

PROPOSED SUNOCO

Generalized Development Plan / Special Exception Amendment Plat

GOVERNMENTAL AGENCIES

STORM & SANITARY SEWER
 FAIRFAX COUNTY DEPARTMENT OF
 PUBLIC WORKS AND ENVIRONMENTAL
 SERVICES
 12055 GOVERNMENT CENTER PKWY,
 SUITE 659
 FAIRFAX, VA 22035-5502
 703-877-2800 (STORM)
 703-324-5030 (SANITARY)

VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY

629 EAST MAIN STREET
 P.O. BOX 1105
 RICHMOND VIRGINIA, 23218
 804-698-4000

NORTHERN VIRGINIA SOIL & WATER CONSERVATION DISTRICT

HERRITY BUILDING, SUITE 905
 12055 GOVERNMENT CENTER PKWY
 FAIRFAX, VA 22035
 703-324-1460

FAIRFAX COUNTY HEALTH DEPARTMENT

KELLY SQUARE ADMINISTRATION
 BUILDING
 10777 MAIN STREET
 FAIRFAX, VA 22030-6903
 703-246-2411

VIRGINIA DOT
 1401 E. BROAD STREET
 RICHMOND, VA 23219
 804-786-2801

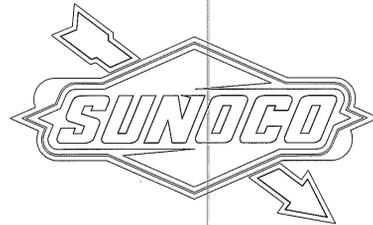
UTILITY COMPANIES

ELECTRIC
 DOMINION VIRGINIA POWER
 120 TREDEGER STREET
 RICHMOND, VA 23219
 1-888-667-3000

FAIRFAX WATER
 8570 EXECUTIVE PARK
 AVENUE
 FAIRFAX, VA 22031
 703-698-5600

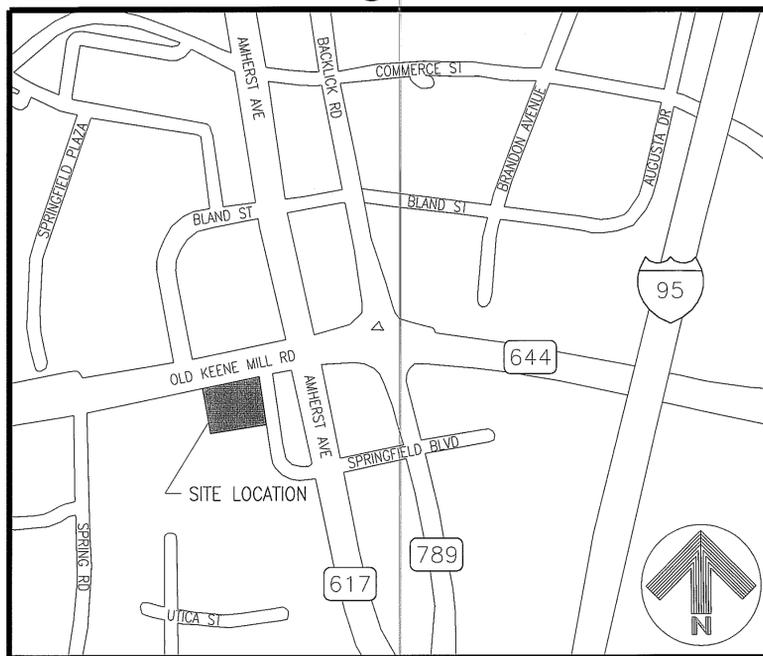
WASHINGTON GAS
 6801 INDUSTRIAL ROAD
 SPRINGFIELD, VA 22151
 703-750-1000

TELEPHONE
 VERIZON
 1-800-660-2215



Store #0207-7261

Tax Map #: 80-4((1)) 11 & 11A1
 7025 Old Keene Mill Road
 Springfield
 Fairfax County
 Virginia



LOCATION MAP
 NOT TO SCALE

INDEX OF DRAWINGS

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DDPOST	POST-DEVELOPMENT DRAINAGE DIVIDE MAP
DE-4	SHED DETAILS
DE-8	TRASH ENCLOSURE DETAILS AND BULK PLANE DIAGRAM

PREPARED BY



www.bergmannpc.com

1040 First Ave, Suite 100
 King of Prussia, PA. 19406
 610.783.1420 / 610.783.1425 fax

Engineers / Architects /Planners/ Surveyors

PREPARED FOR

SUNOCO, INC.
 10 INDUSTRIAL HIGHWAY
 LESTER, PA 19029
 (610) 833-3598

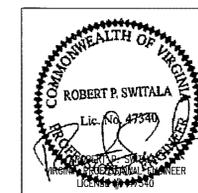
NOT FOR CONSTRUCTION

Application No SEA 90-L-045-03 Staff S.W.
 Approved (SE) (SP) Plan

See Dev Conds dated 9-24-2012
 Date of (BZA) (BOS) (PC) approval 9-25-2012
 Sheet 1 of 14

Concurrent w/ PCA 90-L-050-03
 See Proffers dated 9-20-2012

NO.	DATE	DESCRIPTION	REV	CKD
0	03/14/2012	ISSUED FOR GDP/SEA APPROVAL	AVN	RPS
1	04/26/2012	PER GDP/SEA COMMENTS	AVN	RPS
2	07/03/2012	VDOT/FDOT/CTY COMMENTS	AVN	RPS
3	08/09/2012	VDOT/FDOT/CTY COMMENTS	AVN	RPS



RECEIVED
 Department of Planning & Zoning
 NOV 30 2012
 Zoning Evaluation Division

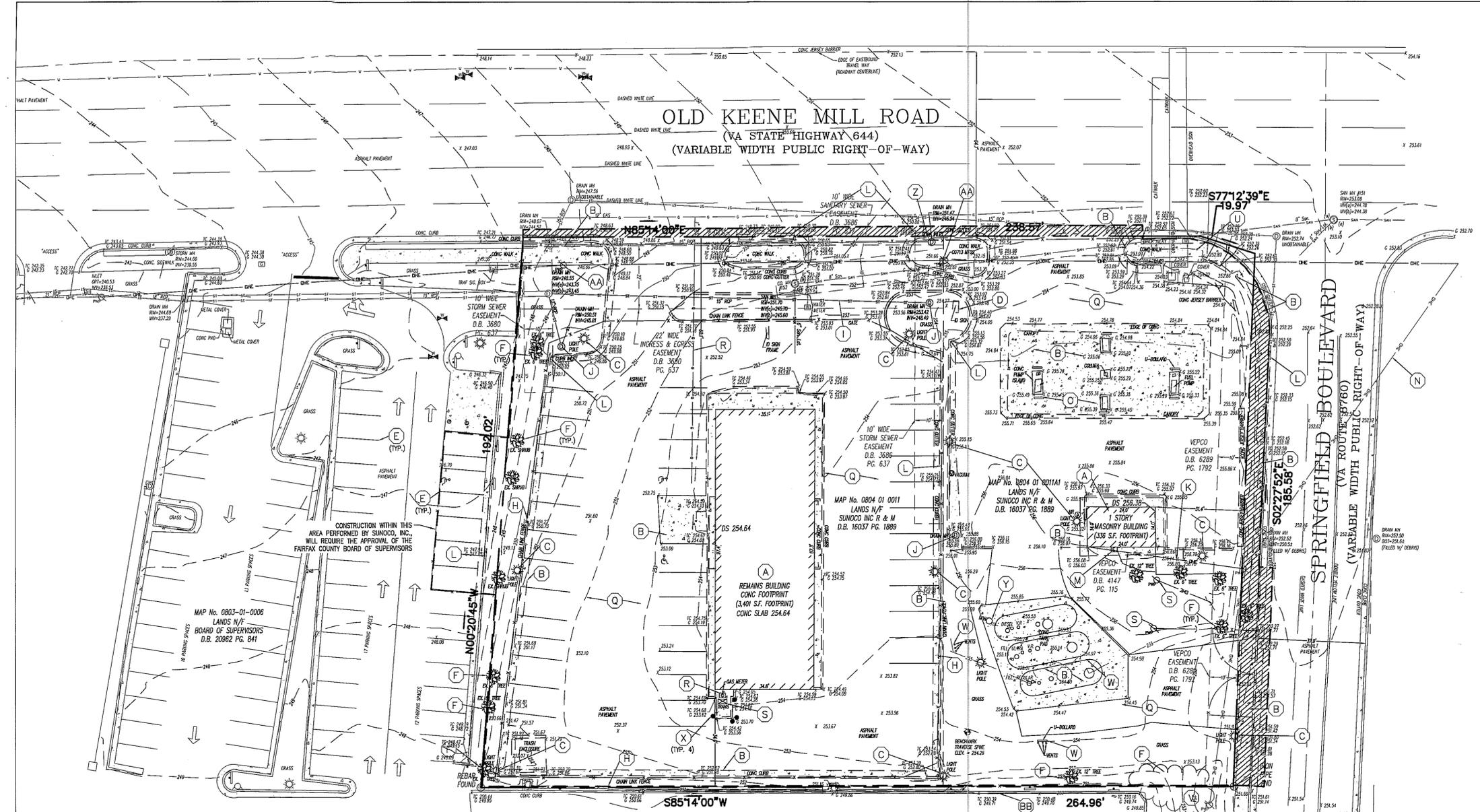
C-1

LEGEND

- (A) EXISTING 1-STORY BUILDING AND APPURTENANCES TO BE REMOVED
 - (B) EXISTING CONCRETE PAD AND/OR CONCRETE WALK TO BE REMOVED
 - (C) EXISTING YARD LIGHT TO BE REMOVED
 - (D) EXISTING SIGN TO BE REMOVED
 - (E) EXISTING PARKING STRIPING TO BE REMOVED
 - (F) EXISTING PLANTS AND LANDSCAPING TO BE REMOVED
 - (G) EXISTING MONITORING WELLS TO BE REMOVED
 - (H) EXISTING CHAINLINK FENCE TO BE REMOVED
 - (I) EXISTING STORM PIPE TO BE REMOVED
 - (J) EXISTING STORM STRUCTURES TO BE REMOVED
 - (K) EXISTING ELECTRIC LINE TO BE REMOVED
 - (L) EXISTING CURB TO BE REMOVED
 - (M) EXISTING ELECTRIC METER TO BE REMOVED. COORDINATE NEW METER LOCATION WITH ELECTRIC COMPANY
 - (N) EXISTING ELECTRIC LINE TO REMAIN - PROPOSED SERVICE TO BE EXTENDED OFF EXISTING ELECTRIC LINE
 - (O) EXISTING DISPENSERS, OVERHEAD CANOPY, COLUMN AND BOLLARDS TO BE REMOVED
 - (P) EXISTING HVAC EQUIPMENT TO BE REMOVED
 - (Q) EXISTING PAVEMENT TO BE REMOVED - EXISTING ASPHALT MAY BE MILLED AND REUSED UPON SUNOCO AND ENGINEER'S APPROVAL
 - (R) EXISTING NATURAL GAS LINE AND METER TO BE REMOVED. STUB CONNECTION AT DRIVEWAY FOR RE-USE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
 - (S) EXISTING UTILITY POLE, TRANSFORMER AND ASSOCIATED OVERHEAD POWER LINES TO BE REMOVED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY
 - (T) SAWCUT LIMITS/LIMITS OF PAVEMENT REMOVAL
 - (U) EXISTING CONCRETE WALK TO REMAIN
 - (V) NOT USED
 - (W) EXISTING UNDERGROUND TANKS, AND ASSOCIATED UNDERGROUND PIPES, ETC. TO BE REMOVED
 - (X) EXISTING BOLLARD TO BE REMOVED
 - (Y) EXISTING MONITORING WELL TO BE REMOVED
 - (Z) EXISTING VDOT MANHOLE TO BE REMOVED. ASSOCIATED STORM PIPING TO REMAIN. (SEE SHEET U-1)
 - (AA) EXISTING UTILITY POLE TO BE RELOCATED. COORDINATE WITH UTILITY COMPANY.
 - (BB) EXISTING SECTION OF TIMBER-TIE WALL TO BE REMOVED
- CONSTRUCTION FENCE - TO BE PLACED AROUND ENTIRE SITE AREA - SEE NOTE 4 BELOW
- SAWCUT LIMITS/LIMITS OF DEMOLITION
- ▨ SAWCUT LIMITS/LIMITS OF DEMOLITION WITHIN VDOT RIGHT OF WAY

- ### DEMOLITION NOTES:
- CONTRACTOR SHALL OBTAIN ANY AND ALL REQUIRED DEMOLITION PERMITS FROM ALL REQUIRED AGENCIES PRIOR TO COMMENCEMENT OF WORK.
 - ANY ASBESTOS REMOVAL MUST BE DONE BY A CERTIFIED ASBESTOS REMOVAL CONTRACTOR.
 - ALL UTILITY COMPANIES MUST BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE OF DEMOLITION. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY UTILITY SHUT-OFFS OR DISCONNECTS.
 - PROPER FENCING OR PUBLIC PROTECTION DEVICES MUST BE CONSTRUCTED AND MAINTAINED AROUND THE PERIMETER OF THE SITE AT ALL TIMES DURING DEMOLITION PHASE.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL DUST, DIRT, AND DEBRIS DURING DEMOLITION AND CONSTRUCTION PHASES.
 - ALL REMOVED EXCESS MATERIALS SHALL BE HAULED OFF SITE TO AN APPROVED FACILITY.
 - ALL INDIVIDUAL TREES TO BE PRESERVED AND ALL AREAS DESIGNATED TO BE LEFT UNDISTURBED SHALL BE PROTECTED BY TREE PROTECTION FENCING AND SIGNAGE DURING CONSTRUCTION ACTIVITIES. TREE PROTECTION FENCING SHALL BE ERECTED AT THE DRIP LINE OF INDIVIDUAL TREES TO BE PRESERVED AND AT THE LIMITS OF CLEARING AND GRADING.

NOTE: EXISTING CONDITIONS FROM FIELD RUN TOPOGRAPHIC AND BOUNDARY SURVEY BY FIRST ORDER, LLC DATED FEBRUARY 22, 2010 AND UPDATED ON FEBRUARY 14, 2012.



Application No **SEA 90-L-045-03** Staff **S.W.**
 Approved (SE) (SP) Plan

See Dev Conds dated **9-24-2012**
 Date of (BZA) (BOS) (PC) approval **9-25-2012**
 Sheet **2** of **14**

Concurrent w/ PCA 90-L-050-03
 See Proffers dated **9-20-2012**

MAP No. 0803-01-0006
 LANDS N/F
 BOARD OF SUPERVISORS
 D.B. 20862 PG. 841

MAP No. 0804 01 0011
 LANDS N/F
 SUNOCO INC R & M
 D.B. 16037 PG. 1889

MAP No. 0803-01-0006
 LANDS N/F
 BOARD OF SUPERVISORS
 D.B. 20862 PG. 841

NOT FOR CONSTRUCTION

REV. NO.	DATE	REVISIONS	DRWN BY	CHKD BY	APPRV.
3	08/9/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS
2	07/3/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS
1	04/26/12	PER GDP/SEA COMMENTS	AVN	TED	RPS

SUNOCO, INC.
 Retail Engineering
 Lester, PA

7025 OLD KEENE MILL ROAD
 SPRINGFIELD, VA
 FAIRFAX COUNTY

PROJECT NO.
 99016.00

EXISTING CONDITION PLAN

SCALE 1" = 20'

APPROVED RPS	FACILITY NO.	DRAWING NO.	REV. NO.
CHECKED TED	0207-7261	DM-1	3
DRAWN AVN			
DATE 03/07/2012			

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CAUTION - NOTICE TO CONTRACTORS

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

Call 811 before you dig.
 Allow required time for marking.
 Respect the marks.
 Excavate carefully.

811

Check Ticket Status.....1-800-552-3120

Bergmann associates
 Engineers / Architects / Planners / Surveyors

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 King of Prussia, PA. 19406
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COMMONWEALTH OF VIRGINIA
 ROBERT P. SWITALA
 Lic. No. 47340
 PROFESSIONAL ENGINEER
 LICENSE # 47340



BUILDING S.F. AND PARKING RATIO			
TOTAL AREA SQ. FT.	PARKING SPACES REQUIRED	REQUIRED RATIO	PARKING SPACES PROVIDED
PROPOSED BUILDING: 3,159 SF GFA TOTAL 1,784 SF GFA RETAIL	21*	4% ¹ OF GFA TOTAL	18 UNRESTRICTED 1 ADA ACCESSIBLE 19 TOTAL SPACES*
*MODIFICATION REQUESTED AS PERMITTED IN THE CRD			

- ALL CALCULATIONS BASED ON TOTAL GROSS FLOOR AREA.
- THE FAIRFAX COUNTY ZONING ORDINANCE REQUIRED PARKING:
2 SPACES PER SERVICE BAY (0 SERVICE BAYS = 0 SPACES)
+6.5 SPACES PER 1000 SF OF TOTAL GFA (3,159 SF = 21 SPACES)
21 SPACES TOTAL REQUIRED (19 TOTAL SPACES PROVIDED)
- STALL REQUIREMENTS: 8.5 FT X 18 FT - PROPOSED SIZE = 10' X 18'
- INCLUDES 1 HANDICAP SPACE FOR TOTAL SITE AREA.

