PER 1,000 SF OF 10-20-10 FERTILIZER OR APPROVED EQUIV.

MULCHING - UNROTTED SMALL GRAIN HAY FREE OF WEEDS AND SEEDS, OR SALT HAY APPLIED AT A MINIMUM RATE OF 3 TONS PER ACRE (1,240 LBS. PER 1,000 SF). DO NOT GRIND MULCH DURING APPLICATION. ANCHOR WITH DEGRADABLE MULCH NETTING, PEG AND TWINE OR LIQUID MULCH BINDER.

STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES:

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS 4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS.
- THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
- ALL DISTURBED AREAS ARE TO BE DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED DEWATERING DEVICE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.
- SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.

- STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
- CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES UNTIL THE PROBLEM IS CORRECTED.
- CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.
- WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.
- ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
 - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
 - RE-STABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THIS CHAPTER
 - APPLICABLE SAFETY CHAPTERS SHALL BE COMPLIED WITH.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL DEVELOPMENT LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.

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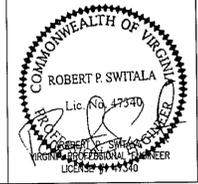
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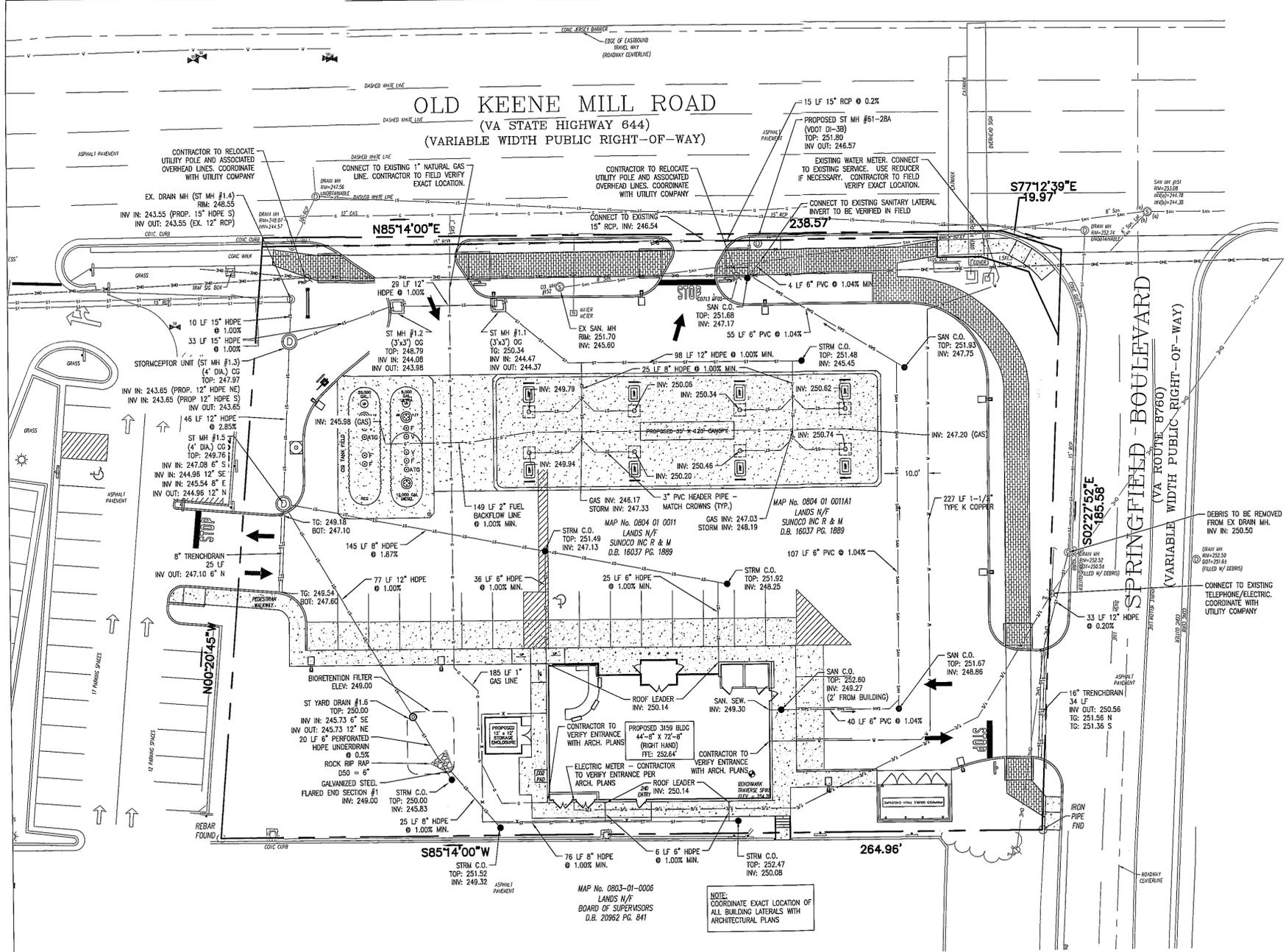
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SCALE 1" = 20'

APPROVED RPS	FACILITY NO.	DRAWING NO.	REV. NO.
CHECKED TED	0207-7261	ES-1	3
DRAWN AWN			
DATE 03/07/2012			



LEGEND

- SAN — SAN — PROPOSED SANITARY SEWER
- W — W — PROPOSED WATER LINE
- ST — ST — PROPOSED STORM SEWER
- T/E — T/E — PROPOSED TELEPHONE/ELECTRIC
- G — G — PROPOSED GAS LINE
- — □ — PROPOSED STORM CATCH BASIN
- — ○ — PROPOSED MANHOLE
- ▭ — ▭ — PROPOSED STORM TRENCHDRAIN
- — ● — PROPOSED STORM/SANITARY SEWER CLEANOUT
- SH — SH — EXISTING SANITARY SEWER
- HE — HE — EXISTING OVERHEAD ELECTRIC
- G — G — EXISTING NATURAL GAS LINE
- W — W — EXISTING WATER SEWER
- W — W — EXISTING WATER LINE
- E — E — EXISTING OVERHEAD ELECTRIC POLE
- — □ — EXISTING STORM CATCH BASIN
- — ○ — EXISTING SANITARY SEWER MANHOLE

MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Zoning Ordinance paragraphs:
 Special Exceptions (8-011 2J & 2L)
 Special Permits (8-011 2J & 2L)
 Cluster Subdivision (8-113 1 & 1N)
 Commercial Revitalization Districts (8-622 2A (12) & (14))
 Development Plans PRC District (16-302 3 & 4L)
 PRC Plan (16-303 1E & 1O)
 FDP P Districts (except PRC) (16-502 1F & 1D)
 Amendments (16-202 10F & 10J)

1. Plat is at a minimum scale of 1"=50' (unless it is depicted on one sheet with a minimum scale of 1"=100').
2. A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access roads, site outlets, energy dissipation devices, and stream stabilization measures as shown on Sheet U-1.
3. Provide:

Facility Name/Type & No.	On-site area served (acres)	Off-site area served (acres)	Drainage area (acres)	Footprint area (sf)	Storage Volume (cf)	If pond, dam height (ft)
STORMCEPTOR	0.51 ACRES	0.00 ACRES	0.61 ACRES	5.5 SF	114	N/A
Totals						
4. On-site drainage channels, outfalls and pipe systems are shown on Sheet U-1. Pond inlet and outlet pipe systems are shown on Sheet U-1.
5. Maintenance access (road) to stormwater management facility(ies) is shown on Sheet N/A. Type of maintenance access road surfaces noted on the plat is N/A (asphalt, pebbles, gravel, etc.).
6. Landscaping and tree preservation shown in and near the stormwater management facility is shown on Sheet U-1.
7. A stormwater management narrative which contains a description of how detention and best management practices requirements will be met is provided on Sheet U-1.
8. A description of the existing conditions of each numbered site outlet extending downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (80 acres) is provided on Sheet U-1.
9. A description of how the outlet requirements, including contributing drainage areas of the Public Facilities Manual will be satisfied is provided on Sheet U-1.
10. Existing topography with minimum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheets SV-1.
11. A submission waiver is requested for _____.
12. Stormwater management is not required because _____.

SANITARY SEWER NOTES:

1. ONLY DOMESTIC WASTE FROM THE PROJECT SHALL BE DISCHARGED INTO THE SANITARY SEWER.
2. ALL SANITARY LATERALS SHALL BE 6" PVC SDR-21 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
3. A MINIMUM OF 3 FEET OF COVER SHALL BE PROVIDED OVER ENTIRE LENGTH OF ALL SANITARY LATERALS.
4. PRIOR TO CONSTRUCTION, A PERMIT MUST BE OBTAINED.
5. SANITARY SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH FAIRFAX COUNTY WASTEWATER MANAGEMENT REQUIREMENTS.
6. ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED AT THE PROPERTY LINE.
7. FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL LAW.
8. ANY PORTION OF SANITARY SEWER OR LATERAL WITH LESS THAN 3 FEET OF COVER WILL REQUIRE CONCRETE ENCASUREMENT.

STORM SEWER NOTES:

1. ALL STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH SMOOTH FLOW INTERIOR, UNLESS OTHERWISE SPECIFIED ON THE PLANS.
2. IN INSTANCES WHERE THE STORM SEWER CROSSES ABOVE THE SANITARY SEWER A CRUSHED STONE ENCASUREMENT SHALL BE PROVIDED AROUND THE SANITARY SEWER UP TO THE STORM SEWER-COMPACT WITH APPROVED EQUIPMENT.
3. ALL CATCH BASINS AND STORM MANHOLES TO BE CONSTRUCTED TO WITHSTAND H-20 LOADING.
4. ALL STORM STRUCTURES SHOULD BE INSTALLED IN CONFORMANCE WITH DEMOLITION OF EXISTING PIPES AND STRUCTURES.

WATER SERVICE NOTES:

1. WATER SERVICE LINES SHALL HAVE A MINIMUM OF 5 FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND 6 FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
2. WATER SERVICE LINES SHALL BE SEPARATED AT LEAST 10 FEET, MEASURED FROM OUTSIDE OF THE PIPES, FROM SEWER MAINS.
3. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER PIPE LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM EACH OTHER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VALVES) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VALVES.
4. BACKFLOW PREVENTER AND WATER METER ARE LOCATED INSIDE BUILDING. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION.

STORMWATER MANAGEMENT NARRATIVE

AS REFLECTED ON THE "EXISTING CONDITIONS" SHEET, THIS SITE IS CURRENTLY A SUNOCO GAS STATION AND IS 81.5% IMPERVIOUS. THE PROPOSED DEVELOPMENT IS A RENOVATION OF THE SUNOCO GAS STATION AND HAS AN IMPERVIOUS AREA OF 75.7%. THIS DECREASE IN IMPERVIOUS AREA GENERATES A DECREASE IN THE 10-YEAR PEAK RATE OF RUNOFF, THIS MAKING THE PROPOSED DEVELOPMENT COMPLIANT FOR THE STREAM CHANNEL EROSION REQUIREMENT AND FLOODING REQUIREMENT FOR VIRGINIA.

BY DEFINITION IN THE CHESAPEAKE BAY PRESERVATION ORDINANCE, THIS PROJECT IS CONSIDERED A "REDEVELOPMENT." THIS REQUIRES THE TOTAL PHOSPHORUS RUNOFF POLLUTION LOAD FROM THE PROPERTY SHALL BE REDUCED BY AT LEAST 10.0% FROM THE PHOSPHORUS RUNOFF POLLUTION LOAD PRIOR TO REDEVELOPMENT. THERE ARE NO WATER QUALITY DEVICES CURRENTLY IN PLACE THAT WILL REDUCE AND IT IS OUR INTENTION IS TO PROVIDE PHOSPHORUS REDUCTION THROUGH THE USE OF A STORMCEPTOR UNIT.

THIS PROPERTY IS NOT WITHIN THE WATERSHED PROTECTION OVERLAY DISTRICT AND THERE ARE NO RESOURCE PROTECTION AREAS ON SITE. ALL BMPs, INLETS AND PIPES SHALL BE PROPERLY MAINTAINED.

