



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

January 30, 2013

Mr. Keith C. Martin
Tramone, Yeonas, Roberts & Martin PLLC
8245 Boone Boulevard, Suite 400
Vienna, Virginia 22182

Re: Special Exception Application Number SE 2008-MA-019
(Concurrent with Proffered Condition Amendment Application PCA 92-M-038)

Dear Mr. Martin:

At a regular meeting of the Board of Supervisors held on January 29, 2013, the Board approved Special Exception Application Number SE 2008-MA-019 in the name of Paolozzi Investments, Incorporated, located at 5901 Columbia Pike, Falls Church, on approximately 1.08 acres of land zoned C-5, CRD, HC, and SC in the Mason District [Tax Map 61-2 ((1)) 117]. The Board's action, pursuant to Sections 4-504 and 9-622 of the Fairfax County Zoning Ordinance, permits a car wash and modification and waivers in a Commercial Revitalization District (CRD), by requiring conformance with the following development conditions:

1. This Special Exception is granted for and runs with the land indicated in this application and is not transferable to other land.
2. This Special Exception is granted only for the purpose(s), structure(s), and/or use(s) indicated on the Special Exception Plat (SE Plat) approved with this application, as qualified by these development conditions.
3. This Special Exception is subject to the provisions of Article 17, Site Plans, as may be determined by the Director, Department of Public Works and Environmental Services (DPWES). Any plan submitted pursuant to this Special Exception shall be in substantial conformance with the approved SE Plat entitled "Bailey's Car Wash" consisting of seven sheets, prepared by Tri-Tek Engineering, dated April 19, 2012, as revised through December 11, 2012. Minor modifications to the approved Special Exception may be permitted pursuant to Par. 4 of Sect. 9-004 of the Zoning Ordinance.

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4. The one freestanding identification sign permitted on the site shall be a monument-style sign (as depicted in the SE Plat). Irrespective of the dimensions shown on the GDP/SE Plat, any such sign shall meet the requirements of the Sign Control Overlay District of Article 12 of the Zoning Ordinance, as well as the sight line requirements of the Zoning Ordinance, VDOT and the PFM.
5. Hours of operation shall be limited to Monday through Saturday 8 am to 6 pm and Sunday 9 am to 6 pm.
6. There shall be no outside storage or display of goods offered for sale.
7. The car wash shall be equipped to capture at least 80% of the waste water associated with a single cycle of the car wash operation. All waste water discharged from the car wash shall be discharged to the sanitary sewer system.
8. No stacking for the car wash shall extend off-site. If at any time the queue for the car wash should extend off-site, the attendant shall ask that vehicle to move to another location not on a public street or blocking any entrances along the service drive.
9. All lighting, including security, pedestrian and/or other incidental lighting, shall meet the standards of Article 14 of the Zoning Ordinance.
10. Any exterior lighting shall be a maximum of 12 feet in height, as measured from the ground to the top of the fixture.
11. No outdoor speakers or loud speakers shall be utilized on the site.
12. Stormwater management and best management practices shall be provided as shown on the GDP/SE Plat and in conformance with the Public Facilities Manual.
13. Prior to any land disturbing activities on that property identified among the Fairfax County tax records as (Tax Map 61-2 ((1)) 117), the applicant shall conduct a Phase I archaeological study of the Application Property, and provide the results of such studies to the Heritage Resources Branch of the Fairfax County Park Authority ("Heritage Resources"). If deemed necessary by Heritage Resources, the Applicant shall conduct a Phase II and/or Phase III archaeological study on only those areas of the Application Property identified for further study by Heritage Resources. The studies shall be conducted by a qualified archaeological professional approved by Heritage Resources, and shall be reviewed and approved by Heritage Resources. The studies shall be completed prior to issuance of the Non-RUP.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations,

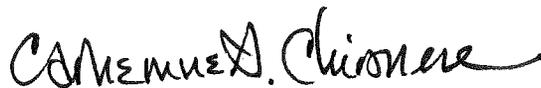
or adopted standards. The applicant shall be himself responsible for obtaining the required Non-Residential Use Permit through established procedures, and this Special Exception shall not be valid until this has been accomplished.

Pursuant to Section 9-015 of the Zoning Ordinance, this special exception shall automatically expire, without notice, thirty (30) months after the date of approval unless, at a minimum, the use has been established or construction has commenced and been diligently prosecuted. The Board of Supervisors may grant additional time to establish the use or to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special exception. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

The Board also:

- Modified the parking requirement in a commercial revitalization district pursuant to Paragraph 3A of Section A7-209 of the Zoning Ordinance to allow 18 parking spaces where 22 are required.
- Modified Section 13-303 of the Zoning Ordinance for transitional screening from the adjacent residential properties to the south and west, in favor of the plantings and barriers shown on the GDP/SE Plat.
- Waived the tree preservation target requirement, pursuant to Section 12-0508 of the Public Facilities Manual (PFM), in favor of the proposed plantings shown on the GDP/SE Plat.
- Waived Section 7-0104 of the PFM for the service drive requirement along Columbia Pike, in favor of the frontage improvements shown on the GDP/SE Plat.

Sincerely,



Catherine A. Chianese
Clerk to the Board of Supervisors

Cc: Chairman Sharon Bulova
Supervisor Penny Gross, Mason District
Tim Shirocky, Acting Director, Real Estate Division, Dept. of Tax Administration
Barbara C. Berlin, Director, Zoning Evaluation Division, DPZ
Diane Johnson-Quinn, Deputy Zoning Administrator, Dept. of Planning and Zoning
Angela K. Rodeheaver, Section Chief, Transportation Planning Division
Donald Stephens, Transportation Planning Division
Ken Williams, Plans & Document Control, ESRD, DPWES
Department of Highways-VDOT
Sandy Stallman, Park Planning Branch Manager, FCPA
Charlene Fuhrman-Schulz, Development Officer, DHCD/Design Development Division
Planning Commission
Karyn Moreland, Chief Capital Projects Sections, Dept. of Transportation