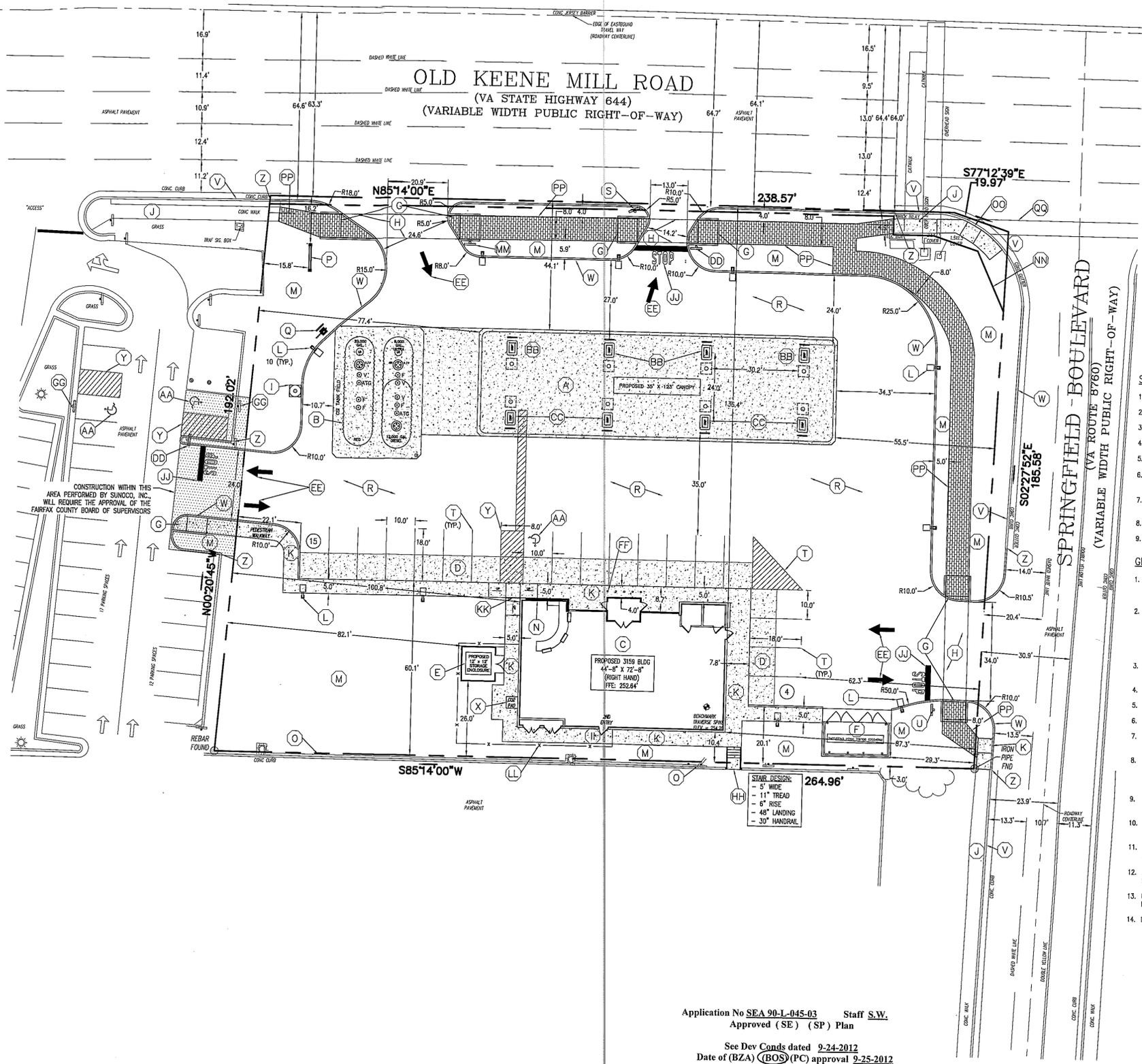
ZONING: C-6 COMMUNITY RETAIL COMMERCIAL	FAIRFAX COUNTY REQUIREMENTS	PROPOSED
MINIMUM LOT AREA:	40,000 SF	49,988 SF (1.1476 ACRES)
MINIMUM LOT WIDTH:	200 FT	238.57 FT
MAXIMUM BUILDING HEIGHT:	40 FT	17.5 FT
MINIMUM YARD REQUIREMENTS		
FRONT YARD:	40 FT	100.8 FT, 136.4 FT, 87.3 FT
SIDE YARD:	20 FT	10.4 FT BUILDING*, 3.0' TRASH ENCLOSURE*
REAR YARD:		
MAXIMUM FLOOR AREA RATIO:	0.40	0.06
MINIMUM LANDSCAPED OPEN SPACE:	15%	EXISTING = 18.1% PROPOSED = 23.8% TOTAL INCREASE = 5.7%
*MODIFICATION REQUESTED AS PERMITTED IN THE CRD		

- SITE NOTES:**
- GRASS AREAS IN POOR CONDITION SHALL BE RESTORED UPON COMPLETION OF PROPOSED WORK.
 - THIS PROPERTY IS SERVED BY PUBLIC WATER AND SEWER.
 - THIS SITE CONTAINS NO RESOURCE PROTECTION AREAS, ENVIRONMENTAL QUALITY CORRIDORS, OR FLOODPLAINS.
 - MODIFICATIONS OF THE TRAIL, BIKE, AND SIDEWALK REQUIREMENTS ARE REQUESTED.
 - THERE ARE NO KNOWN GRAVES LOCATED ON THIS PROPERTY.
 - RIGHT-OF-WAY INFORMATION ON OLD KEENE MILL ROAD (STATE HIGHWAY 644) OBTAINED FROM SHEET NO. 61 OF 1-95/1-395/1-495 INTERCHANGE IMPROVEMENTS RIGHT-OF-WAY PLAN FOR PROJECT NO. 0095-029-F20, RW-202.
 - RIGHT-OF-WAY INFORMATION ON SPRINGFIELD BOULEVARD OBTAINED FROM SHEETS NO. 61 & NO. 62B OF 1-95/1-395/1-495 INTERCHANGE IMPROVEMENTS RIGHT-OF-WAY PLAN FOR PROJECT NO. 0095-029-F20, RW-202.
 - THERE ARE NO FLOODPLAINS, EQCs, OR SCENIC AREAS WORTH OF PROTECTION ON THE SITE.
 - DEVELOPMENT WILL OCCUR BASED UPON MARKET CONDITIONS.

- GENERAL NOTES:**
- THE CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW 8 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEODETIC SURVEY MONUMENT. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE CONTROL AND RIGHT-OF-WAY MONUMENTS IN AREAS OF CONSTRUCTION.
 - THE LOCATION OF ALL UTILITY EASEMENTS HAVING A WIDTH OF TWENTY-FIVE (25) FEET OR MORE AND ALL MAJOR UNDERGROUND UTILITY EASEMENTS ARE SHOWN ON THE PLAN. THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THIS MAP HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS, THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING 811 OR 1-800-552-7001.
 - THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (OSHA).
 - HIGHWAY DRAINAGE ALONG ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
 - REFER TO ARCHITECTURAL DRAWINGS FOR PRECISE BUILDING DIMENSIONS.
 - THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER BEFORE DEVIATING FROM THESE PLANS.
 - IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
 - IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION/CONSTRUCTION, ALL WORK SHALL STOP AND THE FAIRFAX COUNTY HEALTH DEPARTMENT AND THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OBTAINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.
 - EXCAVATED WASTE MATERIAL REMOVED FROM THE SITE SHALL BE PLACED AT A LOCATION ACCEPTABLE TO THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY.
 - THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MAINTAIN A MINIMUM OF 1' OF COVER OVER ALL EXISTING AND NEW STORM AND SANITARY PIPES.
 - ALL EXISTING SURFACE APPURTENANCES (I.E. WATER VALVES, CATCH BASIN FRAMES AND GRATES, MANHOLE COVERS) WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISHED GRADE. (NO SEPARATE PAYMENT).
 - AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECT'S CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
 - UNLESS COVERED BY THE CONTRACT SPECIFICATIONS OR AS NOTED ON THE PLANS, ALL WORK SHALL CONFORM TO THE VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
 - DEVELOPMENT WILL OCCUR BASED UPON MARKET CONDITIONS.

SITE LEGEND

- (A) PROPOSED CANOPY (16'-0" HEIGHT) AND GAS DISPENSERS
- (B) PROPOSED GASOLINE AND DIESEL TANKS, AND ASSOCIATED HEAVY DUTY CONCRETE PAD
- (C) PROPOSED 3,159 SF SUNOCO RETAIL CONVENIENCE STORE
- (D) CONCRETE PAD FOR PARKING SPACES - DYED CONCRETE TO BE USED PER SUNOCO STANDARDS
- (E) PROPOSED SHED ENCLOSURE
- (F) PROPOSED TRASH ENCLOSURE WITH CONCRETE PAD AND CMU BLOCK WALLS
- (G) CURB RAMP
- (H) PEDESTRIAN CROSSWALK STRIPING (TWO 6" LINES WITH 5' SPACING)
- (I) PROPOSED AIR PUMP/AQUUM ON CONCRETE PAD
- (J) EXISTING CONCRETE SIDEWALK TO REMAIN
- (K) PROPOSED CONCRETE SIDEWALK (WIDTH VARIES - SEE PLAN)
- (L) PROPOSED LIGHT POLE
- (M) PROPOSED LANDSCAPE AREA (SEE SHEET LS-1)
- (N) HANDICAPPED PARKING SIGN - TO BE PLACED ON BUILDING FACE
- (O) EXISTING 3' HIGH RETAINING WALL TO REMAIN
- (P) PROPOSED SIGN (TYPE TO BE RESOLVED) (SEE SHEET SN-1)
- (Q) PROPOSED TANK VENTS
- (R) STANDARD DUTY ASPHALT PAVEMENT
- (S) "DO NOT ENTER" SIGN
- (T) 4" WIDE PARKING STRIPE PAINTED WHITE
- (U) "STOP" SIGN
- (V) EXISTING CONCRETE CURB AND GUTTER (TO REMAIN, REPAIR IF NECESSARY)
- (W) PROPOSED CONCRETE CURB AND GUTTER
- (X) PROPOSED CO2 STORAGE AREA
- (Y) 4" WIDE BLUE PARKING STRIPE FOR NO PARKING AREAS
- (Z) MATCH EXISTING CURB IN ALIGNMENT AND ELEVATION
- (AA) PROPOSED HANDICAPPED PARKING SYMBOL
- (BB) 4+1 DISPENSER (4 TYP.)
- (CC) 4+0 DISPENSER (4 TYP.)
- (DD) PROPOSED "STOP" SIGN AND "NO LEFT TURN" SIGN
- (EE) DIRECTIONAL ARROWS
- (FF) PIPE BOLLARDS (5 TYP.)
- (GG) RELOCATE EXISTING HANDICAPPED SIGN TO NEW HANDICAPPED PARKING LOCATION
- (HH) PEDESTRIAN WALKWAY AND STAIRS TO ADJOINING PROPERTY
- (II) EMERGENCY EXIT FOR SALES AREA
- (JJ) PROPOSED STOP BAR
- (KK) PROPOSED HANDICAPPED CORNER RAMP
- (LL) PROPOSED 6" HIGH SLATED VINYL CHAIN-LINK FENCE
- (MM) PROPOSED "NOT AN EXIT" SIGN
- (NN) PROPOSED ROADWAY DEDICATION - 973.6 SQFT
- (OO) PROPOSED VDOT TYPE B CURB RAMP
- (PP) PROPOSED BRICK STAMPED CONCRETE SIDEWALK
- (QQ) PROPOSED VDOT CROSSWALK
- CONCRETE PADS, SIDEWALKS AND PAVEMENT AREAS
- STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED ADJOINING PROPERTY ACCESS AREA



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COMMONWEALTH OF VIRGINIA
 ROBERT P. SWITALA
 Lic. No. 47340
 PROFESSIONAL ENGINEER
 LICENSE # 9747340

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2	07/3/12	VDDT/FDDT/CTY COMMENTS	AVN TED RPS
1	04/26/12	PER GDP/SEA COMMENTS	AVN TED RPS

SUNOCO, INC. Retail Engineering Lester, PA		PROJECT NO. 99016.00
7025 OLD KEENE MILL ROAD SPRINGFIELD, VA FAIRFAX COUNTY		
GENERALIZED DEVELOPMENT PLAN / SPECIAL EXCEPTION PLAN		
APPROVED RPS CHECKED TED DRAWN AVN DATE 03/07/2012	FACILITY NO. 0207-7261	DRAWING NO. D-1 REV. NO. 3

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OLD KEENE MILL ROAD
(VA STATE HIGHWAY 644)
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

LEGEND

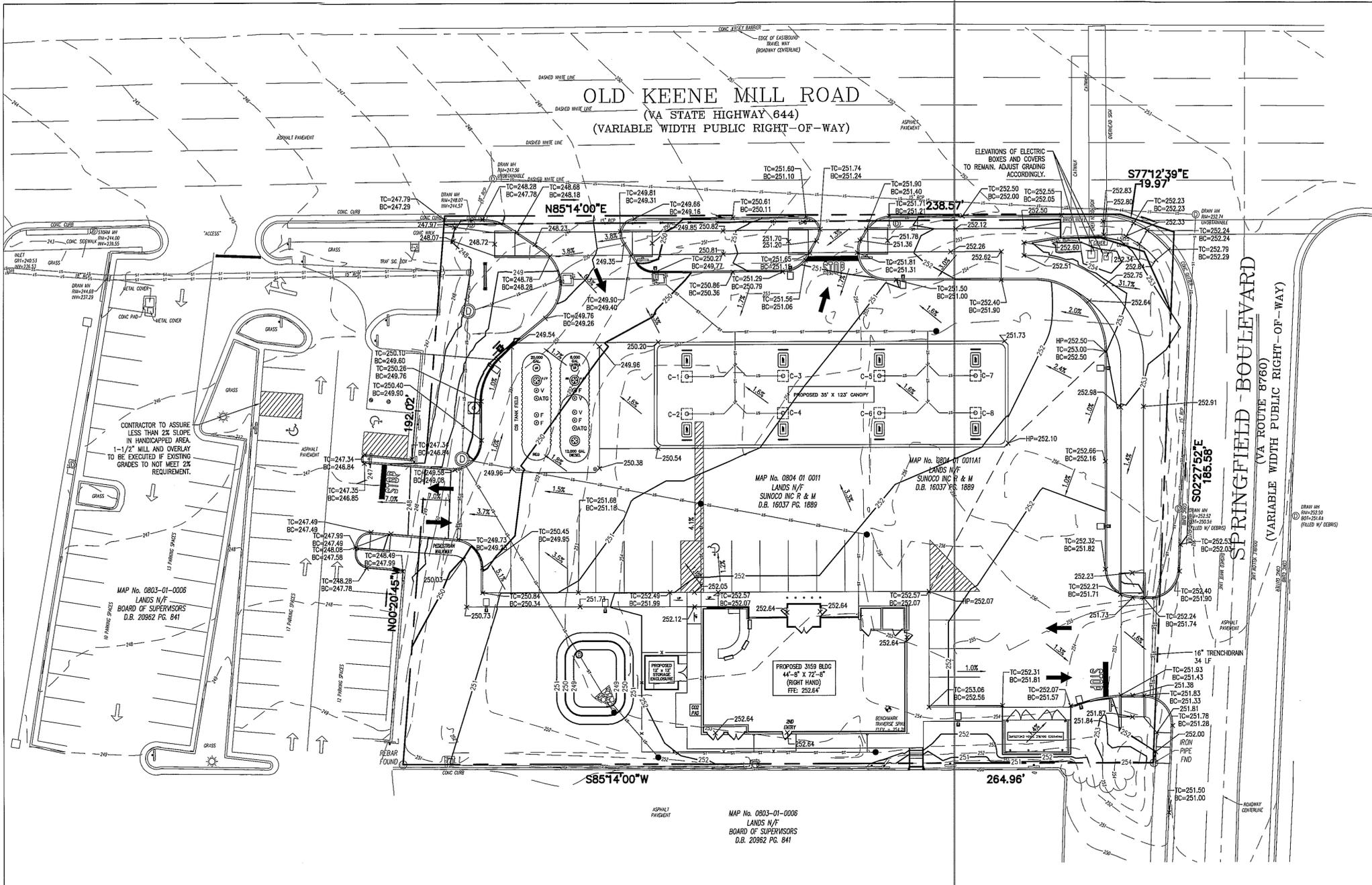
	EXISTING CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED TOP OF CURB / BOTTOM OF CURB ELEVATION (6" REVEAL)
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED SLOPE
	PROPOSED STORM PIPE
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	PROPOSED CLEANOUT
	PROPOSED TRENCH DRAIN BREAKLINE

GRADING NOTES:

- REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER. REPLACE TOPSOIL TO A MINIMUM 4" DEPTH. ALL DISTURBED AREAS TO BE HYDROSEED AS DIRECTED BY THE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF ALL TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE VEGETATION HAS OCCURRED COMPLETELY.
- ALL SEDIMENT BARRIERS AND FILTER BAGS TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR IMPERFECT AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NORTHERN VIRGINIA SOIL AND WATER CONSERVATION DISTRICT.
- LINEAR STRAW BALES OR EROSION CONTROL BLANKET WILL BE USED ON STEEP SLOPES AND WHEREVER NECESSARY TO CONTROL EROSION AND SILTATION OF EXISTING DRAINAGE SYSTEMS AS ORDERED BY THE ENGINEER.
- THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE PROTECTED FROM EROSION EITHER BY MULCH OR TEMPORARY SEEDING WITHIN 2 WEEKS OF DISTURBANCE.
- EXISTING GRADE TO REMAIN AROUND EXISTING ELECTRICAL TRANSFORMERS LOCATED AT THE CORNER OF OLD KEENE MILL ROAD AND SPRINGFIELD BOULEVARD.

SEQUENCE OF CONSTRUCTION:

- PRE-CONSTRUCTION MEETING WILL BE HELD BY THE PROJECT MANAGER AND THE OPERATOR'S ENGINEER PRIOR TO LAND DISTURBING ACTIVITIES.
- HAVE A QUALIFIED PROFESSIONAL CONDUCT AN ASSESSMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALSO, HAVE THE PROFESSIONAL CARRY IN AN INSPECTION REPORT THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS DESCRIBED IN THE EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN ADEQUATELY INSTALLED OR IMPLEMENTED TO ENSURE OVERALL PREPAREDNESS OF THE SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
- INSTALL CONSTRUCTION ENTRANCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION FENCING AS INDICATED ON THE PLAN.
- ALL INDIVIDUAL TREES TO BE PRESERVED AND ALL AREAS DESIGNATED TO BE LEFT UNDISTURBED SHALL BE PROTECTED BY TREE PROTECTION FENCING AND SIGNAGE DURING CONSTRUCTION ACTIVITIES. TREE PROTECTION FENCING SHALL BE ERCTED AT THE DRIP LINE OF INDIVIDUAL TREES TO BE PRESERVED AND AT THE LIMITS OF CLEARING AND GRADING. SEE TREE PROTECTION FENCING DETAIL ON SHEET DE-2.
- BEGIN DEMOLITION WORK. THE EXISTING ON-SITE PAVEMENT CAN BE MILLED AND REUSED PROVIDING THE USE IS COORDINATED WITH THE DESIGN ENGINEER.
- CLEAR AND GRUB THE "LIMITS OF CLEARING" PORTIONS OF PROJECT SITE. ALL TREES THAT ARE TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR.
- STRIP TOPSOIL AND STOCKPILE FOR LATER USE. SEED TOPSOIL STOCKPILE ONCE COMPLETE WITH 100% PERENNIAL RYEGRASS MIXTURE AT A RATE OF 2-4 lbs. PER 1000 S.F. APPLY 80-100 lbs. PER 1000 S.F. WEED FREE STRAW AS MULCH. AVOID USE OF HAY.
- ROUGH GRADE AND STABILIZE IMPROVEMENT AREAS WITHIN PROJECT SITE. ALL SITE ROUGH GRADING SHALL BE COMPLETE BEFORE PIPELINE CONSTRUCTION CAN PROCEED.
- CONSTRUCT THE PROPOSED INLETS AND INSTALL PROTECTION ON INLETS AS THEY ARE INSTALLED.
- INSTALL UTILITIES AND STABILIZE. STORM PIPING SHOULD BE CONSTRUCTED FROM A DOWN SLOPE TO UP SLOPE MANNER.
- REMOVE EXISTING STORM PIPE AFTER CONSTRUCTION OF NEW STRUCTURES AND DRAINAGE PIPES. CONNECT NEW PIPES INTO SYSTEM THE SAME DAY THAT THE EXISTING PIPES ARE DISCONNECTED. THIS SHOULD BE PERFORMED ON A DRY DAY.
- CONSTRUCT BUILDING PAD AND FOUNDATION.
- CONSTRUCT CANOPY PAD, TANK PAD, CANOPY, DISPENSERS AND TANKS. TANKS ARE ONLY TO BE CONSTRUCTED BY A VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY CERTIFIED TANK HANDLING COMPANY.
- FINAL GRADE SITE AND INSTALL CURBS, PAVEMENT, SIDEWALKS AND LANDSCAPING.
- ALL EROSION CONTROL MEASURES CAN BE REMOVED ONCE 70% OF EACH SQUARE YARD OF DISTURBED AREA IS STABILIZED WITH A PERMANENT STAND OF VEGETATION OR PAVEMENT, IF APPROVED IN WRITING BY THE FAIRFAX COUNTY ENGINEER.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES, DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
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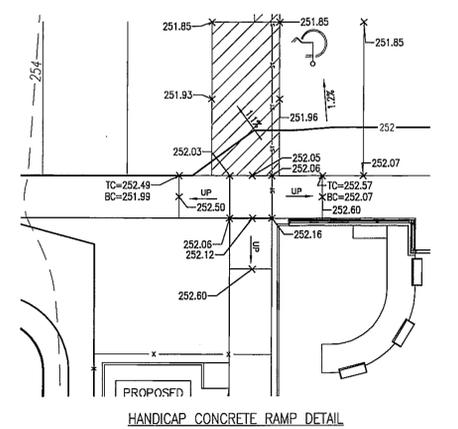


COLUMN GRADE SCHEDULE

COLUMN NUMBER	A	B	C	D
C-1	251.36	250.91	249.91	248.91
C-2	251.52	251.07	250.07	248.91
C-3	251.84	251.19	250.19	248.91
C-4	251.76	251.31	250.31	248.91
C-5	251.92	251.47	250.47	248.91
C-6	252.04	251.59	250.59	248.91
C-7	252.20	251.75	250.75	248.91
C-8	252.32	251.87	250.87	248.91

BOTTOM OF FASCIA ELEVATION: 269.87

NOTE: THIS DIAGRAM IS SHOWN SCHEMATICALLY FOR TRUE DIRECTION AND ELEVATION OF CONCUR AND GRADING. SEE BUILDING PLANS.