PRESENTLY, THE SITE HAS AN ELEVATION CHANGE OF APPROXIMATELY 8 FEET. THE SITE GENERALLY SLOPES FROM A HIGH POINT AT THE CENTER OF THE SITE IN ALL DIRECTIONS. THE HIGH POINTS LOCATED AT THE CENTER OF THE SITE ARE AT AN ELEVATION OF APPROXIMATELY 256. CURRENTLY, THE SITE DRAINS TO THREE SEPARATE EXISTING STORM SEWER SYSTEMS. THE NORTHERN AND EASTERN PORTIONS OF THE SITE DRAINS INTO THE STORM SEWER SYSTEM LOCATED WITHIN OLD KEENE MILL ROAD. THE SOUTHWESTERN PORTION OF THE SITE DRAINS INTO AN EXISTING CURB INLET LOCATED IN THE NORTHWESTERN CORNER OF THE SITE, WHICH TIES INTO A SECOND STORM SEWER SYSTEM ALONG OLD KEENE MILL ROAD. THE OTHER HALF OF THE SOUTHEASTERN PORTION OF THE SITE DRAINS INTO AN EXISTING STORM SEWER SYSTEM LOCATED ALONG SPRINGFIELD BOULEVARD. NO OFF-SITE AREAS DRAIN ONTO THE SUNOCO SITE. WITH THE USE OF THE RATIONAL METHOD, THE APPROXIMATE RUNOFF FROM ALL CONTRIBUTING AREAS TO A POINT THAT IS 150 FEET DOWNSTREAM OF THE SUNOCO SITE'S DISCHARGE POINT INTO THE SECONDARY STORM SEWER SYSTEM ALONG OLD KEENE MILL ROAD IS 9.6 CFS. DRAINAGE AREAS CONTRIBUTING TO THE STORM SEWER SYSTEM WITHIN OLD KEENE MILL ROAD AND THE STORM SEWER SYSTEM ALONG SPRINGFIELD BOULEVARD HAVE EITHER BEEN REDUCED OR AN OUTLAW ANALYSIS OF THE SITE PROVED THAT THE STORM SEWER SYSTEM IS ADEQUATE FOR THESE FLOWS. ONLY IMPERVIOUS AREAS FROM THE PROPOSED SUNOCO DEVELOPMENT ENTERING THE SECONDARY STORM SEWER SYSTEM ALONG OLD KEENE MILL ROAD WILL ENCOUNTER THE PROPOSED STORMCEPTOR UNIT TO IMPROVE WATER QUALITY. ONCE THE STORMWATER ENTERS BOTH SYSTEMS ALONG OLD KEENE MILL ROAD, THE STORMWATER TRAVELS TO THE EXISTING PIPE SYSTEM FOLLOWING SPRING ROAD TO CALAMO STREET. THE STORMWATER THEN ENTERS INTO THE CALAMO RUN BRANCH CREEK, AND THEN ENTERS THE ACCOTINK CREEK. THE REMAINING STORMWATER THAT ENTERS ALONG SPRINGFIELD BOULEVARD TRAVELS TO THE EXISTING PIPE SYSTEM FOLLOWING UTICA STREET TO SPRING ROAD, THEN CALAMO STREET. THIS STORMWATER ALSO ENTERS INTO THE CALAMO RUN BRANCH CREEK, AND THEN ENTERS THE ACCOTINK CREEK. THE ACCOTINK CREEK DRAINS SOUTHWEST TO THE ACCOTINK BAY, THEN GUNSTON COVE AND FINAL TO THE TIDAL POTOMAC RIVER. THE SITE IS PART OF THE ACCOTINK WATERSHED.

Rainfall Event	Pre-Development				Post-Development				Percent Reduction
	Drainage Area A Peak Flow (DA-A) (cfs)	Drainage Area B Peak Flow (DA-B) (cfs)	Drainage Area C Peak Flow (DA-C) (cfs)	Total Pre-Development Peak Flow (cfs)	Drainage Area A Peak Flow (DA-A) (cfs)	Drainage Area B Peak Flow (DA-B) (cfs)	Drainage Area C Peak Flow (DA-C) (cfs)	Total Post-Development Peak Flow (cfs)	
2-year	4.30	1.54	1.19	7.03	2.97	2.90	0.91	6.78	3.56%
5-year	6.22	2.18	1.99	10.39	4.34	4.42	1.44	10.20	1.83%
10-year	7.24	2.52	2.43	12.19	5.08	5.24	1.73	12.05	1.16%
25-year	8.41	2.91	2.93	14.25	5.91	6.17	2.06	14.14	0.77%
50-year	9.87	3.40	3.57	16.84	6.94	7.33	2.47	16.74	0.59%
100-year	10.88	3.74	4.01	18.63	7.67	8.13	2.75	18.55	0.43%

Rainfall Event	Pre-Development				Post-Development				Percent Reduction
	Drainage Area A Volume (DA-A) (af)	Drainage Area B Volume (DA-B) (af)	Drainage Area C Volume (DA-C) (af)	Total Pre-Development Volume (af)	Drainage Area A Volume (DA-A) (af)	Drainage Area B Volume (DA-B) (af)	Drainage Area C Volume (DA-C) (af)	Total Post-Development Volume (af)	
2-year	0.213	0.080	0.053	0.346	0.145	0.135	0.041	0.321	7.23%
5-year	0.315	0.114	0.091	0.520	0.217	0.212	0.068	0.497	4.42%
10-year	0.369	0.133	0.112	0.614	0.256	0.254	0.082	0.592	3.58%
25-year	0.432	0.154	0.137	0.723	0.301	0.303	0.099	0.703	2.77%
50-year	0.510	0.169	0.169	0.859	0.356	0.364	0.120	0.840	2.21%
100-year	0.565	0.198	0.191	0.954	0.395	0.406	0.135	0.936	1.89%

Note: These calculations reflect the discharge for the Drainage Area encompassing the proposed site and show a full control of flows from this property for the 2, 5, 10, 25, 50, and 100 year storm

Note: These calculations reflect the discharge for the Drainage Area encompassing the proposed site and show a full control of flows from this property for the 2, 5, 10, 25, 50, and 100 year storm

Application No **PCA 90-L-050-03** Staff **S.W.**
 Approved Development Plan
 (DP) (GDP) (CDP) (FDP) (PRC) (CP)
 See **PROFFERS** dated **09-20-2012**
 Date of (BZA) (BOS) (PC) approval **9-25-2012**
 Sheet **6** of **14**

Concurrent w/ SEA 90-L-045-03
 See Dev Conds dated **9-24-2012**

Call 811 before you dig.
 Allow required time for marking.
 Respect the marks.
 Excavate carefully.

Check Ticket Status: 1-800-552-3120

Bergmann associates
 Engineers / Architects / Planners / Surveyors

1040 First Ave, Suite 100
 King of Prussia, PA 19406
 610.783.1420 / 610.783.1425 fax
 www.bergmannpc.com

COMMONWEALTH OF VIRGINIA
 ROBERT P. SWITALA
 Lic. No. 47540
 PROFESSIONAL ENGINEER
 License No. 47540

NOT FOR CONSTRUCTION

3	08/9/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS
2	07/3/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS
1	04/26/12	PER GDP/SEA COMMENTS	AVN	TED	RPS

SUNOCO, INC.
 Retail Engineering
 Lester, PA

7025 OLD KEENE MILL ROAD
 SPRINGFIELD, VA
 FAIRFAX COUNTY

PROJECT NO.
 99016.00

STORMWATER MANAGEMENT / SITE UTILITY PLAN

APPROVED RPS
 CHECKED TAV
 DRAWN AVN
 DATE 03/07/2012

FACILITY NO.
 0207-7261

DRAWING NO.
 U-1

SCALE 1" = 20'

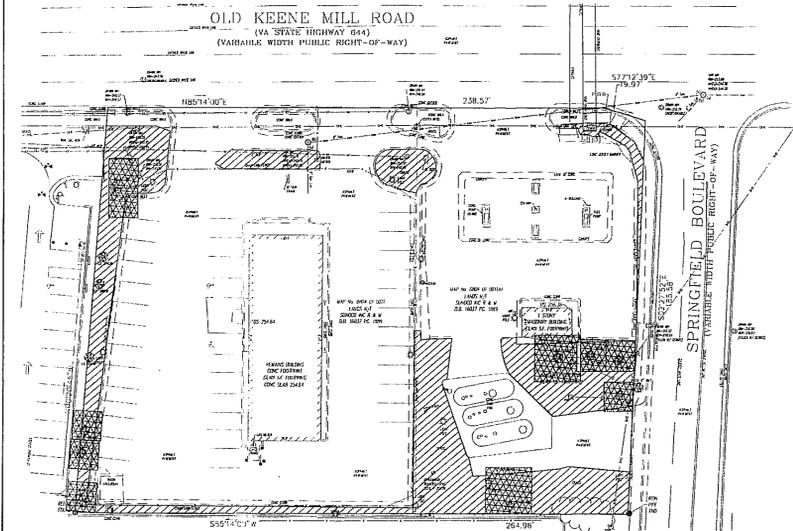
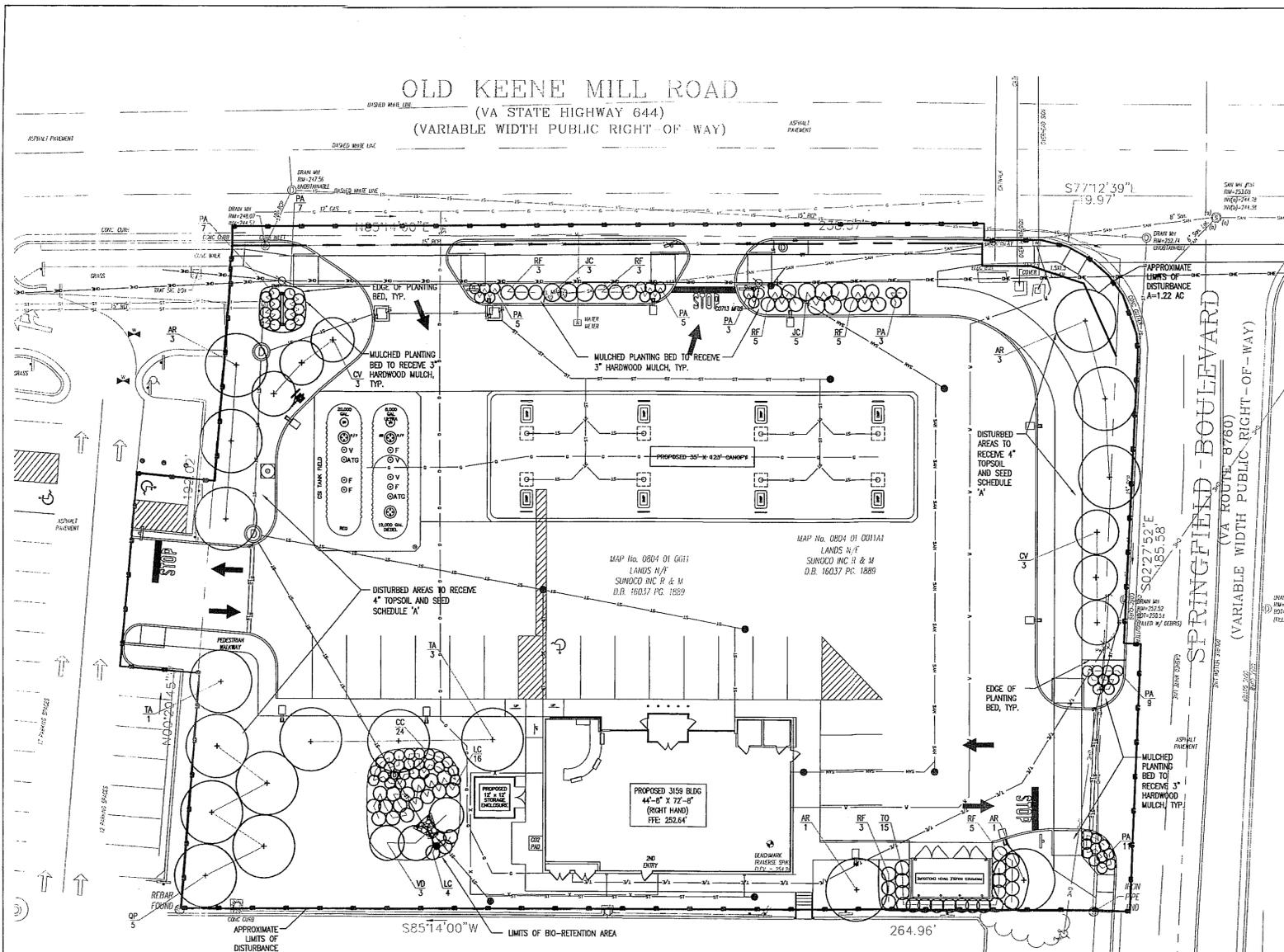
REV. NO.
 3

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CAUTION - NOTICE TO CONTRACTORS

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



EXISTING VEGETATION COVER TYPES

SIZE/TYPE	% OF SITE	KEY SPECIES PRESENT
DEVELOPED LAND	81.5 %	NONE
MAINTAINED GRASSLANDS	13.5 %	UN-IDENTIFIED BRUSH
UPLAND FOREST	5.0 %	LONDON PLANETREE, BRADFORD PEAR

5.0% OF EXISTING SITE IS COVERED BY TREE CANOPY COMPRISED OF SELF-SUPPORTING TREE AND WOODY PLANTS THAT EXCEED FIVE (5) FEET (1.5 METERS) IN HEIGHT AT TIME OF PLAN SUBMISSION.