Application No SEA 90-L-045-03 Staff S.W.
Approved (SE) (SP) Plan
See Dev Conds dated 9-24-2012
Date of (BZA) (BOS) (PC) approval 9-25-2012
Sheet 4 of 14
Concurrent w/ PCA 90-L-050-03
See Proffers dated 9-20-2012

NOTE: EXISTING CONDITIONS FROM FIELD RUN TOPOGRAPHIC AND BOUNDARY SURVEY BY FIRST ORDER, LLC DATED FEBRUARY 22, 2010 AND UPDATED ON FEBRUARY 14, 2012

NOT FOR CONSTRUCTION

REV. NO.	DATE	REVISIONS	DRAWN BY	CHECKED BY	APPROVED
3	08/9/12	VDDT/FDDT/CTY COMMENTS	AWN	TED	RPS
2	07/3/12	VDDT/FDDT/CTY COMMENTS	AWN	TED	RPS
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SUNOCO, INC.
Retail Engineering
Lester, PA

7025 OLD KEENE MILL ROAD
SPRINGFIELD, VA
FAIRFAX COUNTY

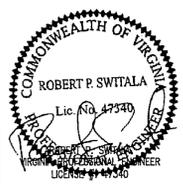
PROJECT NO.
99016.00

GRADING PLAN

APPROVED RPS	FACILITY NO.	DRAWING NO.	REV. NO.
CHECKED TED	0207-7261	G-1	3
DRAWN AWN			
DATE 03/07/2012			

Bergmann associates
Engineers / Architects / Planners / Surveyors

1040 First Ave, Suite 100
King of Prussia, PA. 19406
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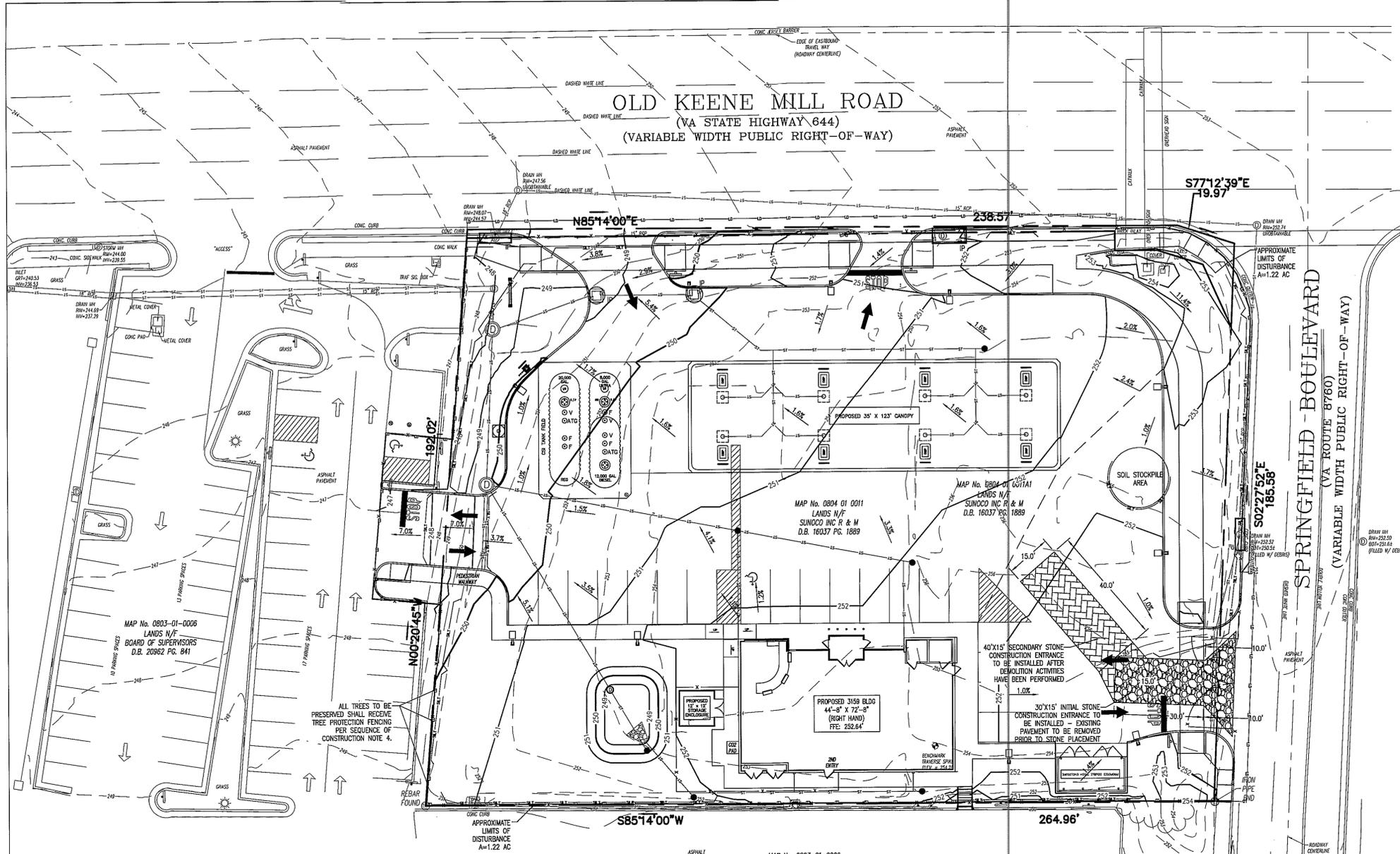


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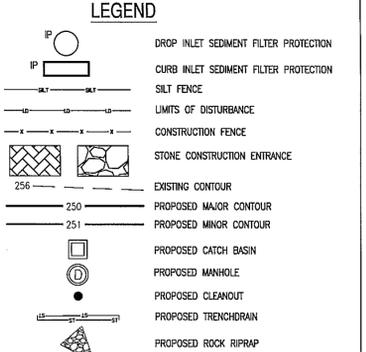
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EROSION AND SEDIMENT CONTROL MATERIALS	
SILT FENCE	540 LF
DROP INLET PROTECTION	2
CURB INLET PROTECTION	3'
CONSTRUCTION FENCE W/ GATE	995 LF
ROCK RIPRAP D50=6"	25 SF



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- INLET PROTECTION NOTE:**
- INLETS SHOULD BE INSPECTED AND CLEANED OUT AFTER EVERY STORMWATER RAINFALL EVENT.

- MAINTENANCE PROGRAM NOTES:**
- UNTIL THE SITE IS STABILIZED, ALL BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BMP'S AFTER EACH STORM EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, REMULCHING AND RETENING, MUST BE PERFORMED IMMEDIATELY.
 - SHOULD ANY BMP'S CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ONSITE FLOWS PRIOR TO DISCHARGE OR STABILIZING THE SURFACES INVOLVED, ADDITIONAL BMP'S MUST BE IMMEDIATELY IMPLEMENTED BY THE PROPERTY OWNER TO ELIMINATE ALL SUCH PROBLEMS.
 - AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY BMP'S MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMP'S MUST BE STABILIZED.
 - SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH ONE-THIRD THE ABOVE GROUND HEIGHT OF SILT FENCE BARRIER.
 - STORMWATER INLETS MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED AND CONTROL MEASURES MAINTAINED AFTER EACH STORM EVENT.
 - ROCK CONSTRUCTION ENTRANCES WILL BE MAINTAINED IN A MANNER SO THAT CLEAN STONE IS ALWAYS VISIBLE ON THE SURFACE. SOIL ENCRUSTED ROCK CONSTRUCTION ENTRANCES MUST BE REMOVED AND REPLACED.

TEMPORARY/PERMANENT SEEDING

AREAS DISTURBED BY ON-SITE GRADING AND/OR THAT WILL NOT BE CONSTRUCTED UPON, SHALL BE STABILIZED WITH A PERMANENT VEGETATIVE COVER, USING THE FOLLOWING SEEDING SCHEDULE:

PLANTING DATES	SPECIES	LBS. PER ACRE	LBS. PER 1,000 SF
SEPT 1 - FEB 15	50/50 MIX OF ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM) & CEREAL (WINTER) RYE (SECALE CEREALE)	50-100	1-2
FEB 16 - APR 30	ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM)	60-100	1.4-2
MAY 1 - AUG 31	GERMAN MILLET (SETARIA ITALICA)	50	1

AREAS TO BE LEFT EXPOSED FOR GREATER THAN 20 DAYS SHALL BE TEMPORARILY STABILIZED WITH PERENNIAL RYE GRASS APPLIED AT THE RATE OF 100 LBS. PER ACRE OR 1 LB. PER 1,000 SF

ALL SEEDING AREAS ARE TO HAVE AN APPLICATION OF THE FOLLOWING:
 LIME - AMOUNT NEEDED TO OBTAIN A PH OF 5.0 (80-100 LBS./1,000 SF)
 FERTILIZER - 11 LBS. PER 1,000 SF OF 10-20-10 FERTILIZER OR APPROVED EQUAL.

MULCHING - UNROTTED SMALL GRASS FREE OF WEEDS AND SEEDS, OR SALT HAY APPLIED AT A MINIMUM RATE OF 3 TONS PER ACRE (1,240 LBS. PER 1,000 SF). DO NO GRIND MULCH DURING APPLICATION. ANCHOR WITH DEGRADABLE MULCH NETTING, PEG AND TWINE OR LIQUID MULCH BINDER.

STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES:

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS 4VAC5-30 EROSION AND SEDIMENT CONTROL REGULATIONS.
- THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
- ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- DURING DEMATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED DEMATERING DEVICE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.
- SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.

- STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
- CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES UNTIL THE PROBLEM IS CORRECTED.
- CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.
- WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.
- ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
 - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - EFFLUENT FROM DEMATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
- RE-STABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THIS CHAPTER
- APPLICABLE SAFETY CHAPTERS SHALL BE COMPLIED WITH.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL DEVELOPMENT LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.

Application No SEA 90-L-045-03 Staff S.W.
 Approved (SE) (SP) Plan

See Dev Conds dated 2-24-2012
 Date of (BZA) (BOS) (PC) approval 9-25-2012
 Sheet 5 of 14

Concurrent w/ PCA 90-L-050-03
 See Proffers dated 9-20-2012

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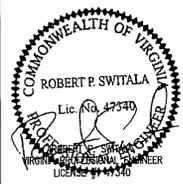
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 Retail Engineering
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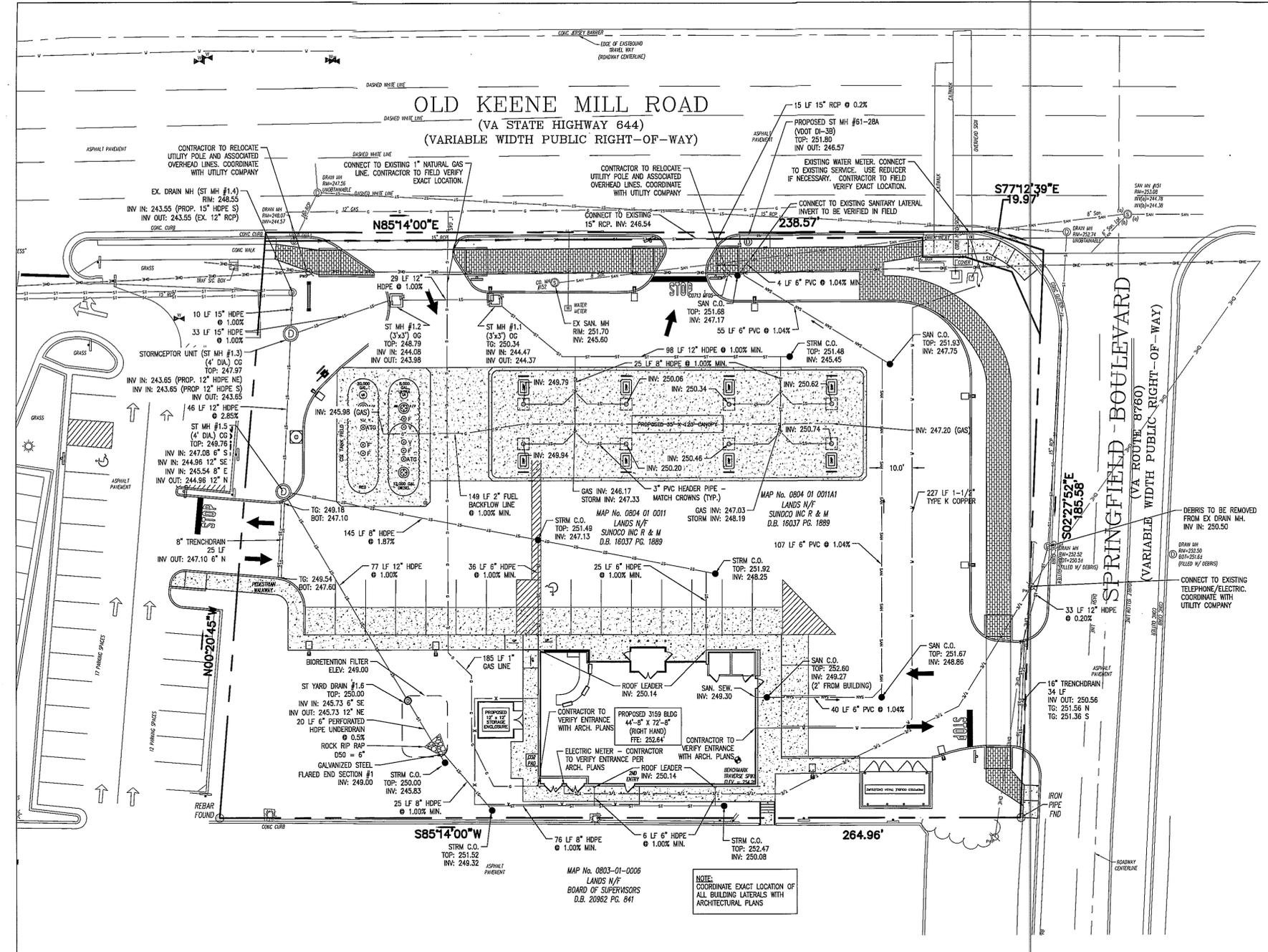
7025 OLD KEENE MILL ROAD
 SPRINGFIELD, VA
 FAIRFAX COUNTY

PROJECT NO.
 99016.00

EROSION AND SEDIMENT CONTROL PLAN

SCALE 1" = 20'

APPROVED RPS	CHECKED TED	DRAWN AVN	DATE 03/07/2012	FACILITY NO. 0207-7261	DRAWING NO. ES-1	REV. NO. 3
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LEGEND

- SAN — SAN — PROPOSED SANITARY SEWER
- W — W — PROPOSED WATER LINE
- ST — ST — PROPOSED STORM SEWER
- T/E — T/E — PROPOSED TELEPHONE/ELECTRIC
- G — G — PROPOSED GAS LINE
- PROPOSED STORM CATCH BASIN
- PROPOSED MANHOLE
- TREN — TREN — PROPOSED STORM TRENCH/DRAIN
- S/C — S/C — PROPOSED STORM/SANITARY SEWER CLEANOUT
- SAN — SAN — EXISTING SANITARY SEWER
- W — W — EXISTING WATER LINE
- ST — ST — EXISTING STORM SEWER
- T/E — T/E — EXISTING TELEPHONE/ELECTRIC
- G — G — EXISTING GAS LINE
- EXISTING STORM CATCH BASIN
- EXISTING MANHOLE
- TREN — TREN — EXISTING STORM TRENCH/DRAIN
- S/C — S/C — EXISTING STORM/SANITARY SEWER CLEANOUT
- SAN — SAN — EXISTING OVERHEAD ELECTRIC
- W — W — EXISTING NATURAL GAS LINE
- ST — ST — EXISTING STORM SEWER
- T/E — T/E — EXISTING TELEPHONE/ELECTRIC
- G — G — EXISTING GAS LINE
- EXISTING STORM CATCH BASIN
- EXISTING MANHOLE
- TREN — TREN — EXISTING STORM TRENCH/DRAIN
- S/C — S/C — EXISTING STORM/SANITARY SEWER CLEANOUT

SANITARY SEWER NOTES:

1. ONLY DOMESTIC WASTE FROM THE PROJECT SHALL BE DISCHARGED INTO THE SANITARY SEWER.
2. ALL SANITARY LATERALS SHALL BE 6" PVC SDR-21 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
3. A MINIMUM OF 3 FEET OF COVER SHALL BE PROVIDED OVER ENTIRE LENGTH OF ALL SANITARY LATERALS.
4. PRIOR TO CONSTRUCTION, A PERMIT MUST BE OBTAINED.
5. SANITARY SEWER LATERALS(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH FAIRFAX COUNTY WASTEWATER MANAGEMENT REQUIREMENTS.
6. ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED AT THE PROPERTY LINE.
7. FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTES TO DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL LAW.
8. ANY PORTION OF SANITARY SEWER OR LATERAL WITH LESS THAN 3 FEET OF COVER WILL REQUIRE CONCRETE ENCASMENT.

STORM SEWER NOTES:

1. ALL STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH SMOOTH FLOW INTERIOR, UNLESS OTHERWISE SPECIFIED ON THE PLANS.
2. IN INSTANCES WHERE THE STORM SEWER CROSSES ABOVE THE SANITARY SEWER A CRUSHED STONE ENCASMENT SHALL BE PROVIDED AROUND THE SANITARY SEWER UP TO THE STORM SEWER-COMPACT WITH APPROVED EQUIPMENT
3. ALL CATCH BASINS AND STORM MANHOLES TO BE CONSTRUCTED TO WITHSTAND H-20 LOADING.
4. ALL STORM STRUCTURES SHOULD BE INSTALLED IN CONCURRENCE WITH DEMOLITION OF EXISTING PIPES AND STRUCTURES.

WATER SERVICE NOTES:

1. WATER SERVICE LINES SHALL HAVE A MINIMUM OF 8 FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND 6 FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
2. WATER SERVICE LINES SHALL BE SEPARATED AT LEAST 10 FEET, MEASURED FROM OUTSIDE OF THE PIPES, FROM SEWER MAINS.
3. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER PIPE LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING, ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CONTROLLED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
4. BACKFLOW PREVENTER AND WATER METER ARE LOCATED INSIDE BUILDING. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION.

MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Zoning Ordinance paragraphs:
 Special Permits (9-011.2 J & L) Special Exceptions (9-011.2 J & L)
 Cluster Subdivision (9-016.1 G & 1 N) Commercial Reutilization Districts (9-022.2A (12) & (14))
 Development Plans PRC District (16-302.3 & 4 L) PRC Plan (16-303.1 E & 1 D)
 FDP P Districts (except PRC) (16-502.1 F & 1 G) Amendments (18-202.10 F & 10)

- X 1. Plat is at a minimum scale of 1"=50' (unless it is depicted on one sheet with a minimum scale of 1"=100').
- X 2. A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet U-1.
- X 3. Provide:

Facility Name/Type & No.	On-site area served (acres)	Off-site area served (acres)	Drainage area (acres)	Footprint area (sf)	Storage Volume (cf)	If pond, dam height (ft)
STORMCEPTOR	0.61 ACRES	0.00 ACRES	0.61 ACRES	5.5 SF	114	N/A
Totals						

- X 4. On-site drainage channels, outfalls and pipe systems are shown on Sheet U-1.
 Pond inlet and outlet pipe systems are shown on Sheet U-1.
- X 5. Maintenance access (road) to stormwater management facility(ies) are shown on Sheet U-1.
 Type of maintenance access road surface noted on the plan is N/A (asphalt, geobac, gravel, etc.).
- X 6. Landscaping and tree preservation shown on and near the stormwater management facility is shown on Sheet U-1.
- X 7. A "stormwater management narrative" which contains a description of how detention and best management practices requirements will be met is provided on Sheet U-1.
- X 8. A description of the existing conditions of each numbered site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (940 acres) is provided on Sheet U-1.
- X 9. A description of how the outfall requirements, including contributing drainage areas of the Public Facilities Manual is provided on Sheet U-1.
- X 10. Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheet U-1.
- X 11. A submission waiver is requested for _____
- X 12. Stormwater management is not required because _____

Pre-construction/Post-construction Stormwater Discharge Summary Table

Rainfall Event	Pre-Development			Total Pre-Development Peak Flow (cfs)	Post-Development			Total Post-Development Peak Flow (cfs)	Percent Reduction
	Drainage Area A Peak Flow (DA-A) (cfs)	Drainage Area B Peak Flow (DA-B) (cfs)	Drainage Area C Peak Flow (DA-C) (cfs)		Drainage Area A Peak Flow (DA-A) (cfs)	Drainage Area B Peak Flow (DA-B) (cfs)	Drainage Area C Peak Flow (DA-C) (cfs)		
2-year	4.30	1.54	1.19	7.03	2.97	2.90	0.91	6.78	3.56%
5-year	6.22	2.18	1.99	10.39	4.34	4.42	1.44	10.20	1.83%
10-year	7.24	2.52	2.43	12.19	5.08	5.24	1.73	12.05	1.15%
25-year	8.41	2.91	2.93	14.25	5.91	6.17	2.06	14.14	0.77%
50-year	9.87	3.40	3.57	16.84	6.94	7.33	2.47	16.74	0.59%
100-year	10.88	3.74	4.01	18.63	7.67	8.13	2.75	18.55	0.43%

Note: These calculations reflect the discharge for the Drainage Area encompassing the proposed site and show a full control of flows from this property for the 2, 5, 10, 25, 50, and 100 year storm

Pre-construction/Post-construction Stormwater Volume Summary Table

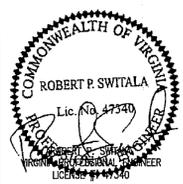
Rainfall Event	Pre-Development				Post-Development				Percent Reduction
	Drainage Area A Volume (DA-A) (af)	Drainage Area B Volume (DA-B) (af)	Drainage Area C Volume (DA-C) (af)	Total Pre-Development Volume (af)	Drainage Area A Volume (DA-A) (af)	Drainage Area B Volume (DA-B) (af)	Drainage Area C Volume (DA-C) (af)	Total Post-Development Volume (af)	
2-year	0.213	0.080	0.053	0.346	0.145	0.135	0.041	0.321	7.23%
5-year	0.315	0.114	0.091	0.520	0.217	0.212	0.068	0.497	4.42%
10-year	0.369	0.133	0.112	0.614	0.256	0.254	0.082	0.592	3.58%
25-year	0.432	0.154	0.137	0.723	0.301	0.303	0.099	0.703	2.77%
50-year	0.510	0.180	0.169	0.859	0.356	0.364	0.120	0.840	2.21%
100-year	0.565	0.198	0.191	0.954	0.395	0.408	0.135	0.938	1.89%

Note: These calculations reflect the discharge for the Drainage Area encompassing the proposed site and show a full control of flows from this property for the 2, 5, 10, 25, 50, and 100 year storm

Application No **SEA 90-L-045-03** Staff **S.W.**
 Approved (SE) (SP) Plan
 See Dev Conds dated **9-24-2012**
 Date of (BZA) (BOS) (PC) approval **9-25-2012**
 Sheet **6** of **14**

Concurrent w/ PCA 90-L-050-03
 See Proffers dated **9-20-2012**

Bergmann associates
 Engineers / Architects / Planners / Surveyors
 1040 First Ave, Suite 100
 King of Prussia, PA 19406
 610.783.1420 / 610.783.1425 fax
 www.bergmannpc.com



NOT FOR CONSTRUCTION

REV	DATE	REVISIONS	DRAWN BY	CHKD BY	APPROV.
3	08/9/12	VDOT/FDOT/CTY COMMENTS	AVN	TED	RPS
2	07/3/12	VDOT/FDOT/CTY COMMENTS	AVN	TED	RPS
1	04/26/12	PER GDP/SEA COMMENTS	AVN	TED	RPS

SUNOCO, INC.
 Retail Engineering
 Lester, PA
 7025 OLD KEENE MILL ROAD
 SPRINGFIELD, VA
 FAIRFAX COUNTY
 PROJECT NO. 99016.00

STORMWATER MANAGEMENT / SITE UTILITY PLAN

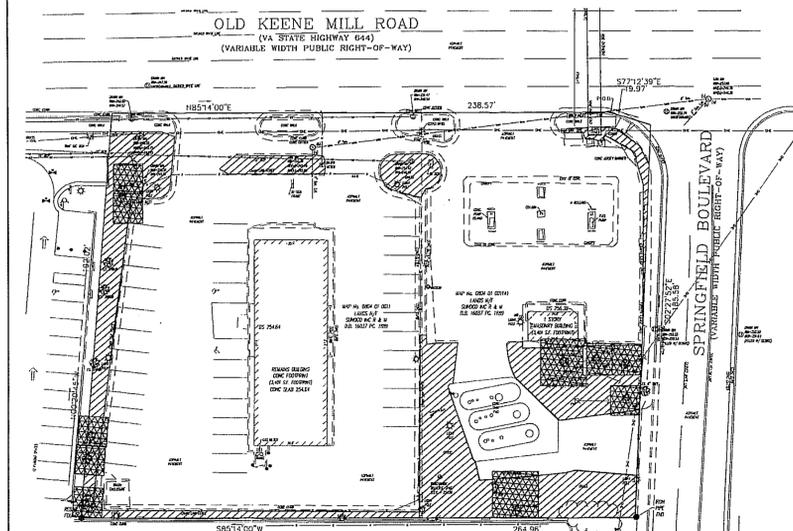
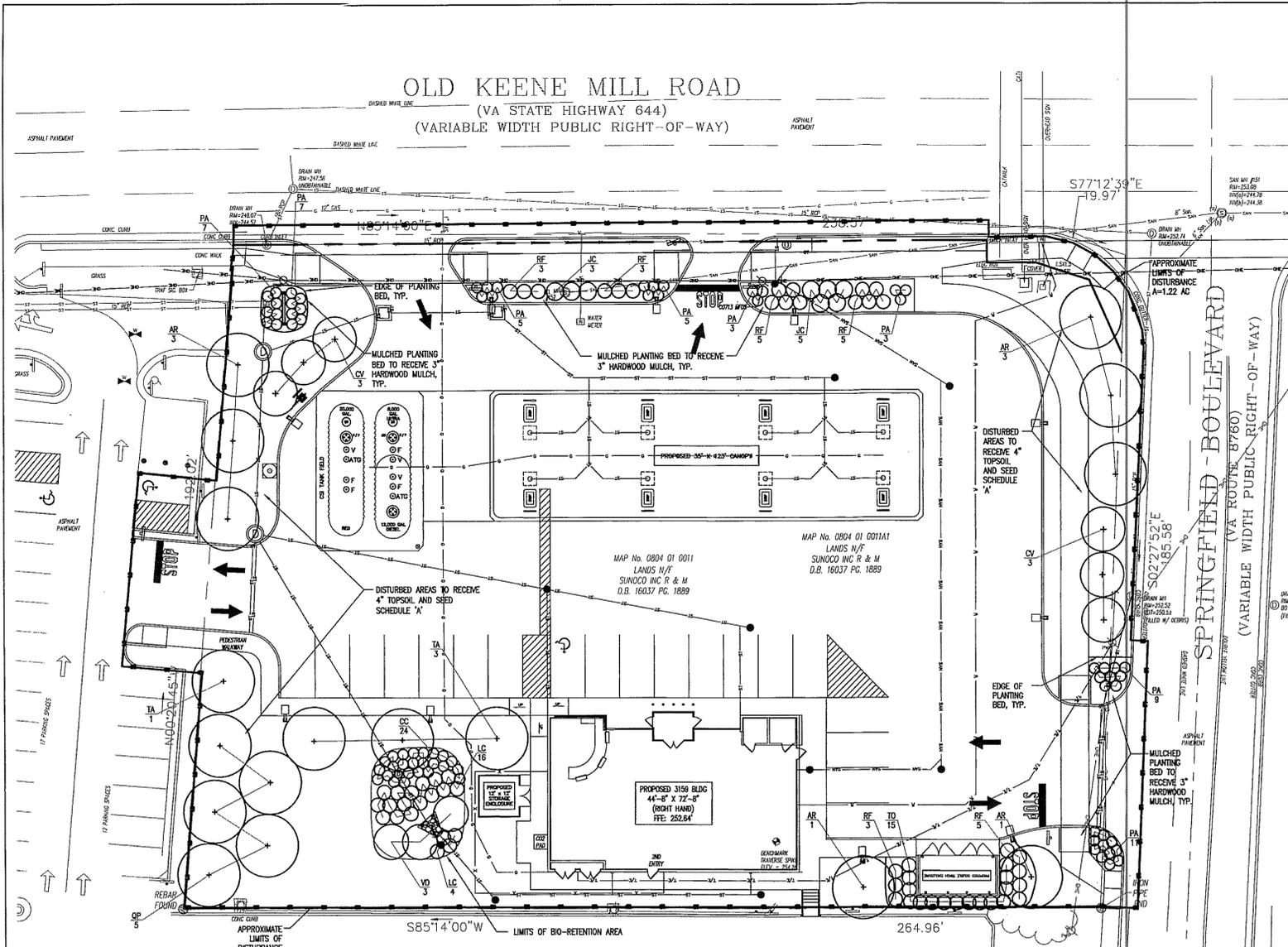
APPROVED RPS	FACILITY NO.	DRAWING NO.	REV. NO.
CHECKED TED	0207-7261	U-1	3
DRAWN AVN			
DATE 03/07/2012			

SCALE 1" = 20'

THIS DRAWING IS AND SHALL REMAIN THE PROPERTY OF SUNOCO, INC. NO REPRODUCTION OR ALTERATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF SUNOCO, INC. IS FORWARDED.

CAUTION - NOTICE TO CONTRACTORS
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.





EXISTING VEGETATION COVER TYPES

SIZE/TYPE	% OF SITE	KEY	SPECIES PRESENT
DEVELOPED LAND	81.5%		NONE
MAINTAINED GRASSLANDS	13.5%		UN-IDENTIFIED BRUSH
UPLAND FOREST	5.0%		LONDON PLANETREE, BRADFORD PEAR

5.0% OF EXISTING SITE IS COVERED BY TREE CANOPY COMPRISED OF SELF-SUPPORTING TREE AND WOODY PLANTS THAT EXCEED FIVE (5) FEET (1.5 METERS) IN HEIGHT AT TIME OF PLAN SUBMISSION.

EXISTING TREE INVENTORY AND CONDITION ANALYSIS

COMMON NAME	QUANTITY	DIAMETER	DESIGNATION	DRIP LINE	CRIT.	ROOT ZONE	CONDITION	CANOPY AREA
LONDON PLANETREE	2	12"	ON-SITE	14' RADIUS	6' RADIUS	6' RADIUS	FAIR/GOOD	1,000 SF
BRADFORD PEAR	8	6"	ON-SITE	8' RADIUS	6' RADIUS	6' RADIUS	POOR/FAIR	1,600 SF

TREE PRESERVATION TARGET: 250 SF

PROPOSED TREE INVENTORY

KEY	COMMON NAME	PROPOSED QUANTITY	DIAMETER	DESIGNATION	CANOPY AREA
AR	KARPKICK RED MAPLE	8	3"	PERIMETER	2000 SF
CV	FRINGETREE	6	3"	PERIMETER	750 SF
TA	AMERICAN LINDEN	4	3"	PERIMETER	1000 SF
QP	PIN OAK	5	3"	PERIMETER	1250 SF

5,000 SF (10%)

SEED SCHEDULE 'A' (GENERAL LAWN AREAS)

- 5 lbs./1,000 s.f.
- 30% CREEPING RED FESCUE
- 50% TURF TYPE PERENNIAL RYEGRASS (MIN. 2 VARIETIES)
- 20% KENTUCKY BLUEGRASS (MIN. 2 VARIETIES)

Application No SEA 90-L-045-03 Staff S.W.
 Approved (SE) (SP) Plan
 See Dev Conds dated 9-24-2012
 Date of (BZA) (BOS) (PC) approval 9-25-2012
 Sheet 7 of 14
 Concurrent w/ PCA 90-L-050-03
 See Proffers dated 9-20-2012

PLANT LIST

SYMBOL	KEY	SCIENTIFIC NAME	COMMON NAME	INSTALLED SIZE	MATURE SIZE	CONDITION
SHADE TREES						
AR	CV	Acer rubrum 'Karpick'	Karpick Red Maple	3" cal.	35-40' Ht./20' Sprd.	B&B
CV	TA	Chionochloa virginica	Fringetree	3" cal.	12-20' Ht./12-20' Sprd.	B&B
TA	QP	Tilia americana 'Legend'	American Linden	3" cal.	50' Ht./36' Sprd.	B&B
QP		Quercus pedunculata	Pin Oak	3" cal.	60-70' Ht./35-40' Sprd.	B&B
SHRUBS						
JC	RF	Juniperus chinensis 'Sea Green'	Sea Green Juniper	No. 3 Cont.	3' Ht./5-6' Sprd.	Cont.
RF	TO	Rosa 'The Fairy'	The Fairy Rose	No. 2 Cont.	3-4' Ht./3-4' Sprd.	Cont.
TO	VD	Thuja occidentalis 'Emerald'	Emerald Arborvitae	6' Ht.	10-15' Ht./3-4' Sprd.	B&B
VD		Viburnum dentatum	Arrow Wood Viburnum	No. 5 Cont.	10-12' Ht./10-12' Sprd.	Cont.
PERENNIALS / ORNAMENTAL GRASSES						
CC	PA	Conoclinium coelestinum	Blue Mistflower	No. 2 Cont.	1-3' Ht./1-3' Sprd.	Cont.
PA	LC	Pennisetum alopecuroides 'Hamine'	Hamine Fountain Grass	No. 2 Cont.	2-3' Ht./2-3' Sprd.	Cont.
LC		Loefelia cordata	Cordial Flower	No. 2 Cont.	3-6' Ht./3-6' Sprd.	Cont.

- LANDSCAPE NOTES**
- ALL PLANTS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
 - STANDARDS SET FORTH IN 'AMERICAN STANDARD FOR NURSERY STOCK', ANSI, Z60.1 (LATEST EDITION), REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 - ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDNESS ZONE AS THE PROJECT LOCATION.
 - NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.
 - ALL TREES MUST BE STRAIGHT TRUNKED, INJURY FREE, AND FULL HEADED.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE BEGINNING THE WORK.
 - ANY DISCREPANCY WITH QUANTITIES, LOCATIONS AND / OR FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - MULCH ALL ISLANDS AND PLANTINGS IN LAWN AREAS WITH SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES UNLESS OTHERWISE DIRECTED.
 - ANY PLANT WHICH DIES, TURNS BROWN, OR DEPLORES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUTS) AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
 - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR, BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.
 - ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL RECEIVE APPROVED TOPSOIL (TO A COMPACTED DEPTH OF 4", UNLESS OTHERWISE SPECIFIED BY THE GOVERNING MUNICIPALITY, BE FINE GRADED, SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED).
 - ALL TOPSOIL SHALL BE SCREENED, FREE OF STONES AND SHALL HAVE THE FOLLOWING MINIMUM REQUIREMENTS:
 - a) NUTRIENT CONTENT OF 6-20%
 - b) SOIL ACIDITY RANGE OF PH 6.0 TO PH 6.8
 - c) SOLUBLE SALTS OF 1000 PPM OR LESS
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, AT THEIR EXPENSE, A CERTIFIED SOIL TEST ANALYSIS OF ON SITE AND / OR IMPORTED TOPSOIL. TOPSOIL TO INCLUDE THE FOLLOWING DATA:
 - a) PH FACTOR.
 - b) MECHANICAL ANALYSIS, INCLUDING SEWE ANALYSIS.
 - c) PERCENTAGE OF ORGANIC CONTENT BY WEIGHT.
 - d) NUTRIENT LEVELS INCLUDING NITROGEN, PHOSPHORUS AND POTASSIUM.
 - SHOULD TESTS AND ANALYSIS INDICATE THAT SOIL PROPOSED FOR USE IS DEFICIENT IN ANY OF THE ABOVE REQUIREMENTS, A SYSTEM OF AMELIORATING MAY BE PROPOSED FOR APPROVAL. ANY SYSTEM PROPOSED SHALL PROVIDE FOR AN ACTIVITY RANGE OF PH 6.0 TO 6.8 INCLUSIVE.
 - PLANTING MIX FOR PLANT PITS SHALL BE COMPOSED OF 2 PARTS IMPORTED OR ON-SITE SCREENED TOPSOIL AND 1 PART COMPOST. THE RATIO OF TOPSOIL TO COMPOST IS SUBJECT TO CHANGE BASED ON THE TESTING RESULTS FOR TOPSOIL.
 - LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLAN ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES AND SITE APPEARANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE INSTALLATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER DETAILS. ANY DEVIATIONS FROM THE DETAIL MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - SEE SHEET DE-2 FOR LANDSCAPE DETAILS.
 - UPON FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION, THE OWNER WILL ASSUME MAINTENANCE OF THE LANDSCAPED AREAS.
 - EXISTING TREES TO REMAIN SHALL BE PROTECTED BY INSTALLING A TEMPORARY FENCE AT THE OUTER LIMITS OF THE TREE CANOPY.