SEED SCHEDULE 'A' (GENERAL LAWN AREAS)

- 5 lbs./1,000 s.f.
- 30% CREEPING RED FESCUE
- 50% TURF TYPE PERENNIAL RYEGRASS (MIN. 2 VARIETIES)
- 20% KENTUCKY BLUEGRASS (MIN. 2 VARIETIES)

EXISTING TREE INVENTORY AND CONDITION ANALYSIS

COMMON NAME	QUANTITY	DIAMETER	DESIGNATION	DRIP LINE	CRIT. ROOT ZONE	CONDITION	CANOPY AREA
LONDON PLANETREE	2	12"	ON-SITE	14' RADIUS	6' RADIUS	FAIR/GOOD	1,000 SF
BRADFORD PEAR	8	6"	ON-SITE	8' RADIUS	6' RADIUS	POOR/FAIR	1,800 SF

TREE PRESERVATION TARGET: 250 SF

PROPOSED TREE INVENTORY

KEY	COMMON NAME	PROPOSED QUANTITY	DIAMETER	DESIGNATION	CANOPY AREA
AR	KARPICK RED MAPLE	8	3"	PERIMETER	2000 SF
CV	FRINGETREE	6	3"	PERIMETER	750 SF
LA	AMERICAN LINDEN	6	3"	PERIMETER	1000 SF
QP	PIN OAK	5	3"	PERIMETER	1250 SF

5,000 SF (10%)

PLANT LIST

SYMBOL	KEY	SCIENTIFIC NAME	COMMON NAME	INSTALLED SIZE	MATURE SIZE	CONDITION	LANDSCAPE NOTES
SHADE TREES							
+	AR	Acer rubrum 'Karpick'	Karpick Red Maple	3" cal.	35-40' H./20' Sprd.	B&B	1. ALL PLANTS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
	CV	Chionanthus virginicus	Fringetree	3" cal.	12-20' H./12-20' Sprd.	B&B	2. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", ANSI, Z60.1 (LATEST EDITION), REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
	TA	Tilia americana 'Legend'	American Linden	3" cal.	50' H./36' Sprd.	B&B	3. ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
	QP	Quercus palustris	Pin Oak	3" cal.	60-70' H./35-40' Sprd.	B&B	4. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.
SHRUBS							
	JC	Juniperus chinensis 'Sea Green'	Sea Green Juniper	No. 3 Cont.	3' H./5-6' Sprd.	Cont.	5. ALL TREES MUST BE STRAIGHT TRUNKED, INJURY FREE, AND FULL HEADED.
	RF	Rosa 'The Fairy'	The Fairy Rose	No. 2 Cont.	3-4' H./3-4' Sprd.	Cont.	6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
	TO	Thuja occidentalis 'Emerald'	Emerald Arborvitae	6" H.	10-15' H./3-4' Sprd.	B&B	7. ANY DISCREPANCY WITH QUANTITIES, LOCATIONS AND / OR FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
	VD	Viburnum dentatum	Arrow Wood Viburnum	No. 5 Cont.	10-12' H./10-12' Sprd.	Cont.	8. MULCH ALL ISLANDS AND PLANTINGS IN LAWN AREAS WITH SHREDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES UNLESS OTHERWISE DIRECTED.
PERENNIALS / ORNAMENTAL GRASSES							
	CC	Conoclinium coelestinum	Blue Mistflower	No. 2 Cont.	1-3' H./1-3' Sprd.	Cont.	9. ANY PLANT WHICH DIES, TURNS BROWN, OR DEFLATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
	PA	Penstemon oligoneurus 'Hornet'	Hornet Fountain Grass	No. 2 Cont.	2-3' H./2-3' Sprd.	Cont.	10. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO, WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUYS) AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
	LC	Labelia cordialis	Cordinal Flower	No. 2 Cont.	3-6' H./3-6' Sprd.	Cont.	11. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR, BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.

Table 12.3 Tree Preservation Target Calculations and Statement

Step	Description	Value
A	Pre-development area of existing tree canopy (from Existing Vegetation Map) =	2,600 SF
B	Percentage of gross site area covered by existing tree canopy =	5.0%
C	Percentage of 10-year tree canopy required for site (see Table 12.4) =	10% = 4,998 SF
D	Percentage of the 10-year tree canopy requirement that should be met through tree preservation =	5.0% = 250 SF
E	Proposed percentage of canopy requirement that will be met through tree preservation =	0% = 0 SF
F	Has the Tree Preservation Target minimum been met? Provide Yes or No	No

Table 12.10 10-year Tree Canopy Calculation Worksheet

Step	Item	Value	Reference
A	Tree Preservation Target and Statement	0 SF	see § 12-0508.2 for list of required elements and worksheet
B. Tree Canopy Requirement			
B1	Identify gross site area =	49,988 SF	§ 12-0511.1(A)
B2	Subtract area dedicated to parks, road frontage, and		§ 12-0511.1(B)
B3	Subtract area of exemptions =		§ 12-0511.1(C)(1) through § 12-0511.1(C)(6)
B4	Adjusted gross site area (B1 - B2) =	49,988 SF	
B5	Identify site's zoning and/or use	C-6	
B6	Percentage of 10-year tree canopy required =	10%	§ 12-0510.1 and Table 12.4
B7	Area of 10-year tree canopy required (B4 x B6) =	4,998 SF	
B8	Modification of 10-year Tree Canopy Requirements requested?	NO	Yes or No
B9	If B8 is yes, then list plan sheet where modification request is located		Sheet number
C. Tree Preservation			
C1	Tree Preservation Target Area =	0 SF	
C2	Total canopy area meeting standards of § 12-0400 =	0 SF	
C3	C2 x 1.25 =	0 SF	§ 12-0510.3(B)
C4	Total canopy area provided by unique or valuable forest or woodland communities =	0 SF	§ 12-0510.3B(1)
C5	C4 x 1.5 =		§ 12-0510.3B(1)
C6	Total of canopy area provided by "Heritage", "Memorial", "Historic", or "Street" trees =		§ 12-0510.3B(2)
C7	C6 x 1.5 x 3.0 =		§ 12-0510.3B(2)
C8	Canopy area of trees within Resource Protection Areas and 100-year floodplains =		§ 12-0510.3C(1)
C9	C8 x 1.0 =		§ 12-0510.3C(1)
C10	Total of C3, C5, C7 and C9 =	0 SF	If area of C10 is less than B7 then remainder of requirement must be met through tree planting - go to D.
D. Tree Planting			
D1	Area of canopy to be met through tree planting (D7-C10) =	4,998 SF	
D2	Area of canopy planned for air quality benefits =		§ 12-0510.4B(1)
D3	Area of canopy planned for energy conservation =		§ 12-0510.4B(1)
D4	Area of canopy planned for water quality benefits (D2-C10) =		§ 12-0510.4B(5)
D5	Area of canopy planned for wildlife benefits =		§ 12-0510.4B(4)
D6	Area of canopy provided by native trees =		§ 12-0510.4B(5)
D7	Area of canopy provided by improved cultivars and varieties =		§ 12-0510.4B(6)
D8	Area of canopy provided through tree seedlings =		§ 12-0510.4B(1)
D9	Area of canopy provided through native shrubs =		§ 12-0510.4D(1)
D10	Percentage of D14 represented by D15 =		Must not exceed 33% of D14
D11	Total of canopy area provided through tree planting =	5,000 SF	
D12	Is an off-site planting relief requested?	Yes or No	
D13	Tree Bank or Tree Fund?	Yes or No	§ 12-0512
D14	Canopy area requested to be provided through off-site banking on tree land		
D15	Amount to be deposited into the Tree Preservation and Planting Fund		
E. Total of 10-year Tree Canopy Provided			
E1	Total of canopy area provided through tree preservation (C10) =	0 SF	
E2	Total of canopy area provided through tree planting (D17) =	5,000 SF	
E3	Total of canopy area provided through off-site mechanism (D19) =		
E4	Total of 10-year Tree Canopy Provided = (E1+E2+E3) =	5,000 SF	Total of E1 through E3. Area should meet or exceed area required by D7

Table 12.4 10-year Tree Canopy Requirements

Use or Zoning District	Percentage of site to be covered by tree canopy in 10 years
Dedicated school, athletic field, non-wooded active recreation area	10%
Commercial-Industrial; PDC; R-20; R-30; PDH-20; PDH-30; PDH-40; PRM; R-MHP; medium and high-density areas of a PRC District	10%
R-12; R-16; PDH-12; PDH-16	15%
R-5; R-8; PDH-5; PDH-8	20%
R-3; R-4; PDH-3; PDH-4	25%
R-A; R-P; R-C; R-E; R-F; R-2; PDH-1; PDH-2 and low-density areas of a PRC District	30%

Note: In Commercial Revitalization Districts the above requirements shall apply to the extent feasible for expansion or enlargement of existing developments and shall be applicable for redevelopments and new developments. Expansion, enlargement and new development shall be as defined by the Zoning Ordinance.

NOT FOR CONSTRUCTION

REV. NO.	DATE	REVISIONS	DRAWN BY	CHKD. BY	APPROV.
3	08/9/12	VDOT/FDOT/CTY COMMENTS	AVN	TED	RPS
2	07/3/12	VDOT/FDOT/CTY COMMENTS	AVN	TED	RPS
1	04/26/12	PER GDA/SEA COMMENTS	AVN	TED	RPS

SUNOCO, INC.
Retail Engineering
Lester, PA

7025 OLD KEENE HILL ROAD
SPRINGFIELD, VA
FAIRFAX COUNTY

PROJECT NO. 99016.00

LANDSCAPE PLAN

APPROVED RPS
CHECKED MRU
DRAWN TL
DATE 03/07/2012

FACILITY NO. 0207-7261

DRAWING NO. LS-1

REV. NO. 6

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Application No PCA 90-L-050-03 Staff S.W.
Approved Development Plan (DP) (GDP) (CDP) (FDP) (PRC) (CP)
See PROFFERS dated 09-20-2012
Date of (BZA) (BOS) (PC) approval 9-25-2012
Sheet 7 of 14

Concurrent w/ SEA 90-L-045-03
See Dev Conds dated 9-24-2012

Call 811 before you dig.
Allow required time for marking.
Respect the marks.
Excavate carefully.

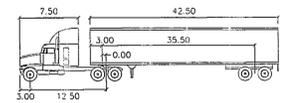
Check Ticket Status: 1-800-552-3120

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Engineers / Architects / Planners / Surveyors

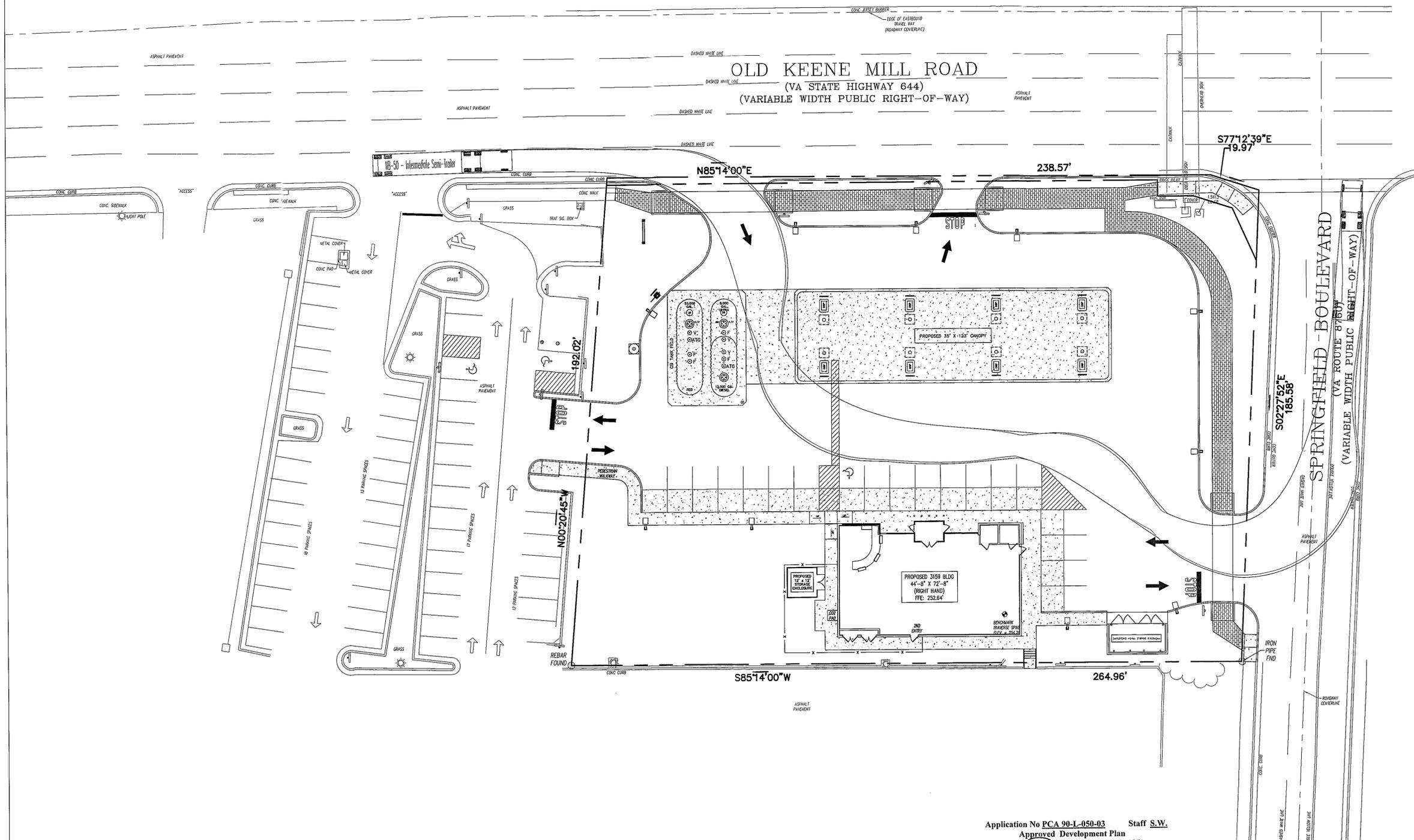
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King of Prussia, PA. 19406
610.783.1420 / 610.783.1425 fax
www.bergmannpc.com