Table 12.3 Tree Preservation Target Calculations and Statement

Item	Description	Value
A	Pre-development area of existing tree canopy (from Existing Vegetation Map) =	2,600 SF
B	Percentage of gross site area covered by existing tree canopy =	5.0%
C	Percentage of 10-year tree canopy required for site (see Table 12.4) =	10% = 4,998 SF
D	Percentage of the 10-year tree canopy requirement that should be met through tree preservation =	5.0% = 250 SF
E	Proposed percentage of canopy requirement that will be met through tree preservation =	0% = 0 SF
F	Has the Tree Preservation Target minimum been met?	Do not Exceed Yes or No

If No for line F, then a request to deviate from the Tree Preservation Target shall be provided on the plan that states one or more of the justifications listed in § 12-0508.3 along with a narrative that provides a site-specific explanation of why the Tree Preservation Target cannot be met. Provide sheet number where deviation request is located.
 If step G requires a narrative, it shall be prepared in accordance with § 12-0508.4
 Place this information prior to the 10-year Tree Canopy Calculations as per instructions in Table 12.10.

Table 12.10 10-year Tree Canopy Calculation Worksheet

Step	Totals	Reference
A. Tree Preservation Target and Statement		
A1	Place the Tree Preservation Target calculations and statement here preceding the 10-year tree canopy calculations	0 SF see § 12-0508.2 for list of required elements and worksheet
B. Tree Canopy Requirement		
B1	Identify gross site area =	49,988 SF § 12-0511.1(A)
B2	Subtract area dedicated to parks, road frontage, and	§ 12-0511.1(B)
B3	Subtract area of exemptions =	§ 12-0511.1(C) through § 12-0511.1(C)(6)
B4	Adjusted gross site area (B1 - B2) =	49,988 SF C-6
B5	Identify site's zoning and/or use =	C-6 § 12-0510.1 and Table 12.4
B6	Percentage of 10-year tree canopy required =	10%
B7	Area of 10-year tree canopy required (B4 x B6) =	4,998 SF
B8	Modification of 10-year Tree Canopy Requirements requested?	NO Yes or No
B9	If B8 is yes, then list plan sheet where modification request is located	Sheet number
C. Tree Preservation		
C1	Tree Preservation Target Area =	0 SF
C2	Total canopy area meeting standards of § 12-0400 =	0 SF
C3	C2 x 1.25 =	0 SF § 12-0510.3(B)
C4	Total canopy area provided by unique or valuable forest or woodland communities =	0 SF
C5	C4 x 1.5 =	§ 12-0510.3(B)(1)
C6	Total of canopy area provided by "heritage," "memorial," "specimen," or "street" trees =	0 SF
C7	C6 x 1.5 to 3.0 =	§ 12-0510.3(B)(2)
C8	Canopy area of trees within Resource Protection Areas and 100-year floodplains =	0 SF
C9	C8 x 1.0 =	§ 12-0510.3(C)(1)
C10	Total of C5, C7, C8 and C9 =	0 SF If area of C10 is less than B7 then remainder of requirement must be met through tree planting - go to D
D. Tree Planting		
D1	Area of canopy to be met through tree planting (D7-C10) =	4,998 SF
D2	Area of canopy planted for air quality benefits =	0 SF
D3	x 1.5 =	§ 12-0510.2(B)(1)
D4	Area of canopy planted for energy conservation =	0 SF
D5	x 1.5 =	§ 12-0510.4(B)(2)
D6	Area of canopy planted for water quality benefits =	0 SF
D7	x 1.25 =	§ 12-0510.4(B)(3)
D8	Area of canopy planted for wildlife benefits =	0 SF
D9	x 1.5 =	§ 12-0510.4(B)(4)
D10	Area of canopy provided by native trees =	0 SF
D11	x 1.5 =	§ 12-0510.4(B)(5)
D12	Area of canopy provided by improved cultivars and varieties =	0 SF
D13	x 1.25 =	§ 12-0510.4(B)(6)
D14	Area of canopy provided through tree seedlings =	0 SF
D15	Area of canopy provided through native shrubs =	0 SF
D16	Percentage of D14 represented by D15 =	x1.0 § 12-0510.4(D)(1) Must not exceed 33% of D14
D17	Total of canopy area provided through tree planting =	5,000 SF
D18	Is an off-site planting relief requested?	Yes or No
D19	Tree Bank or Tree Fund?	§ 12-0512
D20	Canopy area requested to be provided through off-site banking or tree fund	0 SF
D21	Amount to be deposited into the Tree Preservation and Planting Fund	0 SF
E. Total of 10-year Tree Canopy Provided		
E1	Total of canopy area provided through tree preservation (C10) =	0 SF
E2	Total of canopy area provided through tree planting (D17) =	5,000 SF
E3	Total of canopy area provided through off-site mechanism (D19) =	0 SF
E4	Total of 10-year Tree Canopy Provided = (E1+E2+E3) =	5,000 SF Total of E1 through E3. Area should meet or exceed area required by D7

Table 12.4 10-year Tree Canopy Requirements

Use or Zoning District	Percentage of site to be covered by tree canopy in 10 years
Dedicated school, athletic field, non-wooded active recreation area	10%
Commercial, Industrial: PDC; R-20; R-30; PDH-20; PDH-30; PDH-40; PRM; R-MHP; medium and high-density areas of a PRC District	10%
R-12; R-16; PDH-12; PDH-16	15%
R-3; R-8; PDH-3; PDH-8	20%
R-3; R-4; PDH-3; PDH-4	25%
R-A; R-P; R-C; R-E; R-1; R-2; PDH-1; PDH-2; and low-density areas of a PRC District	30%

Note: In Commercial Revitalization Districts the above requirements shall apply to the extent feasible for expansion or enlargement of existing developments and shall be applicable for redevelopments and new developments. Expansion, enlargement and new development shall be as defined by the Zoning Ordinance.

NOT FOR CONSTRUCTION

REV.	DATE	REVISIONS	DRAWN BY	CHECKED BY	APPROVED
3	08/9/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS
2	07/3/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS
1	04/26/12	PER GDP/SEA COMMENTS	AVN	TED	RPS

SUNOCO, INC.
 Retail Engineering
 Lester, PA

7025 OLD KEENE MILL ROAD
 SPRINGFIELD, VA
 FAIRFAX COUNTY

PROJECT NO. 99016.00

LANDSCAPE PLAN

APPROVED RPS: [Signature]
 CHECKED MRJ: [Signature]
 DATE: 03/07/2012

FACILITY NO. 0207-7261
 DRAWING NO. LS-1
 SCALE 1" = 20'

REV. NO. 8

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Call 811 before you dig.
 Allow required time for marking.
 Respect the marks.
 Excavate carefully.

Check Ticket Status: 1-800-552-3120

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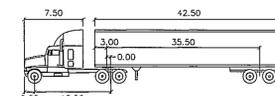
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8-09-12

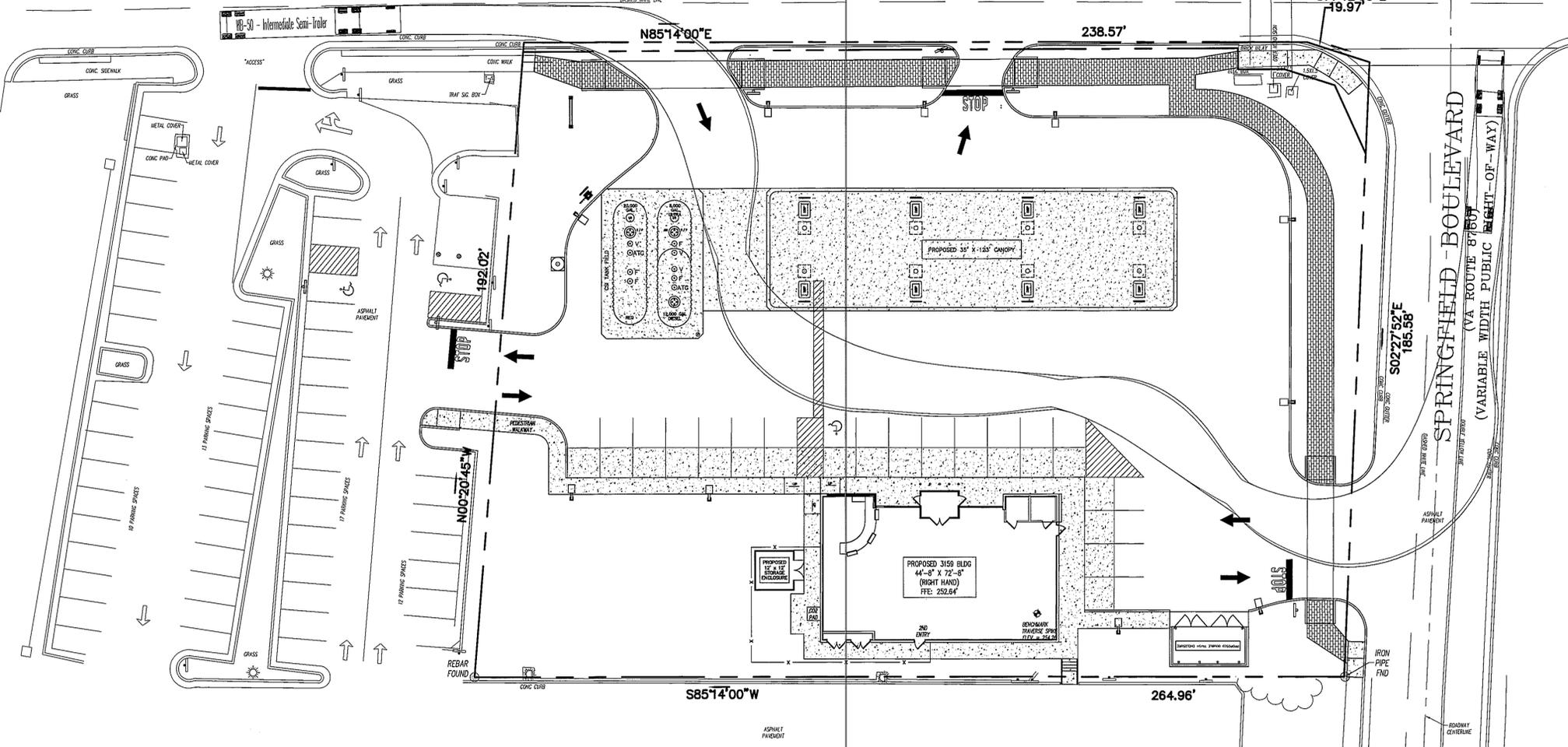
LANDSCAPE ARCHITECT

MARK R. JOHNS
 VIRGINIA CERTIFIED LANDSCAPE ARCHITECT
 LICENSE # 1079

OLD KEENE MILL ROAD
(VA STATE HIGHWAY 644)
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



WB-50	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.00
Tractor Length	: 8.50	Steering Angle	: 17.70
Tractor Track	: 8.00	Articulating Angle	: 70.00
Trailer Track	: 8.50		



Application No SEA 90-L-045-03 Staff S.W.
Approved (SE) (SP) Plan
See Dev Conds dated 9-24-2012
Date of (BZA) (BOS) (PC) approval 9-25-2012
Sheet 8 of 14
Concurrent w/ PCA 90-L-050-03
See Proffers dated 9-20-2012

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3	08/9/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS
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1	04/26/12	PER GDP/SEA COMMENTS	AVN	TED	RPS

SUNOCO, INC.
Retail Engineering
Lester, PA
7025 OLD KEENE MILL ROAD
SPRINGFIELD, VA
FAIRFAX COUNTY
PROJECT NO. 99016.00

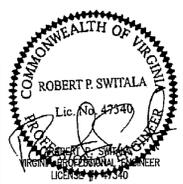
TRUCK TURNING PLAN			
APPROVED RPS	FACILITY NO. 0207-7261	DRAWING NO. T-1	REV. NO. 3
CHECKED TED			
DRAWN AVN			
DATE 03/07/2012			

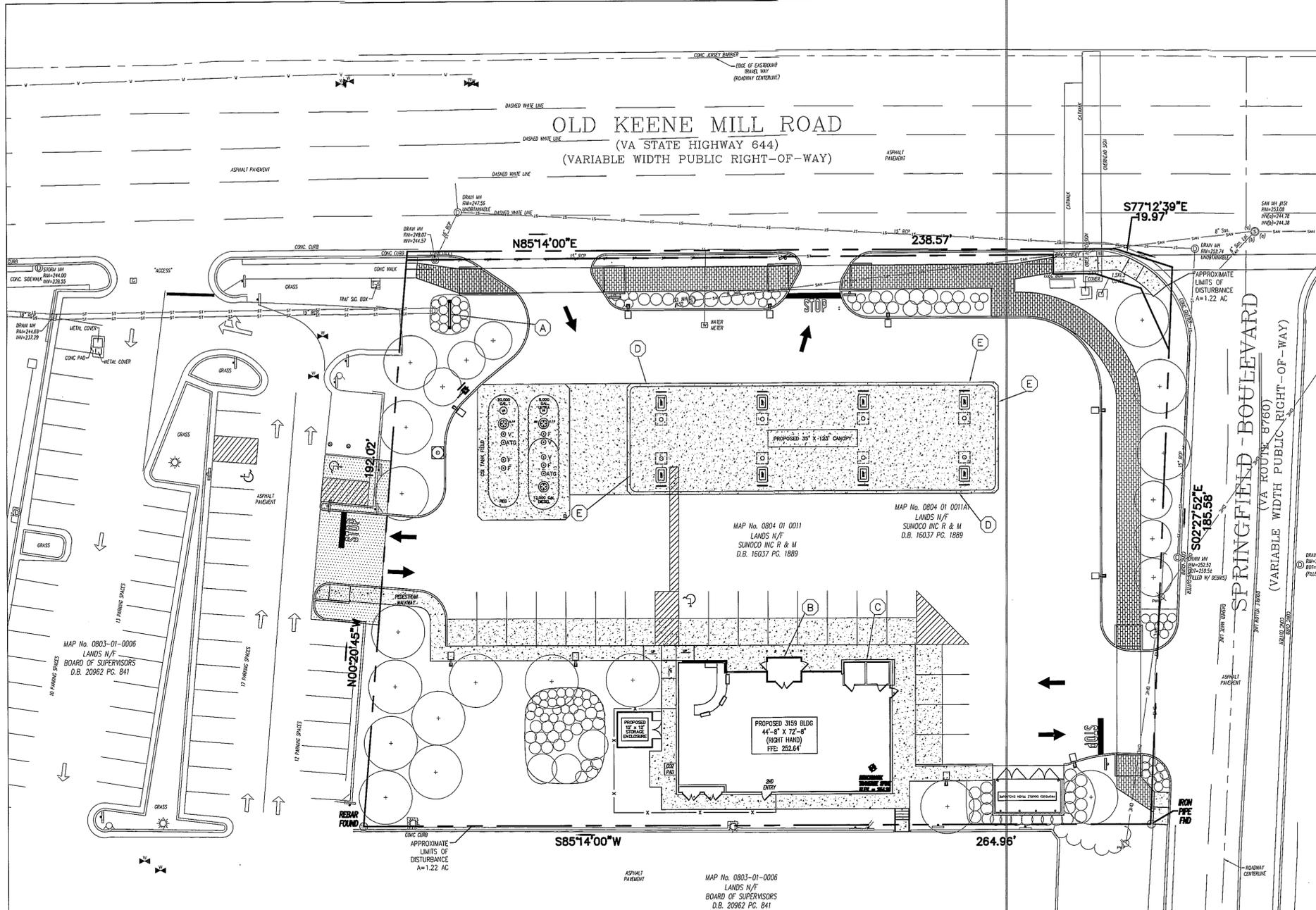
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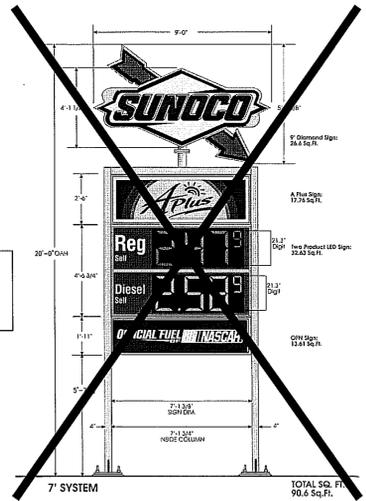
PROPOSED SIGN SCHEDULE						
MARK	DESCRIPTION	SIZE	AREA	QTY	TOTAL SF	ILLUM'D
A	PYLON - LOGO SIGN	4'-9 1/2"(H) x 11'-0"(W)	26.60 SF	1	26.60	YES
A	PYLON - "A-PLUS" GRAPHIC	2'-11"(H) x 9'-0 1/2"(W)	17.76 SF	1	17.76	YES
A	PYLON - "OFFICIAL FUEL OF NASCAR" GRAPHIC	2'-11"(H) x 9'-0 1/2"(W)	13.61 SF	1	13.61	YES
B	BLDG - ILLUMINATED ARCH, LEFT-HAND CONFIGURATION	12'-0" ARCH	56.50 SF	1	56.50	YES
C	BLDG - SNAP FRAME SIGN	54"x64"	24.00 SF	1	24.00	YES
D	CANOPY - "OFFICIAL FUEL OF NASCAR" DECAL	1'-6"(H) x 15'-0.574"(W)	22.50 SF	2	45.00	YES
E	CANOPY - BACKLIT SUNOCO SIGN	1'-9"(H) x 11'-9"(W)	20.56 SF	3	61.68	YES

TOTAL BUILDING SIGNAGE = 96.00 SF
 TOTAL FREE-STANDING SIGNAGE (NOT INCLUDING FUEL PRICE SIGN) = 57.97 SF
 TOTAL FREE-STANDING SIGNAGE (INCLUDING FUEL PRICE SIGN) = 72.66 SF
 TOTAL SIGNAGE (FRONTAGE = 72.66')
 MAXIMUM = 40 SF (DOES NOT INCLUDE PRICING SIGNAGE)
 PROPOSED = 26.60 + 17.76 + 13.61 = 57.97 SF

TOTAL BUILDING SIGNAGE = 96.00 SF
 TOTAL FREE-STANDING SIGNAGE (NOT INCLUDING FUEL PRICE SIGN) = 57.97 SF
 TOTAL FREE-STANDING SIGNAGE (INCLUDING FUEL PRICE SIGN) = 72.66 SF
 TOTAL SIGNAGE (FRONTAGE = 123')
 MAXIMUM = 108.99 SF (72.66' x 1.5')
 PROPOSED = 80.50 SF (56.50 + 24.00)

CANOPY SIGNAGE
 (FRONTAGE = 123')
 MAXIMUM = 173 SF (100' x 1.5' + 23' x 1.0')
 PROPOSED = 106.68 SF (45.00 + 61.68)

SEE ELEVATION PLAN FOR FURTHER CLARIFICATION OF SIGN LOCATIONS

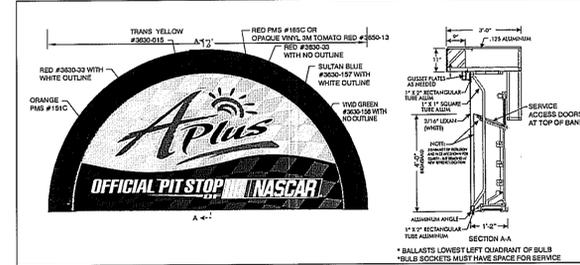


NOTE:
SUNOCO IS COMMITTED TO A MONUMENT SIGN IF AT ALL POSSIBLE. THE FINAL LOCATION AND SIZE WILL NEED TO BE RESOLVED.