8-09-12
LANDSCAPE ARCHITECT
VIRGINIA CERTIFIED LANDSCAPE ARCHITECT
LICENSE # 1079

OLD KEENE MILL ROAD
(VA STATE HIGHWAY 644)
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

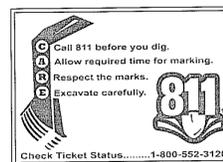


WB-50	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.00
Trailer Width	: 8.50	Steering Angle	: 17.70
Tractor Track	: 8.00	Articulating Angle	: 70.00
Trailer Track	: 8.50		

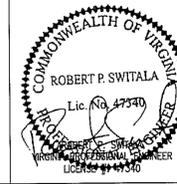


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(DP) (GDP) (CDP) (FDP) (PRC) (CP)
See PROFFERS dated 09-20-2012
Date of (BZA) (BOS) (PC) approval 9-25-2012
Sheet 8 of 14
Concurrent w/ SEA 90-L-045-03
See Dev Conds dated 9-24-2012

SCALE 1" = 20'



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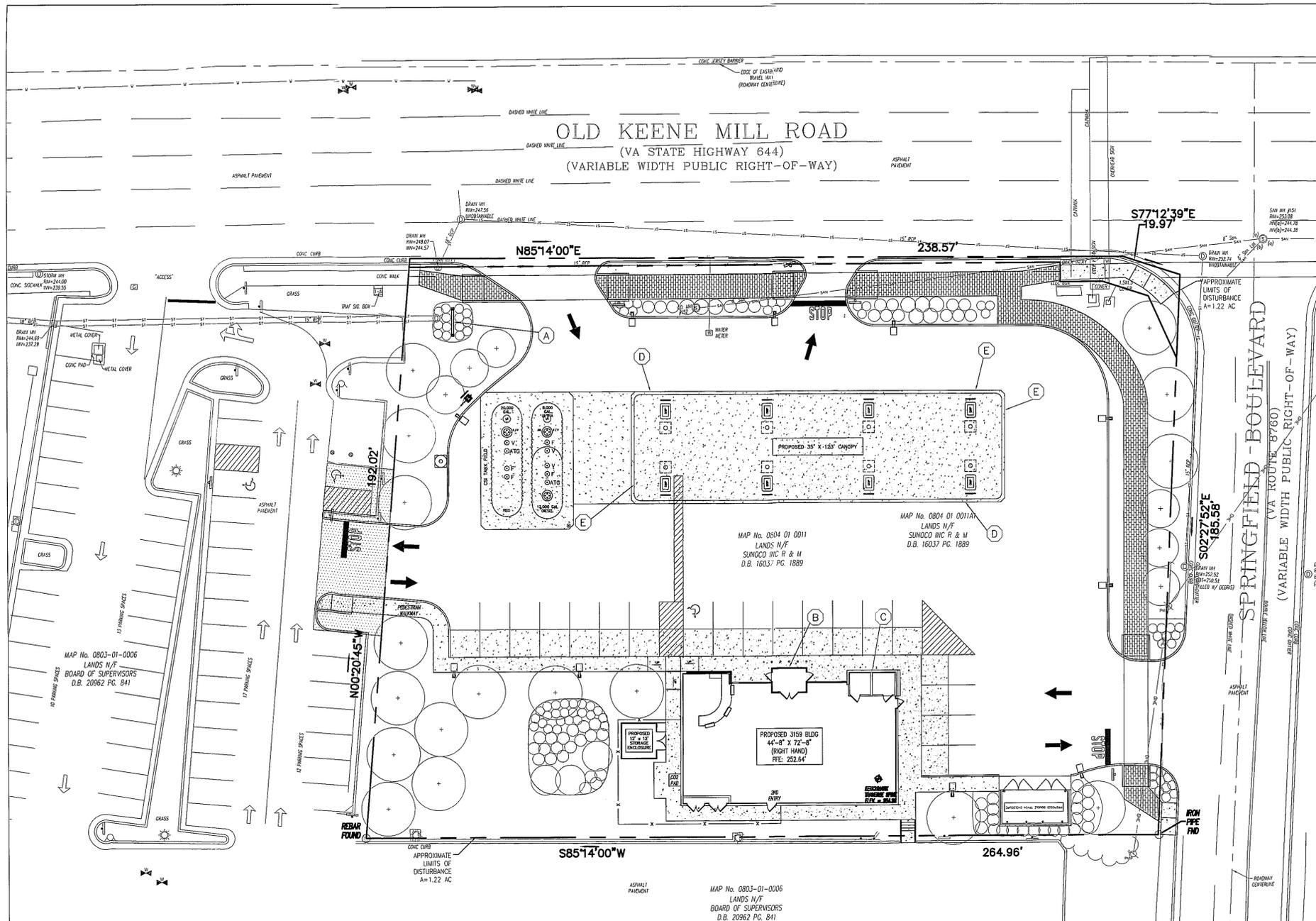


NOT FOR CONSTRUCTION						
REV. NO.	DATE	REVISIONS	DRAWN BY	CHKD BY	APP'D.	
3	08/9/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS	
2	07/3/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS	
1	04/26/12	PER GDP/SEA COMMENTS	AVN	TED	RPS	
SUNOCO, INC. Retail Engineering Lester, PA						
7025 OLD KEENE MILL ROAD SPRINGFIELD, VA FAIRFAX COUNTY			PROJECT NO. 99016.00			
TRUCK TURNING PLAN						
APPROVED RPS	CHECKED TED	DRAWN AVN	DATE 03/07/2012	FACILITY NO. 0207-7261	DRAWING NO. T-1	REV. NO. 3

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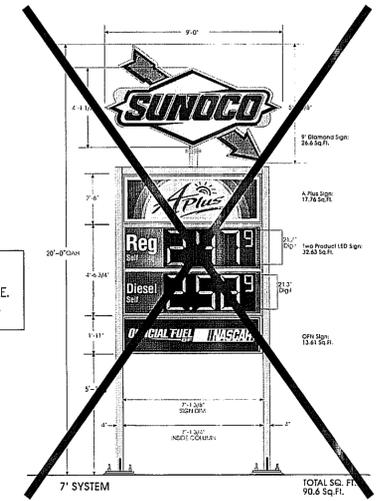
PROPOSED SIGN SCHEDULE						
MARK	DESCRIPTION	SIZE	AREA	QTY	TOTAL SF	ILLUM'D
A	PYLON - LOGO SIGN	4'-2 1/4\"(H) x 11'-0\"(W)	26.60 SF	1	26.60	YES
A	PYLON - "A-PLUS" GRAPHIC	2'-11\"(H) x 9'-0\"(W)	17.76 SF	1	17.76	YES
A	PYLON - "OFFICIAL FUEL OF NASCAR" GRAPHIC	2'-1\"(H) x 9'-0\"(W)	13.61 SF	1	13.61	YES
B	BLDG - ILLUMINATED ARCH, LEFT-HAND CONFIGURATION	12'-0\" ARCH	56.50 SF	1	56.50	YES
C	BLDG - SNAP FRAME SIGN	54\"x64\"	24.00 SF	1	24.00	YES
D	CANOPY - "OFFICIAL FUEL OF NASCAR" DECAL	1'-6\"(H) x 15'-0.574\"(W)	22.50 SF	2	45.00	YES
E	CANOPY - BACKLIT SUNOCO SIGN	1'-9\"(H) x 11'-9\"(W)	20.56 SF	3	61.68	YES

TOTAL BUILDING SIGNAGE = 96.00 SF
 TOTAL CANOPY SIGNAGE = 106.68 SF
 TOTAL FREE-STANDING SIGNAGE (NOT INCLUDING FUEL PUMP SIGN) = 57.97 SF
 TOTAL FREE-STANDING SIGNAGE (INCLUDING FUEL PUMP SIGN) = 72.66 SF
 MAXIMUM = 40 SF (DOES NOT INCLUDE PRICING SIGNAGE) (FRONTAGE = 72.66')
 PROPOSED = 26.60 + 17.76 + 13.61 = 57.97 SF
 MAXIMUM = 108.99 SF (72.66' x 1.5')
 PROPOSED = 80.50 SF (56.50 + 24.00)

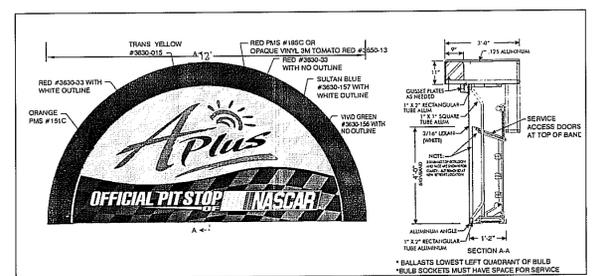
CANOPY SIGNAGE (FRONTAGE = 123')
 MAXIMUM = 173 SF (100' x 1.5' + 23' x 1.0')
 PROPOSED = 106.68 SF (45.00 + 61.68)

SEE ELEVATION PLAN FOR FURTHER CLARIFICATION OF SIGN LOCATIONS

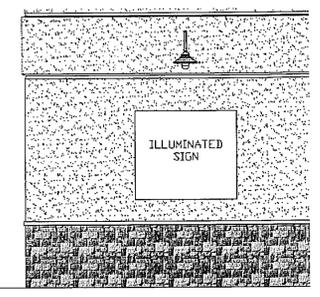
NOTE: SUNOCO IS COMMITTED TO A MONUMENT SIGN IF AT ALL POSSIBLE. THE FINAL LOCATION AND SIZE WILL NEED TO BE RESOLVED.



A PYLON - LOGO SIGN WITH "A-PLUS" GRAPHIC



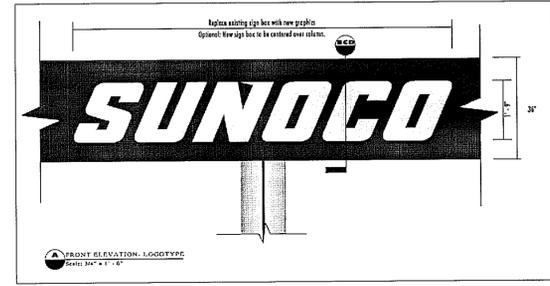
B BUILDING - ILLUMINATED ARCH, LEFT-HAND CONFIGURATION



C BUILDING - SNAP FRAME SIGN



D CANOPY - "OFFICIAL FUEL OF NASCAR" DECAL



E CANOPY - BACKLIT LOGOTYPE SIGN

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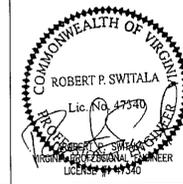
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 Approved Development Plan (DP) (GDP) (CDP) (FDP) (PRC) (CP)
 See PROFFERS dated 09-20-2012
 Date of (BZA) (BOS) (PC) approval 9-25-2012
 Sheet 2 of 14
 Concurrent w/ SEA 90-L-045-03
 See Dev Conds dated 9-24-2012



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 www.bergmannpc.com



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REV. NO.	DATE	REVISIONS	DRAWN BY	CHKD BY	APP'D.
3	08/9/12	VDDT/FDPT/CTY COMMENTS	AVN	TED	RPS
2	07/3/12	VDDT/FDPT/CTY COMMENTS	AVN	TED	RPS
1	04/26/12	PER GDP/SEA COMMENTS	AVN	TED	RPS

SUNOCO, INC.
 Retail Engineering
 Lester, PA

7025 OLD KEENE MILL ROAD
 SPRINGFIELD, VA
 FAIRFAX COUNTY

PROJECT NO.
 99016.00

SIGNAGE PLAN

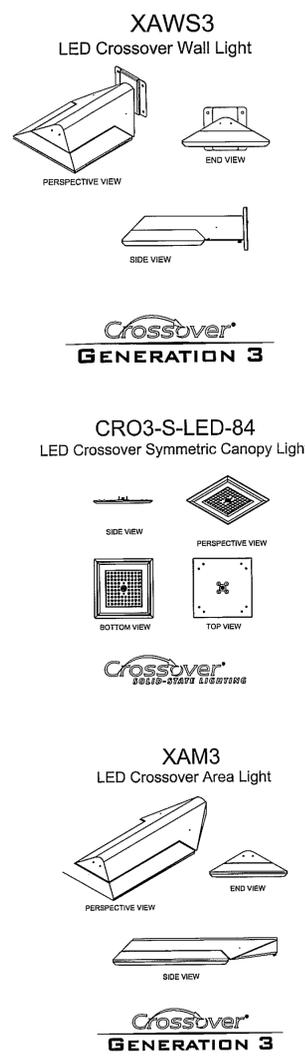
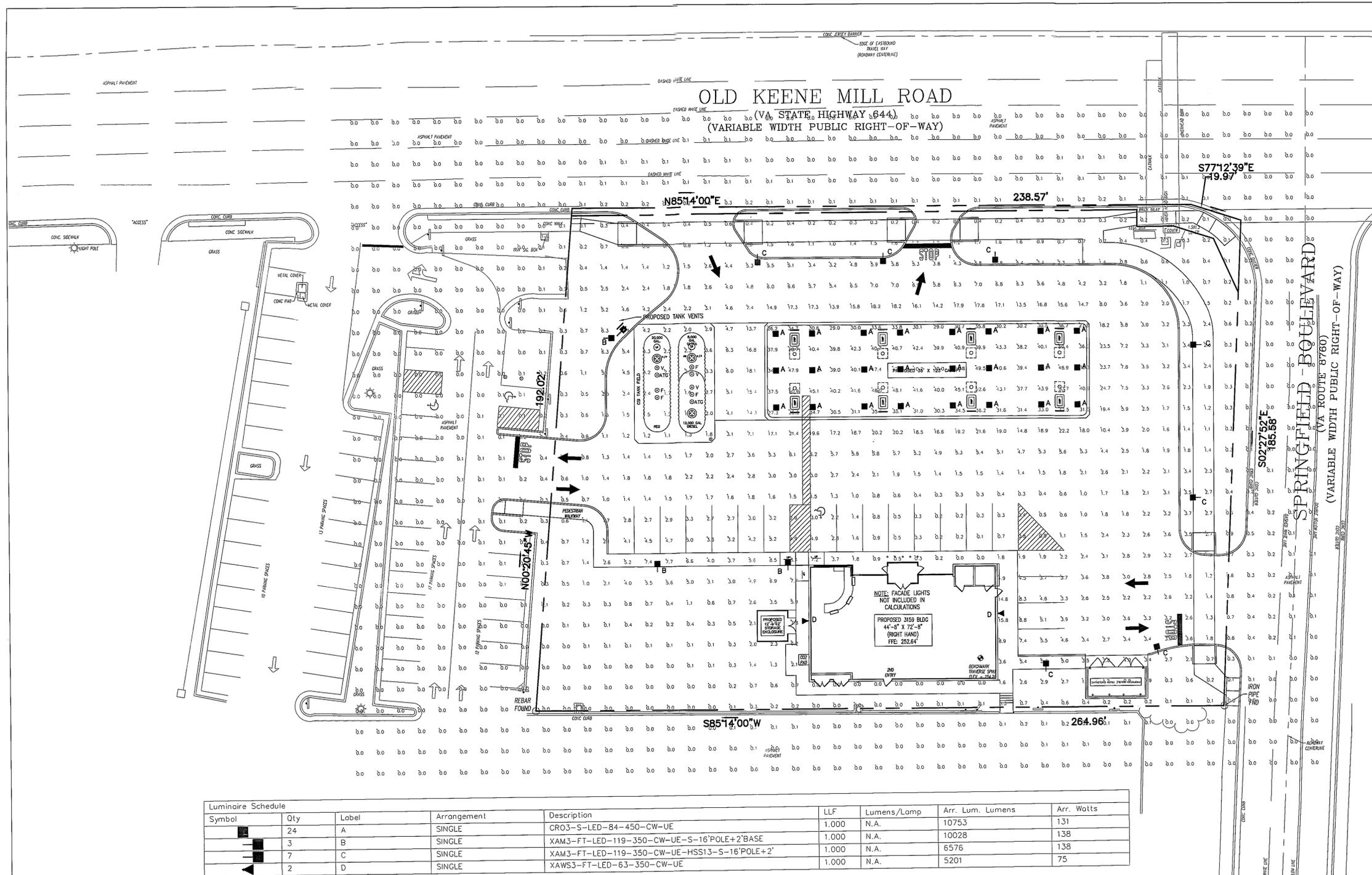
APPROVED RPS
 CHECKED TED
 DRAWN AVN
 DATE 03/07/2012

FACILITY NO.
 0207-7261

DRAWING NO.
 SN-1

REV. NO.
 3

SCALE 1" = 20'



Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
■	24	A	SINGLE	CRO3-S-LED-84-450-CW-UE	1.000	N.A.	10753	131
■	3	B	SINGLE	XAM3-FT-LED-119-350-CW-UE-S-16'POLE+2'BASE	1.000	N.A.	10028	138
■	7	C	SINGLE	XAM3-FT-LED-119-350-CW-UE-HSS13-S-16'POLE+2'	1.000	N.A.	6576	138
■	2	D	SINGLE	XAWS3-FT-LED-63-350-CW-UE	1.000	N.A.	5201	75

Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	ILLUMINANCE	Fc	3.58	53.7	0.0	N.A.	N.A.
CANOPY	ILLUMINANCE	Fc	38.31	53.7	26.2	1.46	2.05
INSIDE CURB	ILLUMINANCE	Fc	4.64	24.7	0.1	46.40	247.00

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Application No PCA 90-L-050-03 Staff S.W.
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 (DP) (GDP) (CDP) (FDP) (PRC) (CP)
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 Date of (BZA) (BOS) (PC) approval 9-25-2012
 Sheet 10 of 14

Concurrent w/ SEA 90-L-045-03
 See Dev Conds dated 9-24-2012

NOT FOR CONSTRUCTION				
REV	DATE	REVISIONS	DRWN	APP'D
3	08/9/12	VDDT/FDOT/CTY COMMENTS	AWN	TED RPS
2	07/3/12	VDDT/FDOT/CTY COMMENTS	AWN	TED RPS
1	04/26/12	PER GDP/SEA COMMENTS	AWN	TED RPS
SUNOCO, INC. Retail Engineering Lester, PA 7025 OLD KEENE MILL ROAD SPRINGFIELD, VA FAIRFAX COUNTY				
PROJECT NO. 99016.00		PHOTOMETRIC PLAN PREPARED BY LSI INDUSTRIES		
APPROVED RPS	FACILITY NO.	DRAWING NO.	REV. NO.	
CHECKED TED	0207-7261	PH-1	3	
DRAWN AWN	DATE 03/07/2012			

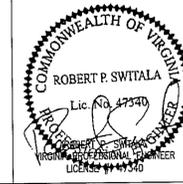
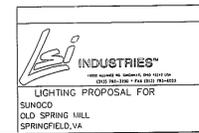
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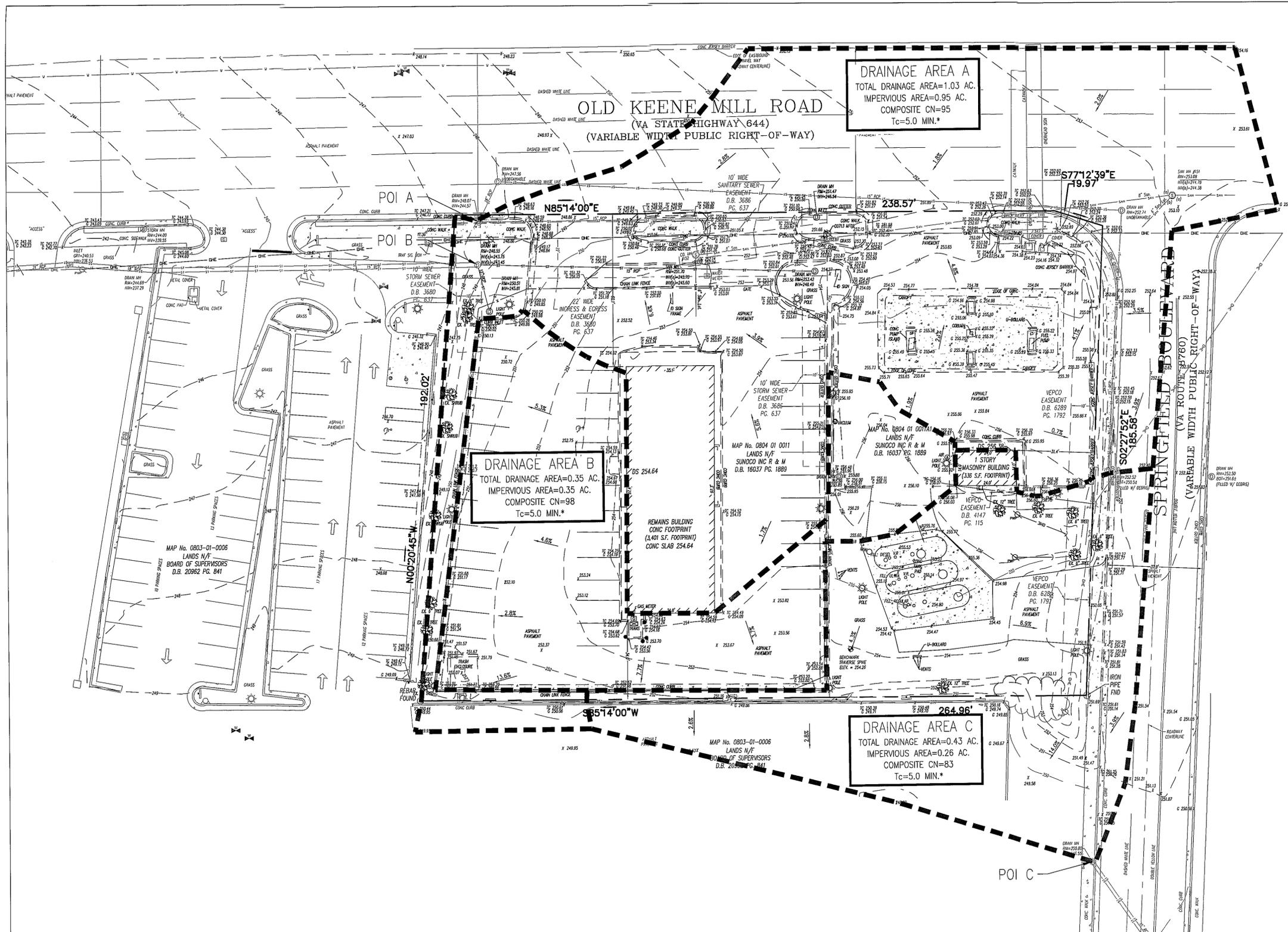
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Total Project Watts
Total Lumens = 4974





LEGEND

--- OVERALL DRAINAGE DIVIDE BOUNDARY

--- TIME OF CONCENTRATION PATH
* NOTE: A 5 MINUTE MINIMUM WAS USED FOR THIS CALCULATION

-1.0% SURFACE SLOPE

DRAINAGE AREA A
TOTAL DRAINAGE AREA=1.03 AC.
IMPERVIOUS AREA=0.95 AC.
COMPOSITE CN=95
Tc=5.0 MIN.*

DRAINAGE AREA B
TOTAL DRAINAGE AREA=0.35 AC.
IMPERVIOUS AREA=0.35 AC.
COMPOSITE CN=98
Tc=5.0 MIN.*

DRAINAGE AREA C
TOTAL DRAINAGE AREA=0.43 AC.
IMPERVIOUS AREA=0.26 AC.
COMPOSITE CN=83
Tc=5.0 MIN.*

Application No **PCA 90-L-050-03** Staff **S.W.**
Approved Development Plan
(DP) (GDP) (CDP) (FDP) (PRC) (CP)
See **PROFFERS** dated **09-20-2012**
Date of (BZA) (BOS) (PC) approval **9-25-2012**
Sheet **11** of **14**
Concurrent w/ SEA 90-L-045-03
See Dev Conds dated **9-24-2012**

NOT FOR CONSTRUCTION

3	08/9/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS
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1	04/26/12	PER GDP/SEA COMMENTS	AVN	TED	RPS

REV. NO. DATE REVISIONS DRAWN BY CHECKED BY APPVD.

SUNOCO, INC.
Retail Engineering
Lester, PA

7025 OLD KEENE MILL ROAD
SPRINGFIELD, VA
FAIRFAX COUNTY

PROJECT NO.
99016.00

PRE-DEVELOPMENT DRAINAGE DIVIDE MAP

SCALE 1" = 20'

APPROVED RPS	FACILITY NO.	DRAWING NO.	REV. NO.
CHECKED TED	0207-7261	DDPRE	3
DRAWN AVN			
DATE 03/07/2012			

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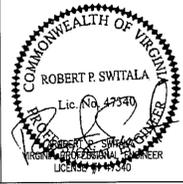
Call 811 before you dig.
Allow required time for marking.
Respect the marks.
Excavate carefully.