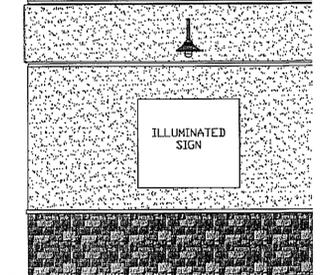
Application No SEA 90-L-045-03 Staff S.V.
Approved (SE) (SP) Plan

See Dev Conds dated 9-24-2012
Date of (BZA) (BOS) (PC) approval 9-25-2012
Sheet 9 of 14

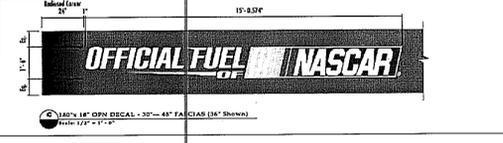
Concurrent w/ PCA 90-L-050-03
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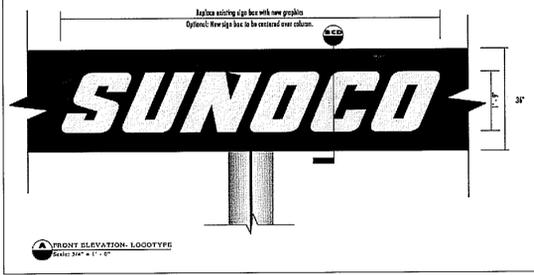
B BUILDING - ILLUMINATED ARCH, LEFT-HAND CONFIGURATION



C BUILDING - SNAP FRAME SIGN



D CANOPY - "OFFICIAL FUEL OF NASCAR" DECAL



E CANOPY - BACKLIT LOGOTYPE SIGN

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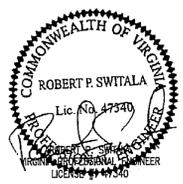
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SUNOCO, INC.
Retail Engineering
Lester, PA

7025 OLD KEENE MILL ROAD
SPRINGFIELD, VA
FAIRFAX COUNTY

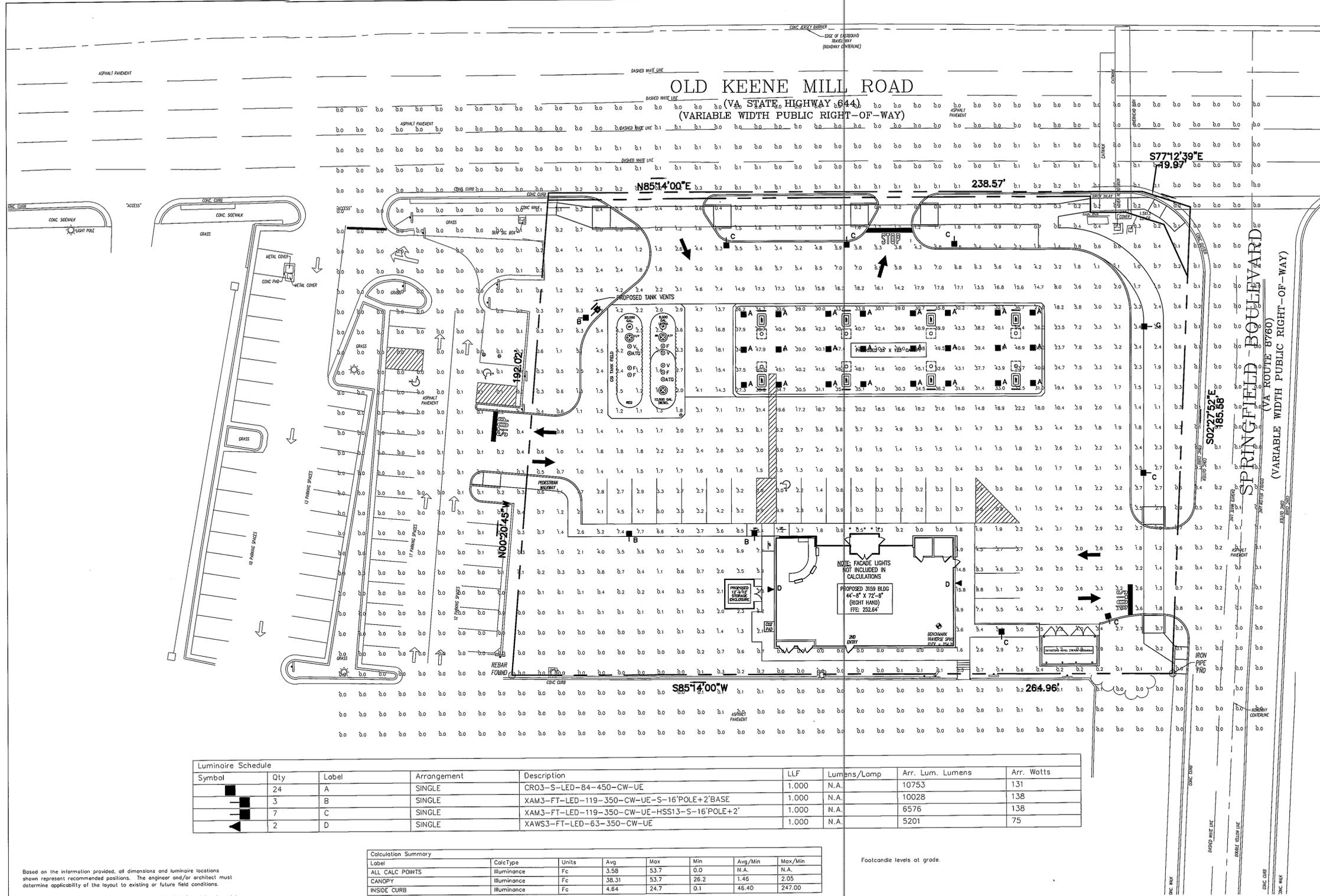
PROJECT NO. 99016.00

SIGNAGE PLAN

APPROVED RPS
CHECKED TED
DRAWN AVN
DATE 03/07/2012

FACILITY NO. 0207-7261
DRAWING NO. SN-1
REV. NO. 3

SCALE 1" = 20'



Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
■	24	A	SINGLE	CRO3-S-LED-84-450-CW-UE	1.000	N.A.	10753	131
■	3	B	SINGLE	XAM3-FT-LED-119-350-CW-UE-S-16'POLE+2'BASE	1.000	N.A.	10028	138
■	7	C	SINGLE	XAM3-FT-LED-119-350-CW-UE-HSS13-S-16'POLE+2'	1.000	N.A.	6576	138
▲	2	D	SINGLE	XAWS3-FT-LED-63-350-CW-UE	1.000	N.A.	5201	75

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	ILLUMINANCE	Fc	3.58	53.7	0.0	N.A.	N.A.
CANOPY	ILLUMINANCE	Fc	38.31	53.7	26.2	1.46	2.05
INSIDE CURB	ILLUMINANCE	Fc	4.64	24.7	0.1	46.40	247.00

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

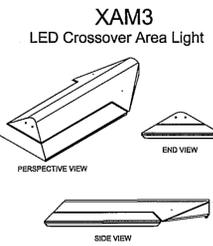
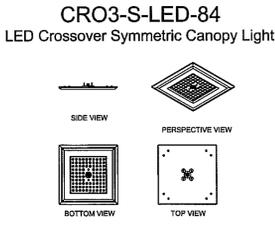
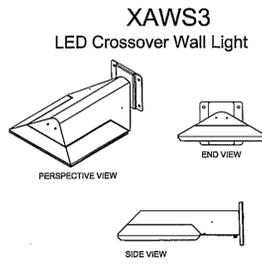
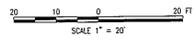
This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

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Total Project Watts
 Total Watts = 4674



Footcandle levels at grade.

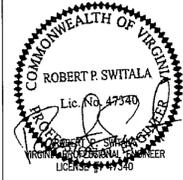


Application No **SEA 90-L-045-03** Staff **S.W.**
 Approved (SE) (SP) Plan

See Dev Conds dated **9-24-2012**
 Date of (BZA) (BOS) (PC) approval **9-25-2012**
 Sheet **10** of **14**

Concurrent w/ PCA 90-L-050-03
 See Proffers dated **9-20-2012**

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2	07/3/12	VDOT/FDOT/CTY COMMENTS	AVN	TED	RPS
1	04/26/12	PER GDP/SEA COMMENTS	AVN	TED	RPS

SUNOCO, INC.
 Retail Engineering
 Lester, PA

7025 OLD KEENE MILL ROAD
 SPRINGFIELD, VA
 FAIRFAX COUNTY

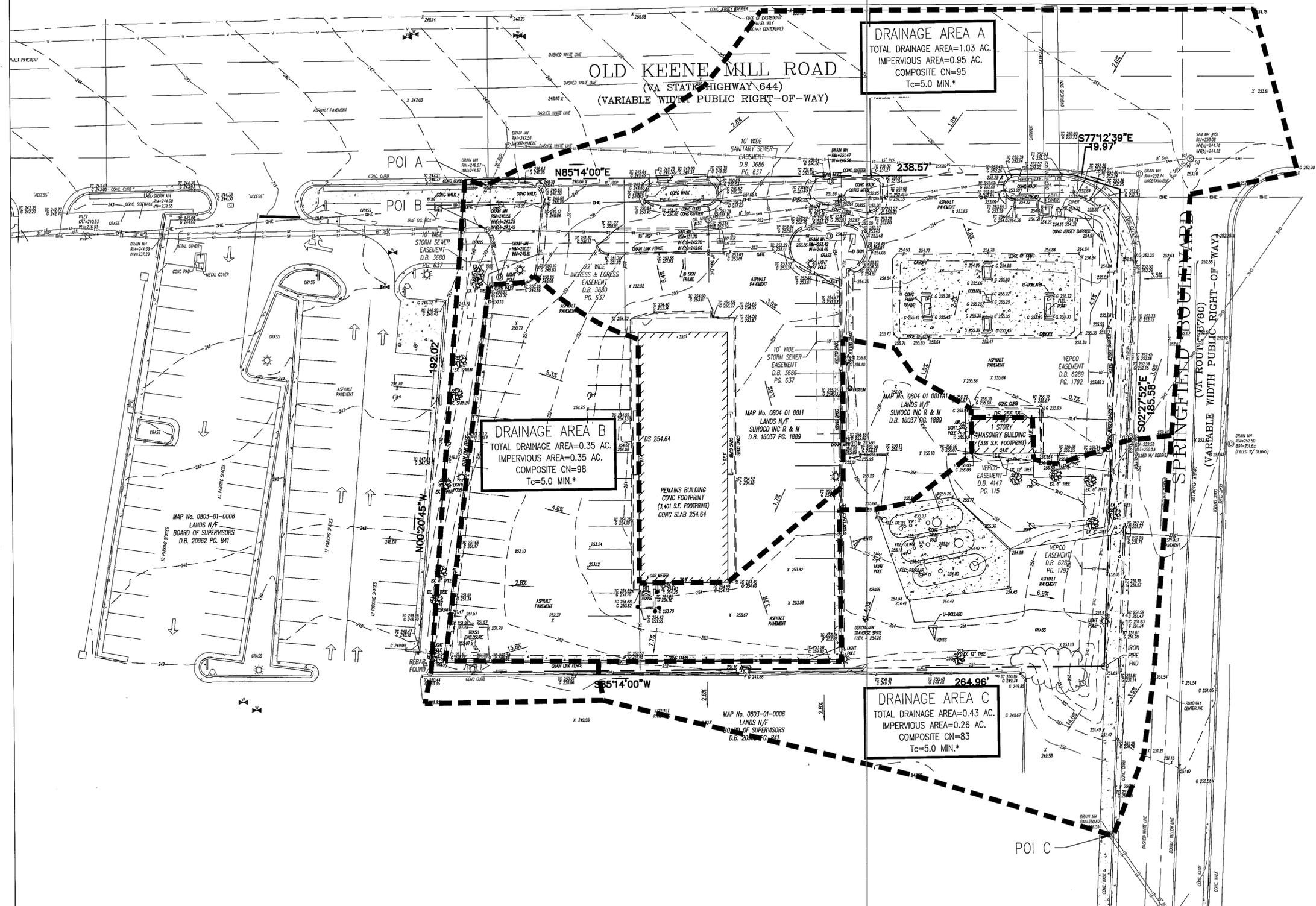
PROJECT NO.
 99016.00

PHOTOMETRIC PLAN
 PREPARED BY LSI INDUSTRIES

APPROVED RPS _____
 CHECKED TED _____
 DRAWN AVN _____
 DATE 03/07/2012

FACILITY NO. **0207-7261**
 DRAWING NO. **PH-1**
 REV. NO. **3**

SCALE 1" = 20'



DRAINAGE AREA A
 TOTAL DRAINAGE AREA=1.03 AC.
 IMPERVIOUS AREA=0.95 AC.
 COMPOSITE CN=95
 Tc=5.0 MIN.*

DRAINAGE AREA B
 TOTAL DRAINAGE AREA=0.35 AC.
 IMPERVIOUS AREA=0.35 AC.
 COMPOSITE CN=98
 Tc=5.0 MIN.*

DRAINAGE AREA C
 TOTAL DRAINAGE AREA=0.43 AC.
 IMPERVIOUS AREA=0.26 AC.
 COMPOSITE CN=83
 Tc=5.0 MIN.*

LEGEND

- OVERALL DRAINAGE DIVIDE BOUNDARY
- - - TIME OF CONCENTRATION PATH
* NOTE: A 5 MINUTE MINIMUM WAS USED FOR THIS CALCULATION
- 1.8% SURFACE SLOPE

Application No SEA 90-L-045-03 Staff S.W.
 Approved (SE) (SP) Plan

See Dev Conds dated 9-24-2012
 Date of BZA (BOS) (PC) approval 9-25-2012
 Sheet 11 of 14

Concurrent w/ PCA 90-L-050-03
 See Proffers dated 9-20-2012

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2	07/3/12	VDDT/FDOT/CTY COMMENTS	AWN	TED	RPS
1	04/26/12	PER GDP/SEA COMMENTS	AWN	TED	RPS

SUNOCO, INC. Retail Engineering Lester, PA			
7025 OLD KEENE MILL ROAD SPRINGFIELD, VA FAIRFAX COUNTY		PROJECT NO. 99016.00	
PRE-DEVELOPMENT DRAINAGE DIVIDE MAP			
APPROVED RPS	FACILITY NO.	DRAWING NO.	REV. NO.
CHECKED TED	0207-7261	DDPRE	3
DRAWN AWN			
DATE 03/07/2012			

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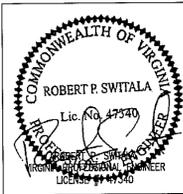
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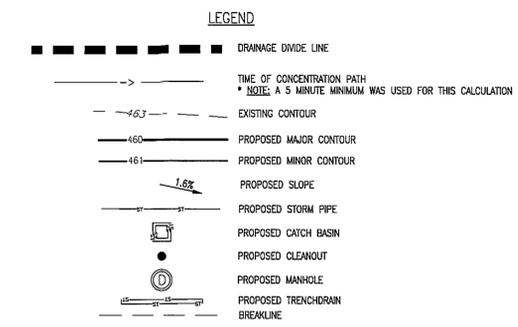
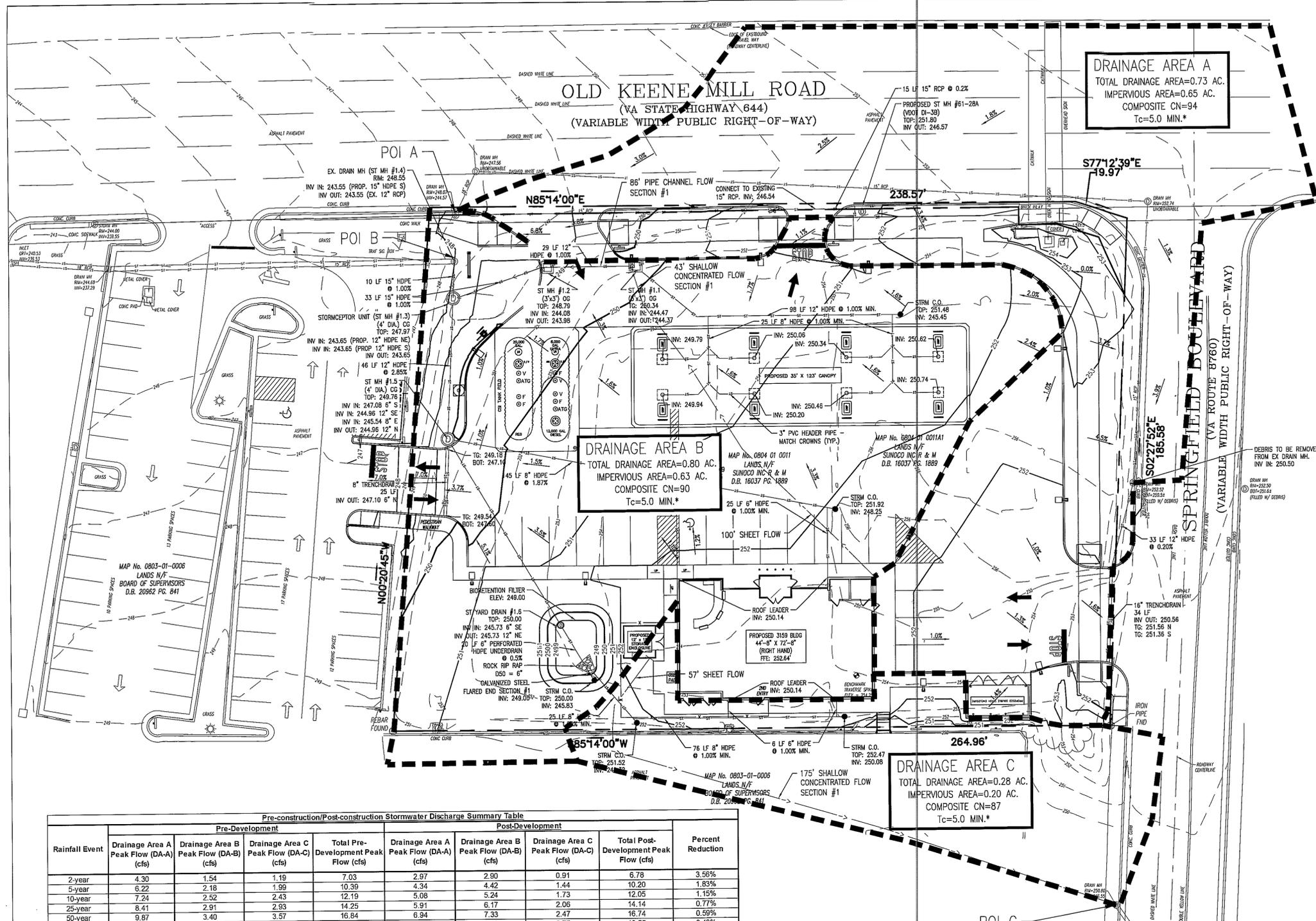
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 www.bergmannpc.com