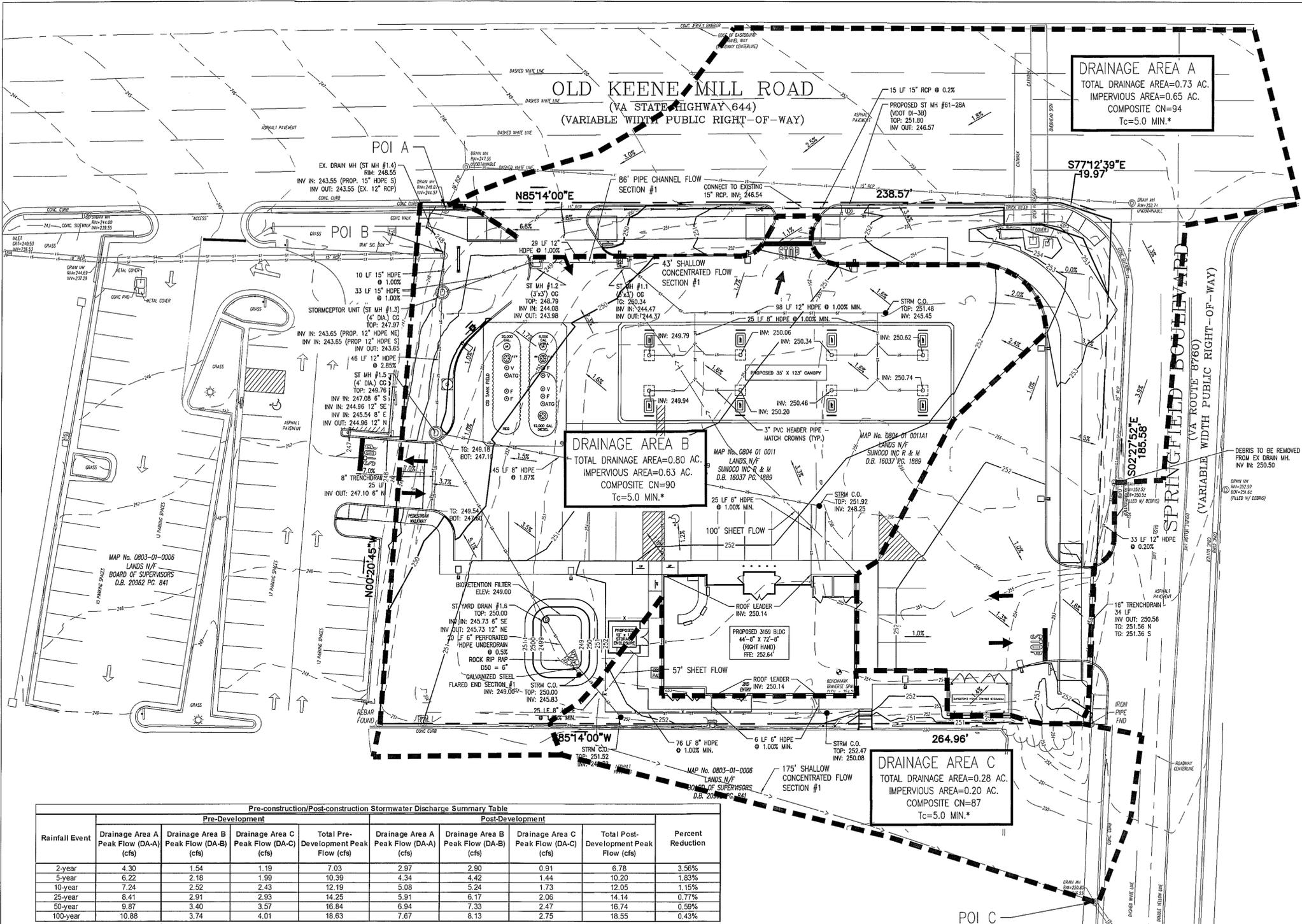
811

Check Ticket Status.....1-800-552-3120

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King of Prussia, PA 19406
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LEGEND

- DRAINAGE DIVIDE LINE
- TIME OF CONCENTRATION PATH
* NOTE: A 5 MINUTE MINIMUM WAS USED FOR THIS CALCULATION
- - - EXISTING CONTOUR
- - - PROPOSED MAJOR CONTOUR
- - - PROPOSED MINOR CONTOUR
- 1.6% PROPOSED SLOPE
- PROPOSED STORM PIPE
- PROPOSED CATCH BASIN
- PROPOSED CLEANOUT
- PROPOSED MANHOLE
- PROPOSED TRENCHDRAIN BREAKLINE

DRAINAGE AREA A
TOTAL DRAINAGE AREA=0.73 AC.
IMPERVIOUS AREA=0.65 AC.
COMPOSITE CN=94
Tc=5.0 MIN.*

DRAINAGE AREA B
TOTAL DRAINAGE AREA=0.80 AC.
IMPERVIOUS AREA=0.63 AC.
COMPOSITE CN=90
Tc=5.0 MIN.*

DRAINAGE AREA C
TOTAL DRAINAGE AREA=0.28 AC.
IMPERVIOUS AREA=0.20 AC.
COMPOSITE CN=87
Tc=5.0 MIN.*

Pre-construction/Post-construction Stormwater Discharge Summary Table

Rainfall Event	Pre-Development			Post-Development			Total Post-Development Peak Flow (cfs)	Percent Reduction
	Drainage Area A Peak Flow (DA-A) (cfs)	Drainage Area B Peak Flow (DA-B) (cfs)	Drainage Area C Peak Flow (DA-C) (cfs)	Total Pre-Development Peak Flow (cfs)	Drainage Area A Peak Flow (DA-A) (cfs)	Drainage Area B Peak Flow (DA-B) (cfs)		
2-year	4.30	1.54	1.19	7.03	2.97	0.91	6.78	3.56%
5-year	6.22	2.18	1.99	10.39	4.34	1.44	10.20	1.83%
10-year	7.24	2.52	2.43	12.19	5.08	1.73	12.05	1.15%
25-year	8.41	2.91	2.93	14.25	5.91	2.06	14.14	0.77%
50-year	9.87	3.40	3.57	16.84	6.94	2.47	16.74	0.59%
100-year	10.88	3.74	4.01	18.63	7.67	2.75	18.55	0.43%

Note: These calculations reflect the discharge for the Drainage Area encompassing the proposed site and show a full control of flows from this property for the 2, 5, 10, 25, 50, and 100 year storm

Pre-construction/Post-construction Stormwater Volume Summary Table

Rainfall Event	Pre-Development			Post-Development			Total Post-Development Volume (af)	Percent Reduction
	Drainage Area A Volume (DA-A) (af)	Drainage Area B Volume (DA-B) (af)	Drainage Area C Volume (DA-C) (af)	Total Pre-Development Volume (af)	Drainage Area A Volume (DA-A) (af)	Drainage Area B Volume (DA-B) (af)		
2-year	0.213	0.080	0.053	0.346	0.145	0.135	0.321	7.23%
5-year	0.315	0.114	0.091	0.520	0.217	0.068	0.497	4.42%
10-year	0.369	0.133	0.112	0.614	0.256	0.082	0.582	3.58%
25-year	0.432	0.154	0.137	0.723	0.301	0.099	0.703	2.77%
50-year	0.510	0.180	0.169	0.859	0.356	0.120	0.840	2.21%
100-year	0.565	0.198	0.191	0.954	0.395	0.135	0.936	1.89%

Note: These calculations reflect the discharge for the Drainage Area encompassing the proposed site and show a full control of flows from this property for the 2, 5, 10, 25, 50, and 100 year storm

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811

Call 811 before you dig.
Allow required time for marking.
Respect the marks.
Excavate carefully.

Check Ticket Status: 1-800-552-3120

Bergmann associates

Engineers / Architects / Planners / Surveyors

1040 First Ave, Suite 100
King of Prussia, PA. 19406
610.783.1420 / 610.783.1425 fax
www.bergmannpc.com

COMMONWEALTH OF VIRGINIA

ROBERT P. SWITALA

Lic. No. 47340

Professional Engineer

Application No PCA 90-L-050-03 Staff S.W.
Approved Development Plan
(DP) (GDP) (CDP) (FDP) (PRC) (CP)
See PROFFERS dated 09-20-2012
Date of (BZA) (BOS) (PC) approval 9-25-2012
Sheet 12 of 14

Concurrent w/ SEA 90-L-045-03
See Dev Conds dated 9-24-2012

NOT FOR CONSTRUCTION

3	08/9/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS
2	07/3/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS
1	04/26/12	PER GDP/SEA COMMENTS	AVN	TED	RPS

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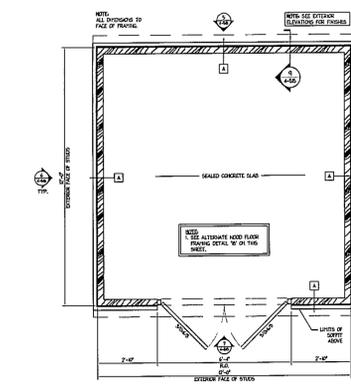
7025 OLD KEENE MILL ROAD
SPRINGFIELD, VA
FAIRFAX COUNTY

PROJECT NO. 99016.00

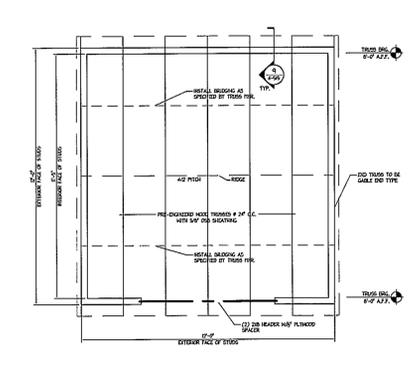
POST-DEVELOPMENT DRAINAGE DIVIDE MAP

SCALE 1" = 20'

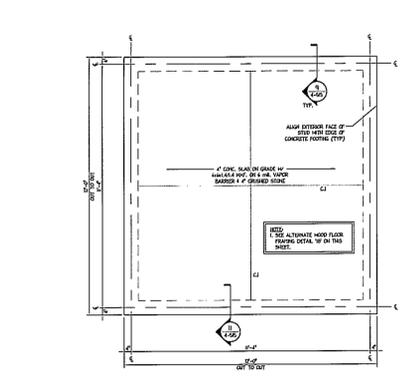
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CHECKED TED	0207-7261	DDPOST	3
DRAWN AVN			
DATE 03/07/2012			



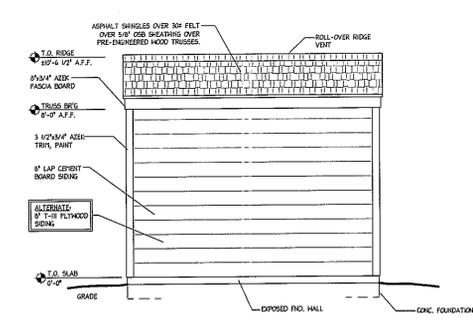
1 FLOOR PLAN
SCALE: 1/4"=1'-0"



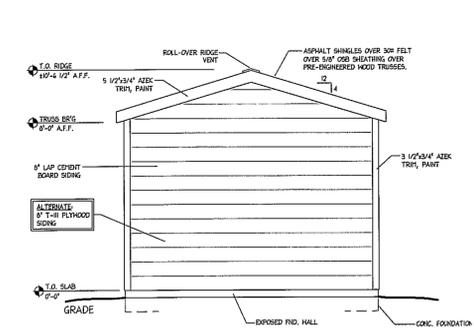
2 FRAMING PLAN
SCALE: 1/4"=1'-0"



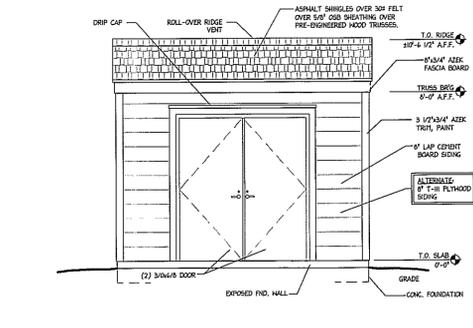
3 FOUNDATION PLAN
SCALE: 1/2"=1'-0"



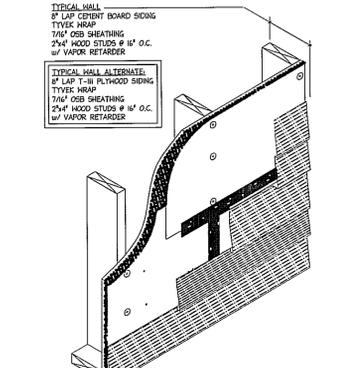
5 LEFT ELEVATION
SCALE: 1/4"=1'-0"



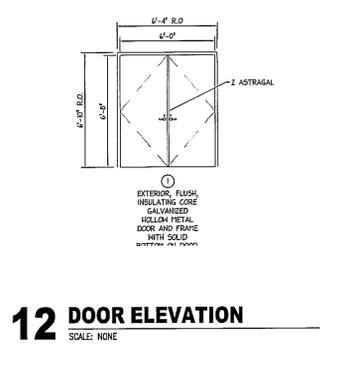
6 TYP. SIDE ELEVATION
SCALE: 1/4"=1'-0"



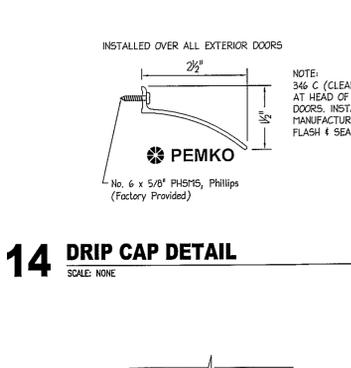
7 RIGHT ELEVATION
SCALE: 1/4"=1'-0"



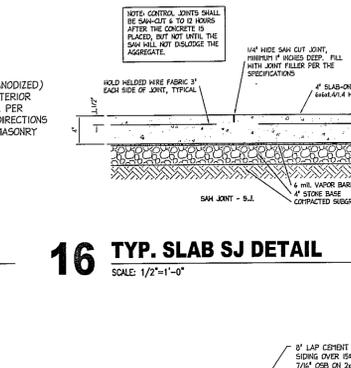
10 TYP. WALL ISOMETRIC
SCALE: NONE



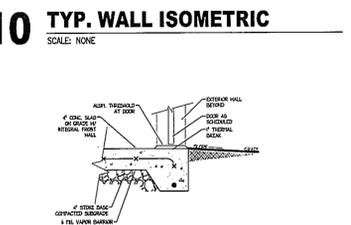
12 DOOR ELEVATION
SCALE: NONE



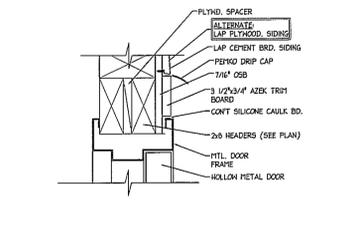
14 DRIP CAP DETAIL
SCALE: NONE



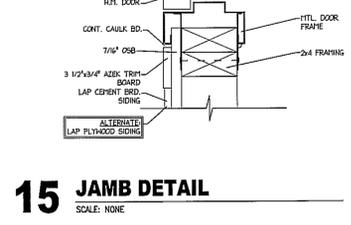
16 TYP. SLAB SJ DETAIL
SCALE: 1/2"=1'-0"



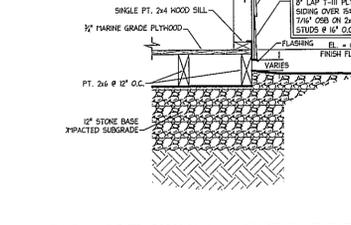
11 SECTION AT DOOR
SCALE: 1/2"=1'-0"



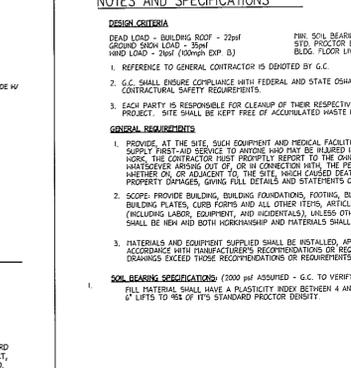
13 HEAD DETAIL
SCALE: NONE



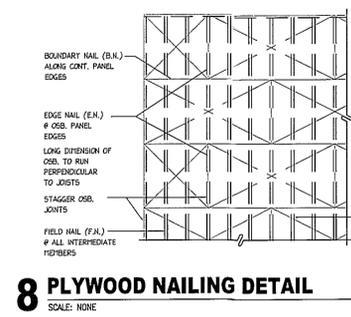
15 JAMB DETAIL
SCALE: NONE



18 ALT. WOOD FLOORING DETAIL
SCALE: 1/4"=1'-0"



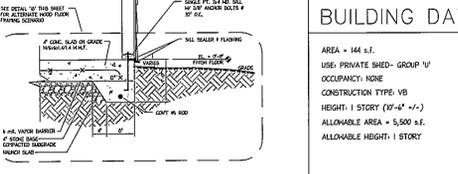
17 TYP. TRUSS PROFILE
SCALE: 1/4"=1'-0"



8 PLYWOOD NAILING DETAIL
SCALE: NONE

PREFABRICATED TRUSS SPECIFICATIONS

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE A PREFABRICATED ROOF TRUSS SYSTEM AS SPECIFIED, INCLUDING BUT NOT LIMITED TO:
 - FABRICATION OF TRUSSES AND CONNECTORS
 - SECTION ACCESSORIES OF TRUSSES AND BRACING
 - BRIDGING AND ATTACHMENT TO STRUCTURE
- THE DESIGN AND FABRICATION OF TRUSSES AND BRACING SHALL MEET WITH NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENINGS BY NATIONAL FOREST PRODUCTS ASSOCIATION (LATEST REVISION), "TRUSS CONSTRUCTION STANDARDS" BY AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (LATEST REVISION) AND AS SHOWN ON ALL INTERMEDIATE SUPPORTS. (F.A.)
- THE FABRICATOR SHALL BE AN ESTABLISHED FIRM REGULARLY INVOLVED IN THE ENGINEERING AND FABRICATION OF THE TYPES OF TRUSSES REQUIRED AND SUBSCRIBE TO THE TRUSS PLATE INSTITUTE (T.P.I.) IN-PLANT INSPECTION.
- FINISH DESIGN CRITERIA: DESIGN OF PLATES, LUMBER AND CONNECTIONS TO BE IN ACCORDANCE WITH THE APPROVED VALUES AS NOTED ON THE STRUCTURAL DRAWING. REPETITIVE MEMBER STRESS INCREASE IS PERMITTED FOR TRUSSES 2" - 4" O.C. (LUMBER ONLY).
- ANY MECHANICAL EQUIPMENT LOAD IS TO BE ADDITIVE TO LIVE LOAD AND DEFLECTION TO BE LIMITED TO L/400.
- SUBMITTALS: TWO COPIES OF THE SHOP DRAWINGS SHALL BE FORWARDED TO THE MUNICIPALITY FOR FILES.
- THE FOLLOWING INFORMATION IS TO BE NOTED ON THE DRAWING:
 - DESIGN AND FABRICATION DATA
 - METAL CONNECTORS MANUFACTURER, SIZE, GAUGE AND LOCATION
 - LUMBER GRADING FOR EACH MEMBER
 - PITCH SPAN AND SPACING OF TRUSSES
 - DESIGN LOADING AND ALLOWABLE UNIT STRESS INCREASES
 - TENSION OR COMPRESSION FORCE FOR EACH MEMBER
 - ALL PERMANENT AND TEMPORARY BRACING
 - BUILDING SIZE AND ADDRESS
 - HANDLING AND ERECTION INSTRUCTIONS
- ALL LUMBER USED FOR TRUSSES SHALL BE A GRADEMARK STAMP INDICATING TYPE GRADE, MILL AND GRADE. ALL TOP AND BOTTOM CHORD MEMBERS OF EACH TRUSS SHALL HAVE A GRADEMARK IN PLACE UPON DELIVERY TO THE JOB SITE.
- FINISH DESIGN VALUES OR VISUALLY GRADED LUMBER HAVING THE FOLLOWING FINISH DESIGN VALUES:
 - E (MODULUS OF ELASTICITY) 1,300,000 PSI FINISH
 - FB - SINGLE (EXTREME FIBER STRESS IN BENDING) 1,950 PSI FINISH
 - FC (COMPRESSION PARALLEL TO GRAIN) 1,100 PSI FINISH
 - FT (TENSION PARALLEL TO GRAIN) 750 PSI FINISH
- NO LUMBER SHALL BE USED THAT HAS A SLOPE OR GRAIN EXCEEDING THE STANDARD 1" SLOPE TO 8" RUN.
- ALL TRUSS CONNECTOR PLATES SHALL BE MANUFACTURED FROM ONLY PRIME COMMERCIAL QUALITY GALVANNEED SHEET OF NO LESS THAN 20 GAUGE (0.035") THICKNESS HAVING A TENSILE STRENGTH OF 48,000 PSI. THE CORROSION RESISTANT COATING SHALL BE 125 CC. PER SF. COATING CLASS, NOT DIPPED GALVANIZED OR GALVALUMIT. ALL CONNECTORS SHALL CONFORM WITH DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES BY TRUSS PLATE INSTITUTE. EACH PLATE SHALL BEAR THE STAMPED NAME OF ITS MANUFACTURER.
- TRUSSES SHALL BE INSTALLED STRAIGHT AND FLUSH USING A STRING LINE BETWEEN SUPPORTS AND A LEVEL AT EACH BRACING AND BEARING LOCATION TO ASSURE ACCURACY.
- TEMPORARY TOP CHORD LATERAL BRACING SHALL BE 2 X 4 LAD LAY AT QUARTER POINTS ALONG THE LENGTH OF THE TRUSS. REMOVAL OF THE TEMPORARY BRACING SHALL PROCEED WITH THE INSTALLATION OF THE PERMANENT SHEATHING. TEMPORARY BRACING SHALL BE IN STRICT ACCORDANCE WITH TRUSS PFG. INSTALLATION MANUAL AND THE TRUSS PLATE INSTITUTE GUIDELINES.
- FIELD CUTTING OF TRUSSES NOT ALLOWED.
- CONNECTIONS TO BE MADE TO BE ATTACHED TO OR SUPPORTED BY TRUSSES. VERIFY THAT CONNECTIONS WILL OCCUR ONLY AT LOCATIONS INCORPORATED INTO THE DESIGN OF THE TRUSSES.
- TRUSS CHORD LOCATION AND LINE: 1/2" MAXIMUM DEVIATION FROM TRUE POSITION.



9 TYP. WALL SECTION
SCALE: 1/2"=1'-0"

BUILDING DATA		FINISH SPECIFICATIONS	
AREA = 144 s.f.	USE PRIVATE SHED - GROUP V	TYPE	SPECIFICATION
CONSTRUCTION TYPE: VB	HEIGHT: 1 STORY (10'-0" +/-)	EPoxy	CHRY-COTE EPOXY, EP 1000 COATING, CONTACT 125 GARLAND, INC. 261-883-4076
ALLOWABLE AREA = 5,500 s.f.	ALLOWABLE HEIGHT: 1 STORY	LAP CEILING BOARD SIDING	3 1/2" X 6" PLANK LAP SIDING MODEL - SELECT CEDARSHILL OR APPROVED EQUAL COLOR: SHEWAN HILLMANS - ONYX GREY REMSABAS
		ALTERNATE 1/2" T-11 PLYWOOD SIDING	99 T-11 PLYWOOD LAP SIDING COLOR: SHEWAN HILLMANS - ONYX GREY REMSABAS
		ASPHALT SHINGLES	OWENS CORNING - OAK PRO 30 COLOR: ESTATE GREY
		SEALED CONCRETE	CORONADO PAINT COLOR: CLEAR

NOTES AND SPECIFICATIONS

DESIGN CRITERIA

DEAD LOAD - BUILDING ROOF - 20psf
GROUND SNOW LOAD - 35psf (EXP. 2)
WIND LOAD - 70psf (CONVEX EXP. 2)

FINISH SOIL BEARING - 2000psf (ASSUMED)
SITE COLLATERAL GRADE - 40
BLSG FLOOR LIVE LOAD - 100psf

1. REFERENCE TO GENERAL CONTRACTOR IS DENOTED BY G.C.

GENERAL REQUIREMENTS

- PROVIDE, AT THE SITE, SUCH EQUIPMENT AND FACILITIES AS ARE NECESSARY TO SUPPORT TEST AND SERVICE TO ANCHORS AND TO BE BLAZED IN CONNECTION WITH THE WORK. THE CONTRACTOR MUST PROMPTLY REPORT TO THE OWNER ALL ACCIDENTS, HAZARDOUS AREAS OUT OF OR IN CONNECTION WITH THE PERFORMANCE OF THE WORK, WHETHER ON OR ADJACENT TO THE SITE, WHICH CAUSED DEATH, PERSONAL INJURY, OR PROPERTY DAMAGE, GIVING FULL DETAILS AND STATEMENTS OF WITNESSES.
- SCOPE: PROVIDE BUILDING, BUILDING FOUNDATIONS, FOOTING, BUILDING ANCHOR BOLTS, LEVELING, BUILDING PLATES, CURB FORMS AND ALL OTHER ITEMS, MATERIALS AND OPERATIONS (INCLUDING LABOR, EQUIPMENT, AND MATERIALS), UNLESS OTHERWISE SPECIFIED. ALL MATERIALS SHALL BE NEW AND BOTH WORKMANSHIP AND MATERIALS SHALL BE OF A GOOD QUALITY.
- MATERIALS AND EQUIPMENT SUPPLIED SHALL BE INSTALLED, APPLIED, OR BREATHED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS OTHERWISE SPECIFIED. THESE DRAWINGS EXCEED THOSE RECOMMENDATIONS OR REQUIREMENTS.

SOIL BEARING SPECIFICATIONS (2000 psf ASSUMED - G.C. TO VERIFY W/ GEOTECH ENGINEER)

FILL MATERIAL SHALL HAVE A PLASTICITY INDEX BETWEEN 4 AND 17 AND BE COMPACTED TO 95% OF ITS STANDARD PROCTOR DENSITY.

SPECIFIED COMPRESSIVE STRENGTH (psi)	NON AIR-ENTRAINED CONCRETE (lb.)	AIR-ENTRAINED CONCRETE (lb.)
3000	470	517
4000	564	611

STEEL

- ANCHOR BOLTS 4 ROLLED STRUCTURAL STEEL
- STRUCTURAL STEEL
- CONCRETE REINFORCING TIES 5 STRIPS

CONCRETE

- ALL CONCRETE SHALL BE NORMAL-WEIGHT (DENSITY=145) AND SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH IN ACCORDANCE WITH THE FOLLOWING:

INTERIOR SLABS, CURBS, SIDEWALKS	4000psi
EXTERIOR SLABS, CURBS, SIDEWALKS	4000psi
ALL OTHER CONCRETE (F.A.O.)	3000psi

 FOUNDATION CONCRETE SHALL HAVE A MAXIMUM MAX RATIO OF 0.58
- THE SLUMP OF ALL CONCRETE SHALL NOT EXCEED 4" UNLESS A HIGH RANGE WATER-REDUCING ADJUTIVE IS USED. THE SLUMP OF CONCRETE PRIOR TO ADDITION OF A HIGH-RANGE WATER-REDUCING ADJUTIVE SHALL NOT EXCEED 10". THE SLUMP OF CONCRETE CONTAINING A HIGH RANGE WATER-REDUCING ADJUTIVE SHALL NOT EXCEED 7".
- ALL EXTERIOR CONCRETE EXPOSED TO FREEZING TEMPERATURES SHALL BE AIR-ENTRAINED WITH 6% (MIN) AIR-ENTRAINED CONCRETE (F.A.O.)
- THE CONCRETE AGGREGATE SIZE SHALL BE #57 OR LARGER.
- THE FINISH PORTLAND CEMENT CONCRETE (ASTM C618) OF ALL CONCRETE SHALL CONFORM TO THE FOLLOWING TABLE (F.L.T. SHALL NOT PERMITTED):

CONCRETE (CONT'D)

- THE CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS FOR REVIEW A MINIMUM OF TWO WEEKS PRIOR TO THE PLACEMENT OF ANY CONCRETE. THE CONCRETE MIX DESIGNS SHALL INCLUDE ALL STRENGTH DATA NECESSARY TO SHOW COMPLIANCE WITH THE PROJECT SPECIFICATIONS FOR EITHER THE TRIAL BATCH OR FIELD EXPERIENCE METHOD.
- FOUNDATION TOLERANCES: ELEVATION 0.25", ALIGNMENT 0.25", OVERALL ANCHOR BOLT DIMENSION 0.25", ANCHOR BOLT TO ANCHOR BOLT DIMENSION 0.25"
- ALL ANCHOR BOLTS TO BE OILED.