DRAINAGE AREA A
 TOTAL DRAINAGE AREA=0.73 AC.
 IMPERVIOUS AREA=0.65 AC.
 COMPOSITE CN=94
 Tc=5.0 MIN.*

DRAINAGE AREA B
 TOTAL DRAINAGE AREA=0.80 AC.
 IMPERVIOUS AREA=0.63 AC.
 COMPOSITE CN=90
 Tc=5.0 MIN.*

DRAINAGE AREA C
 TOTAL DRAINAGE AREA=0.28 AC.
 IMPERVIOUS AREA=0.20 AC.
 COMPOSITE CN=87
 Tc=5.0 MIN.*

Pre-construction/Post-construction Stormwater Discharge Summary Table

Rainfall Event	Pre-Development				Post-Development				Percent Reduction
	Drainage Area A Peak Flow (DA-A) (cfs)	Drainage Area B Peak Flow (DA-B) (cfs)	Drainage Area C Peak Flow (DA-C) (cfs)	Total Pre-Development Peak Flow (cfs)	Drainage Area A Peak Flow (DA-A) (cfs)	Drainage Area B Peak Flow (DA-B) (cfs)	Drainage Area C Peak Flow (DA-C) (cfs)	Total Post-Development Peak Flow (cfs)	
2-year	4.30	1.54	1.19	7.03	2.97	2.90	0.91	6.78	3.56%
5-year	6.22	2.18	1.99	10.39	4.34	4.42	1.44	10.20	1.83%
10-year	7.24	2.52	2.43	12.19	5.08	5.24	1.73	12.05	1.15%
25-year	8.41	2.91	2.93	14.25	5.91	6.17	2.06	14.14	0.77%
50-year	9.87	3.40	3.57	16.84	6.94	7.33	2.47	16.74	0.59%
100-year	10.88	3.74	4.01	18.63	7.87	8.13	2.75	18.55	0.43%

Note: These calculations reflect the discharge for the Drainage Area encompassing the proposed site and show a full control of flows from this property for the 2, 5, 10, 25, 50, and 100 year storm

Pre-construction/Post-construction Stormwater Volume Summary Table

Rainfall Event	Pre-Development				Post-Development				Percent Reduction
	Drainage Area A Volume (DA-A) (af)	Drainage Area B Volume (DA-B) (af)	Drainage Area C Volume (DA-C) (af)	Total Pre-Development Volume (af)	Drainage Area A Volume (DA-A) (af)	Drainage Area B Volume (DA-B) (af)	Drainage Area C Volume (DA-C) (af)	Total Post-Development Volume (af)	
2-year	0.213	0.080	0.053	0.346	0.145	0.135	0.041	0.321	7.23%
5-year	0.315	0.114	0.091	0.520	0.217	0.212	0.068	0.497	4.42%
10-year	0.369	0.133	0.112	0.614	0.256	0.254	0.082	0.592	3.58%
25-year	0.432	0.154	0.137	0.723	0.301	0.303	0.099	0.703	2.77%
50-year	0.510	0.180	0.169	0.859	0.356	0.364	0.120	0.840	2.21%
100-year	0.565	0.198	0.191	0.954	0.395	0.406	0.135	0.936	1.89%

Note: These calculations reflect the discharge for the Drainage Area encompassing the proposed site and show a full control of flows from this property for the 2, 5, 10, 25, 50, and 100 year storm

IT IS UNDERSTOOD THAT THE DRAWINGS, SPECIFICATIONS, CAD DISKS, PAPER DOCUMENTS AND ELECTRONIC DOCUMENTS ("DOCUMENTS") ARE PREPARED SPECIFICALLY FOR USE WITH THIS PROJECT AND ARE THE SOLE PROPERTY OF SUNOCO, INC. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OTHERS ON ANY OTHER PROJECT OR ANY OTHER PURPOSE. USE OF THE DOCUMENTS, INFORMATION AND DATA CONTAINED HEREIN IS AT THE SOLE RISK AND RESPONSIBILITY OF THE USER AND IS WITHOUT LIABILITY OR LEGAL EXPOSURE TO SUNOCO, INC. OR SUNOCO, INC. (P&A).

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Application No SEA 90-L-045-03 Staff S.W.
 Approved (SE) (SP) Plan
 See Dev Conds dated 9-24-2012
 Date of (BZA) (BOS) (PC) approval 9-25-2012
 Sheet 12 of 14
 Concurrent w/ PCA 90-L-050-03
 See Proffers dated 9-20-2012

NOT FOR CONSTRUCTION

REV. NO.	DATE	REVISIONS	DRAWN BY	CHECKED BY	APPROV.
3	08/9/12	VDDT/FDDT/CTY COMMENTS	AWN	TED	RPS
2	07/3/12	VDDT/FDDT/CTY COMMENTS	AWN	TED	RPS
1	04/26/12	PER GDP/SEA COMMENTS	AWN	TED	RPS

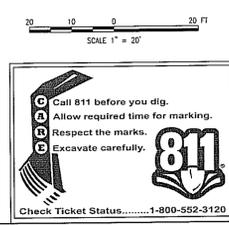
SUNOCO, INC.
 Retail Engineering
 Lester, PA

7025 OLD KEENE MILL ROAD
 SPRINGFIELD, VA
 FAIRFAX COUNTY

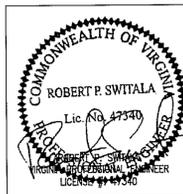
PROJECT NO.
 99016.00

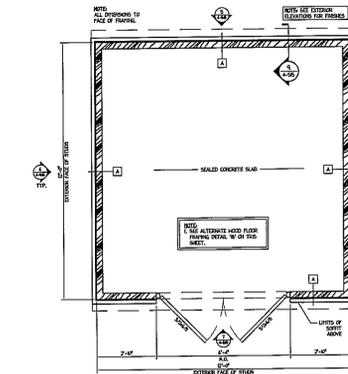
POST-DEVELOPMENT DRAINAGE DIVIDE MAP

APPROVED RPS: _____ FACILITY NO. 0207-7261 DRAWING NO. DDP028 REV. NO. 3
 CHECKED TED DATE 03/07/2012

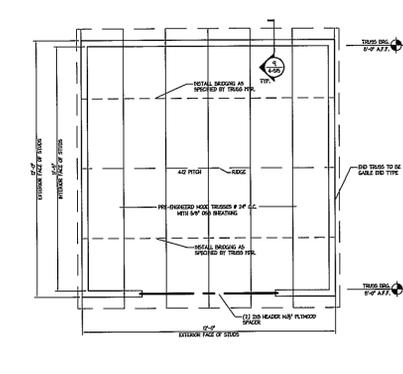


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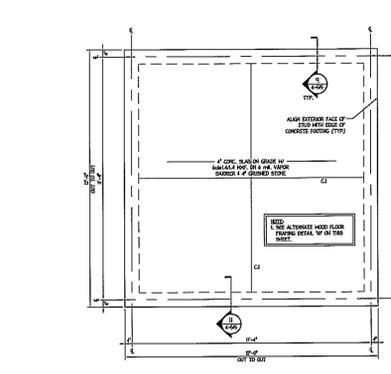




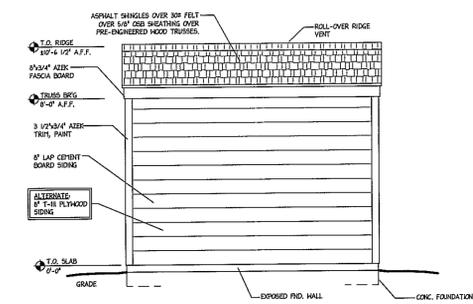
1 FLOOR PLAN
SCALE: 1/4"=1'-0"



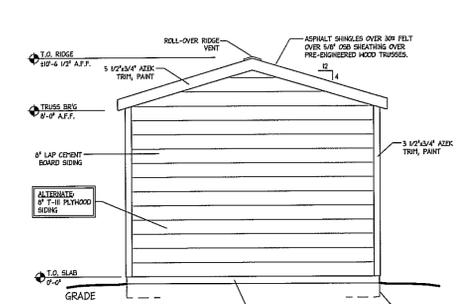
2 FRAMING PLAN
SCALE: 1/4"=1'-0"



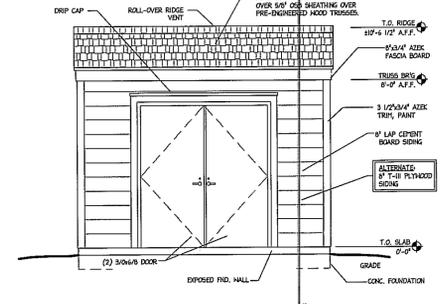
3 FOUNDATION PLAN
SCALE: 1/2"=1'-0"



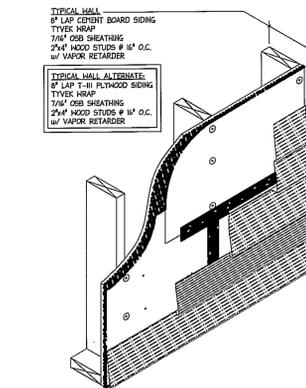
5 LEFT ELEVATION
SCALE: 1/4"=1'-0"



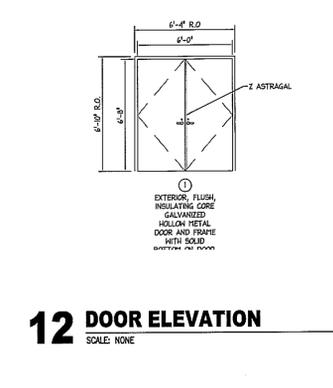
6 TYP. SIDE ELEVATION
SCALE: 1/4"=1'-0"



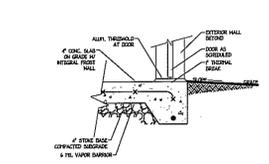
7 RIGHT ELEVATION
SCALE: 1/4"=1'-0"



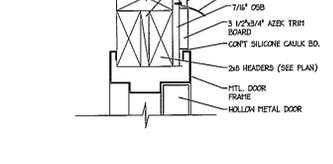
10 TYP. WALL ISOMETRIC
SCALE: NONE



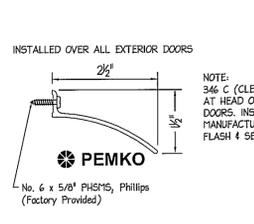
12 DOOR ELEVATION
SCALE: NONE



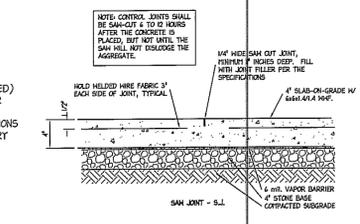
11 SECTION AT DOOR
SCALE: 1/2"=1'-0"



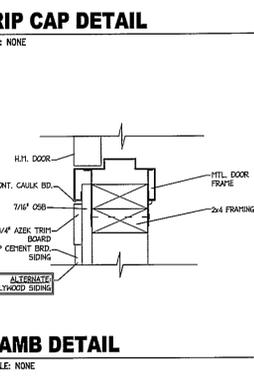
13 HEAD DETAIL
SCALE: NONE



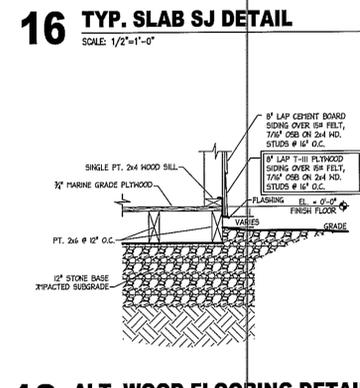
14 DRIP CAP DETAIL
SCALE: NONE



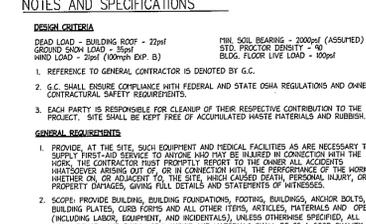
16 TYP. SLAB SJ DETAIL
SCALE: 1/2"=1'-0"



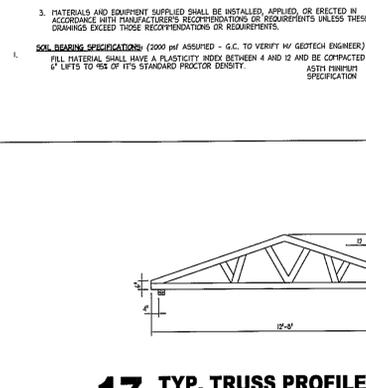
15 JAMB DETAIL
SCALE: NONE



18 ALT. WOOD FLOORING DETAIL
SCALE: 1"=1'-0"



17 TYP. TRUSS PROFILE
SCALE: 1/4"=1'-0"



8 PLYWOOD NAILING DETAIL
SCALE: NONE



9 TYP. WALL SECTION
SCALE: 1/2"=1'-0"

NOTES AND SPECIFICATIONS

DESIGN CRITERIA
DEAD LOAD - BUILDING ROOF - 22psf
GROUND SNOW LOAD - 30psf
WIND LOAD - 20psf (100mph Exp. B)...
GENERAL REQUIREMENTS
1. PROVIDE ALL THE SITE, SHOP EQUIPMENT AND MATERIALS AS NECESSARY TO COMPLETE A PRE-FABRICATED ROOF TRUSS SYSTEM AS SPECIFIED, INCLUDING BUT NOT LIMITED TO:
A. FABRICATION OF TRUSSES AND BRACING
B. DESIGN AND FABRICATION OF TRUSSES AND BRACING
C. BRIDGING AND ATTACHMENT TO STRUCTURE
...
CONCRETE (CONT'D)
1. ALL CONCRETE SHALL BE NORMAL WEIGHT (DENSITY=145pcf) AND SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH IN ACCORDANCE WITH THE FOLLOWING:
EXTERIOR SLABS, CURBS, SIDEWALKS... 4000psi
...
STEEL
1. ANCHOR BOLTS 4 ROLLED STRUCTURAL STEEL... A36
...
CONCRETE REINFORCING
1. ALL CONCRETE SHALL BE NORMAL WEIGHT (DENSITY=145pcf) AND SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH IN ACCORDANCE WITH THE FOLLOWING:
EXTERIOR SLABS, CURBS, SIDEWALKS... 4000psi
...
SOIL BEARING SPECIFICATIONS (2000 psf ASSUMED - G.C. TO VERIFY W/ GEOTECH ENGINEER)
FILL MATERIAL SHALL HAVE A PLASTICITY INDEX BETWEEN 4 AND 12 AND BE COMPACTED IN 4 LIFTS TO 95% OF ITS STANDARD PROCTOR DENSITY.

SPECIFIED COMPRESSIVE STRENGTH (psi)	NON AIR-ENTRAINED CONCRETE (f'c)	AIR-ENTRAINED CONCRETE (f'c)
3000	470	477
4000	544	551

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Approved (SE) (SP) Plan

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Date of (BZA) (BOS) (PC) approval 9-25-2012
Sheet 13 of 14

Concurrent w/ PCA 90-L-050-03
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COMMONWEALTH OF VIRGINIA
ROBERT P. SWITALA
Lic. No. 49330
Professional Engineer
LICENSE # 49330