CONCRETE REINFORCING STEEL

- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE. ALL WELDED REINFORCING BARS SHALL CONFORM TO ASTM A306.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A186.
- ALL REINFORCING SHALL BE DETAIL, FABRICATED, AND PLACED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE DETAILING MANUAL.
- ALL REINFORCING SHALL BE SUPPORTED IN FORMS, SPACED WITH NECESSARY ACCESSORIES AND SHALL BE SECURELY HELD TOGETHER, IN ACCORDANCE WITH THE LATEST EDITION OF THE CONCRETE MANUAL OF STANDARD PRACTICE.
- FINISH PORTLAND CEMENT CONCRETE (ASTM C618) OF ALL CONCRETE UNFORMED SURFACE IN CONTACT WITH THE GROUND:

FORMED SURFACES EXPOSED TO EARTH OR WEATHER	3 in.
#5 BARS AND LARGER	2 in.
#5 BARS AND SMALLER	1 1/2 in.
FORMER BARS NOT EXPOSED TO EARTH OR WEATHER	1/2 in.
BEAMS, GIRDERS, AND COLLARS	1/2 in.
SLABS, WALLS, AND JOISTS	3/4 in.
#10 BARS AND SMALLER	3/8 in.
#14 AND #18 BARS	1/2 in.

Application No **PCA 90-L-050-03** Staff **S.W.**
Approved Development Plan (DP) (GDP)(CDP) (FDP) (PRC) (CP)
 See **PROFFERS** dated **09-20-2012**
 Date of (BZA) (BOS) (PC) approval **9-25-2012**
 Sheet **13** of **14**
 Concurrent w/ SEA 90-L-045-03
 See Dev Conds dated **9-24-2012**

NOT FOR CONSTRUCTION

REV. NO.	DATE	REVISIONS	DRAWN BY	CHECKED BY	APPROVED BY
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SUNOCO, INC.
Retail Engineering
Lester, PA

7025 OLD KEENE MILL ROAD
SPRINGFIELD, VA
FAIRFAX COUNTY

PROJECT NO. 99016.00

SHED DETAILS

APPROVED RPS	FACILITY NO.	DRAWING NO.	SCALE	REV. NO.
CHECKED IED	0207-7261	DE-4		3
DRAWN AVN				
DATE 03/07/2012				

WALL TYPE LEGEND

[Symbol]	8" LAP CEILING BOARD (HARDIE) SIDING ON 2x4 FRAMING
[Symbol]	8" LAP CEILING BOARD (HARDIE) SIDING ON 2x4 FRAMING WITH 1/2" GYPSUM BOARD

ALTERNATE WALL TYPE LEGEND

[Symbol]	8" LAP T-11 PLYWOOD SIDING ON 2x4 FRAMING
[Symbol]	7/8" OSB ON 2x4 HD. STUDS @ 16" O.C.

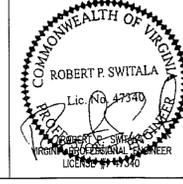
DOOR HARDWARE

3 EACH HAGER HINGE 88979 X US20 X NRP X 4 1/2"
 1 PERKO THRESHOLD 170A X 36"
 1 PERKO DRIP CAP 364 X 36"
 1 PERKO DOOR - SILENT AND SILENT LEVERS - FALCON Y SERIES - PASSAGE TYPE SUPPLY 2 ASTRALGAL WITH DOOR ASSEMBLY



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 King of Prussia, PA, 19406
 610.783.1420 / 610.783.1425 fax
 www.bergmannpc.com

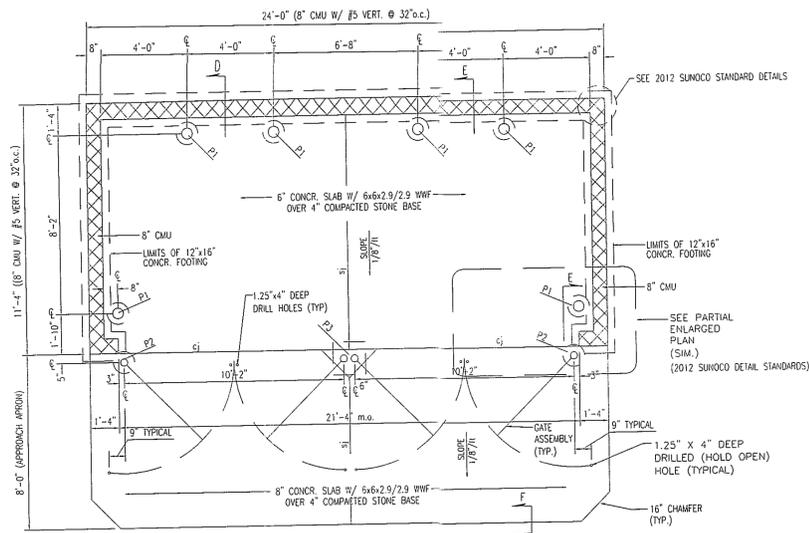


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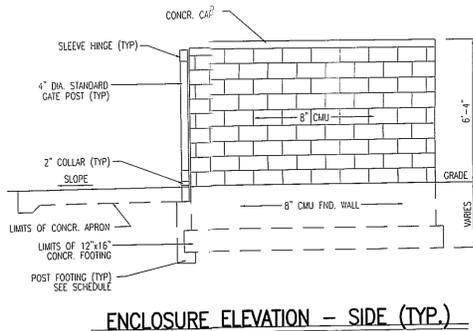
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ENCLOSURE PLAN - DOUBLE
NO SCALE

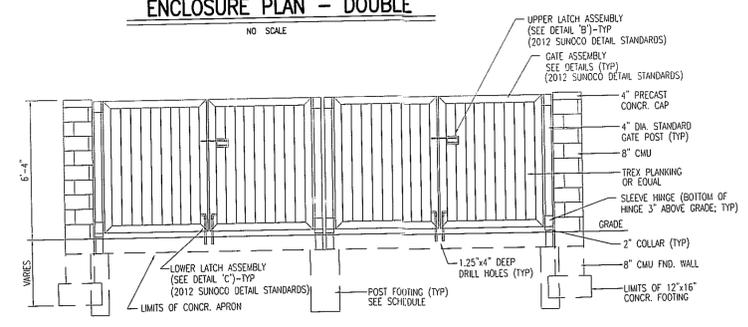


ENCLOSURE ELEVATION - SIDE (TYP.)
NO SCALE

POST/ BOLLARD SCHEDULE

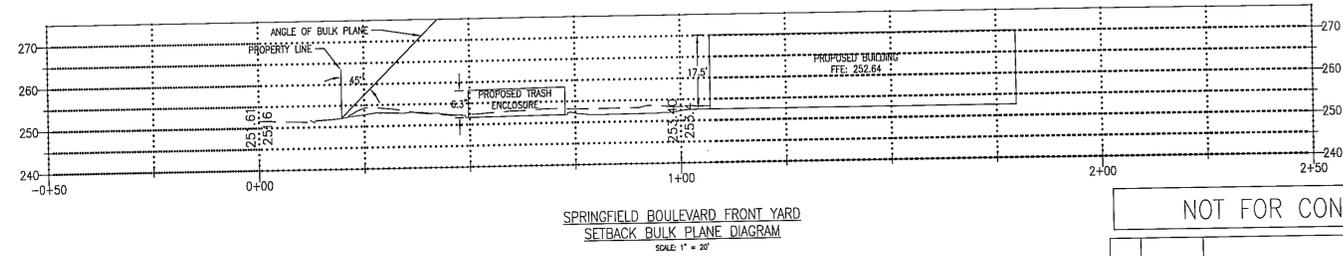
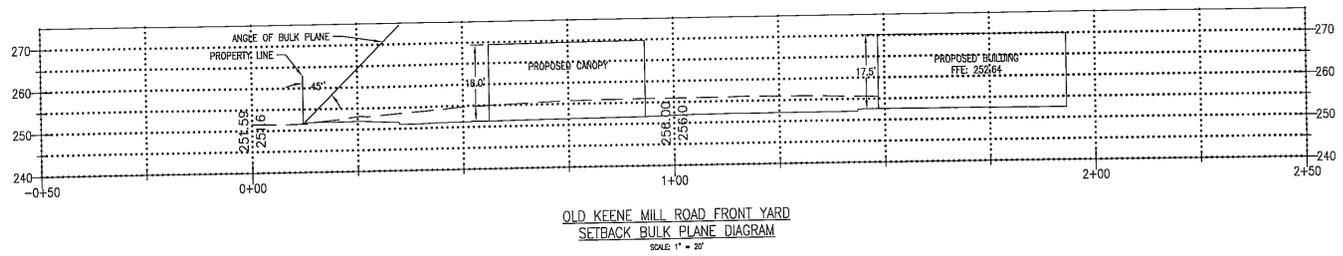
MARK	PIPE SIZE	FOOTING SIZE	FOOTING DEPTH	REMARKS	PIPE HEIGHT
P1	6" DIA.	12" DIA.	36" (I.F.S.)	SEPARATE POUR, PAINTED SAFETY YELLOW 4'-0" MIN. A.F.S.	4'-0"
P2	4" DIA.	12" DIA.	48" (I.F.S.)	SEPARATE POUR, PAINTED GRAY OR TAN	6'-3"
P3	(2) 4" DIA.	18"x18" SQ.	48" (I.F.S.)	SEPARATE POUR, PAINTED GRAY OR TAN	6'-3"

NOTES:
 1. ALL FOOTINGS OR 18" SONOTUBES SHALL REST ON VIRGIN SOILS OR ENGINEERED FILL WITH A BEARING CAPACITY NO LESS THAN 1500#/PER SQ. FT.
 2. WALL FOOTINGS SHALL BE ADJUSTED TO ACCOMMODATE GRADE DIFFERENTIALS
 3. B.F.S. = BELOW FINISH SLAB
 4. VERIFY APRON CONFIGURATION WITH FINAL LAND DEVELOPMENT PLANS
 5. ALL BOLLARDS SHALL BE GROUTED SOLID WITH DOMED TOPS
 6. ALL POSTS SHALL BE GROUTED SOLID WITH FLAT TOPS
 7. ALL PIPE TO BE STANDARD STEEL PIPE (NOT GALVANIZED)
 8. ALL BACKFILL MATERIALS MUST BE COMPACTED TO 95% MAX. DENSITY
 9. FOR 3 OR MORE GATES, ADD P.3 POSTS AND FOUNDATIONS AS NECESSARY.



ENCLOSURE ELEVATION - DOUBLE
NO SCALE

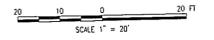
- NOTES:
 1) CONCRETE CMU TO BE PAINTED SUNOCO STANDARD SHERMAN-WILLIAMS "ONYX GRAY" #866-300 OR TAN "MANHATTAN DUKE" #5W-2066 TO MATCH CORRESPONDING STRUCTURE. COLOR IS DEPENDENT ON ARCHITECTURAL DRAWINGS.
 2) TREX ACCENTS (OR EQUAL) "SADDLE" TAN OR "WINCHESTER" GRAY.
 3) ALL PIPE AND FITTING MATERIALS TO BE UNCOATED STEEL.
 4) ALL METAL MATERIAL TO BE PAINTED SUNOCO STANDARD SHERMAN-WILLIAMS "ONYX GRAY" #866-300 OR TAN "MANHATTAN DUKE" #5W-2066 TO MATCH CORRESPONDING STRUCTURE. COLOR IS DEPENDENT ON ARCHITECTURAL DRAWINGS.



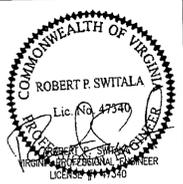
NOT FOR CONSTRUCTION

Application No **PCA 90-L-050-03** Staff **S.W.**
 Approved Development Plan
 (DP) (CDP) (FDP) (PRC) (CP)
 See **PROFFERS** dated **09-20-2012**
 Date of (BZA) (BOS) (PC) approval **9-25-2012**
 Sheet **14** of **14**

Concurrent w/ SEA 90-L-045-03
 See Dev Conds dated **9-24-2012**



1040 First Ave, Suite 100
 King of Prussia, PA, 19406
 610.783.1420 / 610.783.1425 fax
 www.bergmannpc.com



REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D BY	APP'D.
3	08/9/12	VDOT/FDOT/CTY COMMENTS	AVN	TED	RPS
2	07/3/12	VDOT/FDOT/CTY COMMENTS	AVN	TED	RPS
1	04/26/12	PER GDP/SEA COMMENTS	AVN	TED	RPS

SUNOCO, INC.
 Retail Engineering
 Lester, PA

7025 OLD KEENE MILL ROAD
 SPRINGFIELD, VA
 FAIRFAX COUNTY

PROJECT NO.
 99016.00

TRASH ENCLOSURE DETAILS AND BULK PLANE DIAGRAMS

SCALE 1" = 20'

APPROVED RPS	FACILITY NO.	DRAWING NO.	REV. NO.
CHECKED TED	0207-7261	DE-8	3
DRAWN AVN			
DATE 03/07/2012			

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 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.