PREFABRICATED TRUSS SPECIFICATIONS

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE A PRE-FABRICATED ROOF TRUSS SYSTEM AS SPECIFIED, INCLUDING BUT NOT LIMITED TO:
A. FABRICATION OF TRUSSES AND BRACING
B. DESIGN AND FABRICATION OF TRUSSES AND BRACING
C. BRIDGING AND ATTACHMENT TO STRUCTURE
D. TRUSS AND BRACING SHALL MEET WITH NATIONAL DESIGN SPECIFICATIONS FOR STEEL GRADE LUBBER AND ITS FASTENING BY NATIONAL FOREST PRODUCTS ASSOCIATION (LATEST REVISION) "TRUSS CONSTRUCTION STANDARDS" BY AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (LATEST REVISION) HERE SET OUT IN FULL HEREIN.
- THE FABRICATOR SHALL BE AN ESTABLISHED FIRM REGULARLY INVOLVED IN THE ENGINEERING AND FABRICATION OF THE TYPE OF TRUSSES REQUIRED AND SUBSCRIBE TO THE TRUSS PLATE INSTITUTE (T.P.I.) IN-PLANT INSPECTION.
- MINIMUM DESIGN CRITERIA, DESIGNS OF PLATES, LUBBER AND CONNECTIONS TO BE IN ACCORDANCE WITH THE APPROVED VALUES AS NOTED ON THE STRUCTURAL DRAWINGS. REPETITIVE FIBER STRESS INCREASE IS PERMITTED FOR TRUSSES 2" x 4" O.C. (LUBBER ONLY). ANY MECHANICAL EQUIPMENT LOAD IS TO BE ADDITIVE TO LIVE LOAD AND SHALL INCLUDE HEAT SYSTEMS, PIPING, ETC.
- CONNECTIONS TO BE LIMITED TO 2x4.
- SUBMITTALS: TWO COPIES OF THE SHOP DRAWINGS SHALL BE FORWARDED TO THE MUNICIPALITY FOR FILES.
THE FOLLOWING INFORMATION IS TO BE NOTED ON THE DRAWING:
A. DESIGN AND FABRICATION DATA
B. METAL CONNECTORS: MANUFACTURER, SIZE, GAUGE AND LOCATION.
C. LUBBER GRADING FOR EACH MEMBER.
D. PITCH, SPAN AND SPACING OF TRUSSES.
E. DESIGN LOADING AND ALLOWABLE UNIT STRESS INCREASES.
F. TENSION OR COMPRESSION FORCE FOR EACH MEMBER.
G. BUILDING SIZE AND ADDRESS.
H. HANDLING AND ERECTION INSTRUCTIONS.
- ALL LUBBER USED FOR TRUSSES SHALL BEAR A GRADEMARK STAMP INDICATING TYPE, GRADE AND GRADING AGENCY. ALL TOP AND BOTTOM CHORD MEMBERS OF EACH TRUSS SHALL HAVE A GRADEMARK IN PLACE UPON DELIVERY TO THE JOB SITE.
- MINIMUM NORMAL LUBBER SIZE TO BE 2" x 4" WITH TOP AND BOTTOM CHORDS SIZED AS REQUIRED BY DESIGN. THE MINIMUM LUBBER GRADING CHARACTERISTICS ACCEPTABLE SHALL BE:
A. TOP CHORD - NO. 2 KODIS SOUTHERN PINE OR DOUGLAS FIR - LARCH PFCR
B. BOTTOM CHORD - NO. 2 KODIS - SOUTHERN PINE OR DOUGLAS FIR - LARCH PFCR
C. WEB MEMBERS - NO. 3 DRY IR - SOUTHERN PINE OR DOUGLAS FIR - LARCH PFCR
D. SURFACING DRESSED 2x4
E. POSITIVE CONTENT, 5% MAXIMUM AT TIME OF SURFACING AND SHIPPING.
- PROVIDE MACHINE STRESS RATED (MSR) LUBBER HAVING THE FOLLOWING MINIMUM DESIGN VALUES OR VISUALLY GRADED LUBBER HAVING THE FOLLOWING MINIMUM DESIGN VALUES:
A. E (MODULUS OF ELASTICITY) 1,300,000 PSI MINIMUM
B. FB - SINGLE (EXTREME FIBER STRESS AND BONDING) 1,350 PSI MINIMUM
C. FC (COMPRESSION PARALLEL TO GRAIN) 100 PSI
D. FT (TENSION PARALLEL TO GRAIN 750 PSI)
- NO LUBBER SHALL BE USED THAT HAS A SLOPE OR GRAIN EXCEEDING THE STANDARD 1" SLOPE TO 8" RUN.
- ALL TRUSS CONNECTOR PLATES SHALL BE MANUFACTURED FROM ONLY PRIME QUALITY GALVANNEED SHEET OF NO LESS THAN 30 GAUGE (30.5) THICKNESS WHICH HAS A MINIMUM YIELD OF 30,000 PSI AND A MINIMUM ULTIMATE TENSILE STRENGTH OF 48,000 PSI. THE CONNECTOR PLATE SHALL BE 1/2" O.C. PER SP. OF TEMPORARY BRACING. TEMPORARY BRACING SHALL BE IN STRICT ACCORDANCE WITH TRUSS PFG. INSTALLATION MANUAL AND THE TRUSS PLATE INSTITUTE GUIDELINES.
- FIELD CUTTING OF TRUSSES VERIFY NOT ALLOWED.
COORDINATE INSTALLATION OF FRAMING TO BE ATTACHED TO OR SUPPORTED BY TRUSSES. VERIFY THAT CONCENTRATED LOADS WILL OCCUR ONLY AT LOCATIONS INCORPORATED INTO THE DESIGN OF THE TRUSSES.
TRUSS CHORD LOCATION AND LINE: 1/2" MAXIMUM DEVIATION FROM TRUE POSITION.
- WHERE FIELD CONNECTIONS OF TRUSS SUB-ASSEMBLIES ARE NECESSARY, SPECIAL NAIL ON SPLICE PLATES ARE ACCEPTABLE, PROVIDING THE PLATE SIZE AND POSITION ARE SHOWN ON THE TRUSS ENGINEERING DESIGN AS APPROVED BY THE TRUSS PLATE MANUFACTURER.
- ALL TRUSS MEMBERS SHALL BE ACCURATELY CUT TO LENGTH, ANGLE AND TRIM TO LINE TO ASSURE TIGHT JOINTS FOR FINISHED TRUSSES.
- CONNECTOR PLATES SHALL BE SIMULTANEOUSLY PRESSED INTO EACH SIDE OF THE JOINTS USING A MINIMUM VERTICAL PRESSURE OF 50 TONS WHILE ALL TRUSS MEMBERS ARE TIGHTLY CLAMPED TO SPECIAL JOGS.
- NO JOINTS WHICH DEPEND ON STIFFNESS OF THE HORIZONTAL CONNECTOR PLATE TO TRANSMIT STRESSES NOT PROPER FITTING JOINTS WILL BE ALLOWED.
- NO NAILS OR KNOTS SHALL ENTER THE JOINT OR CONNECTION UNDER THE NAIL PLATE.
- NO MORE THAN ONE (1) LIVE KNOT OF A SIZE SPECIFIED AND CONFORMING TO THE PROPER GRADE MARK SHALL BE ACCEPTED IN TOTAL BETWEEN THE TWO MEMBERS JOINED AT A SINGLE CONNECTION.
- EACH TRUSS SHALL BE PERMANENTLY STAMPED WITH THE NAME AND ADDRESS OF THE TRUSS FABRICATOR.
- EACH TRUSS SHALL BE CLEARLY MARKED AND/OR FLAGGED INDICATING POINTS OF PICK UP.
- ALL TRUSSES SHALL BE BUNDLED TOGETHER FOR SHIPPING TO THE JOB SITE.
- MULTIPLE TRUSSES OF TWO UNITS SHALL BE NAILED TOGETHER FROM BOTH SIDES WITH TWO ROWS OF NAILS ON EACH SIDE OF TOP AND BOTTOM CHORD SPACED 12" O.C. STAGGERED OVER LENGTH AND ONE ROW AT 12" O.C. EACH SIDE OF WEB MEMBERS.
- MULTIPLE TRUSSES OF THREE UNITS SHALL BE BOLTED TOGETHER WITH 1/2" DIA. AT 24" O.C. FOR TOP AND BOTTOM CHORD AND ONE EACH WEB.
- SCHEDULE DELIVERY OF UNITS TO ARRIVE IN THE FOR PROPER ERECTION WITHOUT PROLONGED STORAGE ON SITE.
- PROTECT TRUSSES FROM WEATHER AND CONDENSATION. TRUSSES SHOWING DISCOLORATION, CORROSION OR OTHER EVIDENCE OF DEGRADATION MUST BE INSPECTED BY THE TRUSS PLATE MANUFACTURER OR OTHER ACCEPTABLE INSPECTION AGENCY BEFORE CONSIGNMENT. REFUSE TRUSSES WHICH INSPECTION DETERMINES TO BE DAMAGED OR DEFECTIVE.
- TRUSSES STORED PRIOR TO ERECTION SHALL BE SET IN VERTICAL POSITION WITH SUPPORT AT FINAL BEARING POINTS AND BRACED TO ELIMINATE UNUSUAL BRACING OR TIPPING OVER.
- ALL BRACING PLACED ON TRUSSES BY THE FABRICATOR'S PLANT SHALL REMAIN INTACT UNTIL INSTALLATION.
- TRUSSES SHALL BE LIFTED IN THE VERTICAL POSITION WITH EXTREME CARE BEING TAKEN TO ELIMINATE HORIZONTAL BRACING WHICH WOULD DAMAGE TRUSS INTEGRITY.
- A SPREADER BAR SHALL BE USED TO LIFT THE TRUSS WITH THE MINIMUM LENGTH BEING ONE-HALF THE TRUSS LENGTH. SLING LINES SHALL BE CONNECTED VERTICALLY DOWNWARD FROM THE TWO ENDS AND THE MID-POINT OF THE SPREADER BAR PROVIDING A THREE POINT PICK-UP.
- INSTALL TRUSSES ACCORDING TO MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION. ANCHORAGE INDICATED ON THE DRAWING SHALL BE COMPLETED AS THE TRUSS INSTALLATION PROGRESSES.
- TRUSSES SHALL BE INSTALLED STRAIGHT AND FLUSH USING A STRING LINE BETWEEN SUPPORTS AND A LEVEL AT EACH BRACING AND BEARING LOCATION TO ASSURE ACCURACY.
- TEMPORARY TOP CHORD LATERAL BRACING SHALL BE 2" x 4" LAD PLAT AT QUARTER POINTS ALONG THE LENGTH OF THE TRUSS. REMOVAL OF THE TEMPORARY BRACING SHALL PROGRESS WITH THE INSTALLATION OF THE PERMANENT BRACING. TEMPORARY BRACING SHALL BE IN STRICT ACCORDANCE WITH TRUSS PFG. INSTALLATION MANUAL AND THE TRUSS PLATE INSTITUTE GUIDELINES.
- FIELD CUTTING OF TRUSSES VERIFY NOT ALLOWED.
COORDINATE INSTALLATION OF FRAMING TO BE ATTACHED TO OR SUPPORTED BY TRUSSES. VERIFY THAT CONCENTRATED LOADS WILL OCCUR ONLY AT LOCATIONS INCORPORATED INTO THE DESIGN OF THE TRUSSES.
TRUSS CHORD LOCATION AND LINE: 1/2" MAXIMUM DEVIATION FROM TRUE POSITION.
- EACH PLATE SHALL BEAR THE STAMPED NAME OF ITS MANUFACTURER.

BUILDING DATA

TYPE	SPECIFICATION
AREA	144 s.f.
USE	PRIVATE SHED - GROUP 'V'
OCCUPANCY	NONE
CONSTRUCTION TYPE	VB
HEIGHT	1 STORY (8'-0" +/-)
ALLOWABLE AREA	5,500 s.f.
ALLOWABLE HEIGHT	1 STORY

FINISH SPECIFICATIONS

ITEM	SPECIFICATION
EXTERIOR WALL	7/16" O.S.B SHEATHING OVER 2x4 W/ VAPOR RETARDER
EXTERIOR WALL ALTERNATE	BY LAP T-11 PLYWOOD SIDING OVER 2x4 W/ VAPOR RETARDER
EXTERIOR WALL ALTERNATE	BY LAP T-11 PLYWOOD SIDING OVER 2x4 W/ VAPOR RETARDER
ASPHALT SHINGLES	OVER 3/8" FELT OVER 5/8" O.S.B SHEATHING OVER PRE-ENGINEERED WOOD TRUSSES.
CONCRETE	4000 PSI

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DOOR HARDWARE
3 EACH HANGER HINGE 5827H X 1/2X30 X NRP X 4 1/2"
PERMO THRESHOLD 170A X 36"
PERMO DRIP CAP 364 X 36"
DEAD BOLT - ARGENT 470 SERIES
LEVERS - FALCON Y SERIES - PASSAGE TYPE
SUPPLY X AZRAGAL WITH DOOR ASSEMBLY

WALL TYPE LEGEND
1/2" O.S.B SHEATHING OVER 2x4 W/ VAPOR RETARDER
ALTERNATE: 7/16" O.S.B SHEATHING OVER 2x4 W/ VAPOR RETARDER

ALTERNATE WALL TYPE LEGEND
1/2" O.S.B SHEATHING OVER 2x4 W/ VAPOR RETARDER

NOT FOR CONSTRUCTION

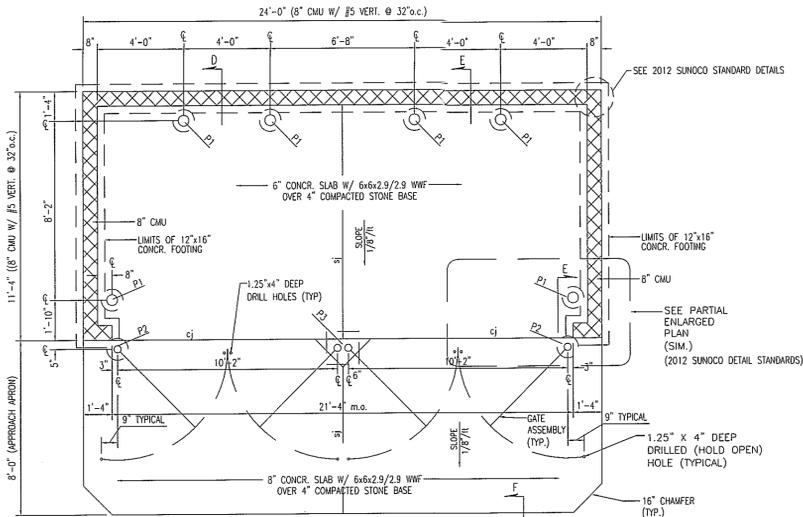
REV.	DATE	REVISIONS	DRAWN BY	CHECKED BY	APPROVED
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SUNOCO, INC.
Retail Engineering
Lester, PA

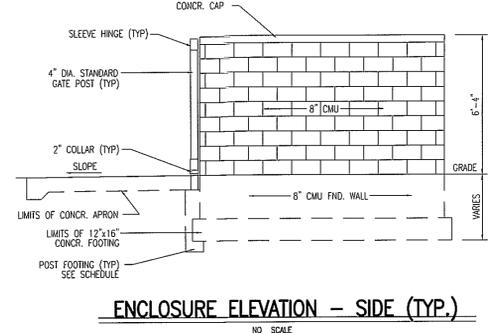
7025 OLD KEENE MILL ROAD
SPRINGFIELD, VA
FAIRFAX COUNTY

SHED DETAILS

APPROVED RPS	FACILITY NO.	DRAWING NO.	SCALE	REV. NO.
CHECKED TED	0207-7261	DE-4		3
DRAWN AVN				
DATE 03/07/2012				



ENCLOSURE PLAN - DOUBLE
NO SCALE

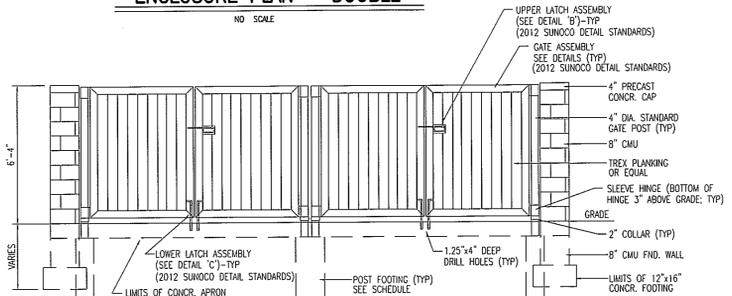


ENCLOSURE ELEVATION - SIDE (TYP.)
NO SCALE

POST/ BOLLARD SCHEDULE

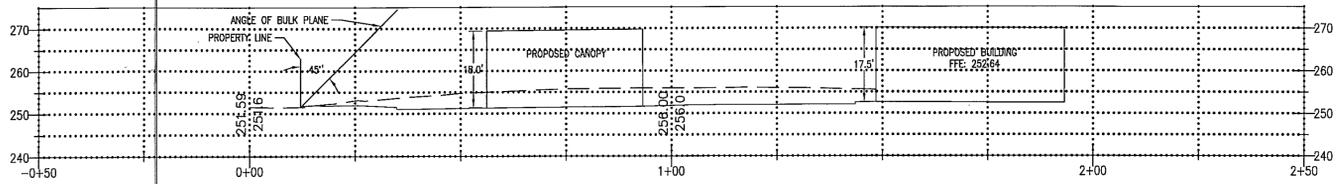
MARK	PIPE SIZE	FOOTING SIZE	FOOTING DEPTH	REMARKS	PIPE HEIGHT
P1	6" DIA.	12" DIA.	36" B.F.S.	SEPARATE POUR, PAINTED SAFETY YELLOW	4'-0" MIN. A.F.S.
P2	4" DIA.	12" DIA.	48" B.F.S.	SEPARATE POUR, PAINTED GRAY OR TAN	6'-3" A.F.S.
P3	(2) 4" DIA.	18" x 18" SQ.	48" B.F.S.	SEPARATE POUR, PAINTED GRAY OR TAN	6'-3" A.F.S.

NOTES:
 1. ALL FOOTINGS OR 18" SONOTUBE SHALL REST ON VIRGIN SOILS OR ENGINEERED FILL WITH A BEARING CAPACITY NO LESS THAN 1500#/PER SQ. FT.
 2. WALL FOOTINGS SHALL BE ADJUSTED TO ACCOMMODATE GRADE DIFFERENTIALS
 3. B.F.S. = BELOW FINISH SLAB
 4. VERIFY APRON CONFIGURATION WITH FINAL LAND DEVELOPMENT PLANS
 5. ALL BOLLARDS SHALL BE GROUTED SOLID WITH DOME TOPS
 6. ALL POSTS SHALL BE GROUTED SOLID WITH FLAT TOPS
 7. ALL PIPE TO BE STANDARD STEEL PIPE (NOT GALVANIZED)
 8. ALL BACKFILL MATERIALS MUST BE COMPACTED TO 95% MAX. DENSITY
 9. FOR 3 OR MORE GATES, ADD P3 POSTS AND FOUNDATIONS AS NECESSARY.

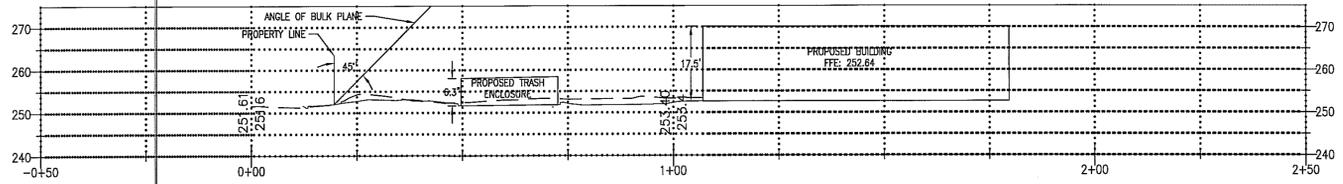


ENCLOSURE ELEVATION - DOUBLE
NO SCALE

- NOTES:
 1) CONCRETE CMU TO BE PAINTED SUNOCO STANDARD SHERMAN-WILLIAMS "ONYX GRAY" #866-300 OR TAN "HANTUCKET DUNE" #516-2066 TO MATCH CORRESPONDING STRUCTURE. COLOR IS DEPENDENT ON ARCHITECTURAL DRAWINGS.
 2) TREX ACCENTS (OR EQUAL) "SADDLE" TAN OR "WINCHESTER" GRAY
 3) ALL PIPE AND FITTING MATERIALS TO BE UNCOATED STEEL.
 4) ALL METAL MATERIAL TO BE PAINTED SUNOCO STANDARD SHERMAN-WILLIAMS "ONYX GRAY" #866-300 OR TAN "HANTUCKET DUNE" #516-2066 TO MATCH CORRESPONDING STRUCTURE. COLOR IS DEPENDENT ON ARCHITECTURAL DRAWINGS.



OLD KEENE MILL ROAD FRONT YARD SETBACK BULK PLANE DIAGRAM
SCALE 1" = 20'

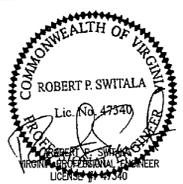


SPRINGFIELD BOULEVARD FRONT YARD SETBACK BULK PLANE DIAGRAM
SCALE 1" = 20'

Application No **SEA 90-L-045-03** Staff **S.W.**
 Approved (SE) (SP) Plan
 See Dev Conds dated **9-24-2012**
 Date of (BZA) (BOS) (PC) approval **9-25-2012**
 Sheet **14** of **14**
 Concurrent w/ PCA 90-L-050-03
 See Proffers dated **9-20-2012**



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 King of Prussia, PA. 19406
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NOT FOR CONSTRUCTION

REV.	DATE	REVISIONS	DRAWN BY	CHECKED BY	APPROV.
3	08/9/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS
2	07/3/12	VDDT/FDDT/CTY COMMENTS	AVN	TED	RPS
1	04/26/12	PER GDP/SEA COMMENTS	AVN	TED	RPS

SUNOCO, INC.
 Retail Engineering
 Lester, PA

7025 OLD KEENE MILL ROAD
 SPRINGFIELD, VA
 FAIRFAX COUNTY

PROJECT NO. 99016.00

TRASH ENCLOSURE DETAILS AND BULK PLANE DIAGRAMS

SCALE 1" = 20'

APPROVED RPS	FACILITY NO.	DRAWING NO.	REV. NO.
CHECKED TED	0207-7261	DE-8	3
DRAWN AVN			
DATE 03/07/2012			

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